Development Permit

DP23-0013

This permit relates to land in the City of Kelowna municipally known as

3196 Appaloosa Road

and legally known as

Lot 14 Sections 2 and 3 Township 23 ODYD Plan 18861 Except Plan EPP64644

and permits the land to be used for the following development:

General Industrial Use

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council Approval:	**July 10th, 2023**
Development Permit Area:	Form and Character DPA
Existing Zone:	I2 – General Industrial
Future Land Use Designation:	IND – Industrial

This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner:	Watermark Developments Ltd., Inc. No. 1191800
Applicant:	Donovan Klassen – CTQ Consultants

_____

Terry Barton
Development Planning Department Manager
Planning & Development Services

_____

Date of Issuance

ATTACHMENT A
This forms part of application
DP23-0013
Planner Initials TC
City of Kelowna
DEVELOPMENT PLANNING

DRAFT

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

THAT Council authorizes the issuance of Development Permit No. DP23-0013 for Lot 14 Sections 2 and 3 Township 23 ODYD Plan 18871 located at 3196 Appaloosa Rd, Kelowna, BC, subject to the following:

a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";

b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";

c) Landscaping to be provided on the land be in accordance with Schedule "C";

d) The applicant be required to post with the City a Landscape Performance Security deposit in the amount of 125% of the estimated value of the Landscape Plan, as determined by a Registered Landscape Architect;

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Manager approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property owner of the day. Should the Developer carry out the development as per the conditions of this permit, the security shall be returned to the Developer or his or her designate following proof of Substantial Compliance as defined in Bylaw No. 12310. There is filed accordingly:

a) An Irrevocable Letter of Credit **OR** certified cheque **OR** a Surety Bond in the amount of **$93,401.25**

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

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City of Kelowna
DEVELOPMENT PLANNING

The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the Landscape Agreement or their designates.

DRAFT

VICINITY MAP

IMAGE A

IMAGE B

IMAGE C

IMAGE D

SCHEDULE A

This forms part of application
DP23-0013

Planner Initials TC

City of Kelowna
DEVELOPMENT PLANNING

SAHURI + associates architecture inc

Consultants

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ISSUES/REVISIONS

DATE	DESCRIPTION	#
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2023-05-16	ISSUED FOR REVISED DP COMMENTS	8
2023-06-16	ISSUED FOR REVISED DP	9

Seal

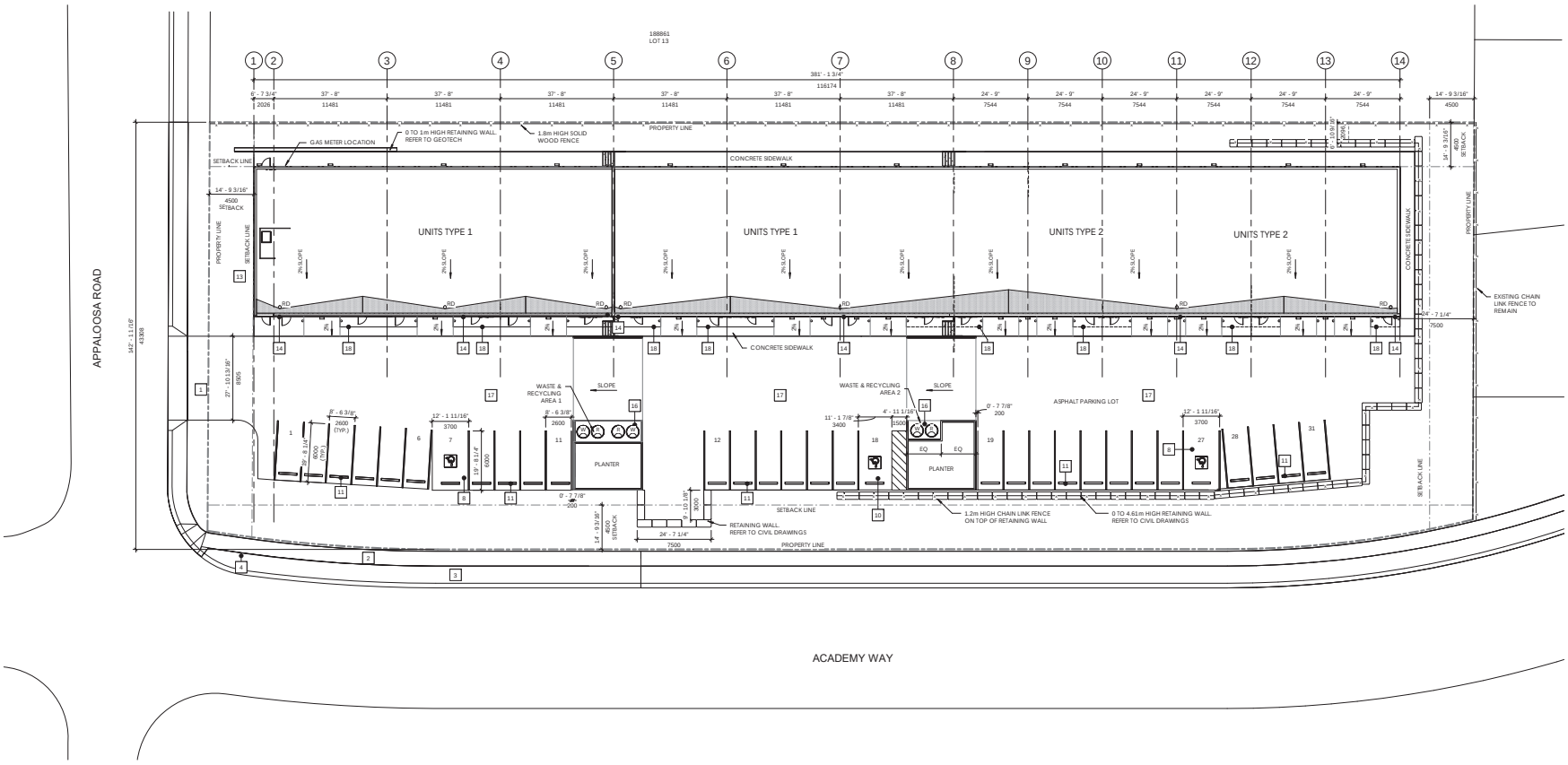
Client

Project Title
Appaloosa Industrial Project
3196 Appaloosa Road,
Kelowna BC V1V 2G9

Drawing Title
SITE AERIAL VIEW & PHOTOGRAPHS

Drawing info		Project Number
Scale	12" = 1'-0"	2021-017
Date	06/18/21	Drawing Number
Drawn	MW	DP001
Checked	AL	
Partner	AL	

6/16/2023 3:53:35 PM



1 PROJECT SITE PLAN
1/16" = 1'-0"

PROJECT INFORMATION:

MUNICIPAL ADDRESS:	3196 APPALOOSA RD, KELOWNA BC
LEGAL ADDRESS:	LOT 14, PLAN KAP18861
APPLICABLE BYLAW:	CITY OF KELOWNA ZONING BYLAW NO. 12375
LANDUSE DESIGNATION	I2 (GENERAL INDUSTRIAL)
ADJACENT LAND USES & BUILDINGS	NORTH RU2- MEDIUM LOT HOUSING EAST RU2- MEDIUM LOT HOUSING (ACROSS ACADEMY RD.) SOUTH A2- AGRICULTURAL / RURAL RESIDENTIAL (ACROSS APPALOOSA RD.) WEST A2- AGRICULTURAL / RURAL RESIDENTIAL
SITE AREA	5,506.12 m²
PROPOSED BUILDING USE	GENERAL CONTRACTOR SERVICES
BUILDING AREA & NET FLOOR AREA	1,766.13 m²
MAXIMUM SITE COVERAGE	60% ALLOWED MAX.
ACTUAL SITE COVERAGE	32.08%
IMPERMEABLE SURFACE AREA	4073.58 m²
MAXIMUM IMPERMEABLE SITE COVERAGE	90%
ACTUAL IMPERMEABLE SURFACE SITE COVERAGE	73.90%
SETBACK REQUIREMENTS	FRONT SETBACK 2.0m WEST SIDE SETBACK 4.5m EAST SIDE SETBACK 2.0m REAR SETBACK 4.5m
FLOOR ARE RATIO	MAX. 1.5 - PROPOSED IS 0.32
ALLOWABLE BUILDING HEIGHT	16m
PROPOSED BUILDING HEIGHT	8.8m

MINIMUM REQUIRED PARKING STALLS	GENERAL INDUSTRIAL USES/ 1.0 SPACE PER 100m 1766.13/100 x 1.0 = 17.66 STALLS 18 STALLS (MIN. REQUIREMENT) TOTAL PROVIDED: 31 STALLS INCLUDING 2 STANDARD ACCESIBLE STALLS AND 1 VAN ACCESIBLE STALL
ACCESSIBLE PARKING MINIMUM REQUIREMENT	1 ACCESSIBLE PARKING
RATIO OF PARKING STALLS REQUIRED	70% REGULAR - 30% SMALL
RATIO OF PARKING STALLS PROVIDED	100% REGULAR - 0% SMALL
MINIMUM DRIVE AISLE WIDTH	6.5m
PROVIDED DRIVE AISLE WIDTH	8.5m
MAXIMUM DRIVE AISLE GRADE	8%
PROVIDED DRIVE AISLE GRADE	VARIES. MAXIMUM 8%
MAXIMUM DRIVEWAY GRADE	15%
PROVIDED DRIVEWAY GRADE	10%

REQUIRED BICYCLE STALLS	NOT REQUIRED DUE TO SMALL SIZE OF BUILDING
LOADING STALLS	REQUIRED LOADING SPACE 1 PER 1,900m² or 0.02 STALL OR 1 STALL NOT LESS THAN 28m² IN AREA, NOT LESS THAN 3.0 IN WIDTH AND NOT LESS THAN 4.0m IN OVERHEAD CLEARANCE.
WASTE & RECYCLING AREA	ANY PROPOSED DEVELOPEMENT IS PROPOSED, PROVISIONS FOR GARBAGE STORAGE, RECYCLING, AND COLLECTION SHALL BE PROVIDED ON THE SAME SITE AS THE DEVELOPMENT.
LANDSCAPE IN SETBACK AREAS	MINIMUM LANDSCAPE BUFFER TREATMENT LEVELS (SECTION 7/ Table 7.1)
INDUSTRIAL ZONES (I2) FRONT OR FLANKING YARD REAR YARD SIDE YARD	LEVEL 2 LEVEL 3 LEVEL 3
LEVEL 2	MIN. 3.0m OF LANDSCAPE BUFFER REQUIRED TO SEPARATE USES FROM ADJACENT PROPERTIES
LEVEL 3	MIN. 3.0m OF LANDSCAPE BUFFER REQUIRED TO SEPARATE USES FROM ADJACENT PROPERTIES CONSISTING OF VEGETABLE BUFFER & MAY INCLUDE A CONTINUOUS BARRIER

SITE PLAN KEYNOTES

1	7.00m WIDE VEHICULAR DRIVEWAY
2	EXISTING CONCRETE SIDEWALK
3	EXISTING GREEN BUFFER
4	EXISTING LIGHT STANDARD TO REMAIN
5	EXISTING FIRE HYDRANT
6	PROPOSED WASTE & RECYCLING AREA
7	EXISTING UTILITIES & SERVICES LINE
8	3.30 x 6.0 m REGULAR ACCESSIBLE PARKING STALL
9	HEAVY DUTY ASPHALT PAVING
10	4.80m x 6.0m VAN ACCESSIBLE PARKING STALL
11	TYPICAL CONCRETE WHEEL STOPS
12	PROPOSED LOADING STALL WITH "NO PARKING LOADING ONLY" SIGN
13	PROPOSED EMPLOYEE AREA (11.5 SQM)
14	EMERGENCY OVERFLOW SCUPPER DRAIN. MAX. 6" ABOVE ROOF DRAIN ELEVATION
15	PROPOSED TYPICAL STOP SIGN
16	WASTE & RECYCLING BINS
17	FIRE DEPARTMENT LOCKBOX FROM "KNOCKBOX: MODEL '3200'
18	AWNING

SITE PLAN LEGEND

	PROPERTY LINE
	SETBACK LINE
	PAINTED LINES (NO PARKING & CROSSWALKS)
	FENCE
	BARRIER FREE PAINTED SYMBOL

SCHEDULE A
This forms part of application
DP23-0013
Planner Initials TC
City of Kelowna
DEVELOPMENT PLANNING

SAHURI + associates architecture INC
Suite 201, 123 Forge Road SW, Calgary, Alberta T2H 0S8 Tel: 403.206.6027 Fax: 403.206.6089
www.sahuri.com info@sahuri.com

Consultants

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PROJECT NORTH
TRUE NORTH

ISSUES/REVISIONS

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2023-06-16	ISSUED FOR REVISED DP	9

Seal

Client

Project Title
Appaloosa Industrial Project
3196 Appaloosa Road,
Kelowna BC V1V 2G9

Drawing Title
PROJECT SITE & LANDSCAPING PLAN

Drawing info		Project Number
Scale	As indicated	2021-017
Date	06/18/21	Drawing Number
Drawn	MW	DP100
Checked	AL	
Partner	AL	

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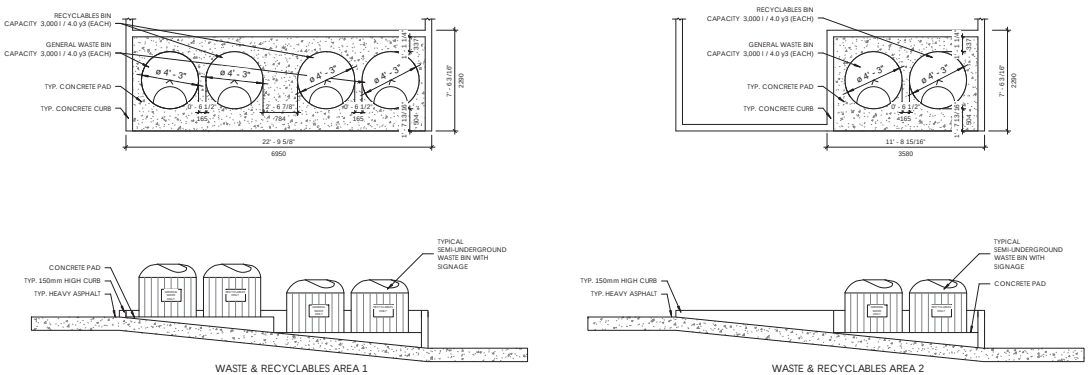
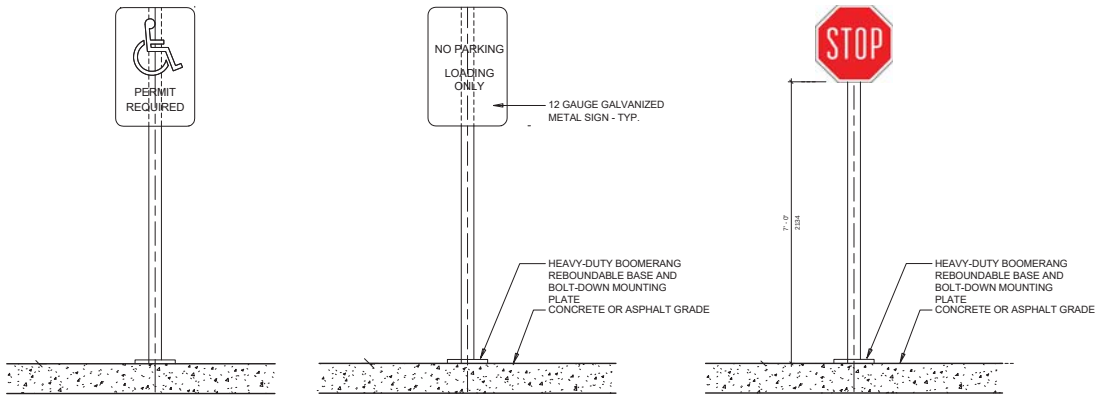


WASTE & RECYCLABLES AREA 1

WASTE & RECYCLABLES AREA 2

1 WASTE & RECYCLING MOLOK BINS - DP
1/4" = 1'-0"

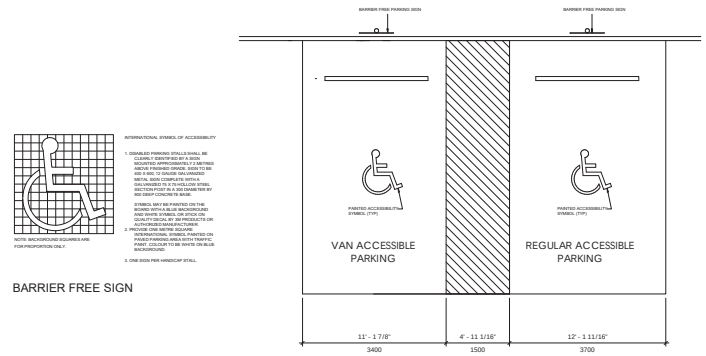


BARRIER FREE SIGN

LOADING SIGN

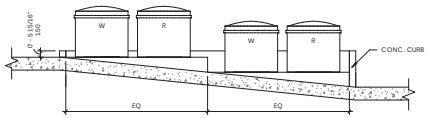
STOP SIGN

2 SITE DETAILS 01 (SIGNAGES)
3/4" = 1'-0"

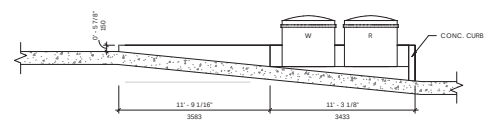


BARRIER FREE SIGN

3 BARRIER FREE PARKING STALLS
1 : 50



4 WASTE & RECYCLING AREA 1 - ELEVATION
1 : 50



5 WASTE/RECYCLING AREA 2 - ELEVATION
1 : 50

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Seal

Client

Project Title
Appaloosa Industrial Project
3196 Appaloosa Road,
Kelowna BC V1V 2G9

Drawing Title
SITE DETAILS

Drawing info	
Scale	As indicated
Date	08/23/21
Drawn	RM
Checked	AL
Partner	AL

Project Number 2021-017

Drawing Number DP101

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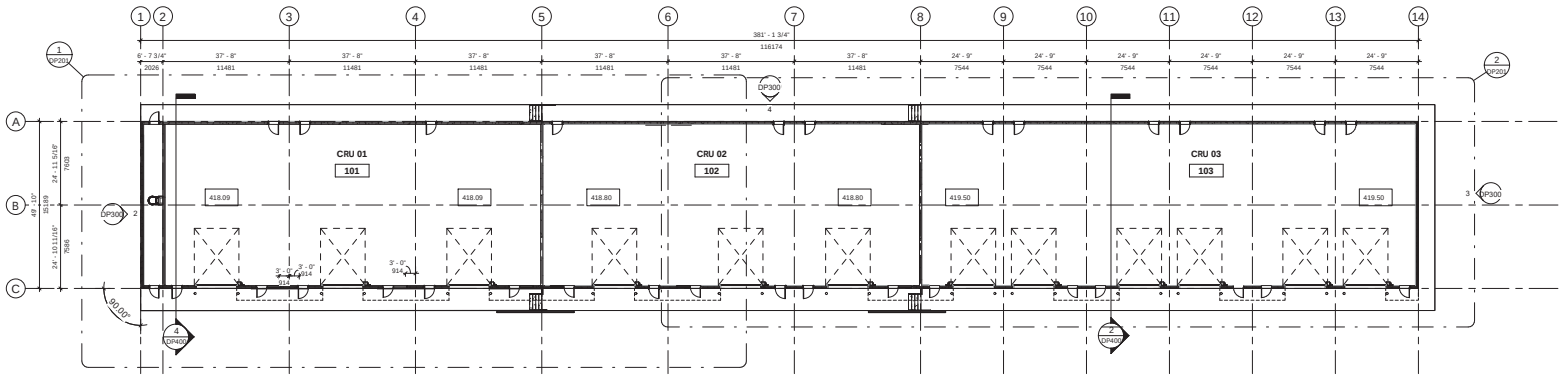
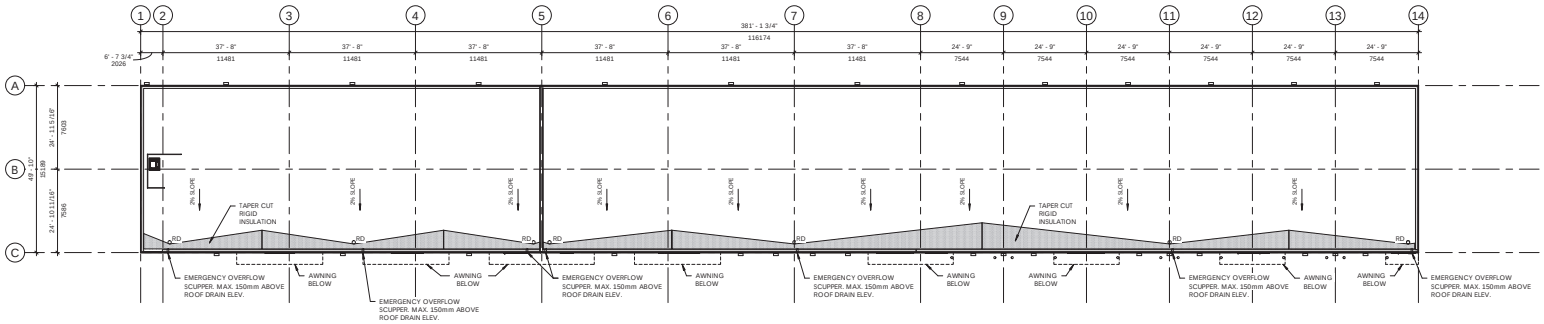


1 MAIN FLOOR PLAN
1/16" = 1'-0"



2 ROOF PLAN
1/16" = 1'-0"

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PROJECT NORTH
TRUE NORTH

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Seal

Client

Project Title
Appaloosa Industrial Project
3196 Appaloosa Road,
Kelowna BC V1V 2G9

Drawing Title
MAIN FLOOR PLAN

Drawing info		Project Number
Scale	1/16" = 1'-0"	2021-017
Date	06/18/21	Drawing Number
Drawn	MW	DP200
Checked	AL	
Partner	AL	

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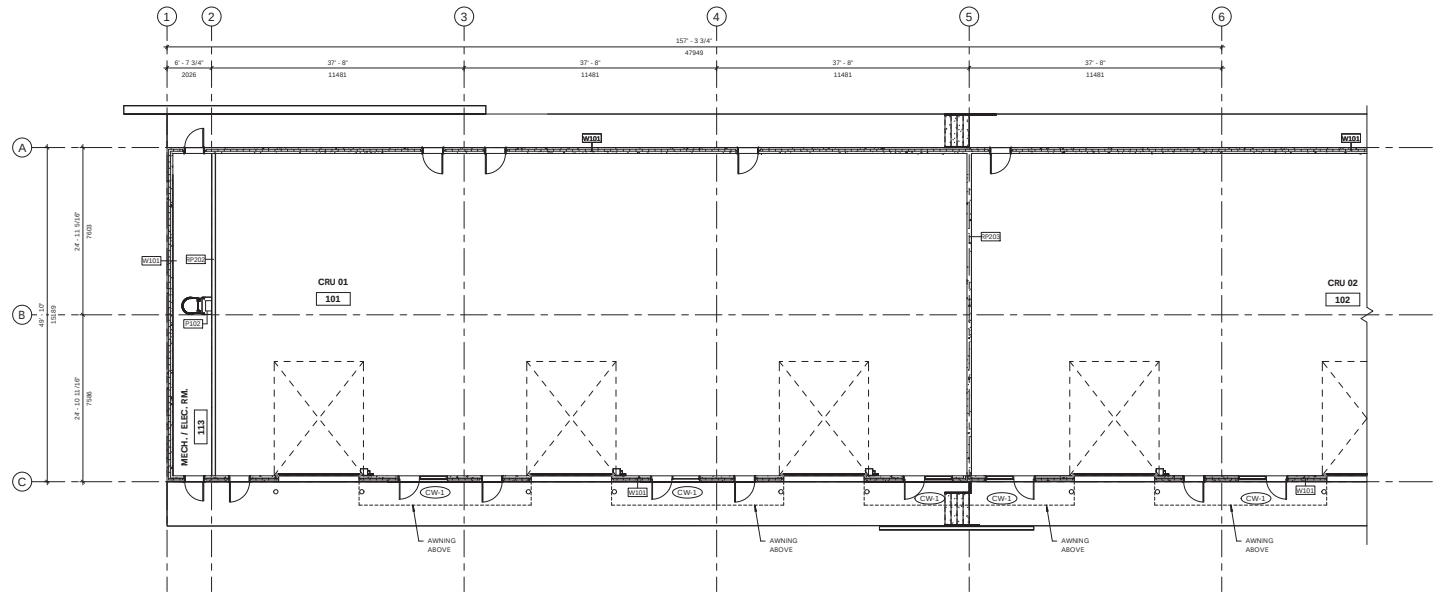
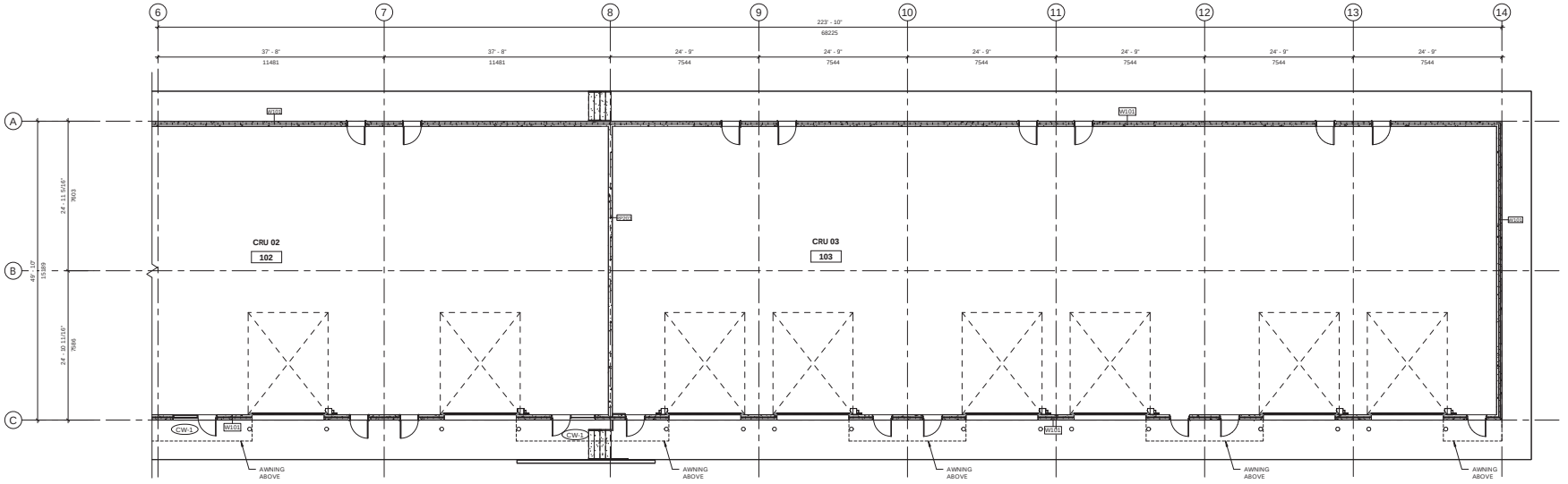


1 LARGE SCALE PLAN 01
1/8" = 1'-0"



2 LARGE SCALE PLAN 02
1/8" = 1'-0"

PARTITION SCHEDULE	
TYPE MARK	DESCRIPTION
P102	INTERIOR PARTITION (FURRING WALL) EXTEND TO U/S OF ROOF STRUCTURE FINISH AS SCHEDULED 12.7mm GYPSUM BD. 152mm STEEL STUD @ 610mm O.C. FINISH AS SCHEDULED
RP201	INTERIOR PARTITION (DEMISING WALL) 45min. FRR (ULC W453) EXTEND TO U/S OF ROOF STRUCTURE FINISH AS SCHEDULED 12.7mm GYPSUM BD. 152mm STEEL STUD @ 610mm O.C. (REFER TO STRUCTURAL FOR SPACING) MINERAL WOOL BATT INSULATION 12.7mm GYPSUM BD. FINISH AS SCHEDULED
RP202	INTERIOR PARTITION (DEMISING WALL) 1 HOUR FRR (ULC W453) EXTEND TO U/S OF ROOF STRUCTURE FINISH AS SCHEDULED 12.7mm GYPSUM BD. 152mm STEEL STUD @ 610mm O.C. (REFER TO STRUCTURAL FOR SPACING) MINERAL WOOL BATT INSULATION 12.7mm GYPSUM BD. FINISH AS SCHEDULED
RP203	INTERIOR PARTITION (LOAD BEARING) 45min. FRR (ULC U905) EXTEND TO U/S OF ROOF STRUCTURE FINISH AS SCHEDULED 203mm (8") THK. PRECAST CONC. WALL (REFER TO STRUCTURAL) FINISH AS SCHEDULED

WALL SCHEDULE	
TYPE MARK	DESCRIPTION
W101	EXTERIOR WALL (TILT UP INSULATED PANEL) MUST COMPLY WITH 2018 BC BUILDING CODE & NECB 2017 FINISH AS SCHEDULED 76mm (3") THK. CONCRETE PANEL 88mm (3.5") THK. INSULATION 102mm (4") THK. CONCRETE PANEL FINISH AS SCHEDULED

SCHEDULE A

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DP23-0013

Planner Initials TC

City of Kelowna
DEVELOPMENT PLANNING

SAHURI + associates architecture inc
Suite 201, 123 Fargo Road SE Calgary, Alberta T2H 0S9 Tel: 403.226.6007 Fax: 403.226.6099
www.sahuri.com info@sahuri.com

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PROJECT NORTH

TRUE NORTH

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2023-06-16	ISSUED FOR REVISED DP	9

Seal

Client

Project Title
Appaloosa Industrial Project
3196 Appaloosa Road,
Kelowna BC V1V 2G9

Drawing Title
LARGE SCALE PLANS

Drawing info	
Scale	1/8" = 1'-0"
Date	08/23/21
Drawn	MW
Checked	AL
Partner	AL

Project Number 2021-017

Drawing Number DP201

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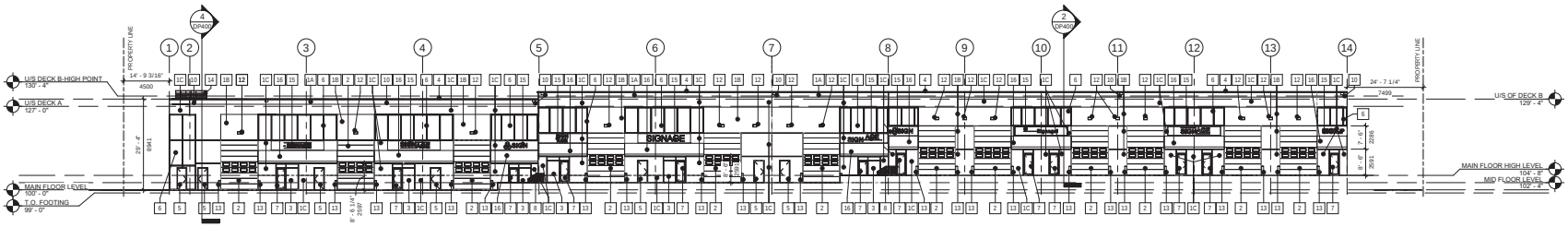
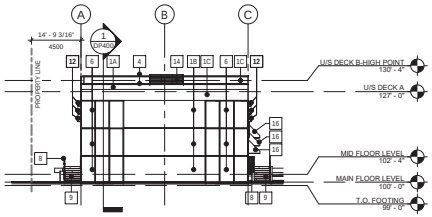
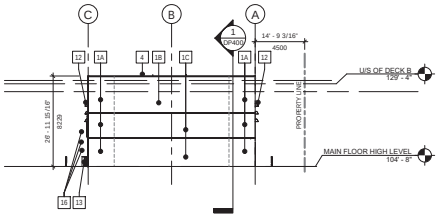


1 EXTERIOR ELEVATION 01 (EAST)
1/16" = 1'-0"

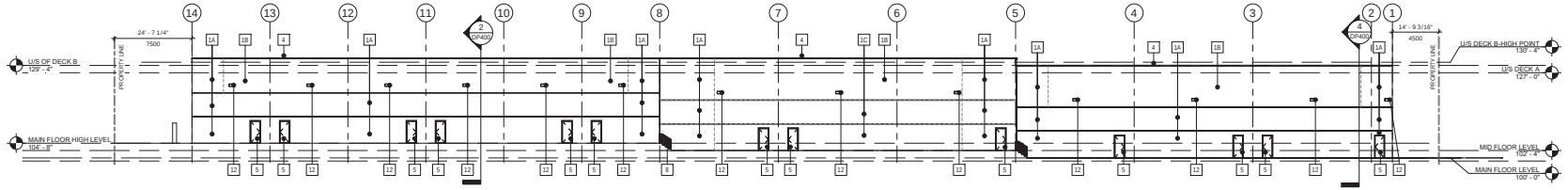


2 EXTERIOR ELEVATION 02 (SOUTH)
1/16" = 1'-0"



3 EXTERIOR ELEVATION 03 (NORTH)
1/16" = 1'-0"

ELEVATION KEYNOTE LEGEND	
1A	INSULATED CONCRETE TILT UP PANEL PAINT FINISH COLOUR: DESERT TWILIGHT (GREY)
1B	INSULATED CONCRETE TILT UP PANEL PAINT FINISH COLOUR: CHELSEA GRAY (DARK GREY)
1C	INSULATED CONCRETE TILT UP PANEL PAINT FINISH COLOUR: APRIL SHOWERS (LIGHT GREY)
2	16'-0"H x 12'-0"W OVERHEAD SECTIONAL DOOR COLOUR: CHELSEA GRAY
3	CLEAR ANODIZED THERMALLY BROKEN ALUMINUM FRAME C/W GLAZING
4	PREFINISHED METAL FLASHING COLOUR: TO MATCH ADJACENT FINISH
5	PAINTED INSULATED METAL DOOR AND FRAME COLOUR: CHELSEA GRAY
6	PREFINISHED METAL PANELS WITH METAL TRIM
7	THERMALLY BROKEN CLEAR ANODIZED ALUMINUM ENTRY DOOR IN THERMALLY BROKEN ALUMINUM FRAME
8	PAINTED METAL GUARD RAIL / HAND RAIL COLOUR: CHARCOAL
9	CONCRETE STEPS
10	PREFINISHED METAL EMERGENCY OVERFLOW SCUPPERS. MAXIMUM 6" ABOVE ROOF DRAIN ELEVATION
11	SIAMESE CONNECTION
12	WALL MOUNTED LIGHT
13	6" DIA. CONCRETE FILLED STEEL BOLLARD COLOUR: YELLOW
14	PAINTED STEEL GUARD RAIL. 43" HIGH ABOVE ROOF FINISH
15	WALL MOUNTED SIGNAGE
16	FABRIC AWNING ON METAL FRAMING



4 EXTERIOR ELEVATION 04 (WEST)
1/16" = 1'-0"

SCHEDULE B
This forms part of application
DP23-0013
Planner Initials TC
City of Kelowna
DEVELOPMENT PLANNING

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Consultants

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- All dimensions are in millimeters unless noted otherwise.

ISSUES/REVISIONS

DATE	DESCRIPTION	#
2021-09-14	ISSUED FOR CLIENT REVIEW	1
2021-12-15	ISSUED FOR DP	3
2022-12-21	ISSUED FOR DP REVISION	5
2023-01-24	ISSUED FOR DP REVISION	6
2023-05-16	ISSUED FOR REVISED DP COMMENTS	8
2023-06-16	ISSUED FOR REVISED DP	9

Seal

Client

Project Title
Appaloosa Industrial Project
3196 Appaloosa Road,
Kelowna BC V1V 2G9

Drawing Title
EXTERIOR ELEVATIONS

Drawing info		Project Number
Scale	As indicated	2021-017
Date	06/18/21	Drawing Number
Drawn	MW	DP300
Checked	AL	
Partner	AL	

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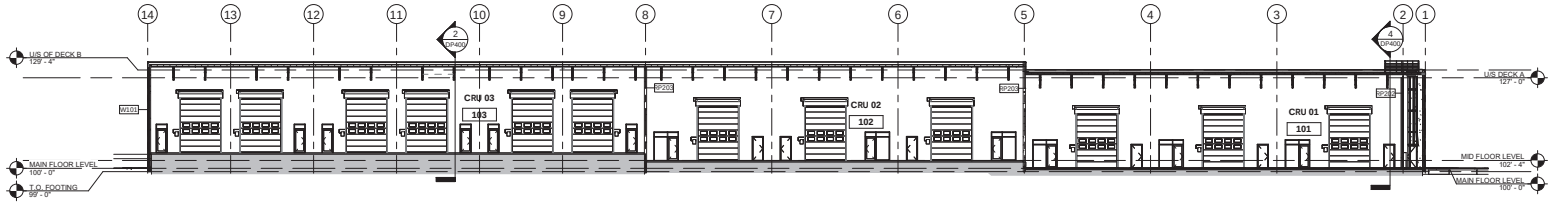
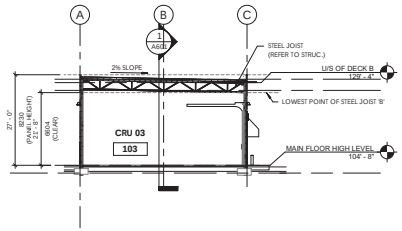
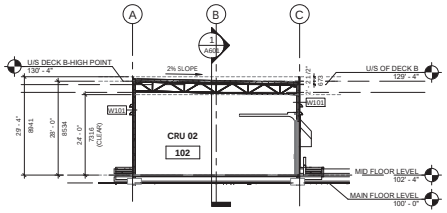


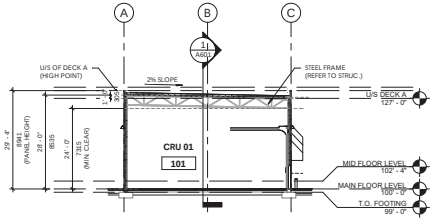
1 BUILDING SECTION 01
1/16" = 1'-0"



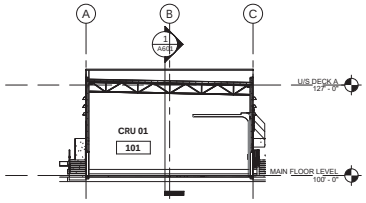
2 BUILDING SECTION 02
1/16" = 1'-0"



3 BUILDING SECTION 03
1/16" = 1'-0"



4 BUILDING SECTION 04
1/16" = 1'-0"



5 BUILDING SECTION 05
1/16" = 1'-0"

SCHEDULE B

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2023-01-24	ISSUED FOR DP REVISION	6
2023-05-16	ISSUED FOR REVISED DP COMMENTS	8
2023-06-16	ISSUED FOR REVISED DP	9

Seal

Client

Project Title
Appaloosa Industrial Project
3196 Appaloosa Road,
Kelowna BC V1V 2G9

Drawing Title
BUILDING SECTIONS

Drawing info	
Scale	1/16" = 1'-0"
Date	08/23/21
Drawn	MW
Checked	AL
Partner	AL

Project Number 2021-017

Drawing Number DP400

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SCHEDULE B

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Planner Initials TC

City of Kelowna
DEVELOPMENT PLANNING

APPALOOSA INDUSTRIAL PROJECT

Schematic Design – sketch 3D modelling

SAHURI + partners architecture INC

SCHEDULE B

This forms part of application

DP23-0013

Planner Initials TC

City of Kelowna
DEVELOPMENT PLANNING

APPALOOSA INDUSTRIAL PROJECT

Schematic Design – sketch 3D modelling

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DP23-0013

Planner Initials TC

City of Kelowna
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APPALOOSA INDUSTRIAL PROJECT

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City of Kelowna
DEVELOPMENT PLANNING

APPALOOSA INDUSTRIAL PROJECT

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Planner Initials TC

City of Kelowna
DEVELOPMENT PLANNING

APPALOOSA INDUSTRIAL PROJECT

Schematic Design – sketch 3D modelling

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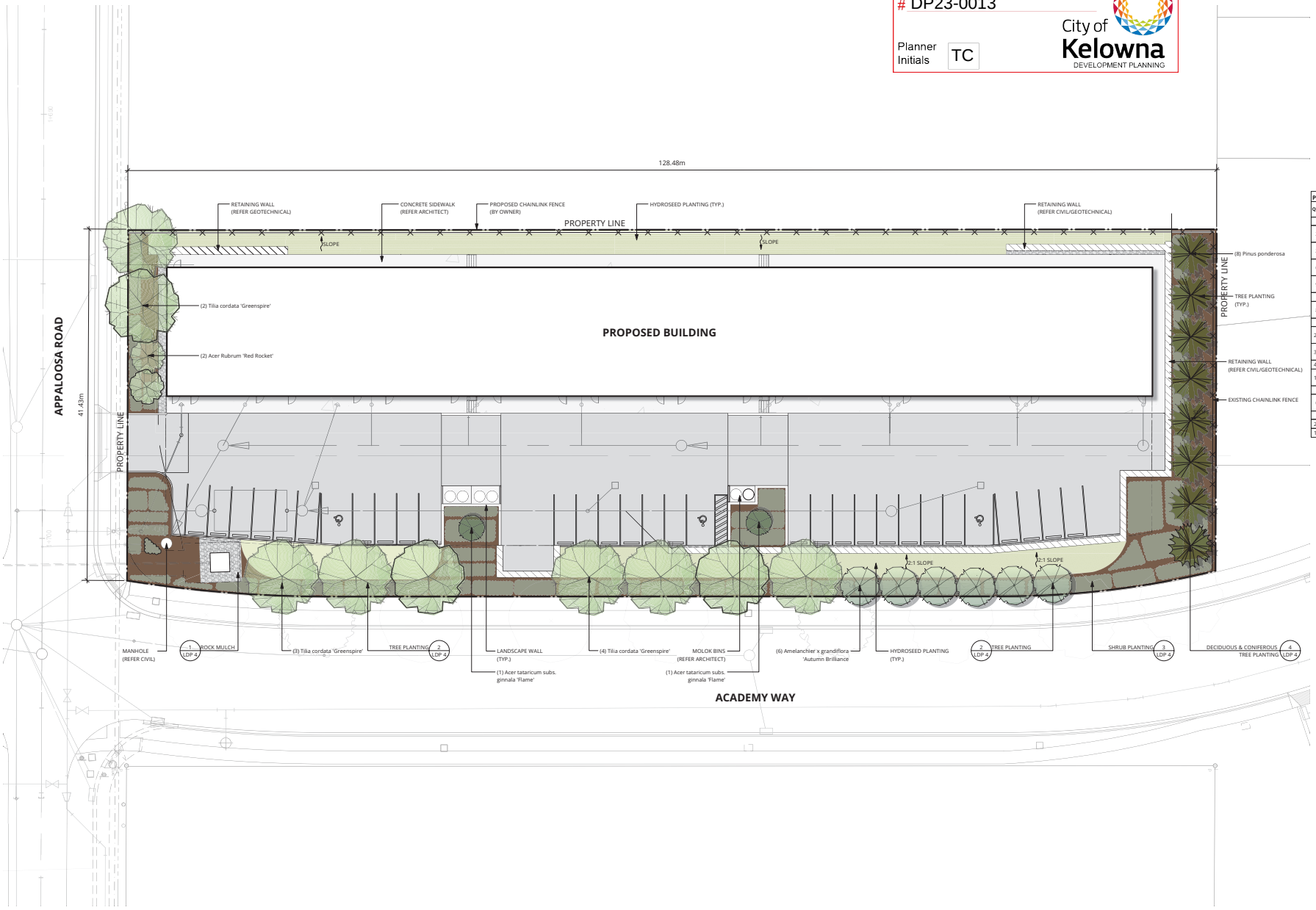
SCHEDULE C

This forms part of application

DP23-0013

Planner Initials TC

City of Kelowna
DEVELOPMENT PLANNING



LEGEND:

- PROPOSED TREES
- PROPERTY LINE
- ASPHALT PAVING (REFER CIVIL)
- CONCRETE PAVING (REFER ARCHITECT/CIVIL)
- DECORATIVE ROCK MULCH
- HYDROSEED PLANTING
- SOD PLANTING
- SHRUB PLANTING
- MOLOK BINS (REFER ARCHITECT)
- RETAINING WALL (REFER CIVIL/GEOTECHNICAL)

PLANT LIST - ON SITE

QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	Mature Plant Size (Ht.xWd.)
	Deciduous Trees				
2	*Acer tataricum subs. ginnala 'Flame'*	Amur Maple	6cm Cal	B&B	6 x 4.5m
2	*Acer rubrum 'Red Rocket'*	Red Rocket Maple	6cm Cal	B&B	7 x 4.5m
6	*Amelanchier x grandiflora 'Autumn Brilliance'*	Serviceberry	5cm Cal	B&B	4.5 x 4.5m
9	*Tilia cordata 'Greenspire'*	Greenspire® Linden	6cm Cal	B&B	20 x 10m
	Coniferous Trees				
8	*Pinus ponderosa*	Ponderosa Pine	250cm Cal	B&B	25-30 x 9m
	Shrubs				
28	*Berberis x 'Tara'*	Emerald Carousel Barberry	#02	Potted	1.5 x 1.5m
35	*Cornus alba 'Elegantissima'*	Silver Leaf Dogwood	#02	Potted	2 x 1.5m
41	*Rhus aromatica 'Gro-Low'*	Fragrant Sumac	#02	Potted	1 x 1.8m
19	*Syringa pubescens subsp. patula 'Miss Kim'*	Miss Kim Korean Lilac	#02	Potted	1.8 x 1.5m
	Ornamental Grasses				
6	*Calamagrostis x acutiflora 'Karl Foerster'*	Feather Reed Grass	#01	Potted	1.5 x 1.2m
	Perennials				
25	*Aster frikartii 'Monch'*	Frikart's Aster	#01	Potted	0.9 x 0.9m
16	*Rudbeckia fulgida 'Goldsturm'*	Black Eyed Susan	#01	Potted	0.75 x 0.6m

NOTES:

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2. ALL PLANT MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO THE MINIMUM STANDARDS SET OUT IN THE CANADIAN LANDSCAPE STANDARD (CURRENT EDITION).
3. ALL PLANTING BEDS SHALL HAVE AN APPROVED MULCH.
4. ALL LANDSCAPE AREAS ARE TO BE IRRIGATED WITH AN EFFICIENT AUTOMATIC IRRIGATION SYSTEM.
5. SOIL DEPTH TO BE AS FOLLOWS:
   LAWN AREAS 150mm MIN. DEPTH
   SHRUB AREAS 300mm MIN. DEPTH
   TREES 1000mm MIN. DEPTH

ctq ENGINEERING LANDSCAPE ARCHITECTURE URBAN PLANNING

APPALOOSA INDUSTRIAL PROJECT

WATERMARK DEVELOPMENT LTD.

SEAL

NORTH

SCALE : 1 : 200

ISSUED FOR :

NO.	DESCRIPTION	DATE
1	RE-ISSUED FOR DEVELOPMENT PERMIT	2023-05-19
0	ISSUED FOR DEVELOPMENT PERMIT	2022-12-22

LANDSCAPE PLAN - ON SITE

LDP 1

PROJECT NO. : 20026 DATE :2022-12-20

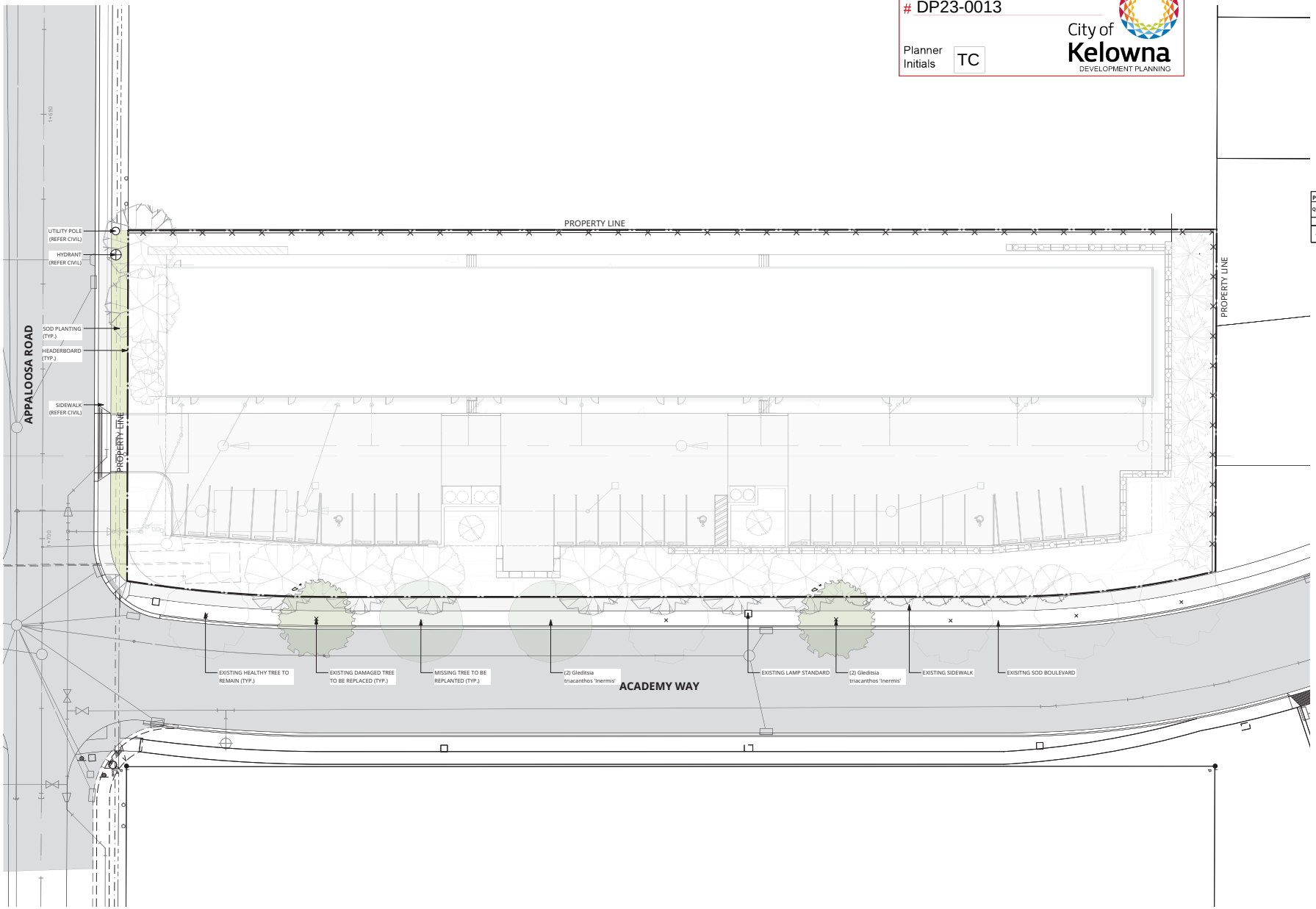
SCHEDULE C

This forms part of application

DP23-0013

Planner Initials TC

City of Kelowna
DEVELOPMENT PLANNING



LEGEND:

- EXISTING HEALTHY TREES TO REMAIN (5 QTY.)
- EXISTING DAMAGED TREE TO BE REPLACED (2 QTY.)
- MISSING TREE TO BE REPLANTED (2 QTY.)
- PROPERTY LINE
- ASPHALT PAVING (REFER CIVIL)
- CONCRETE PAVING (REFER ARCHITECT/CIVIL)
- SOD PLANTING

PLANT LIST - OFF SITE

QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	Mature Plant Size (Ht.xWd.)
	Deciduous Trees				
4	*Gleditsia triacanthos 'Inermis'*	Thornless Honeylocust	6cm Cal	B&B	10 x 12m

PER CITY OF KELOWNA MEMORANDUM FILE NO: DP 23-0013 DATE: MARCH 1, 2023

6. ROADWAY AND STREETSCAPE
   c) ACADEMY WAY LANDSCAPED BOULEVARD EXISTS BUT IS IN POOR CONDITION. MISSING OR DEAD TREES REQUIRING REPLACEMENT ARE NOTED ON THE DRAWING. IRRIGATION UPGRADES MAY BE REQUIRED TO PROVIDE DRIP RING IRRIGATION TO ALL 9 (EXISTING & REPLACEMENT) BOULEVARD TREES. CONDITION OF IRRIGATION TO BE DETERMINED AT TIME OF CONSTRUCTION.

NOTES:

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3. ALL PLANTING BEDS SHALL HAVE AN APPROVED MULCH.
4. ALL LANDSCAPE AREAS ARE TO BE IRRIGATED WITH AN EFFICIENT AUTOMATIC IRRIGATION SYSTEM.
5. SOIL DEPTH TO BE AS FOLLOWS:
   LAWN AREAS 150mm MIN. DEPTH
   TREES 1000mm MIN. DEPTH

ctq ENGINEERING LANDSCAPE ARCHITECTURE URBAN PLANNING

APPALOOSA INDUSTRIAL PROJECT

WATERMARK DEVELOPMENT LTD.

SEAL

NORTH

SCALE : 1 : 200

ISSUED FOR :

NO.	DESCRIPTION	DATE
1	RE-ISSUED FOR DEVELOPMENT PERMIT	2023-05-19
0	ISSUED FOR DEVELOPMENT PERMIT	2022-12-22

LANDSCAPE PLAN - OFF SITE

LDP 2

PROJECT NO. : 20026 DATE :2022-12-20

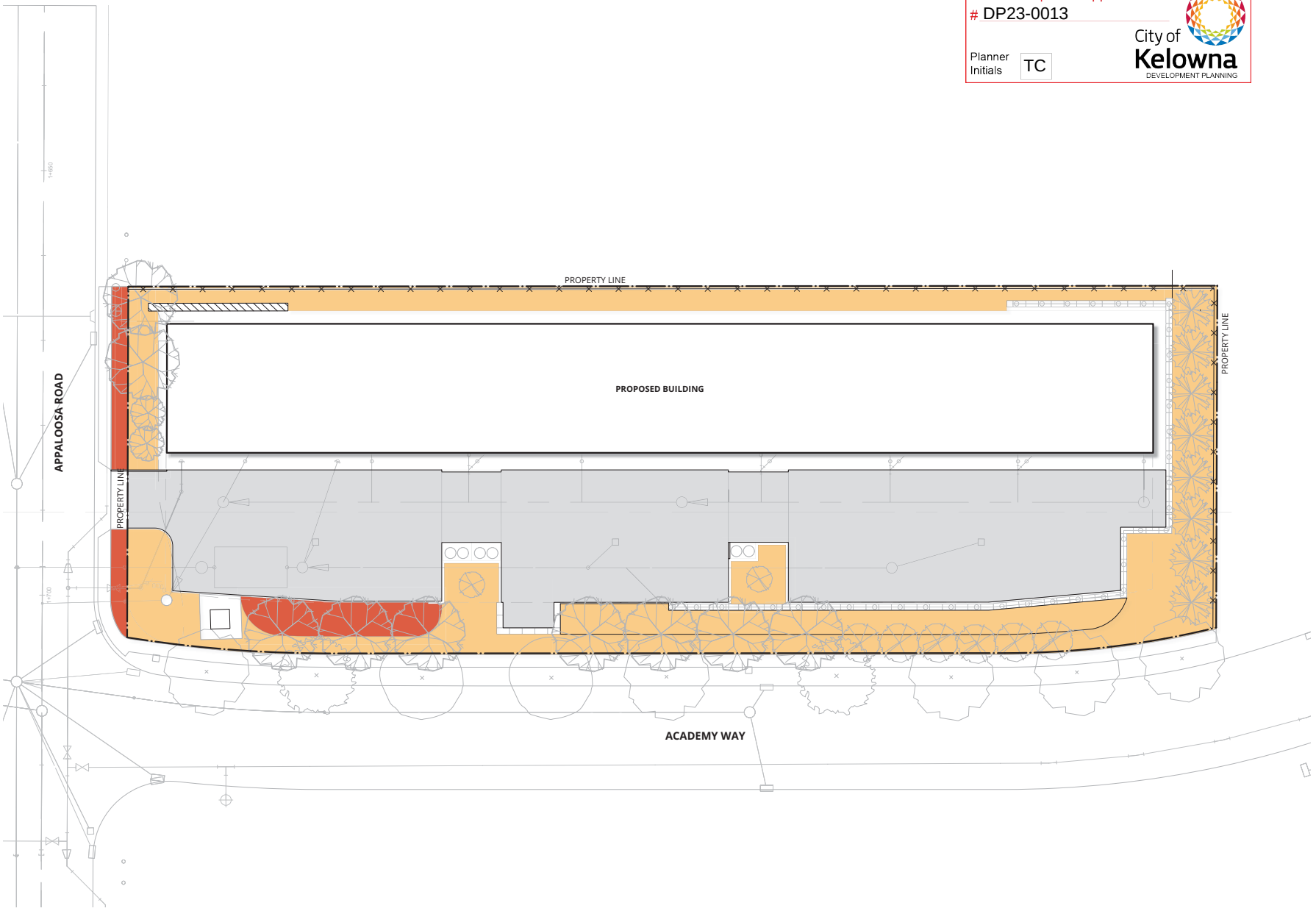
SCHEDULE C

This forms part of application

DP23-0013

Planner Initials TC

City of Kelowna
DEVELOPMENT PLANNING



LEGEND:

- MEDIUM WATER REQUIREMENTS SHRUBS
- HIGH WATER REQUIREMENTS SOD

PER CITY OF KELOWNA MEMORANDUM FILE NO: DP 23-0013 DATE: MARCH 1, 2023

6. ROADWAY AND STREETSCAPE
   c) ACADEMY WAY LANDSCAPED BOULEVARD EXISTS BUT IS IN POOR CONDITION. MISSING OR DEAD TREES REQUIRING REPLACEMENT ARE NOTED ON THE DRAWING. IRRIGATION UPGRADES MAY BE REQUIRED TO PROVIDE DRIP RING IRRIGATION TO ALL 9 (EXISTING & REPLACEMENT) BOULEVARD TREES. CONDITION OF IRRIGATION TO BE DETERMINED AT TIME OF CONSTRUCTION.

NOTES:

1. THIS DRAWING DEPICTS FORM AND CHARACTER AND IS TO BE USED FOR DEVELOPMENT PERMIT SUBMISSION ONLY. IT IS NOT INTENDED FOR USE AS A CONSTRUCTION DOCUMENT.
2. THE LANDSCAPE DESIGN INDICATEDHEREIN IS CONCEPTUAL; HOWEVER, IT REFLECTS THE MINIMUM ACCEPTABLE QUALITY AND SIZE.
3. ALL PLANT MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO THE MINIMUM STANDARDS SET OUT IN THE CANADIAN LANDSCAPE STANDARD (CURRENT EDITION).
4. PLANT MATERIAL SELECTIONS INDICATED HEREIN ARE CONCEPTUAL ONLY. FINAL PLANTING SELECTIONS MAY VARY DEPENDING UPON AVAILABILITY.
5. ALL PLANTING BEDS SHALL HAVE AN APPROVED MULCH.
6. ALL LANDSCAPE AREAS ARE TO BE IRRIGATED WITH AN EFFICIENT AUTOMATIC IRRIGATION SYSTEM.

ctq ENGINEERING
LANDSCAPE ARCHITECTURE
URBAN PLANNING

APPALOOSA INDUSTRIAL PROJECT

WATERMARK DEVELOPMENT LTD.

SEAL

NORTH

SCALE : 1 : 200

ISSUED FOR :

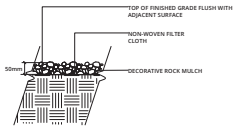
NO.	DESCRIPTION	DATE
1	RE-ISSUED FOR DEVELOPMENT PERMIT	2023-05-19
0	ISSUED FOR DEVELOPMENT PERMIT	2022-12-22

LANDSCAPE PLAN - WATER CONSERVATION

LDP 3

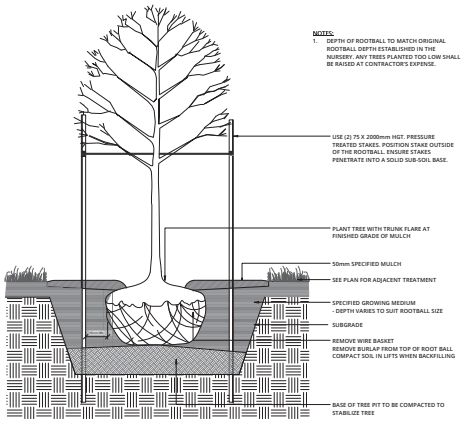
PROJECT NO. : 20026 DATE :2022-12-20

NOTES:
1. ROCK MULCH TO BE LOCALLY SOURCED OR APPROVED EQUAL.



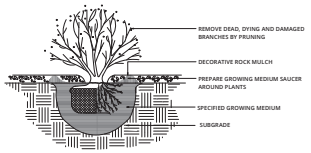
1 LDP 2 DECORATIVE ROCK MULCH 1:20

NOTES:
1. DEPTH OF ROOTBALL TO MATCH ORIGINAL ROOTBALL DEPTH ESTABLISHED IN THE NURSERY. ANY TREES PLANTED TOO LOW SHALL BE RAISED AT CONTRACTOR'S EXPENSE.



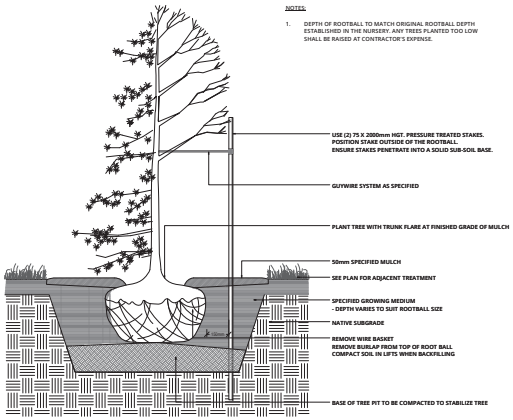
2 LDP 2 TREE PLANTING 1:20

NOTES:
1. REMOVE CONTAINER WITHOUT DISTURBING THE ROOT SYSTEM OF THE PLANT.
2. CONTRACTOR TO ALLOW FOR SETTLEMENT WHEN PLANTING.



3 LDP 2 SHRUB PLANTING 1:20

NOTES:
1. DEPTH OF ROOTBALL TO MATCH ORIGINAL ROOTBALL DEPTH ESTABLISHED IN THE NURSERY. ANY TREES PLANTED TOO LOW SHALL BE RAISED AT CONTRACTOR'S EXPENSE.



4 LDP 2 DECIDUOUS & CONIFEROUS TREE PLANTING 1:20

SCHEDULE C

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DP23-0013

Planner Initials TC

City of Kelowna
DEVELOPMENT PLANNING

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APPALOOSA INDUSTRIAL PROJECT

WATERMARK DEVELOPMENT LTD.

SEAL

SCALE : 1 : 20

ISSUED FOR :

NO.	DESCRIPTION	DATE
1	RE-ISSUED FOR DEVELOPMENT PERMIT	2023-05-19
0	ISSUED FOR DEVELOPMENT PERMIT	2022-12-22

LANDSCAPE DETAILS

LDP 4

PROJECT NO. : 20026 DATE :2022-12-20

FORM & CHARACTER – DEVELOPMENT PERMIT GUIDELINES

Consideration has been given to the following guidelines as identified in Chapter 18 of the City of Kelowna 2040 Official Community Plan:

SECTION 6.0: RETAIL, COMMERCIAL AND INDUSTRIAL						
RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE *(1 is least complying & 5 is highly complying)*	**N/A**	**1**	**2**	**3**	**4**	**5**
6.1 General Guidelines						
6.1.1 Relationship to the Street	**N/A**	**1**	**2**	**3**	**4**	**5**
a. Orient the long side of each building to be parallel to the public street.						✓
b. Locate entries to be visible and directly accessible from the public street.					✓	
c. For buildings fronting highways, entries can be located away from the street, as long as there is a direct pedestrian connection to the site.	✓					
d. Avoid blank walls adjacent to the highway, streets, walkways, parks, or other amenity spaces.						✓
6.1.2 Site Planning and Landscaping	**N/A**	**1**	**2**	**3**	**4**	**5**
a. Locate buildings to ensure good sight lines for vehicular and pedestrian traffic.						✓
b. Provide direct, safe, continuous, and clearly defined pedestrian access from public sidewalks, parking areas, and transit stops to building entrances.						✓
c. Use large canopy trees to define the public realm (e.g. at the sidewalk and property edge facing the street)				✓		
d. Distribute trees and landscaping throughout the site in order to: • Soften property edges facing the street; • Define internal roads, pedestrian routes, and open spaces; • Create pleasant pedestrian conditions; • Screen parking, loading, service, and utility areas; • Manage stormwater on-site; and • Break up large rows of parking by substituting a parking stall with a canopy tree in planter every 8-10 parking stalls;					✓	
e. Use permeable materials such as paving blocks or permeable concrete in parking areas to maximize rainwater infiltration.		✓				
f. Pedestrian pathways should provide clear sight lines and connect the following: • Parking areas to building entrances; • Main building entrances to public sidewalks (where applicable); • Main building entrances to transit stopes (where applicable); • Between buildings on adjacent lots.						✓
g. Provide separation between vehicular routes (especially truck access/loading) and pedestrian routes on-site to avoid conflict and						✓

ATTACHMENT B
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City of Kelowna
DEVELOPMENT PLANNING

distinguish pedestrian routes from driving surfaces by using varied paving treatments and/or raising walkways to curb level.						
h. Base new development on an internal circulation pattern that allows logical movement throughout the site and that will accommodate, and not preclude, intensification over time.						✓
6.1.3 Site Servicing, Access, and Parking	**N/A**	**1**	**2**	**3**	**4**	**5**
a. Design site accesses to provide the potential for future shared access with neighbours and to minimize curb cuts.	✓					
b. Where practical, link access drives and parking lots of adjacent properties in order to allow for circulation of vehicles between sites.	✓					
c. The preferred location for main parking areas is at the rear and/or side of the building. Avoid locating large parking areas between the building and the street.				✓		
d. Where parking areas are visible from the street, screen them using strategies such as tree planting, berming, low walls, decorative fencing and/or hedging.						✓
e. Break parking areas into smaller blocks defined by landscaping in order to minimize the amount of paved areas.						✓
f. Locate loading, utilities, mechanical equipment and garbage collection areas away from public view by: • Integrating these facilities into the footprint of the building; or • Screening using fencing, walls, and/or landscaping					✓	
6.1.4 Building Articulation, Features, and Materials	**N/A**	**1**	**2**	**3**	**4**	**5**
a. Avoid facing unarticulated facades to the street and use projections, recesses, arcades, awnings, color, and texture to improve the pedestrian experience						✓
b. Design primary entrances to face the street, exhibit design emphasis, and provide weather protection by means of canopy or recessed entry.				✓		
c. Design buildings such that their form and architectural character reflect the building's internal function and use (e.g. an industrial building, a large format retail mall).						✓
d. Design signage as an integral element of the building's façade and to be compatible in scale and design with the design, color and material of the building.						✓
e. Allow for brand identification where there are multiple buildings and uses on a site, but avoid individual corporate image, color, and signage back-lit signs from dominating the site.						✓
f. Locate, size and design ground-mounted signs to be oriented to pedestrians as opposed to vehicles.						✓
g. Provide shielded, down lighting to provide security and ambient lighting while minimizing light pollution and spill over lighting into adjacent properties.						✓
h. Provide weather protection at building entrances close to transit stops, and in areas with pedestrian amenities.				✓		

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City of Kelowna
DEVELOPMENT PLANNING

i. Incorporate substantial, natural building materials such as masonry, stone, and wood into building facades.			✓			
j. Use an integrated, consistent range of materials and colors and provide variety by, for example, using accent colors.				✓		
6.4 Industrial and Service Commercial						
6.4.1 Relationship to the Street	**N/A**	**1**	**2**	**3**	**4**	**5**
a. Design primary entries to be clearly visible and accessible from the street.						✓
b. Site the building's primary façade parallel to the street and close to the minimum setback to establish a defined street edge.						✓
c. Include glazing, as a major component of street facing facades.						✓
d. Maintain and enhance street edge definition by preserving or incorporating street trees.						✓
e. Locate the office, reception, or sales component of the building closer to the street than the plant or warehouse component.	✓					
f. Do not locate service doors (e.g., an overhead loading door) facing the street.				✓		
6.4.2 Site Planning and Landscaping	**N/A**	**1**	**2**	**3**	**4**	**5**
a. Pedestrian pathways should provide clear sight lines and connect the building to outdoor amenity spaces.						✓
b. Consider providing landscaped green roofs to manage runoff, add visual appeal, improve energy efficiency, reduce heat island effect, and provide amenity value.		✓				
6.4.3 Site Servicing, Access, and Parking	**N/A**	**1**	**2**	**3**	**4**	**5**
a. The preferred location for main parking areas is at the rear and/or side of the building.					✓	
b. Avoid locating large parking areas between the building and street. A single loaded row of visitor parking and passenger drop-off areas may be located between the building and the street.				✓		
c. Where parking areas are visible from the street, screen it using strategies such as tree planting, berming, low walls, decorative fencing and/or hedging.						✓
d. Break parking areas into smaller blocks defined by landscaping in order to minimize the amount of paved areas.						✓
e. Locate outdoor storage areas within rear yards and/or interior side yards and screened from street view.	✓					
6.4.4 Building Articulation, Features and Materials	**N/A**	**1**	**2**	**3**	**4**	**5**
a. Avoid facing unarticulated facades to the street and use projections, recesses, plantings, awnings, color and texture to reduce the visual size of any unglazed walls.					✓	
b. Use different exterior materials to distinguish between the plant/warehouse component of a building from the office/sales component.	✓					

ATTACHMENT B
This forms part of application
DP23-0013
Planner Initials TC
City of Kelowna
DEVELOPMENT PLANNING