

BL10566, BL10674, BL11457, BL10974, BL11854 & BL11912 amended SCHEDULE "B":

**SCHEDULE "B"**  
**Revitalization Tax Exemption Agreement**

THIS AGREEMENT dated for reference the \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ is

**BETWEEN:**

1017476 BC Ltd.  
1700 – 1631 Dickson Avenue  
Kelowna, BC  
V1Y 0B5  
(the "Owner")

**AND:**

**CITY OF KELOWNA**  
1435 Water Street,  
Kelowna, B.C.  
V1Y 1J4  
  
(the "City")

**GIVEN THAT:**

- A. The Owner is the registered owner in fee simple of lands in the City of Kelowna at *1710 Richter Street, Kelowna, BC*, legally described as *Lot 1 District Lot 139 Osoyoos Division Yale District Plan KAP92715 Except Part in Plan EPP113155* (the "Parcel");
- B. Council has established a revitalization tax exemption program and has included within the City of Kelowna Revitalization Tax Exemption Program Bylaw No. 9561 the designation of areas which include the Parcel as a revitalization area; and
- C. The Owner proposes to construct new improvements on the Parcel as described in Appendix "A" attached to and forming part of this agreement (the "Project") and has applied to the City to take part in the revitalization tax exemption program in respect of the Project and the City has agreed to accept the Project under the program;

THIS AGREEMENT is evidence that in consideration of the promises exchanged below, the Owner and the City covenant and agree each with the other as follows:

1. **The Project** – the Owner will use its best efforts to ensure that the Project is constructed, maintained, operated and used in a fashion that will be consistent with and will foster the objectives of the revitalization tax exemption program, as outlined in the City of Kelowna Revitalization Tax Exemption Program Bylaw No. 9561. Without limiting the generality of the foregoing, the Owner covenants to use its best efforts to ensure that the Project will:
  - a. Comprise Building 'A' of the Central Green Development, which includes a 6 storey apartment building containing 4,149m<sup>2</sup> of residential space in 82 apartments, and ground floor commercial space of 398m<sup>2</sup>.

2. **Operation and Maintenance of the Project** – throughout the term of this agreement, the Owner shall operate, repair and maintain the Project and will keep the Project in a state of good repair as a prudent owner would do.
3. **Revitalization Amount** – In this agreement, “**Revitalization Amount**” means the municipal portion of property tax calculated in relation to the increase in the assessed value of improvements on the Parcel resulting from the construction of the Project as described in section 1;
4. **Revitalization Tax Exemption** – subject to fulfilment of the conditions set out in this agreement and in “City of Kelowna Revitalization Tax Exemption Program Bylaw No. 9561”, the City shall issue a revitalization tax exemption certificate (the “Tax Exemption Certificate”) to the British Columbia Assessment Authority entitling the Owner to a property tax exemption in respect of the property taxes due (not including local service taxes) in relation to the Revitalization Amount on the Parcel (the “Tax Exemption”) for the calendar year(s) set out in the Tax Exemption Certificate .
5. **Conditions** – the following conditions shall be fulfilled before the City will issue a Tax Exemption Certificate to the Owner in respect of the Project:
  - a. The Owner must complete or cause to be completed construction of the Project in a good and workmanlike fashion and in strict compliance with the building permit and the plans and specifications attached hereto as Appendix “A”;
  - b. The completed Project must substantially satisfy the performance criteria set out in Appendix “B” hereto, as determined by the City’s Development Planning Manager or designate, in their sole discretion, acting reasonably; and
  - c. The Owner must submit a copy of the Occupancy Permit and Title Certificate to the City of Kelowna’s Revenue Branch within 48 months from the date the Agreement is executed by Council.
6. **Calculation of Revitalization Tax Exemption** – the amount of the Tax Exemption shall be equal to:
  - a) For Purpose-Built Rental Housing Projects within the Core Area, Glenmore Valley Village Centre and University South Village Centre as defined by the OCP, 100% of the Revitalization Amount on the parcel, for projects that are subject to a Housing Agreement (for a minimum of 10 years) and where the proposed project is in compliance with the OCP Future Land Use designation at the time of Revitalization Tax Exemption application.
7. **Term of Tax Exemption** – provided the requirements of this agreement, and of the City of Kelowna Revitalization Tax Exemption Program Bylaw No. 9561, are met the Tax Exemption shall be for 10 years after the BC Assessment Authority validates the Tax Exemption Certificate issued by the City of Kelowna’s Revenue Branch.,
8. **Compliance with Laws** – the Owner shall construct the Project and, at all times during the term of the Tax Exemption or any renewal term, use and occupy the Parcel and the Project in compliance with all statutes, laws, regulations and orders of any authority having jurisdiction and, without limiting the generality of the foregoing, all federal, provincial, or municipal laws or statutes or bylaws, including all the rules regulations policies guidelines criteria or the like made under or pursuant to any such laws.
9. **Effect of Stratification** – if the Owner stratifies the Parcel under the Strata Property Act, then the Tax Exemption shall be prorated among the strata lots in accordance with the unit entitlement of each strata lot for:

- a. the current and each subsequent tax year during the currency of this agreement if the strata plan is accepted for registration at the Land Title Office before May 1; or
- b. for the next calendar year and each subsequent tax year during the currency of this agreement if the strata plan is accepted for registration at the Land Title Office after May 1;

so long as, if the Project is the subject of an operating agreement between the Owner and the Provincial Rental Housing Corporation, the Owner is in compliance with the operating agreement. The Owner agrees to provide written confirmation to the City regarding the Owner's compliance with the said operating agreement, satisfactory to the City, upon the City's reasonable inquiry.

10. **Termination of the agreement** - the revitalization tax exemption agreement will be valid for 48 months from the date the agreement is executed by Council. If the conditions for issuance of a Tax Exemption Certificate have not been met during this term, the owner may request a renewal term to this agreement or the agreement will be terminated.
11. **Cancellation** – the City may in its sole discretion cancel the Tax Exemption Certificate at any time:
  - a. on the written request of the Owner; or
  - b. effective immediately upon delivery of a notice of cancellation to the Owner if at any time any of the conditions in the Tax Exemption Certificate are not met.
  - c. If the Owner is subject to an operating agreement with the Provincial Rental Housing Corporation and is not in compliance with the operating agreement.

If such cancellation occurs, the Owner of the Parcel for which the Tax Exemption Certificate was issued will remit to the City an amount equal to the value of any Tax Exemption received after the cancellation of the Tax Exemption Certificate.

12. **No Refund** – for greater certainty, under no circumstances will the Owner be entitled under the City's revitalization tax exemption program to any cash credit, any carry forward tax exemption credit or any refund for any property taxes paid.
13. **Notices** – any notice or other writing required or permitted to be given hereunder or for the purposes hereof to any party shall be sufficiently given if delivered by hand or posted on the Parcel, or if sent by prepaid registered mail (Express Post) or if transmitted by facsimile to such party:
  - a. in the case of a notice to the City, at:

THE CITY OF KELOWNA  
1435 Water Street,  
Kelowna, B.C.  
V1Y 1J4

Attention: Policy & Planning and Revenue Departments

- b. in the case of a notice to the Owner, at:

Attention: Dave Henwood, CFO Stober Group  
Phone: 250-763-2305  
Email: dhenwood@stobergroup.com

Or at such other address as the party to whom such notice or other writing is to be given shall have last notified the party giving the same.

14. **No Assignment** – the Owner shall not assign its interest in this agreement except to a subsequent owner in fee simple of the Parcel.
15. **Severance** – if any portion of this agreement is held invalid by a court of competent jurisdiction, the invalid portion shall be severed and the decision that it is invalid shall not affect the validity of the remainder of this agreement.
16. **Interpretation** – wherever the singular or masculine is used in this agreement, the same shall be construed as meaning the plural, the feminine or body corporate where the context or the parties thereto so require.
17. **Further Assurances** – the parties hereto shall execute and do all such further deeds, acts, things and assurances that may be reasonably required to carry out the intent of this agreement.
18. **Waiver** – waiver by the City of a default by the Owner shall be in writing and shall not be deemed to be a waiver of any subsequent or other default.
19. **Powers Preserved** – this agreement does not:
  - a. Affect or limit the discretion, rights or powers of the City under any enactment or at common law, including in relation to the use or subdivision of the Parcel;
  - b. Affect or limit any enactment relating to the use or subdivision of the Parcel; or
  - c. Relieve the Owner from complying with any enactment, including in relation to the use or subdivision of the Parcel and without limitation shall not confer directly or indirectly any exemption or right of set-off from development cost charges, connection charges, application fees, user fees or other rates, levies or charges payable under any bylaw of the City.
20. **Reference** – every reference to each party is deemed to include the heirs, executors, administrators, personal representatives, successors, assigns, servants, employees, agents, contractors, officers, licensees and invitees of such party, wherever the context so requires or allows.
21. **Enurement** – this agreement shall ensure to the benefit of and be binding upon the parties hereto and their respective successors and permitted assigns.
22. Any construction of a new improvement or alteration of an existing improvement as of this bylaw undertaken prior to the application for a Revitalization Tax Exemption will not be eligible for consideration
23. The maximum Revitalization Tax Exemption authorized under this Bylaw must not exceed the Revitalization Amount on the Property between:
  - a. the calendar year before the construction or alteration began, as outlined under Section 1 of this agreement; and
  - a. the calendar year in which the construction or alteration, as outlined under Section 1 of this agreement, is completed.
24. The Property's assessed value of improvements must not be reduced below the amount assessed in the calendar year prior to construction or alteration, as a result of the Revitalization Tax Exemption.

IN WITNESS WHEREOF the parties hereto have executed this agreement as of the day and year first above written.

Executed by the CITY OF KELOWNA by  
Its authorized signatories:

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
City Clerk

Executed by 1017476 BC Ltd. by its Authorized signatories:

\_\_\_\_\_  
Name:

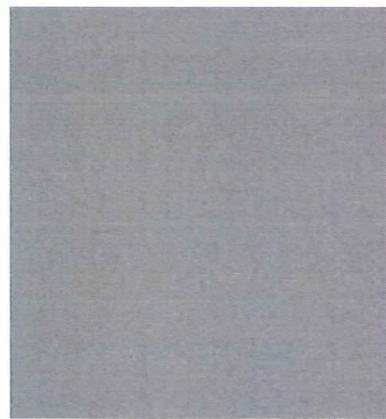
*Carolyn Stobix*

\_\_\_\_\_  
Name:

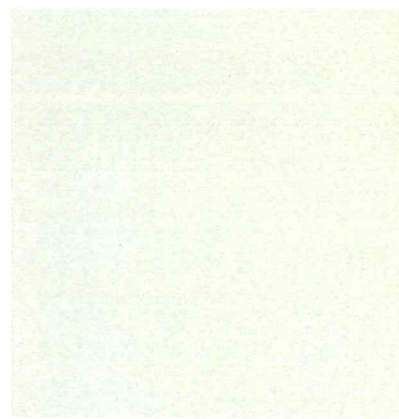
Appendix "A": Plans and Specifications  
Appendix "B": Housing Agreement



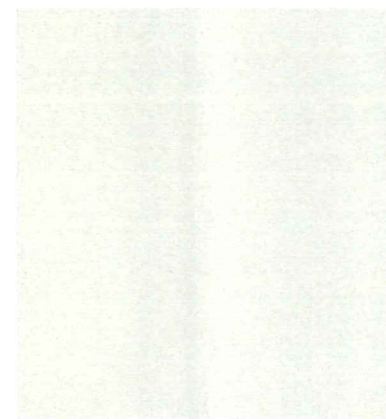




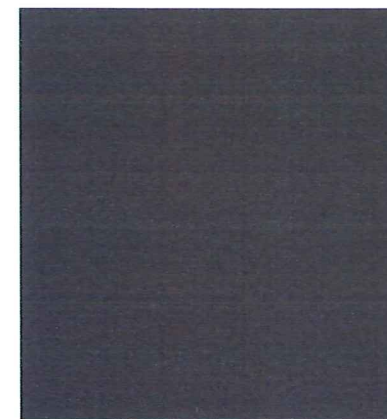
cementitious panel-pearl grey



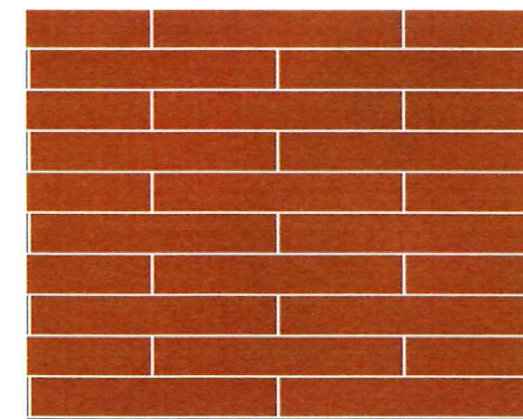
Stucco - BM Titanum



cementitious panel-white



cementitious panel-dark grey



brick (englishpub)

**SCHEDULE A & B**  
 This forms part of application # DP19-0217  
 City of Kelowna  
 DEVELOPMENT PLANNING  
 Planner Initials AC



## FLOOR AREAS - BLDG A

NFA CRU		
	±sf	±sm
CRU - 1	1,612	150
CRU - 2	2,675	249
<b>Subtotal</b>	<b>4,287</b>	<b>398</b>

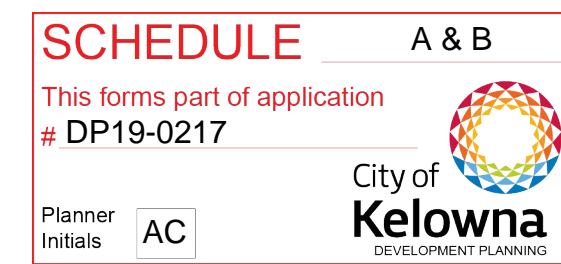
NFA RESIDENTIAL					
UNIT TYPES	UNIT ±sf	UNIT ±sm	UNIT COUNT	TOTAL ±sm	
1 B	A	588	54.6	15	819
1 B	A1	609	56.6	0	0
STUDIO	A2	488	45.3	0	0
STUDIO	A3	397	36.9	0	0
1 B	A4	580	53.9	0	0
MICRO	A5	312	29.0	20	580
1 B	A6	684	63.5	0	0
MICRO	A7	320	29.7	0	0
1 B	A8	561	52.1	0	0
STUDIO	A9	433	40.2	4	161
STUDIO	A10	465	43.2	15	648
1 B	A11	525	48.8	4	195
1 B+D	B	712	66.1	0	0
1 B+D	B1	698	64.8	0	0
1 B+D	B2	717	66.6	0	0
1 B+D	B3	758	70.4	5	352
1 B+D	B4	720	66.9	10	669
2 B	C	992	92.2	0	0
2 B	C1	920	85.5	4	342
2 B	C2	924	85.8	0	0
2 B	C3	908	84.4	0	0
2 B	C4	823	76.5	5	383
RESIDENTIAL area for FAR				82	4,149
CRU area for FAR					398
CRU + RESIDENTIAL area for FAR					4,670

GFA		
	±sf	±sm
Level 1	13,185	1,225
Level 2	9,540	886
Level 3	10,960	1,018
Level 4	10,960	1,018
Level 5	10,960	1,018
Level 6	10,960	1,018

## FLOOR AREAS - BLDG E

NFA RESIDENTIAL					
UNIT TYPES	UNIT ±sf	UNIT ±sm	UNIT COUNT	TOTAL ±sm	
1 B	A	588	54.6	12	655
1 B	A1	609	56.6	12	679
STUDIO	A2	488	45.3	12	544
STUDIO	A3	397	36.9	6	221
1 B	A4	580	53.9	6	323
MICRO	A5	312	29.0	24	696
1 B	A6	684	63.5	5	318
MICRO	A7	320	29.7	8	238
1 B	A8	561	52.1	1	52
STUDIO	A9	433	40.2	0	0
STUDIO	A10	465	43.2	0	0
1 B	A11	525	48.8	0	0
1 B+D	B	712	66.1	6	397
1 B+D	B1	698	64.8	12	778
1 B+D	B2	717	66.6	12	799
1 B+D	B3	758	70.4	0	0
1 B+D	B4	720	66.9	0	0
2 B	C	992	92.2	6	13
2 B	C1	920	85.5	0	0
2 B	C2	924	85.8	6	515
2 B	C3	908	84.4	4	338
2 B	C4	823	76.5	0	0
RESIDENTIAL area for FAR				132	6,565

GFA		
	±sf	±sm
Level 1	15,150	1,407
Level 2	14,965	1,390
Level 3	15,260	1,418
Level 4	15,260	1,418
Level 5	15,260	1,418
Level 6	15,260	1,418
Parkade	51,570	4,791



## PRIVATE OPEN SPACE

BUILDING E						
REQUIRED				PROVIDED		
type	sm	# unit	sm	indoor (sm)	outdoor (sm)	
bachelor	7	50	350	level 1	290	0
1 bed	12	36	432	level 2	226	
2 bed	18	46	828	level 3	183	
				level 4	183	
				level 5	183	
				level 6	183	
<b>total</b>		<b>132</b>	<b>1,610</b>	<b>Total</b>	<b>1,249</b>	<b>0</b>

BUILDING A						
REQUIRED				PROVIDED		
type	sm	# unit	sm	indoor (sm)	outdoor (sm)	
bachelor	7	39	273	level 1	0	0
1 bed	12	19	228	level 2	161	
2 bed	18	24	432	level 3	131	
				level 4	131	
				level 5	131	
				level 6	131	
<b>total</b>		<b>82</b>	<b>933</b>	<b>Total</b>	<b>683</b>	<b>0</b>

BUILDING (S) SETBACKS (m):			
NORTH (HARVEY AVE.)	0.0m	Building F	±4.5m min to residential
		Building B	±4.5m min to residential
		Building E	±4.5m min to residential
SOUTH (REAR)	0.0m	Building F	±4.6 to residential
		Building B	0m (Parkade to PL) 10.8m (Bldg B to PL)
		Building E	±14.2m (Bldg E to PL)
WEST (SIDE)	3.0m	Building F	±8.1m (to Bldg B)
		Building B	±0.53m (Parkade to PL) ±8.1m (Bldg B to Bldg F)
		Building E	±3.19m to residential
EAST (RICHTER AVE.)	0.0m	Building F	±87.2m (Bldg F to PL)
		Building B	±5.0m (Parkade to PL) ±3.05m (Townhouse to PL)
		Building E	±22.0m (Bldg E to Bldg A)
		Building A	±4.1m (Bldg A to PL)
DAYLIGHT ANGLE (IF A TOWER)	N/A	N/A	
PODIUM HEIGHT (IF PROPOSED)	N/A	N/A	
FLOOR PLATE SIZE (IF REQUIRED)	N/A	N/A	

PARKING CALCULATIONS										
REQUIRED										
STALL SIZE	WIDTH	LENGTH	HEIGHT	PARKING RATIO						
				required	Provide					
FULL SIZE STALL	8'-3"	2.5m	19'-8"	6.0m	6'-6"	2.0m	-	-		
MEDIUM SIZE STALL (40% max)	7'-6"	2.3m	15'-9"	4.8m			max 143.3	70		
COMPACT SIZE STALL (10% max)	6'-6"	2.0m	11'-2"	3.4m			max 35.8	22		
DISABLED STALL	12'-2"	3.7m	19'-8"	6.0m			4	6		
DRIVE AISLES (2-way 90° pkg)	23'-0"	7.0m								
PARKING REQUIREMENTS:										
	BUILDING E		BUILDING A		BUILDING F		BUILDING B			
	no of unit	no of stall	no of unit	no of stall	no of unit	no of stall	no of unit	no of stall		
0.75 stall per bachelor	50	37.5	39	29.25						
0.9 stall per 1 bed	36	32.4	19	17.10						
1.0 stall per 2 & 3 bed	46	46.0	24	24.00						
cru (1 stall per 100sm)			398sm	3.98						
<b>Total unit</b>	<b>132</b>		<b>82</b>		<b>80</b>		<b>108</b>		<b>402</b>	
<b>Total no of stall required</b>		<b>115.90</b>		<b>74.33</b>		<b>70.25</b>		<b>96.75</b>	<b>357.23</b>	
PROVIDED										
	no of stall		Summary of Visitor Parking							
Parkade Phase 1	203		no of unit							
Parkade Phase 2	149		visitor (0.14 per unit)							
L1 Parkade CG-A	23		REQUIRED							
Sub-total	375		PROVIDED							
stalls on grade	14		stalls on grade							
<b>Total</b>	<b>389 (include 56 visitor parking)</b>		<b>L1 Parkade CG-A</b>							
			Parkade Phase 2							
			PROVIDED							
			56							

ZONING SUMMARY			
BUILDING E & BUILDING A			
ADDRESS	Building E: 1720 Richter Street Kelowna Building A: 1710 Richter Street Kelowna		
LEGAL DESCRIPTION	LOT 1, Plan 92715		
DEVELOPMENT PERMIT AREA	CENTRAL GREEN DEVELOPMENT PERMIT AREA		
EXISTING ZONING	CD22 CENTRAL GREEN COMPREHENSIVE ZONE		
EXISTING LEGAL USE	2 EXISTING RENTAL BUILDINGS ON PARKADE		
GRADES	EXISTING AVERAGE - LEVEL FINISH AVERAGE - LEVEL		
NUMBER OF BUILDINGS	BUILDING F: 5 STOREY RENTAL BUILDING OVER PARKADE BUILDING B: 5 STOREY RENTAL BUILDING OVER PARKADE BUILDING E: 6 STOREY RENTAL BUILDING OVER PARKADE BUILDING A: 6 STOREY RENTAL BUILDING OVER PARKADE		
CRITERIA FOR ALL TYPES OF APPLICATION:	ZONING	PROPOSAL	
SITE AREA (sm)	14,375	14,375	
SITE WIDTH (m)	N/A	N/A	
SITE DEPTH (m)	N/A	N/A	
OFF-STREET PARKING	357 stalls	389 stalls	
PRIVATE OPEN SPACE		Landscape	7,561 sm
	Building F	955 sm	391 sm
	Building B	1,269 sm	904 sm
	Building E	1,610 sm	1,249 sm
	Building A	933 sm	683 sm
	<b>Total</b>	<b>4,767 sm</b>	<b>10,788 sm</b>
HEIGHT OF BUILDING (S)/# OF STOREYS	72m MAX.	Building F	±20.5m / 5 storeys
		Building B	±20.5m / 5 storeys
		Building E	±22.7m / 6 storeys
		Building A	±22.7m / 6 storeys
COVERAGE	50% max.	Building F - Level 1	1,026 / 14,375 = 7.1± %
	SITE COVERAGE OF BUILDING(S) (%)	Building B - Level 1	1,439 / 14,375 = 10± %
		Building E - Level 1	1,407 / 14,375 = 9.8± %
		Building A - Level 1	1,225 / 14,375 = 8.5± %
		<b>Total</b>	<b>35.4± %</b>
SITE COVERAGE INCLUDING BUILDINGS, DRIVEWAYS AND PARKING (%)	N/A	N/A	
ADDITIONAL REQUIREMENTS FOR COMMERCIAL, INDUSTRIAL AND MULTIPLE UNIT / INTENSIVE RESIDENTIAL APPLICATIONS:	CD22 CENTRAL GREEN COMPREHENSIVE ZONE		
NUMBER OF BICYCLE PARKING SPACES	Class I: 0.5 per dwelling unit x 402 units Total = 201 bikes min.	Class I: 201 bike racks within parkade	
	Class II: 0.1 per dwelling unit x 402 units Total = 40.2 bikes min.	Class II: 41 stall bike racks	
NUMBER OF LOADING SPACES	N/A	N/A	
DRIVE AISLE WIDTH (m) (IF PROPOSED)	7.0m	6.0m / 7.0m	
SETBACKS TO PARKING (m):			
NORTH (FRONT, HARVEY AVE.)	N/A	N/A	
SOUTH (REAR)	N/A	N/A	
WEST (SIDE)	3.0m	3.0m	
EAST (SIDE, RICHTER AVE.)	N/A	N/A	
FLOOR AREA NET	± 57,500sm max. net area	Building F	4,082 sm
		Building B	5,737 sm
		Building E	6,565 sm
		Building A	4,670 sm
		<b>Total</b>	<b>21,054 sm</b>
FAR FLOOR AREA RATIO	4.0 max.	<b>21,054 / 14,375 = 1.46</b>	

2020-12-11  
revised DP

No.	Date	Revision
1	2019-11-04	DP SUBMISSION
2	2020-12-03	REVISED DP

Project Title  
**CENTRAL GREEN E & A**

Consultant Seal

233 BERNARD AVENUE  
KELOWNA, B.C.  
V1Y 6A2  
TEL: 250.762.3004  
EMAIL: kel@mmaj.com



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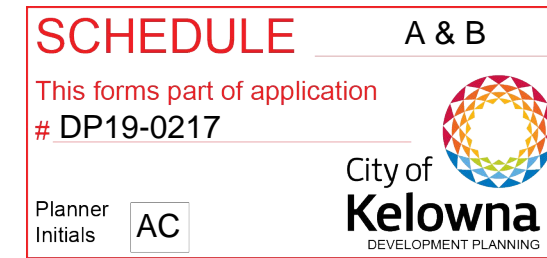
Date: 2020-12-03  
Job No.: mm-16-1726  
Scale: AS SHOWN  
Drawn: SW  
Checked: JM

Drawing Title  
**ZONING SUMMARY**

Drawing Number

**A1.01**

DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS SHALL BE VERIFIED ON JOB.



# BLDG E

BUILDING CODE REVIEW (BUILDING E)					
OCCUPANCY	BUILDING E				PARKADE:
	GROUP C	GROUP A2 (LEVEL 1 ONLY)	GROUP D (LEVEL 1 ONLY)	GROUP E (LEVEL 1 ONLY)	GROUP F3 (LEVEL 0)
ARTICLE	3.2.2.50	3.2.2.50 (5)	3.2.2.58	3.2.2.50 (5)	3.2.2.80
NO. OF STOREYS	6 STOREY	6 STOREY	6 STOREY	6 STOREY	1
NO. OF STREETS FACING	2	2	2	2	1
BUILDING AREAS:	PROPOSED ±1,420sm		CODE MAXIMUM 1,500sm/comp. 3.2.2.50 (I)	CODE MAXIMUM UNLIMITED	
CONSTRUCTION TYPE	COMBUSTIBLE				NON-COMBUST.
SPRINKLERED	YES				YES
ASSEMBLY RATINGS:					
FLOOR	1 HR (LEVEL 1-6)		2 HR @ CRU		2 HR
WALLS / BEARING STRUCTURE	1 HR (LEVEL 1-6)		2 HR @ CRU		2 HR
ROOFS	1 HR				2 HR
NOTE: PARKADE (LEVEL 0) TO BE CONSIDERED AS A SEPARATE BUILDING IN ACCORDANCE WITH 3.2.1.2					

FIRE PROTECTION:		3.2.4./ 3.2.5./ 3.2.6.	
LOCATION OF HYDRANT TO SIAMESE CONNECTION	45 m MAX.		3.2.5.5.
STANDPIPE/HOSE	YES (IN EACH STAIR SHAFT)		3.2.5.8.
SPRINKLERED	YES		
FIRE ALARM SYSTEM	YES		3.2.4.1.(2)(f)
EXIT LIGHTS	YES		
EMERGENCY LIGHTING	YES		

REQUIRED FIRE SEPARATIONS		3.1.3.1.	
TENANTS / MAJOR OCCUPANCIES			
GROUP C TO C	1 HR		3.3.1.1.
GROUP F3 TO C	2 HR		3.2.1.2.
GROUP E TO C	2 HR		
GROUP A2 TO C	2 HR		
GROUP D TO C	1 HR		
SERVICES ROOMS	1 HR		3.6.2.
JANITOR ROOM	Non-Rated Fire Separation		

BUILDING FIRE SAFETY		
SOFFIT PROTECTION	N/A (SPRINKLERED)	3.2.3.16.
FLAME SPREAD RATINGS	COMPLY WITH	3.1.13.2
METAL DECK ASSEMBLIES	N/A	3.1.14.2.
ROOF COVERING CLASSIFICATION	CLASS "A"	3.1.15.2.
ATTIC FIRESTOPS	N/A	3.1.11.
MAX. ATTIC AREA	N/A	3.1.11.5.
MAX. CRAWLSPACE AREA	N/A	3.1.11.6.
CONCEALED FLOOR AREA	N/A	3.1.11.5.

OCCUPANT LOAD		TABLE 3.1.17.1.	
PARKADE LEVEL:	46sm / PERSON X 4,811 sm		105 PERSONS
RESID. LEVELS :			
LEVEL 1	2 PERSONS/SLEEPING RMS x 23 RMS		46 PERSONS
LEVEL 2	2 PERSONS/SLEEPING RMS x 23 RMS		46 PERSONS
LEVEL 3 TO 6	2 PERSONS/SLEEPING RMS x 27 RMS		54 PERSONS PER FLOOR
COMMERCIAL UNITS :			
LEVEL 1 CRU	1 PERSON/ 3.7 SM x 198± SM		54 PERSONS
TOTAL COMMERCIAL			54 PERSONS

EXIT FACILITIES			3.1 TO 3.6	
REQUIRED EXITS	2 MIN. PER FLOOR			
	REQUIRED WIDTHS	PROVIDED WIDTHS		
	min. 800mm door width as per 3.4.3.2.(A)			
	min. 1100mm stair width as per 3.4.3.2.(A)			
PARKADE LEVEL:	6.1mm/ person x 105 persons = 800 mm MIN.	4 doors @ 3'-0" = 12'-0" (3656mm)		
RESIDENTIAL LEVELS:				
LEVEL 1 - 6 (doors)	6.1mm /person x 54 persons max = 800 mm MIN.	min. 2 doors @ 3'-0" width per floor = 6'-0" (1829mm)		
LEVEL 1 - 6 (stairs)	8.0mm /person x 54 persons max = 1100 mm MIN.	min. 2 stairs @ 3'-10" width per floor = 7'-8" (2337mm)		
COMMERCIAL UNITS:				
LEVEL 1 (doors)	6.1mm/ person x 54 persons max. = 800 mm MIN.	min. 2 doors @ 3'-0" width = 6'-0" (1829mm)		
EXIT THROUGH LOBBY	yes (NO for commercial)		3.4.4.2.	
PANIC HARDWARE REQ'D	yes (at exterior stair & lobby doors)		3.4.6.16.(2)	
EXIT EXPOSURE	ok		3.2.3.13.	
MAX. TRAVEL DISTANCE	45m		3.4.2.5.(1)	
EXIT RATINGS REQUIRED:				
STAIR SHAFTS	1 HR (2 HR @ Parkade / CRU)		3.4.4.1.	
CORRIDORS	1 HR		3.3.2.6.(4)	

ACCESSIBILITY REQUIREMENTS			3.8.	
	REQUIRED	PROVIDED		
ACCESS TO MAIN ENTRANCES	YES	YES		
ACCESS TO ALL FLOORS	NO	YES		
ACCESSIBLE WASHROOM	CRU ONLY	CRU ONLY		

WASHROOM FIXTURES REQUIREMENTS	
MIN. 1 REQ'D / DWELLING UNIT	3.7.2.2.(11)
WASHROOM REQUIREMENTS FOR CRU TO BE CONFIRMED BY TENANT DURING SEPARATE LEASEHOLD IMPROVEMENTS PERMIT APPLICATION (N.I.C.)	

SPATIAL SEPARATION:			
	3.2.3.1.E	3.2.3.1.D	
	NORTH/SOUTH WALLS	EAST WALL	WEST WALL
WALL AREA	window openings & walls construction un-restricted.	± 68.7 sm	± 21.0 sm
OPENING AREA	limiting distance exceeds 8.0m in all cases.	± 28.5 sm	± 1.4 sm
% PROVIDED	or building faces a street in accordance with 3.2.3.10.(2)	± 41.5 %	± 6.6 %
LIMITING DISTANCE		± 12.5 m	± 3.19 m
% PERMITTED		100 %	± 60 %
CONSTRUCTION TYPE		COMBUST.	COMBUST.
CLADDING MATERIAL		NON-COMBUST.	NON-COMBUST.
REQUIRED RATINGS	(BEARING WALLS)	2 HR (CRU ONLY)	1 HR

# BLDG A

BUILDING CODE REVIEW (BUILDING A)						
OCCUPANCY	BUILDING E					PARKADE:
	GROUP C	GROUP A2 (LEVEL 1 ONLY)	GROUP D (LEVEL 1 ONLY)	GROUP E (LEVEL 1 ONLY)	GROUP F3 (LEVEL 1 ONLY)	GROUP F3 (LEVEL 0)
ARTICLE	3.2.2.50	3.2.2.50 (5)	3.2.2.58	3.2.2.50 (5)	3.2.2.50 (5)	3.2.2.80
NO. OF STOREYS	6 STOREY	6 STOREY	6 STOREY	6 STOREY	6 STOREY	1
NO. OF STREETS FACING	2	2	2	2	2	1
BUILDING AREAS:	PROPOSED ±1,250sm		CODE MAXIMUM 1,500sm/comp. 3.2.2.50 (I)	CODE MAXIMUM UNLIMITED		
CONSTRUCTION TYPE	COMBUSTIBLE					NON-COMBUST.
SPRINKLERED	YES					YES
ASSEMBLY RATINGS:						
FLOOR	1 HR (LEVEL 2-6)		2 HR (LEVEL 1)		2 HR	
WALLS / BEARING STRUCTURE	1 HR (LEVEL 2-6)		2 HR (LEVEL 1)		2 HR	
ROOFS	1 HR				2 HR	
NOTE: PARKADE (LEVEL 0) TO BE CONSIDERED AS A SEPARATE BUILDING IN ACCORDANCE WITH 3.2.1.2						

FIRE PROTECTION:		3.2.4./ 3.2.5./ 3.2.6.	
LOCATION OF HYDRANT TO SIAMESE CONNECTION	45 m MAX.		3.2.5.5.
STANDPIPE/HOSE	YES (IN EACH STAIR SHAFT)		3.2.5.8.
SPRINKLERED	YES		
FIRE ALARM SYSTEM	YES		3.2.4.1.(2)(f)
EXIT LIGHTS	YES		
EMERGENCY LIGHTING	YES		

REQUIRED FIRE SEPARATIONS		3.1.3.1.	
TENANTS / MAJOR OCCUPANCIES			
GROUP C TO C	1 HR		3.3.1.1.
GROUP F3 TO C	2 HR		3.2.1.2.
GROUP E TO C	2 HR		
GROUP A2 TO C	2 HR		
GROUP D TO C	1 HR		
SERVICES ROOMS	1 HR		3.6.2.
JANITOR ROOM	Non-Rated Fire Separation		

BUILDING FIRE SAFETY		
SOFFIT PROTECTION	N/A (SPRINKLERED)	3.2.3.16.
FLAME SPREAD RATINGS	COMPLY WITH	3.1.13.2
METAL DECK ASSEMBLIES	N/A	3.1.14.2.
ROOF COVERING CLASSIFICATION	CLASS "A"	3.1.15.2.
ATTIC FIRESTOPS	N/A	3.1.11.
MAX. ATTIC AREA	N/A	3.1.11.5.
MAX. CRAWLSPACE AREA	N/A	3.1.11.6.
CONCEALED FLOOR AREA	N/A	3.1.11.5.

OCCUPANT LOAD		TABLE 3.1.17.1.	
PARKADE LEVEL:	46sm / PERSON X 4,811 sm		105 PERSONS
RESID. LEVELS :			
LEVEL 1	NO RESIDENTIAL @ LEVEL 1		-
LEVEL 2	2 PERSONS/SLEEPING RMS x 18 RMS		36 PERSONS
LEVEL 3 TO 6	2 PERSONS/SLEEPING RMS x 23 RMS		46 PERSONS PER FLOOR
COMMERCIAL UNITS :			
LEVEL 1 CRU	1 PERSON/ 3.7 SM x 417± SM		113 PERSONS
TOTAL COMMERCIAL			113 PERSONS

EXIT FACILITIES			3.1 TO 3.6	
REQUIRED EXITS	2 MIN. PER FLOOR			
	REQUIRED WIDTHS	PROVIDED WIDTHS		
	min. 800mm door width as per 3.4.3.2.(A)			
	min. 1100mm stair width as per 3.4.3.2.(A)			
PARKADE LEVEL:	6.1mm/ person x 105 persons = 800 mm MIN.	4 doors @ 3'-0" = 12'-0" (3656mm)		
RESIDENTIAL LEVELS:				
LEVEL 1 - 6 (doors)	6.1mm /person x 46 persons max = 800 mm MIN.	min. 2 doors @ 3'-0" width per floor = 6'-0" (1829mm)		
LEVEL 1 - 6 (stairs)	8.0mm /person x 46 persons max = 1100 mm MIN.	min. 2 stairs @ 3'-10" width per floor = 7'-8" (2337mm)		
COMMERCIAL UNITS:				
LEVEL 1 (doors)	6.1mm/ person x 113 persons max. = 800 mm MIN.	min. 2 doors @ 3'-0" width = 6'-0" (1829mm)		
EXIT THROUGH LOBBY	yes (NO for commercial)		3.4.4.2.	
PANIC HARDWARE REQ'D	yes (at exterior stair & lobby doors)		3.4.6.16.(2)	
EXIT EXPOSURE	ok		3.2.3.13.	
MAX. TRAVEL DISTANCE	45m		3.4.2.5.(1)	
EXIT RATINGS REQUIRED:				
STAIR SHAFTS	1 HR (2 HR @ Parkade / CRU)		3.4.4.1.	
CORRIDORS	1 HR		3.3.2.6.(4)	

ACCESSIBILITY REQUIREMENTS			3.8.	
	REQUIRED	PROVIDED		
ACCESS TO MAIN ENTRANCES	YES	YES		
ACCESS TO ALL FLOORS	NO	YES		
ACCESSIBLE WASHROOM	CRU ONLY	CRU ONLY		

WASHROOM FIXTURES REQUIREMENTS	
MIN. 1 REQ'D / DWELLING UNIT	3.7.2.2.(11)
WASHROOM REQUIREMENTS FOR CRU TO BE CONFIRMED BY TENANT DURING SEPARATE LEASEHOLD IMPROVEMENTS PERMIT APPLICATION (N.I.C.)	

SPATIAL SEPARATION:		
	3.2.3.1.E	3.2.3.1.D
	NORTH/SOUTH/EAST WALLS	WEST WALL
WALL AREA	window openings & walls construction un-restricted.	± 27.3 sm
OPENING AREA	limiting distance exceeds 8.0m in all cases.	± 10.1 sm
% PROVIDED	or building faces a street in accordance with 3.2.3.10.(2)	± 37.1 %
LIMITING DISTANCE		± 12.5 m
% PERMITTED		100 %
CONSTRUCTION TYPE		COMBUST.
CLADDING MATERIAL		NON-COMBUST.
REQUIRED RATINGS	(BEARING WALLS)	1 HR

2020-12-11  
revised DP

No.	Date	Revision
1	2019-11-04	DP SUBMISSION
2	2020-12-03	REVISED DP

Project Title  
**CENTRAL GREEN  
E & A**

Consultant Seal

233 BERNARD AVENUE  
KELOWNA, B.C.  
V1Y 6A2  
TEL: 250.762.3004  
EMAIL: info@m+m+a.com



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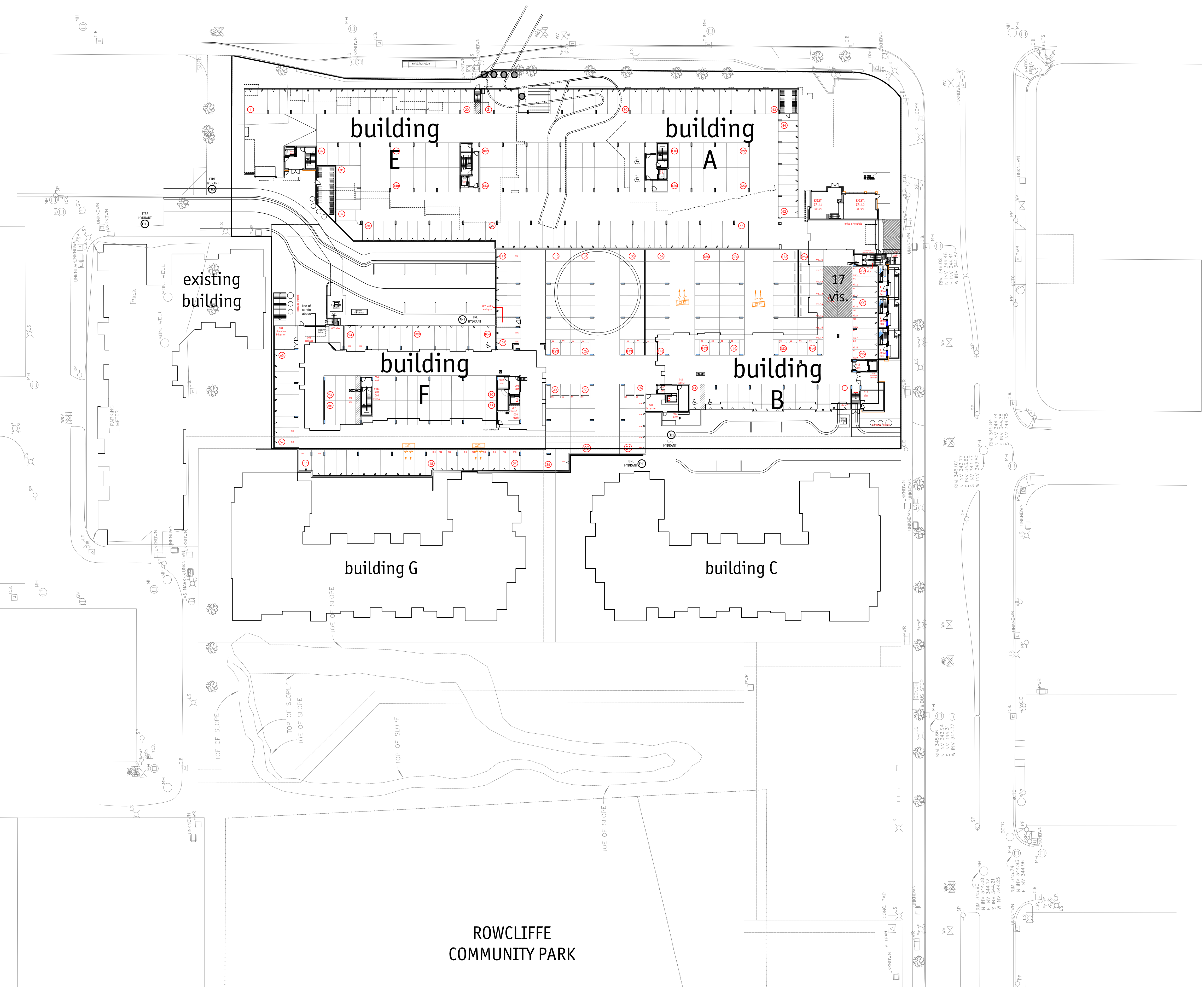
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Drawn	SN
Checked	JM

Drawing Title  
**CODE SUMMARY**

Drawing Number

**A1.02**

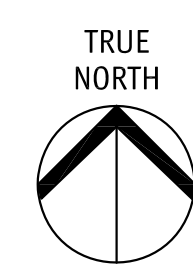
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ROWCLIFFE  
COMMUNITY PARK

2020-12-11  
revised DP

No.	Date	Revision
1	2019-11-04	DP SUBMISSION
2	2020-12-03	REVISED DP



Project Title  
**CENTRAL GREEN  
E & A**

Consultant Seal

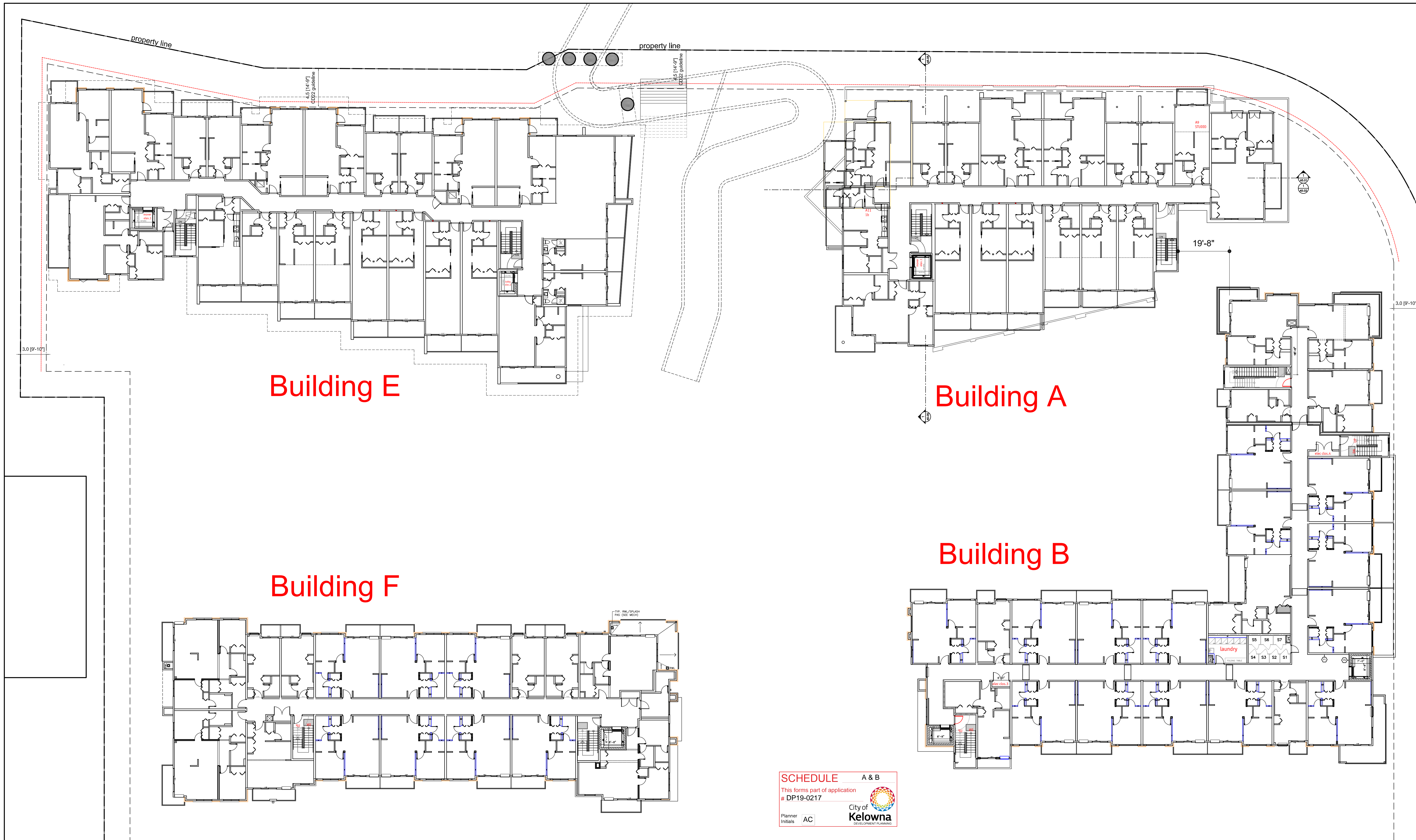
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KELOWNA, B.C.  
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EMAIL: info@m+m+a.ca



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 Checked: JM

Drawing Title  
**SITE PLAN  
PARKADE**  
 scale: 1"=40'

Drawing Number  
**A1.10**  
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**Building E**

**Building A**

**Building F**

**Building B**

**SCHEDULE A & B**  
 This forms part of application  
 # DP19-0217

Planner Initials AC

City of Kelowna  
 DEVELOPMENT PLANNING

2020-12-11  
 revised DP

No.	Date	Revision
1	2019-11-04	DP SUBMISSION
2	2020-12-03	REVISED DP



Project Title  
**CENTRAL GREEN  
 E & A**

Consultant Seal

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Job No.	m+m-16-1726
Scale	AS SHOWN
Drawn	SN
Checked	JM

Drawing Title  
**OVERALL SITE PLAN  
 LEVEL 3**

scale: 1/16"=1'-0"

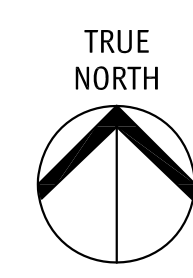
Drawing Number  
**A2.03**

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**SCHEDULE A & B**  
 This forms part of application  
 #DP19-0217  
 Planner initials AC  
 City of Kelowna  
 DEVELOPMENT PLANNING

2020-12-03  
 revised DP

No.	Date	Revision
1	2019-11-04	DP SUBMISSION
2	2020-12-03	REVISED DP



Project Title  
**CENTRAL GREEN  
 E & A**

Consultant Seal

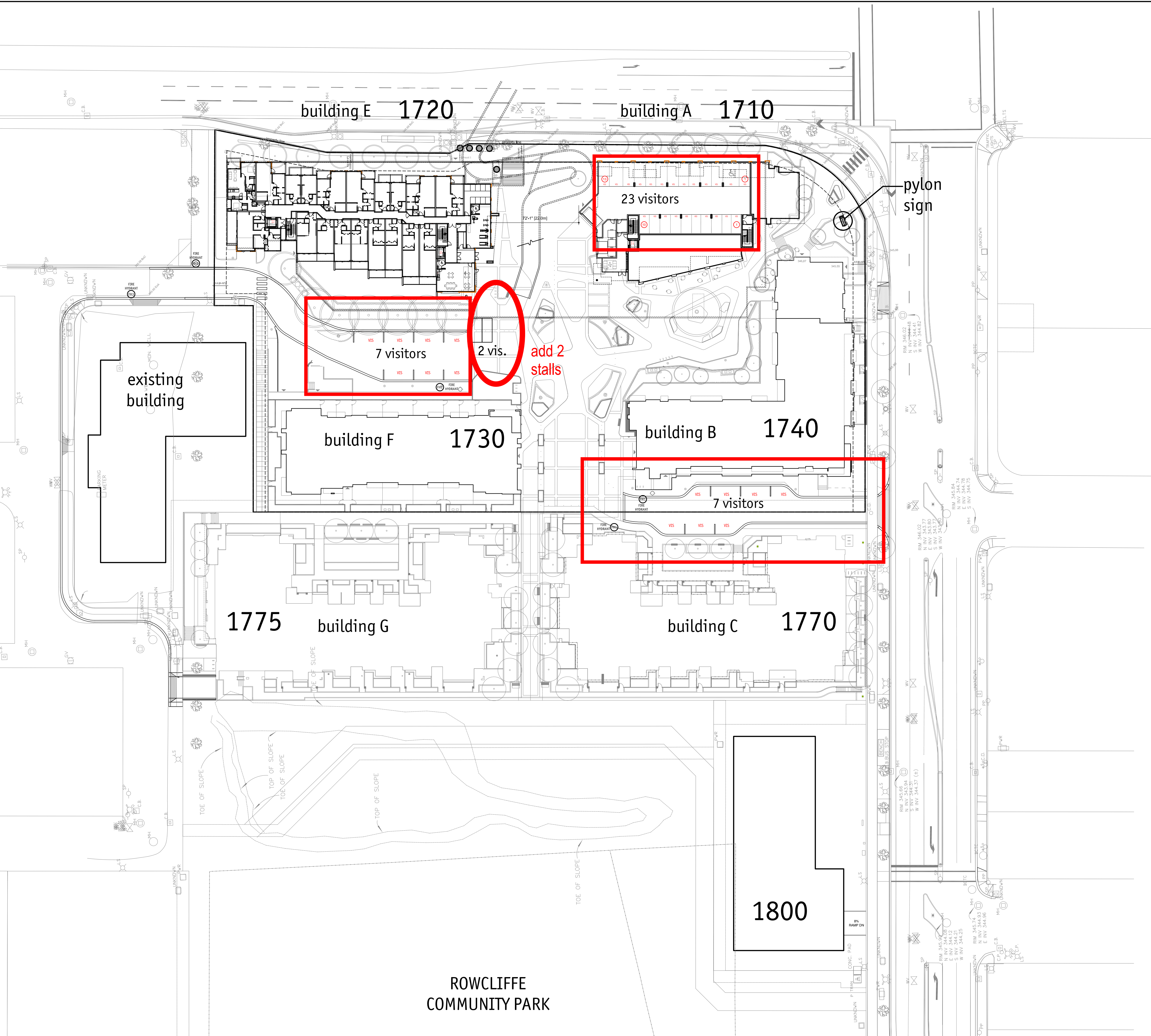
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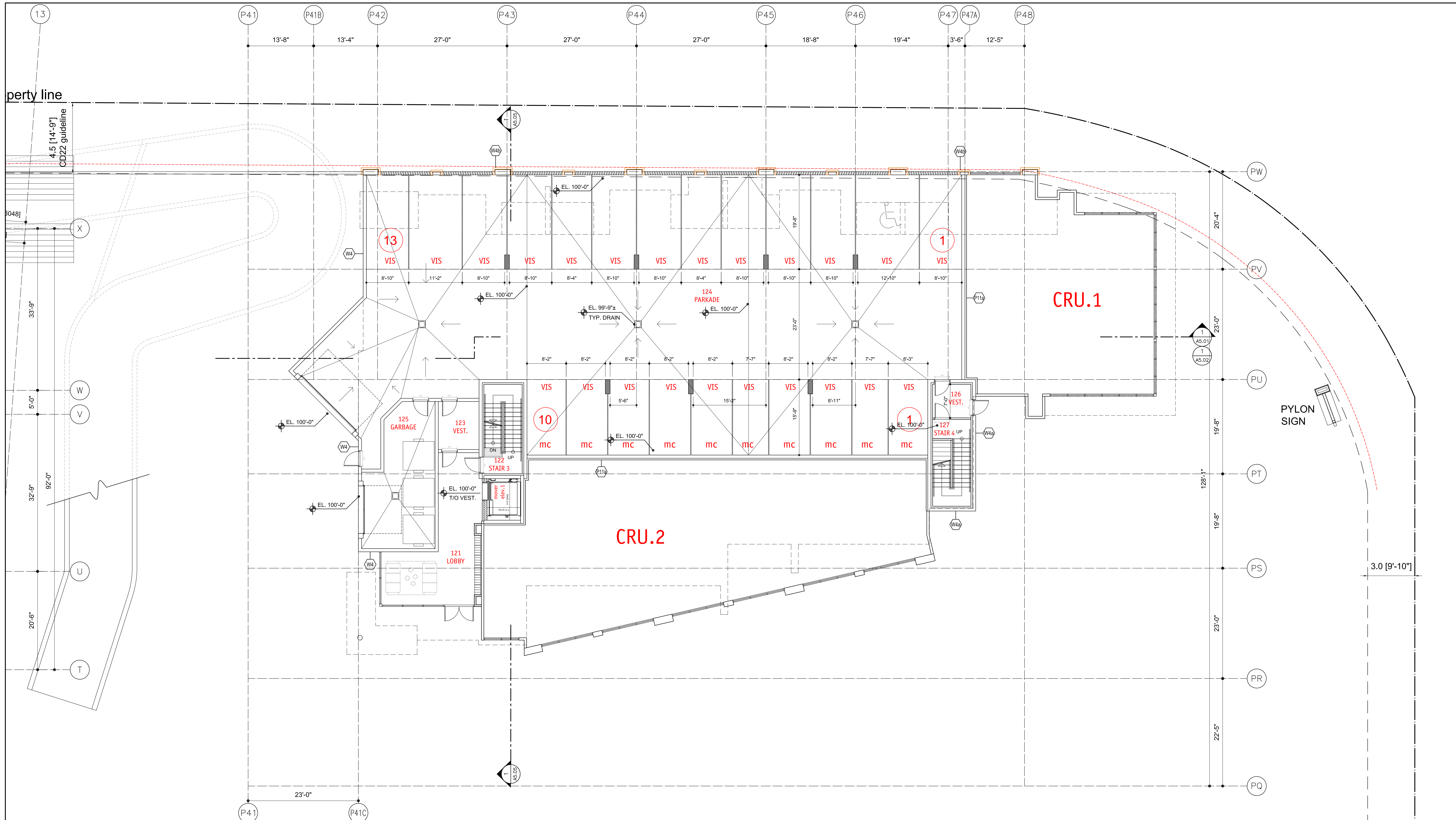


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 Date: 2020-12-03  
 Job No.: m+m-16-1726  
 Scale: AS SHOWN  
 Drawn: SW  
 Checked: JM

Drawing Title  
**OVERALL  
 SITE PLAN**  
 scale: 1"=40'

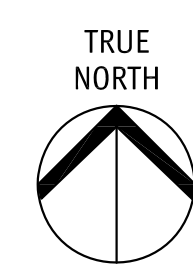
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**A1.11**  
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2020-12-11  
revised DP

No.	Date	Revision
1	2019-11-04	DP SUBMISSION
2	2020-12-03	REVISED DP



Project Title  
**CENTRAL GREEN  
E & A**

SCHEDULE A & B  
This forms part of application # DP19-0217  
City of Kelowna  
PLANNING DEPARTMENT

233 BERNARD AVENUE  
KELOWNA, B.C.  
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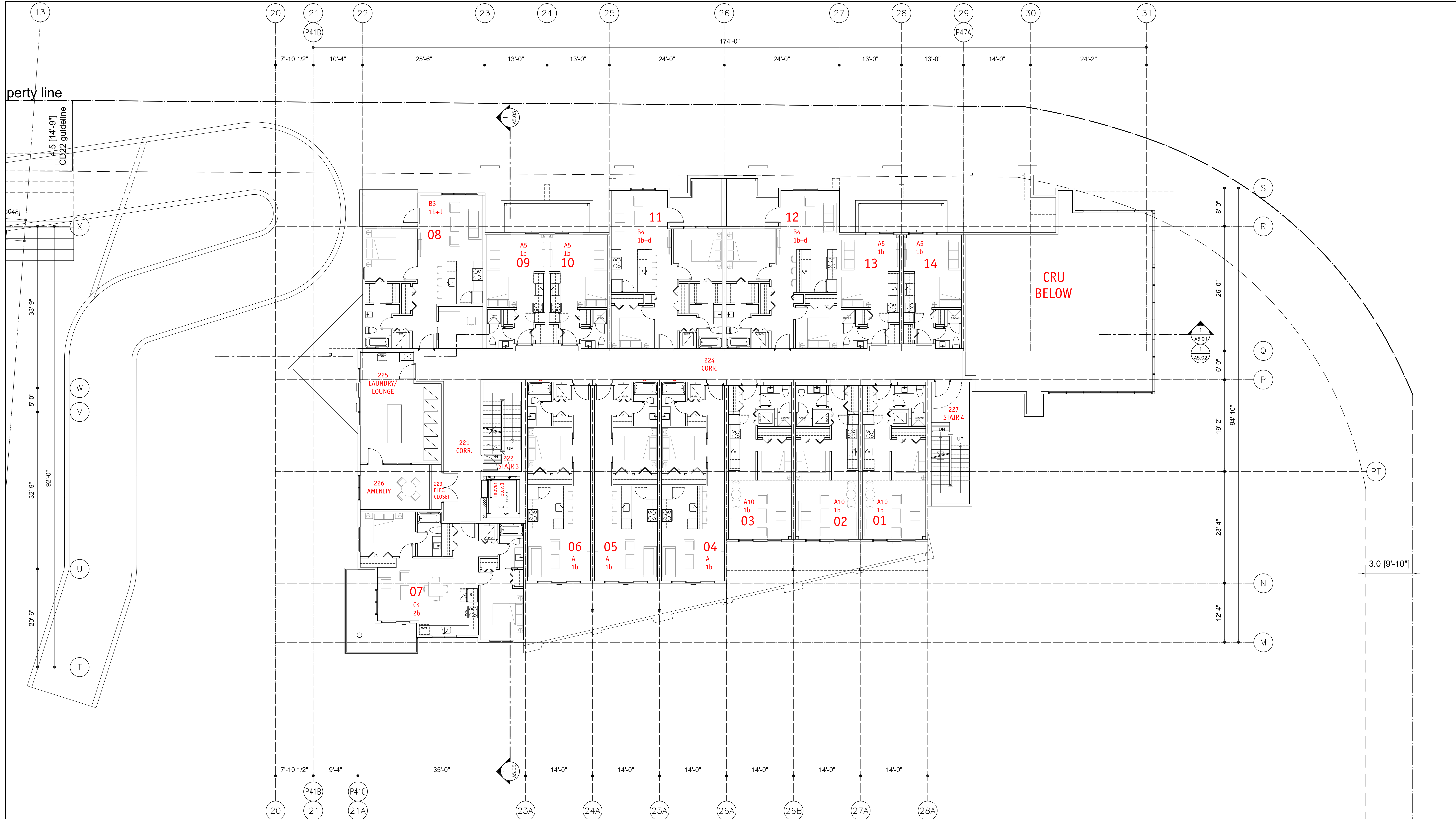


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Date	2020-12-03
Job No.	m+m-16-1726
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Checked	JM

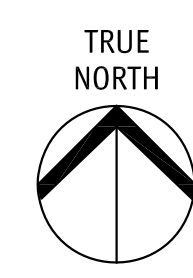
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**LEVEL 1  
(BLDG A)**  
1/8"=1'-0"

Drawing Number  
**A3.01-2**  
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2020-12-11  
revised DP

No.	Date	Revision
1	2019-11-04	DP SUBMISSION
2	2020-12-03	REVISED DP



Project Title  
**CENTRAL GREEN  
E & A**

**SCHEDULE A & B**  
This forms part of application # DP19-0217  
Planner: **AC**

233 BERNARD AVENUE  
KELOWNA, B.C.  
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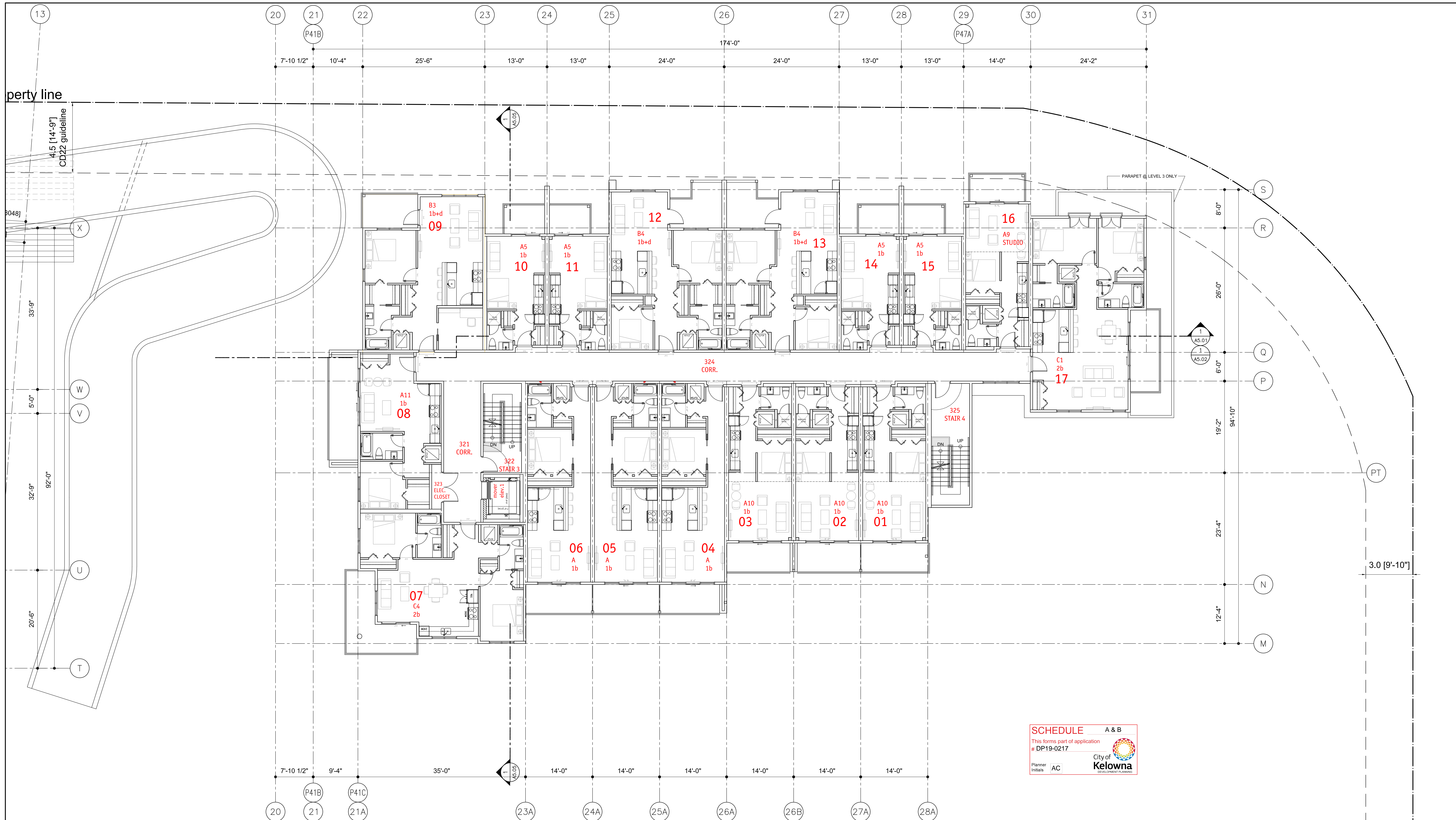
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Date	2020-12-03
Job No.	m+m-16-1726
Scale	AS SHOWN
Drawn	SN
Checked	JM

Drawing Title  
**LEVEL 2  
(BLDG A)**  
1/8"=1'-0"

Drawing Number  
**A3.02-2**  
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**SCHEDULE A & B**  
 This forms part of application # DP19-0217  
 Planner Initials AC  
 City of Kelowna  
 LOCAL GOVERNMENT PLANNING

2020-12-11  
 revised DP

No.	Date	Revision
1	2019-11-04	DP SUBMISSION
2	2020-12-03	REVISED DP



Project Title  
**CENTRAL GREEN E & A**

Consultant Seal

233 BERNARD AVENUE  
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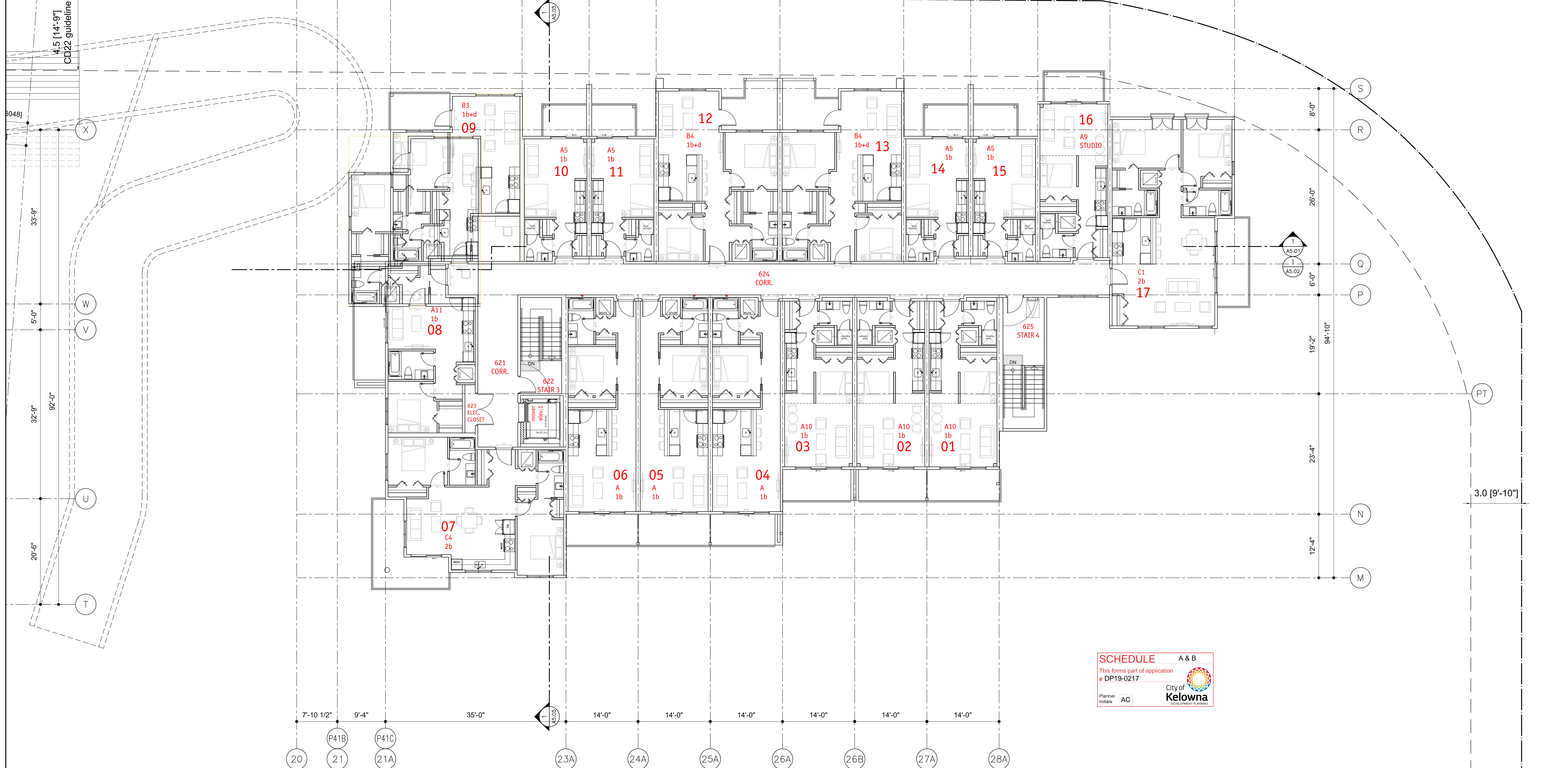
Date	2020-12-03
Job No.	m+m 16-1726
Scale	AS SHOWN
Drawn	SN
Checked	JM

Drawing Title  
**LEVELS 3 & 4 (L5 similar) (BLDG A)**  
 scale: 1/8"=1'-0"

Drawing Number  
**A3.03-2**  
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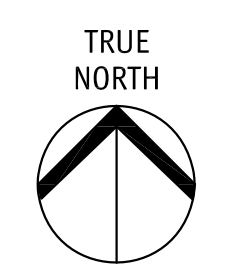
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**SCHEDULE A & B**  
 This forms part of application # DP19-0217  
 City of Kelowna  
 DEVELOPMENT PLANNING  
 Planner Initials AC

2020-12-11  
 revised DP

No.	Date	Revision
1	2019-11-04	DP SUBMISSION
2	2020-12-03	REVISED DP



Project Title  
**CENTRAL GREEN E & A**

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Date	2020-12-03
Job No.	m+m-16-1726
Scale	AS SHOWN
Drawn	SW
Checked	JM

Drawing Title  
**LEVEL 6 (BLDG A)**  
 scale: 1/8"=1'-0"

Drawing Number  
**A3.06-2**  
DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS SHALL BE VERIFIED ON JOB.