

BL10566, BL10674, BL11457, BL10974, BL11854 & BL11912 amended SCHEDULE "B":

**SCHEDULE "B"**  
**Revitalization Tax Exemption Agreement**

THIS AGREEMENT dated for reference the \_\_\_ day of \_\_\_\_\_, 20\_\_ is

**BETWEEN: WESTCORP ON THE LAKE INC., INC.NO. A75763**  
200, 8215 – 112 Street  
Edmonton, Alberta  
T6G 2C8

**AND:**

**CITY OF KELOWNA**  
1435 Water Street,  
Kelowna, B.C.  
V1Y 1J4

(the "City")

GIVEN THAT:

- A. The Owner is the registered owner in fee simple of lands in the City of Kelowna at [3795 Lakeshore Road, Kelowna B.C.] legally described as [LOT 1 DISTRICT LOT 134 OSOYOOS DIVISION YALE DISTRICT PLANEPP41204 EXCEPT PLAN EPP112300] (the "Parcel");
- B. Council has established a revitalization tax exemption program and has included within the City of Kelowna Revitalization Tax Exemption Program Bylaw No. 9561 the designation of areas which include the Parcel as a revitalization area; and
- C. The Owner proposes to construct new improvements on the Parcel as described in Appendix "A" attached to and forming part of this agreement (the "Project") and has applied to the City to take part in the revitalization tax exemption program in respect of the Project and the City has agreed to accept the Project under the program;

THIS AGREEMENT is evidence that in consideration of the promises exchanged below, the Owner and the City covenant and agree each with the other as follows:

1. **The Project** – the Owner will use its best efforts to ensure that the Project is constructed, maintained, operated and used in a fashion that will be consistent with and will foster the objectives of the revitalization tax exemption program, as outlined in the City of Kelowna Revitalization Tax Exemption Program Bylaw No. 9561. Without limiting the generality of the foregoing, the Owner covenants to use its best efforts to ensure that the Project will:
  - a. 3-level Parkade with a total of 1172 stalls. 4<sup>th</sup> level landscaped amenity rooftop.
  - b. Three towers ( 10, 10 and 17 storeys) consisting of a total of 439 dwellings.
  - c. Amenity – 6,732 sq m
  - d. Commercial – 831 sq m

2. **Operation and Maintenance of the Project** – throughout the term of this agreement, the Owner shall operate, repair and maintain the Project and will keep the Project in a state of good repair as a prudent owner would do.
3. **Revitalization Amount** – In this agreement, "**Revitalization Amount**" means the municipal portion of property tax calculated in relation to the increase in the assessed value of improvements on the Parcel resulting from the construction of the Project as described in section 1;
4. **Revitalization Tax Exemption** – subject to fulfilment of the conditions set out in this agreement and in "City of Kelowna Revitalization Tax Exemption Program Bylaw No. 9561", the City shall issue a revitalization tax exemption certificate (the "Tax Exemption Certificate") to the British Columbia Assessment Authority entitling the Owner to a property tax exemption in respect of the property taxes due (not including local service taxes) in relation to the Revitalization Amount on the Parcel (the "Tax Exemption") for the calendar year(s) set out in the Tax Exemption Certificate .
5. **Conditions** – the following conditions shall be fulfilled before the City will issue a Tax Exemption Certificate to the Owner in respect of the Project:
  - a. The Owner must complete or cause to be completed construction of the Project in a good and workmanlike fashion and in strict compliance with the building permit and the plans and specifications attached hereto as Appendix "A";
  - b. The completed Project must substantially satisfy the performance criteria set out in Appendix "B" hereto, as determined by the City's Development Planning Manager or designate, in their sole discretion, acting reasonably; and
  - c. The Owner must submit a copy of the Occupancy Permit and Title Certificate to the City of Kelowna's Revenue Branch within 48 months from the date the Agreement is executed by Council.
6. **Calculation of Revitalization Tax Exemption** – the amount of the Tax Exemption shall be equal to:
  - a) For Purpose-Built Rental Housing Projects within the Core Area, Glenmore Valley Village Centre and University South Village Centre as defined by the OCP, 100% of the Revitalization Amount on the parcel, for projects that are subject to a Housing Agreement (for a minimum of 10 years) and where the proposed project is in compliance with the OCP Future Land Use designation at the time of Revitalization Tax Exemption application.
7. **Term of Tax Exemption** – provided the requirements of this agreement, and of the City of Kelowna Revitalization Tax Exemption Program Bylaw No. 9561, are met the Tax Exemption shall be for 10 years after the BC Assessment Authority validates the Tax Exemption Certificate issued by the City of Kelowna's Revenue Branch.,
8. **Compliance with Laws** – the Owner shall construct the Project and, at all times during the term of the Tax Exemption or any renewal term, use and occupy the Parcel and the Project in compliance with all statutes, laws, regulations and orders of any authority having jurisdiction and, without limiting the generality of the foregoing, all federal, provincial, or municipal laws or statutes or bylaws, including all the rules regulations policies guidelines criteria or the like made under or pursuant to any such laws.
9. **Effect of Stratification** – if the Owner stratifies the Parcel under the Strata Property Act, then the Tax Exemption shall be prorated among the strata lots in accordance with the unit entitlement of each strata lot for:
  - a. the current and each subsequent tax year during the currency of this agreement if the strata plan is accepted for registration at the Land Title Office before May 1; or

- b. for the next calendar year and each subsequent tax year during the currency of this agreement if the strata plan is accepted for registration at the Land Title Office after May 1;

so long as, if the Project is the subject of an operating agreement between the Owner and the Provincial Rental Housing Corporation, the Owner is in compliance with the operating agreement. The Owner agrees to provide written confirmation to the City regarding the Owner's compliance with the said operating agreement, satisfactory to the City, upon the City's reasonable inquiry.

- 10. **Termination of the agreement** - the revitalization tax exemption agreement will be valid for 48 months from the date the agreement is executed by Council. If the conditions for issuance of a Tax Exemption Certificate have not been met during this term, the owner may request a renewal term to this agreement or the agreement will be terminated.
- 11. **Cancellation** – the City may in its sole discretion cancel the Tax Exemption Certificate at any time:
  - a. on the written request of the Owner; or
  - b. effective immediately upon delivery of a notice of cancellation to the Owner if at any time any of the conditions in the Tax Exemption Certificate are not met.
  - c. If the Owner is subject to an operating agreement with the Provincial Rental Housing Corporation and is not in compliance with the operating agreement.

If such cancellation occurs, the Owner of the Parcel for which the Tax Exemption Certificate was issued will remit to the City an amount equal to the value of any Tax Exemption received after the cancellation of the Tax Exemption Certificate.

- 12. **No Refund** – for greater certainty, under no circumstances will the Owner be entitled under the City's revitalization tax exemption program to any cash credit, any carry forward tax exemption credit or any refund for any property taxes paid.
- 13. **Notices** – any notice or other writing required or permitted to be given hereunder or for the purposes hereof to any party shall be sufficiently given if delivered by hand or posted on the Parcel, or if sent by prepaid registered mail (Express Post) or if transmitted by facsimile to such party:
  - a. in the case of a notice to the City, at:

THE CITY OF KELOWNA  
1435 Water Street,  
Kelowna, B.C.  
V1Y 1J4

Attention: Policy & Planning and Revenue Departments

- b. in the case of a notice to the Owner, at:

**WESTCORP ON THE LAKE INC., INC.NO. A75763**  
200, 8215 – 112 Street  
Edmonton, Alberta  
T6G 2C8

Attention: Gail Temple

Phone: (250) 763-1400

Email: gtemple@westcorp.net

Or at such other address as the party to whom such notice or other writing is to be given shall have last notified the party giving the same.

14. **No Assignment** – the Owner shall not assign its interest in this agreement except to a subsequent owner in fee simple of the Parcel.
15. **Severance** – if any portion of this agreement is held invalid by a court of competent jurisdiction, the invalid portion shall be severed and the decision that it is invalid shall not affect the validity of the remainder of this agreement.
16. **Interpretation** – wherever the singular or masculine is used in this agreement, the same shall be construed as meaning the plural, the feminine or body corporate where the context or the parties thereto so require.
17. **Further Assurances** – the parties hereto shall execute and do all such further deeds, acts, things and assurances that may be reasonably required to carry out the intent of this agreement.
18. **Waiver** – waiver by the City of a default by the Owner shall be in writing and shall not be deemed to be a waiver of any subsequent or other default.
19. **Powers Preserved** – this agreement does not:
  - a. Affect or limit the discretion, rights or powers of the City under any enactment or at common law, including in relation to the use or subdivision of the Parcel;
  - b. Affect or limit any enactment relating to the use or subdivision of the Parcel; or
  - c. Relieve the Owner from complying with any enactment, including in relation to the use or subdivision of the Parcel and without limitation shall not confer directly or indirectly any exemption or right of set-off from development cost charges, connection charges, application fees, user fees or other rates, levies or charges payable under any bylaw of the City.
20. **Reference** – every reference to each party is deemed to include the heirs, executors, administrators, personal representatives, successors, assigns, servants, employees, agents, contractors, officers, licensees and invitees of such party, wherever the context so requires or allows.
21. **Enurement** – this agreement shall ensure to the benefit of and be binding upon the parties hereto and their respective successors and permitted assigns.
22. Any construction of a new improvement or alteration of an existing improvement as of this bylaw undertaken prior to the application for a Revitalization Tax Exemption will not be eligible for consideration
23. The maximum Revitalization Tax Exemption authorized under this Bylaw must not exceed the Revitalization Amount on the Property between:
  - a. the calendar year before the construction or alteration began, as outlined under Section 1 of this agreement; and
  - a. the calendar year in which the construction or alteration, as outlined under Section 1 of this agreement, is completed.
24. The Property's assessed value of improvements must not be reduced below the amount assessed in the calendar year prior to construction or alteration, as a result of the Revitalization Tax Exemption.

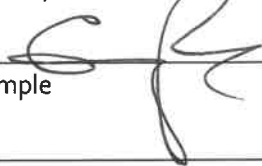
IN WITNESS WHEREOF the parties hereto have executed this agreement as of the day and year first above written.

Executed by the CITY OF KELOWNA by  
Its authorized signatories:

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
City Clerk

Executed by WESTCORP ON THE LAKE INC., INC.NO. A75763 by its Authorized signatories:

  
\_\_\_\_\_  
Gail Temple

Appendix "A": Plans and Specifications  
Appendix "B": Housing Agreement

# SCHEDULE A & B

This forms part of application  
# DP21-0183

Planner Initials **AK**

City of Kelowna  
DEVELOPMENT PLANNING



HDR Pentiction Studio  
210 Hastings Ave  
Pentiction, BC, V2A 2V6



CD24 LAKESHORE DEVELOPMENT  
DP2



- Project Manager: Al Buckley
- Project Designer: Robert Cosick
- Project Architect: Robert Cosick
- WSP
- Landscapes Architect: Gábor Simpson
- Civil Engineer: Aplin Martin Consultants
- Structural Engineer: Gábor Simpson
- Mechanical Engineer: TBD
- Electrical Engineer: TBD
- Plumbing Engineer: TBD
- Geotechnical Engineer: Geo Pacific Engineering Inc.
- Envelope Consultant: TBD
- Code Consultant: GHL Consultants Ltd.
- Sheet Reviewer: NP

MARK	DATE	DESCRIPTION
1	2021-06-25	ISSUED FOR DEVELOPMENT PERMIT
2	2022-01-26	ISSUED FOR DEVELOPMENT PERMIT RESPONSE PACKAGE
3	2022-05-11	ISSUED FOR DEVELOPMENT PERMIT RESPONSE PACKAGE

Project Number: 10368137  
Original Issue: 250621

Sheet Name  
**COVER SHEET**

Scale: 1:10  
Sheet Number  
**A-000**

Project Status  
SCHEMATIC DESIGN



## CD24 LAKESHORE RD DEVELOPMENT

3787-3795 LAKESHORE RD KELOWNA, B.C. CANADA  
LEGAL DESCRIPTION: PLAN #: EPP41204 LOT#: 1  
ISSUE FOR: DEVELOPMENT PERMIT - JUNE 25, 2021 **ISSUED FOR DEVELOPMENT PERMIT RESPONSE PACKAGE - May 11, 2022**

### PROJECT DIRECTORY

CLIENT / OWNER	ARCHITECTURAL	STRUCTURAL ENGINEERING
 <b>WESTCORP DEVELOPMENT MANAGEMENT INC.</b> CONTACT: GAIL TEMPLE #200 1460 PANDOSY STREET KELOWNA, BC V1Y 1P3	 <b>HDR ARCHITECTURE ASSOCIATES INC.</b> CONTACT: ROB CESNIK 210 HASTINGS AVENUE PENTICTON, BC V2A 2V6	 <b>GLOTMAN SIMPSON CONSULTING ENGINEERS</b> CONTACT: NICK MAERKL 1661 WEST 5th AVENUE, VANCOUVER, BC V6J 1N5
 <b>APLIN &amp; MARTIN CONSULTANTS LTD</b> CONTACT: JOSH GRAFF 1258 ELLIS STREET KELOWNA, BC V1Y 1Z4	 <b>WSP</b> CONTACT: ADRIAN SHURA 1631 DICKSON AVENUE, SUITE 700 LANDMARK 6 KELOWNA, BC V1Y 0B5	 <b>GHL CONSULTANTS LTD</b> CONTACT: RAPHAEL KLENSCH 950 - 409 GRANVILLE STREET VANCOUVER, BC V6C 1T1

### DP2 Architectural Drawing List

A-000	COVER SHEET	A-001	TOWER 1 - ELEVATION
A-001	CONTEXT	A-002	TOWER 1 - PERSPECTIVE
A-002	CONTEXT	A-003	TOWER 1 - PLAN - LEVEL 1 & 2
A-003	SITE STATISTICS	A-004	TOWER 1 - PLAN - LEVEL 3 & 4 - TYPICAL
A-004	SUSTAINABILITY ANALYSIS - STRATEGIES	A-005	TOWER 1 - ELEVATION
A-005	SITE - PLAN - PHASE 1	A-006	TOWER 1 - PERSPECTIVE
A-104	SITE - ARCHNO SECTION	A-010	TOWER 1 - PLAN - LEVEL 01 & 02
A-106	SITE - ARCHNO SECTION	A-011	TOWER 1 - PLAN - LEVEL 03 & 04
A-111	SITE - PLAN - LEVEL 01	A-012	TOWER 1 - PLAN - LEVEL 05 - TYPICAL
A-112	SITE - PLAN - LEVEL 02	A-020	TOWER 1 - ELEVATION
A-113	SITE - PLAN - LEVEL 03	A-025	TOWNHOMES - PERSPECTIVE
A-114	SITE - PLAN - LEVEL 04	A-201	TOWNHOMES - CONTEXT
A-115	SITE - PLAN - LEVEL 05	A-211	TOWNHOMES - GENERAL PLANS
A-116	SITE - PLAN - LEVEL 06	A-212	TOWNHOMES - GENERAL PLANS
A-117	SITE - PLAN - LEVEL 07 - TYPICAL	A-213	TOWNHOMES - ENLARGED PLANS - TYPICAL
A-138	SITE - ELEVATIONS	A-215	TOWNHOMES - ENLARGED ELEVATION & SECTION - TYPICAL
A-139	SITE - ELEVATIONS	A-400	PERSPECTIVE
A-140	SITE - ELEVATIONS	A-401	PERSPECTIVE
A-141	SITE - ELEVATIONS	A-402	PERSPECTIVE
A-142	SITE - ELEVATIONS	A-403	PERSPECTIVE
A-143	SITE - ELEVATIONS	A-404	PERSPECTIVE
A-144	SITE - ELEVATIONS	A-405	PERSPECTIVE
A-145	SITE - ELEVATIONS	A-406	PERSPECTIVE
A-146	SITE - ELEVATIONS	A-407	PERSPECTIVE
A-147	SITE - ELEVATIONS	A-408	PERSPECTIVE
A-148	SITE - ELEVATIONS	A-409	PERSPECTIVE
A-149	SITE - ELEVATIONS	A-410	PERSPECTIVE
A-150	SITE - ELEVATIONS	A-411	PERSPECTIVE
A-151	SITE - ELEVATIONS	A-412	PERSPECTIVE
A-152	SITE - ELEVATIONS	A-413	PERSPECTIVE
A-153	SITE - ELEVATIONS	A-414	PERSPECTIVE
A-154	SITE - ELEVATIONS	A-415	PERSPECTIVE
A-155	SITE - ELEVATIONS	A-416	PERSPECTIVE
A-156	SITE - ELEVATIONS	A-417	PERSPECTIVE
A-157	SITE - ELEVATIONS	A-418	PERSPECTIVE
A-158	SITE - ELEVATIONS	A-419	PERSPECTIVE
A-159	SITE - ELEVATIONS	A-420	PERSPECTIVE
A-160	SITE - ELEVATIONS	A-421	PERSPECTIVE
A-161	SITE - ELEVATIONS	A-422	PERSPECTIVE
A-162	SITE - ELEVATIONS	A-423	PERSPECTIVE
A-163	SITE - ELEVATIONS	A-424	PERSPECTIVE
A-164	SITE - ELEVATIONS	A-425	PERSPECTIVE
A-165	SITE - ELEVATIONS	A-426	PERSPECTIVE
A-166	SITE - ELEVATIONS	A-427	PERSPECTIVE
A-167	SITE - ELEVATIONS	A-428	PERSPECTIVE
A-168	SITE - ELEVATIONS	A-429	PERSPECTIVE
A-169	SITE - ELEVATIONS	A-430	PERSPECTIVE
A-170	SITE - ELEVATIONS	A-431	PERSPECTIVE
A-171	SITE - ELEVATIONS	A-432	PERSPECTIVE
A-172	SITE - ELEVATIONS	A-433	PERSPECTIVE
A-173	SITE - ELEVATIONS	A-434	PERSPECTIVE
A-174	SITE - ELEVATIONS	A-435	PERSPECTIVE
A-175	SITE - ELEVATIONS	A-436	PERSPECTIVE
A-176	SITE - ELEVATIONS	A-437	PERSPECTIVE
A-177	SITE - ELEVATIONS	A-438	PERSPECTIVE
A-178	SITE - ELEVATIONS	A-439	PERSPECTIVE
A-179	SITE - ELEVATIONS	A-440	PERSPECTIVE
A-180	SITE - ELEVATIONS	A-441	PERSPECTIVE
A-181	SITE - ELEVATIONS	A-442	PERSPECTIVE
A-182	SITE - ELEVATIONS	A-443	PERSPECTIVE
A-183	SITE - ELEVATIONS	A-444	PERSPECTIVE
A-184	SITE - ELEVATIONS	A-445	PERSPECTIVE
A-185	SITE - ELEVATIONS	A-446	PERSPECTIVE
A-186	SITE - ELEVATIONS	A-447	PERSPECTIVE
A-187	SITE - ELEVATIONS	A-448	PERSPECTIVE
A-188	SITE - ELEVATIONS	A-449	PERSPECTIVE
A-189	SITE - ELEVATIONS	A-450	PERSPECTIVE
A-190	SITE - ELEVATIONS	A-451	PERSPECTIVE
A-191	SITE - ELEVATIONS	A-452	PERSPECTIVE
A-192	SITE - ELEVATIONS	A-453	PERSPECTIVE
A-193	SITE - ELEVATIONS	A-454	PERSPECTIVE
A-194	SITE - ELEVATIONS	A-455	PERSPECTIVE
A-195	SITE - ELEVATIONS	A-456	PERSPECTIVE
A-196	SITE - ELEVATIONS	A-457	PERSPECTIVE
A-197	SITE - ELEVATIONS	A-458	PERSPECTIVE
A-198	SITE - ELEVATIONS	A-459	PERSPECTIVE
A-199	SITE - ELEVATIONS	A-460	PERSPECTIVE
A-200	SITE - ELEVATIONS	A-461	PERSPECTIVE
A-201	SITE - ELEVATIONS	A-462	PERSPECTIVE
A-202	SITE - ELEVATIONS	A-463	PERSPECTIVE
A-203	SITE - ELEVATIONS	A-464	PERSPECTIVE
A-204	SITE - ELEVATIONS	A-465	PERSPECTIVE
A-205	SITE - ELEVATIONS	A-466	PERSPECTIVE
A-206	SITE - ELEVATIONS	A-467	PERSPECTIVE
A-207	SITE - ELEVATIONS	A-468	PERSPECTIVE
A-208	SITE - ELEVATIONS	A-469	PERSPECTIVE
A-209	SITE - ELEVATIONS	A-470	PERSPECTIVE
A-210	SITE - ELEVATIONS	A-471	PERSPECTIVE
A-211	SITE - ELEVATIONS	A-472	PERSPECTIVE
A-212	SITE - ELEVATIONS	A-473	PERSPECTIVE
A-213	SITE - ELEVATIONS	A-474	PERSPECTIVE
A-214	SITE - ELEVATIONS	A-475	PERSPECTIVE
A-215	SITE - ELEVATIONS	A-476	PERSPECTIVE
A-216	SITE - ELEVATIONS	A-477	PERSPECTIVE
A-217	SITE - ELEVATIONS	A-478	PERSPECTIVE
A-218	SITE - ELEVATIONS	A-479	PERSPECTIVE
A-219	SITE - ELEVATIONS	A-480	PERSPECTIVE
A-220	SITE - ELEVATIONS	A-481	MATERIAL BOARD

4/25/2021 1:09:14 PM BR/6070082917\_200919\_BCI/Hanlin/Corvus\_2002/01082917\_Narrative\_DDP\_204666\_C02/08L\_44

SCHEDULE A & B

This forms part of application

# DP21-0183



City of Kelowna DEVELOPMENT PLANNING

HDR Penikton Studio 210 Hastings Ave Penikton, BC, V2A 2V6



CD24 LAKESHORE DEVELOPMENT DP2

Project Manager: Al Busby; Project Designer: Robert Crank; Project Architect: WSP; Landscape Architect: Agin Martin Consultants; Civil Engineer: Graham Simpson; Structural Engineer: Reinhold Engineering; Mechanical Engineer: Falcon Engineering; Electrical Engineer: Reinhold Engineering; Plumbing Engineer: Geo Pacific Engineering Inc.; Geotechnical Engineer: RUC Engineering; Envelope Consultant: GAC Consultants Ltd.

Table with 3 columns: MARK, DATE, DESCRIPTION. Includes dates 2021-06-25, 2021-07-07, 2022-01-26 and descriptions like 'ISSUED FOR DEVELOPMENT PERMIT'.

Project Number: 1036813; Original Issue: 250621

Sheet Name: SITE STATISTICS

Scale: As Indicated

Sheet Number: A-004

Project Status: Building Permit

Table with 2 main columns: SHORT TERM / LONG TERM BIKE and BIKE INITIALS. Lists bike room counts for various levels and total proposed stalls (860).

Table with 2 main columns: PROPOSED PARKING COUNT and BIKE INITIALS. Lists parking counts for various levels and total proposed stalls (1,154).

Table with 2 main columns: PARKING SUMMARY and BIKE INITIALS. Lists parking requirements and counts for DP1 and DP2.

Table with 2 main columns: COK BYLAW and BIKE INITIALS. Lists commercial and residential parking requirements and shared visitor space.

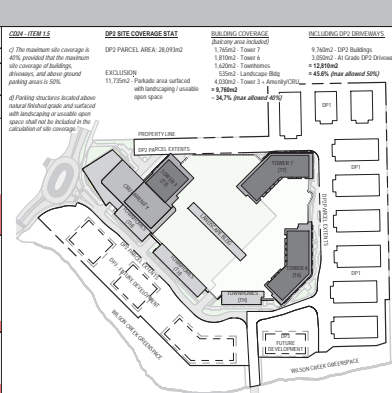


Table with 2 main columns: PRIVATE OPEN SPACE (AMENITY SPACE) and BIKE INITIALS. Lists amenity space requirements for various dwelling types.

Table with 2 main columns: SITE AREA ANALYSIS and BIKE INITIALS. Lists gross floor area, net floor area, and parcel area for various buildings.

Table with 2 main columns: DP2 - GROSS FLOOR AREA - SUMMARY and BIKE INITIALS. Lists gross floor area breakdown by level for DP2.

Table with 2 main columns: DP2 - NET FLOOR AREA - SUMMARY and BIKE INITIALS. Lists net floor area breakdown by level for DP2 towers and townhomes.

Table with 2 main columns: DP2 NET AREA - GRAND TOTAL and UNIT TYPE SCHEDULE. Lists total net area (3427 m²) and unit counts for various unit types.

Vertical text on the left edge: 1/17/2025 12:14 PM B:\1601006013\_202019 CD24 Lakshore Dev\2020100817\_SiteArea\_DP2\_DevPlan\_CENTRAL.dwg

# SCHEDULE

A & B

This forms part of application  
# DP21-0183

Planner Initials **AK**

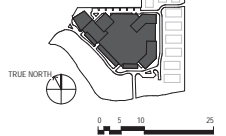


HDR Pentation Studio  
210 Hastings Ave  
Penticton, BC, V2A 2V6



CD24  
LAKESHORE DEVELOPMENT  
DP2

DP2 KEY PLAN



- Project Manager: Al Buchley
- Project Designer: Robert Cosiak
- Project Architect: Robert Cosiak
- Landscaping Architect: WSP
- Civil Engineer: Apin Martin Consultants
- Structural Engineer: Clifton Simpson
- Mechanical Engineer: TBD
- Electrical Engineer: TBD
- Plumbing Engineer: TBD
- Geotechnical Engineer: Geo Pacific Engineering Inc.
- Envelope Consultant: TBD
- Code Consultant: GHJ Consultants Ltd.

Sheet Reviewer: NP

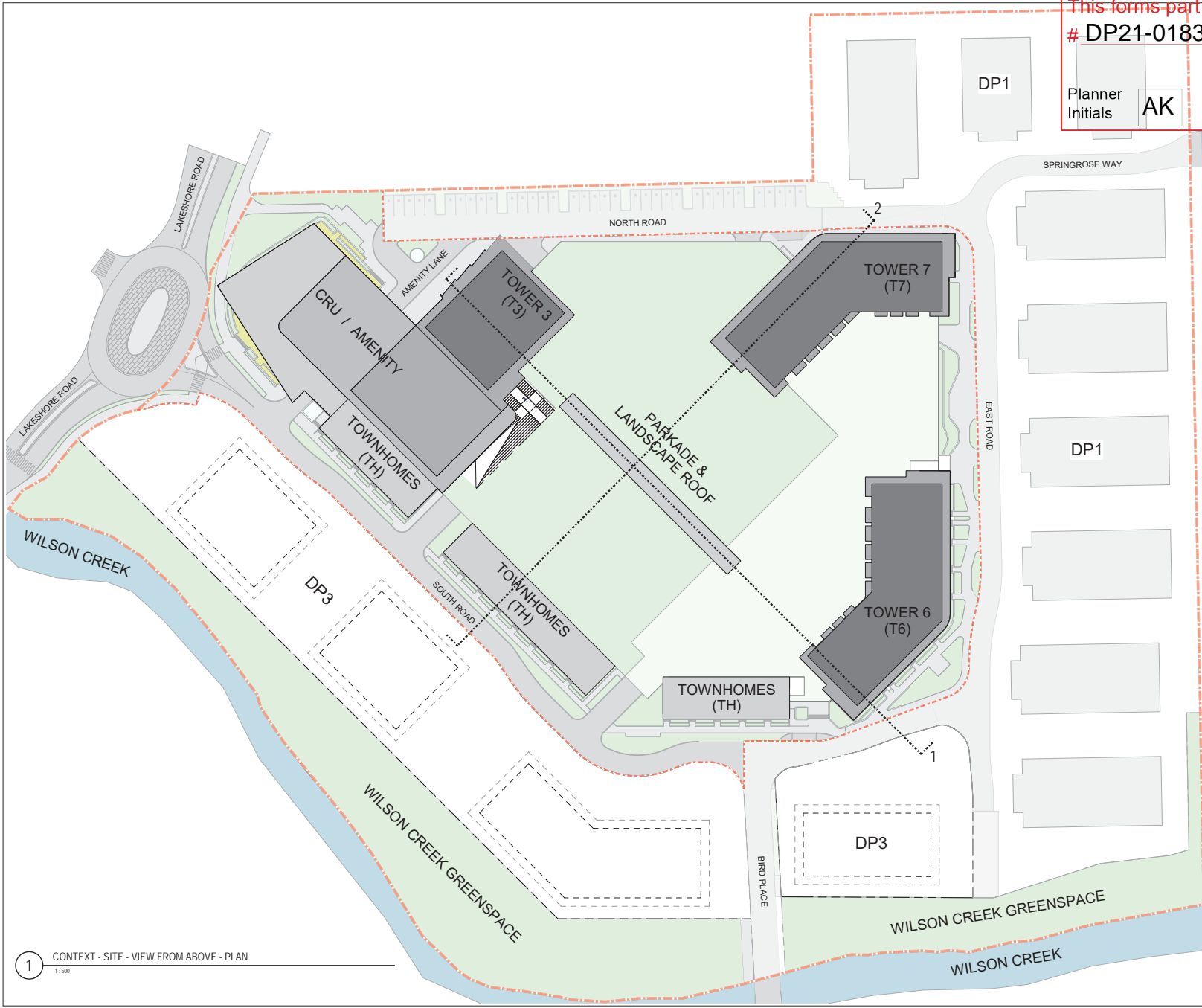
MARK	DATE	DESCRIPTION
1	2021-06-25	ISSUED FOR DEVELOPMENT PERMIT

Project Number: 1036837  
Original Issue: 250621

Sheet Name  
**SITE - PLAN - FROM ABOVE**

Scale: 1:500  
Sheet Number  
**A-110**

Project Status  
SCHEMATIC DESIGN



1 CONTEXT - SITE - VIEW FROM ABOVE - PLAN  
1:500

425/0217/017/04 - BPA/010808/03 - 2020/09 - BC Planning Services - 2020/10/08/03/1 - North DP2 - Final - CENTRAL.dwg



# SCHEDULE

A & B

This forms part of application

# DP21-0183

Planner Initials **AK**



HDR Pentiction Studio  
210 Hastings Ave  
Pentiction, BC, V2A 2V6



CD24  
LAKESHORE DEVELOPMENT  
DP2

Project Manager: Al Buchby  
Project Designer: Robert Cosarik  
Project Architect: Robert Cosarik  
Landscape Architect: WSP  
Civil Engineer: Aglin Martin Consultants  
Structural Engineer: Clifton Simpson  
Mechanical Engineer: TBD  
Electrical Engineer: TBD  
Plumbing Engineer: TBD  
Geotechnical Engineer: Geo Pacific Engineering Inc.  
Envelope Consultant: TBD  
Code Consultant: GHJ Consultants Ltd.

Sheet Reviewer: RP

MARK	DATE	DESCRIPTION
1	2021-06-25	ISSUED FOR DEVELOPMENT PERMIT

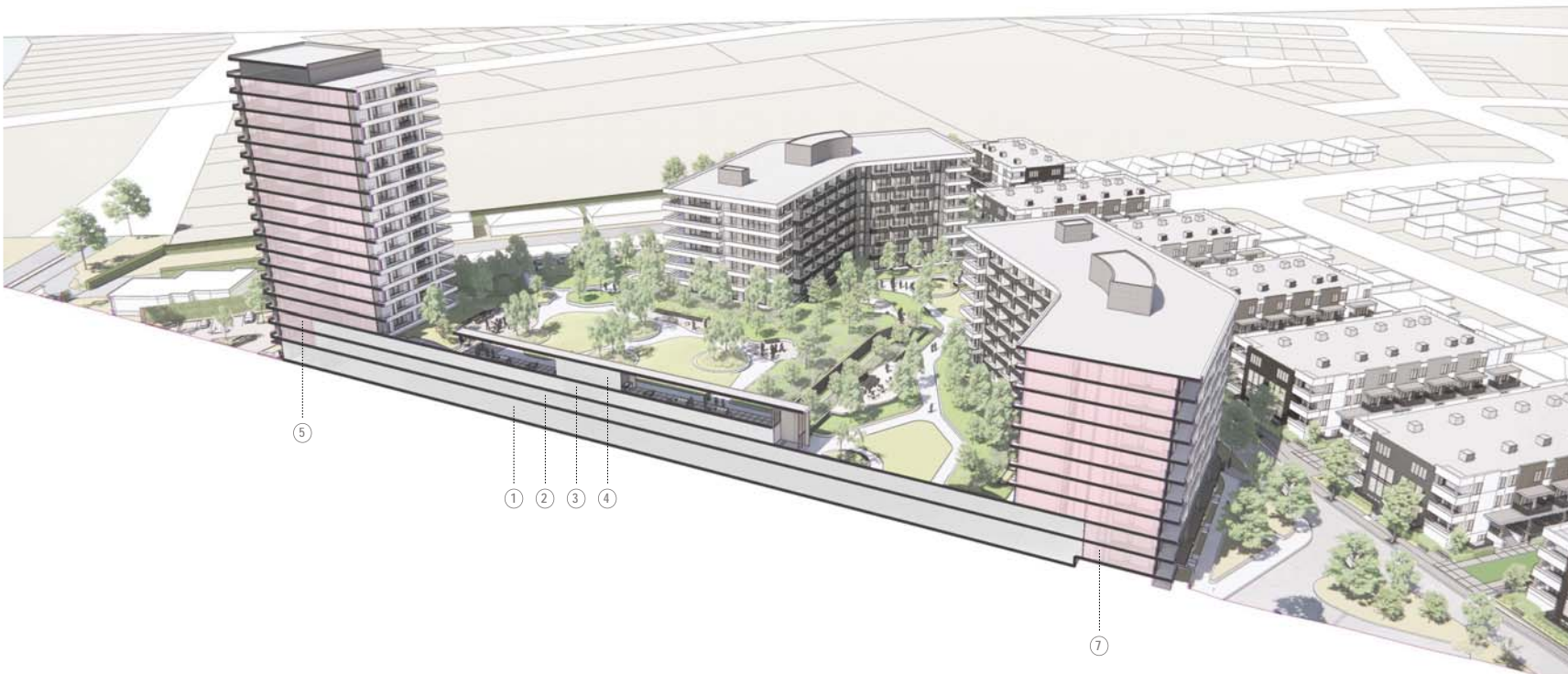
Project Number: 10288157  
Original Issue: 062521

Sheet Name  
**SITE - AXONO SECTION**

Scale  
Sheet Number  
**A-110A**

Project Status  
SCHEMATIC DESIGN

\*Architectural concept renderings - number of building stories has been reduced from 18 to 17 stories (scale, proportion and height are unchanged)



**LEGEND:**

- 1. Parking Level 1
- 2. Parking Level 2
- 3. Parking Level 3
- 4. Landscape Roof Entry via Parkade
- 5. Tower 3
- 6. Tower 6

**1** SITE - AXONO SECTION 1

# SCHEDULE

A & B

This forms part of application

# DP21-0183

Planner  
Initials

AK



HDR Pentacore Studio  
210 Hastings Ave  
Penticton, BC, V2A 2V6



CD24  
LAKESHORE  
DEVELOPMENT - DP2

Project Manager: Al Buxby  
Project Designer: Robert Cesnik  
Project Architect: Robert Cesnik  
Landscape Architect: WSP  
Civil Engineer: Agén Merin Consultants  
Structural Engineer: Gilmour Simpson  
Mechanical Engineer: TBD  
Electrical Engineer: TBD  
Plumbing Engineer: TBD  
Geotechnical Engineer: Geo Pacific Engineering Inc.  
Envelope Consultant: TBD  
Code Consultant: GHJ Consultants Ltd.

Sheet Reviewer: | Checker:

MARK	DATE	DESCRIPTION
1	2021-06-25	ISSUED FOR DEVELOPMENT PERMIT
2	2021-07-07	ISSUED FOR DEVELOPMENT PERMIT REV 1

Project Number: 10288137  
Original Issue: 250621

Sheet Name  
PERSPECTIVE

Scale:

Sheet Number:

**A-800**

Project Status  
SCHEMATIC DESIGN

\*Architectural concept renderings - number of building stories has been reduced from 18 to 17 stories (scale, proportion and height are unchanged)



\*footprints indicative of future DP3 building placement



\*footprints indicative of future DP3 building placement



03



04

\*shadow-massing indicative of future DP3 building placement

01-WEST AERIAL  
02-SOUTH AERIAL  
03-SOUTH AERIAL  
04-NORTH AERIAL