City of
Kelowna

Development Permit

DP20-0154

This permit relates to land in the City of Kelowna municipally known as

605 Fraser Rd

and legally known as

**PARCEL A (BEING A CONSOLIDATION OF LOTS 1 & 2, SEE CB44,6395) SECTION 26 TOWNSHIP 26 OSOYOOS DIVISION
YALE DISTRICT PLAN 12434**

and permits the land to be used for the following development:

Townhouses

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council Approval: July 24, 2023

Development Permit Area: Form & Character

Existing Zone: MF2 – Townhouse Housing

Future Land Use Designation: C-NHD – Core Area Neighbourhood

This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: 1342833 B.C. Ltd., Inc.No. BC1342833

Applicant: Blue Vision Design Inc.

Terry Barton
Development Planning Department Manager
Planning & Development Services

Date of Issuance

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

THAT Council authorizes the issuance of Development Permit No. DP20-0154 for PARCEL A (BEING A CONSOLIDATION OF LOTS 1 & 2, SEE CB446395) SECTION 26 TOWNSHIP 26 OSOYOOS DIVISION YALE DISTRICT PLAN 12434 located at 605 Fraser Rd, Kelowna, BC, subject to the following:

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C";
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the amount of 125% of the estimated value of the Landscape Plan, as determined by a Registered Landscape Architect;

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Manager approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property owner of the day. Should the Developer carry out the development as per the conditions of this permit, the security shall be returned to the Developer or his or her designate following proof of Substantial Compliance as defined in Bylaw No. 12310. There is filed accordingly:

- a) An Irrevocable Letter of Credit **OR** certified cheque **OR** a Surety Bond in the amount of **\$132,728.75**

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

4. INDEMNIFICATION

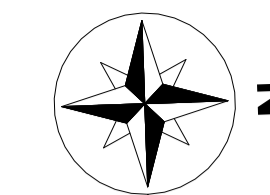
Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

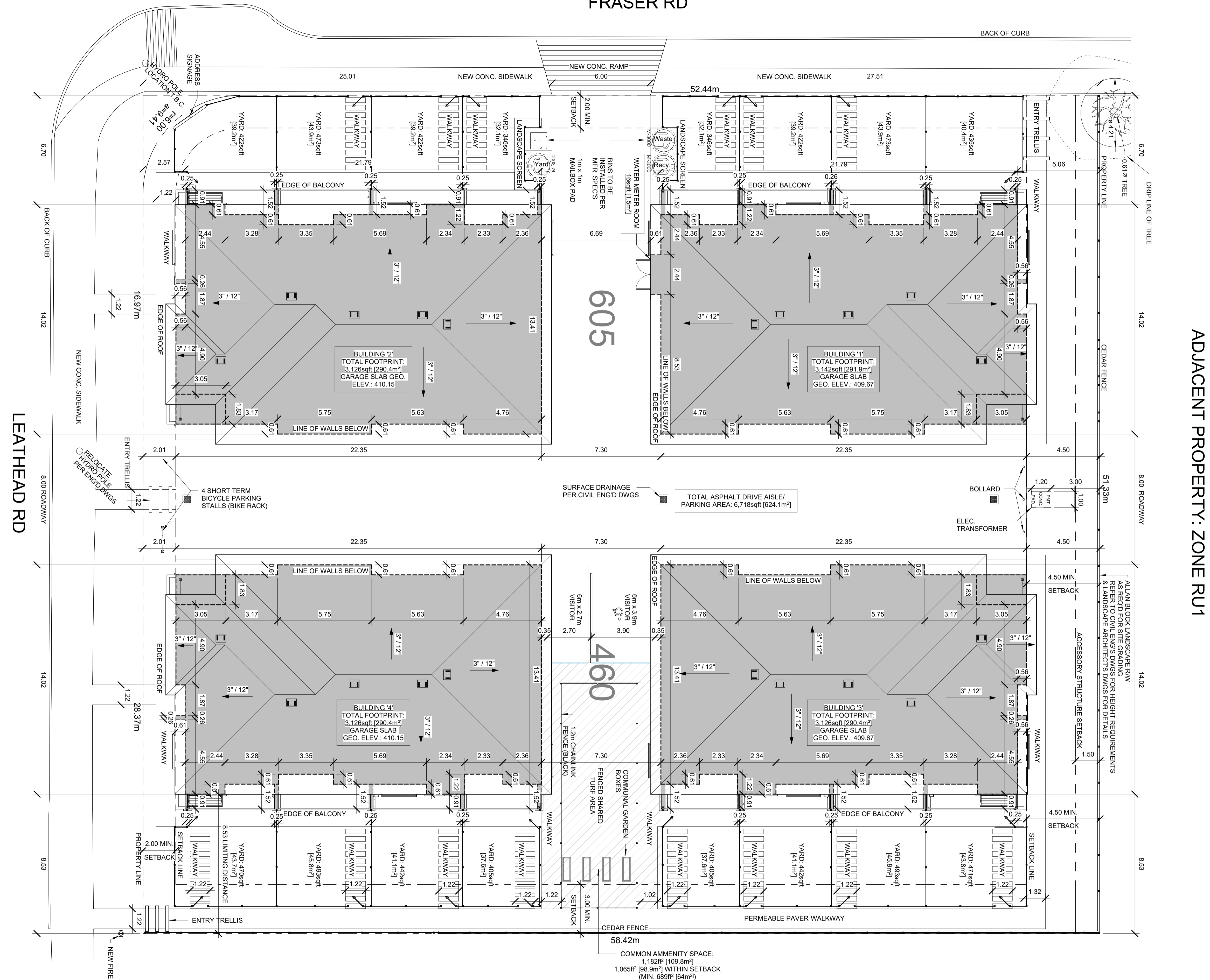
**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**

FRASER RD



Blue Vision Design Inc.
1486 Wilmot Ave
Kelowna, BC V1P 1N3
250.864.6666
blue.vision@hotmail.com

Issue Schedule		
Issue Number	Description	Date (dd.mm.yy)
16	Development Permit	25.05.22
17	Revised Layouts	13.06.22
18	Revised Site	22.06.22
19	Revised Plans	28.06.22
20	Coordination	13.06.22
21	BP	03.08.22
22	BP	03.10.22
23	BP	25.10.22
24	Rev Site Plan	27.06.23



ADJACENT PROPERTY: ZONE RU1

SCHEDULE A

This forms part of application
DP20-0154

Planner Initials **KB**

City of Kelowna
DEVELOPMENT PLANNING

- BUILDING NOTES**
- GENERAL ZONING AND SITE INFORMATION**
- CIVIC ADDRESS: 605 FRASER RD & 460 LEATHEAD RD
 - LEGAL: PLAN 12434, LOTS 1 & 2
 - AUTHORITY: CITY OF KELOWNA
 - EXISTING ZONE: RU1
 - PROPOSED ZONE: MF2
- ZONING RESTRICTIONS**
- MAXIMUM SITE COVERAGE: 55%
 - MAXIMUM SITE COVERAGE: 80% INCL. IMPERMEABLE SURFACES
 - MAXIMUM BASE DENSITY: 1.0FAR
 - OPTIONAL DENSITY BONUS: +0.15FAR*
+0.30FAR*
- SETBACKS & SIZE RESTRICTIONS**
- FRONT YARD & FLANKING SIDE YARD SETBACK: FOR GROUND-ORIENTED HOUSING: 2.0m**
 - REAR YARD SETBACK: 4.5m
 - SIDE YARD SETBACK: 3.0m
 - MAX. BASE HEIGHT: 11.0m (3 STOREYS)
 - MIN. SEPARATION BETWEEN BUILDINGS: 3m
 - MIN. PRIVATE OPEN SPACE PER DWELLING: 25m²
 - MIN. COMMON AREA (NOT WITHIN SETBACKS): 4.0m² PER DWELLING UNIT (64.0m²)
- NOTES**
- * REFER TO ZONING BYLAW NO. 12375 SECTION 13.6 FOOTNOTES
 - ** REFER TO ZONING BYLAW NO. 12375 SECTION 13.5 FOOTNOTES

AREA CALCULATIONS

- 605 FRASER RD LOT AREA:	14,400sqft [1,337.6m ²]
- 460 LEATHEAD RD LOT AREA:	17,896sqft [1,632.6m ²]
- TOTAL LOT AREA:	32,296sqft [3,000.4m ²]
- MAXIMUM BUILDING SITE COVERAGE:	17,763sqft [1,650.2m ²] (55%)
- MAXIMUM SITE COVERAGE (INCL. IMPERMEABLE SURFACES):	25,837sqft [2,400.3m ²] (80%)
- TOTAL BUILDING COVERAGE:	12,520sqft [1,163.1m ²] (38.8%)
- TOTAL IMPERMEABLE SURFACES:	6,718sqft [624.1m ²] (20.8%)
- TOTAL SITE COVERAGE:	19,238sqft [1,787.3m ²] (59.6%)
- MAXIMUM TOTAL NET FLOOR AREA:	32,296sqft [3,000.4m ²] (1.00 FAR)
- PROPOSED TOTAL NET FLOOR AREA:	25,376sqft [2,357.5m ²] (0.79 FAR)
TOTAL FLOOR AREAS PER UNIT TYPE:	UNIT 1: 1,250sqft [116.1m ²] UNIT 2: 1,701sqft [158.0m ²] UNIT 3: 1,701sqft [158.0m ²] UNIT 4: 1,692sqft [157.2m ²]

ADJACENT PROPERTY: ZONE P2

SHEET NOTES:

- LANDSCAPING NOT SHOWN. REFER TO LANDSCAPE ARCHITECT'S DWGS.
- ALL WALKWAYS TO BE PERMEABLE PAVERS
- T/O ENTRY SLAB-ON-GRADE= 100'-0" [GEO. PER GEO ENG'S DWGS.]
- ALL LOT DIMENSIONS & GEODEDIC ELEVATIONS TO BE CONFIRMED BY A SURVEYOR PRIOR TO CONSTRUCTION

Symbolic Construction Group
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Surrey, BC V3W 1E6
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605fraser@gmail.com

'Oakland by Symbolic'
Multi-Residential Development
605 Fraser Rd &
460 Leathead Rd
Kelowna, BC

SITE PLAN

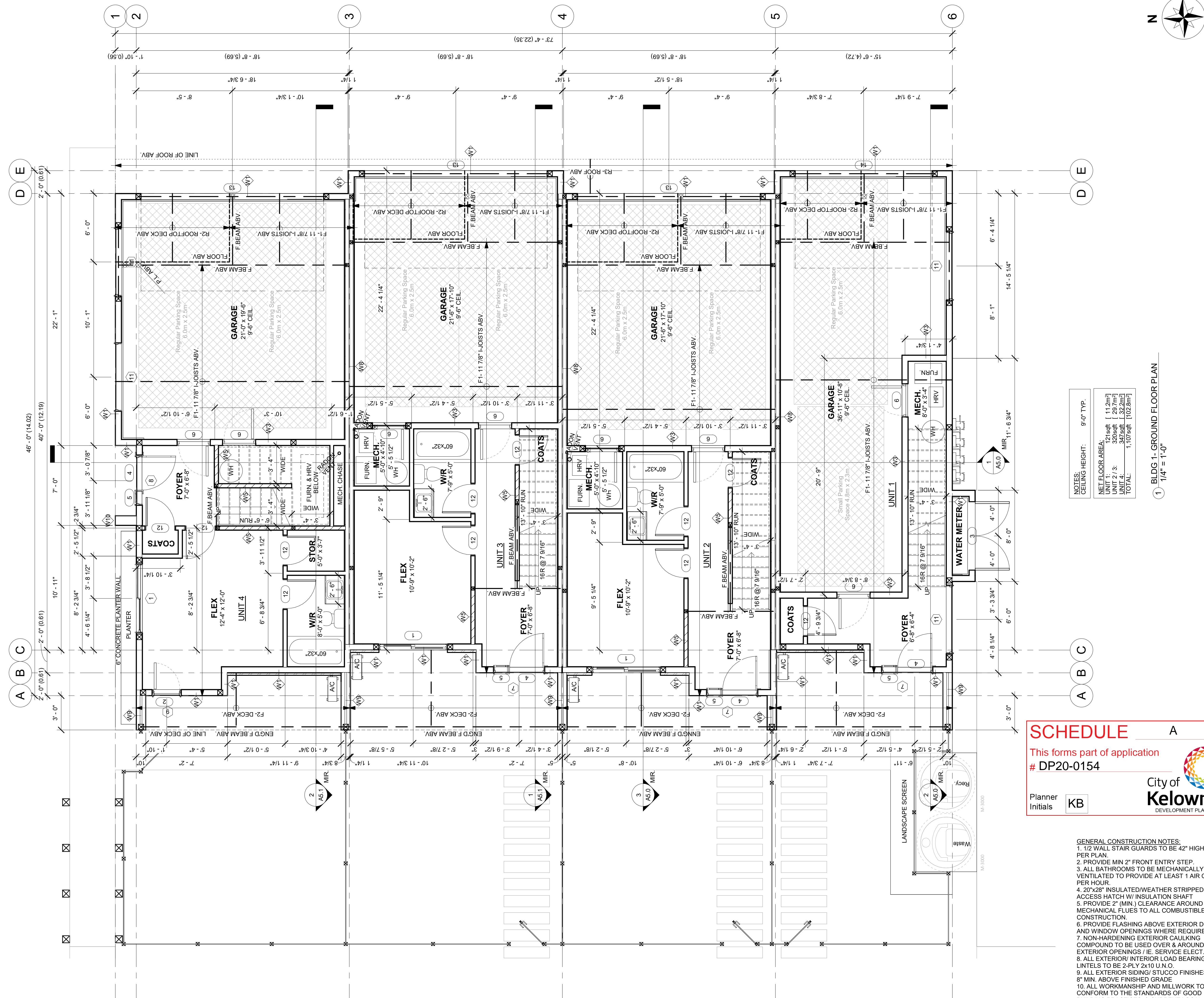
SCALE:
AS NOTED

DRAWN BY: BV
CHECKED BY: BV

DATE: 27.06.23
PROJECT: 2020-009

A1.2

Issue Schedule		
Issue Number	Description	Date (dd.mm.yy)
16	Development Permit	25.05.22
17	Revised Layouts	13.06.22
18	Revised Site	22.06.22
19	Revised Plans	28.06.22
20	Coordination	13.06.22
21	BP	03.08.22
22	BP	03.10.22
23	BP	25.10.22



NOTES:
CEILING HEIGHT: 9'-0" TYP.
NET FLOOR AREA:
UNIT 1: 1225sqft [112.2m²]
UNIT 2: 3425sqft [316.2m²]
UNIT 3: 3425sqft [316.2m²]
UNIT 4: 3425sqft [316.2m²]
TOTAL: 11,077sqft [1028.8m²]

1 BLDG 1- GROUND FLOOR PLAN
1/4" = 1'-0"

SCHEDULE A
This forms part of application
DP20-0154

Planner Initials: **KB**



City of Kelowna
DEVELOPMENT PLANNING

- GENERAL CONSTRUCTION NOTES:**
- 1/2 WALL STAIR GUARDS TO BE 42" HIGH OR AS PER PLAN.
 - PROVIDE MIN 2" FRONT ENTRY STEP.
 - ALL BATHROOMS TO BE MECHANICALLY VENTILATED TO PROVIDE AT LEAST 1 AIR CHANGE PER HOUR.
 - 20"x28" INSULATED/WEATHER STRIPPED ATTIC ACCESS HATCH W/ INSULATION SHAFT.
 - PROVIDE 2" (MIN.) CLEARANCE AROUND MECHANICAL FLUES TO ALL COMBUSTIBLE CONSTRUCTION.
 - PROVIDE FLASHING ABOVE EXTERIOR DOORS AND WINDOW OPENINGS WHERE REQUIRED.
 - NON-HARDENING EXTERIOR CAULKING COMPOUND TO BE USED OVER & AROUND ALL EXTERIOR OPENINGS / IE. SERVICE ELECT., ETC.
 - ALL EXTERIOR/ INTERIOR LOAD BEARING LINTELS TO BE 2-PLY 2x10 U.N.O.
 - ALL EXTERIOR SIDING/ STUCCO FINISHES TO BE 8" MIN. ABOVE FINISHED GRADE.
 - ALL WORKMANSHIP AND MILLWORK TO CONFORM TO THE STANDARDS OF GOOD BUILDING PRACTICES, & CURRENT LOCAL BUILDING CODES WITH ALL RESPECTS.
 - WHERE THERE IS A DISCREPANCY BETWEEN THE PLANS AND THE BUILDING CODE, THE BUILDING CODE SHALL TAKE PRECEDENCE.

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605fraser@gmail.com

'Oakland by Symbolic'
Multi-Residential Development
605 Fraser Rd &
460 Leathead Rd
Kelowna, BC

BLDG 1- GROUND FLOOR PLAN

SCALE:
AS NOTED

DRAWN BY: BV	CHECKED BY: BV
DATE: 25.10.22	PROJECT: 2020-009

A3.1.1

Issue Schedule		
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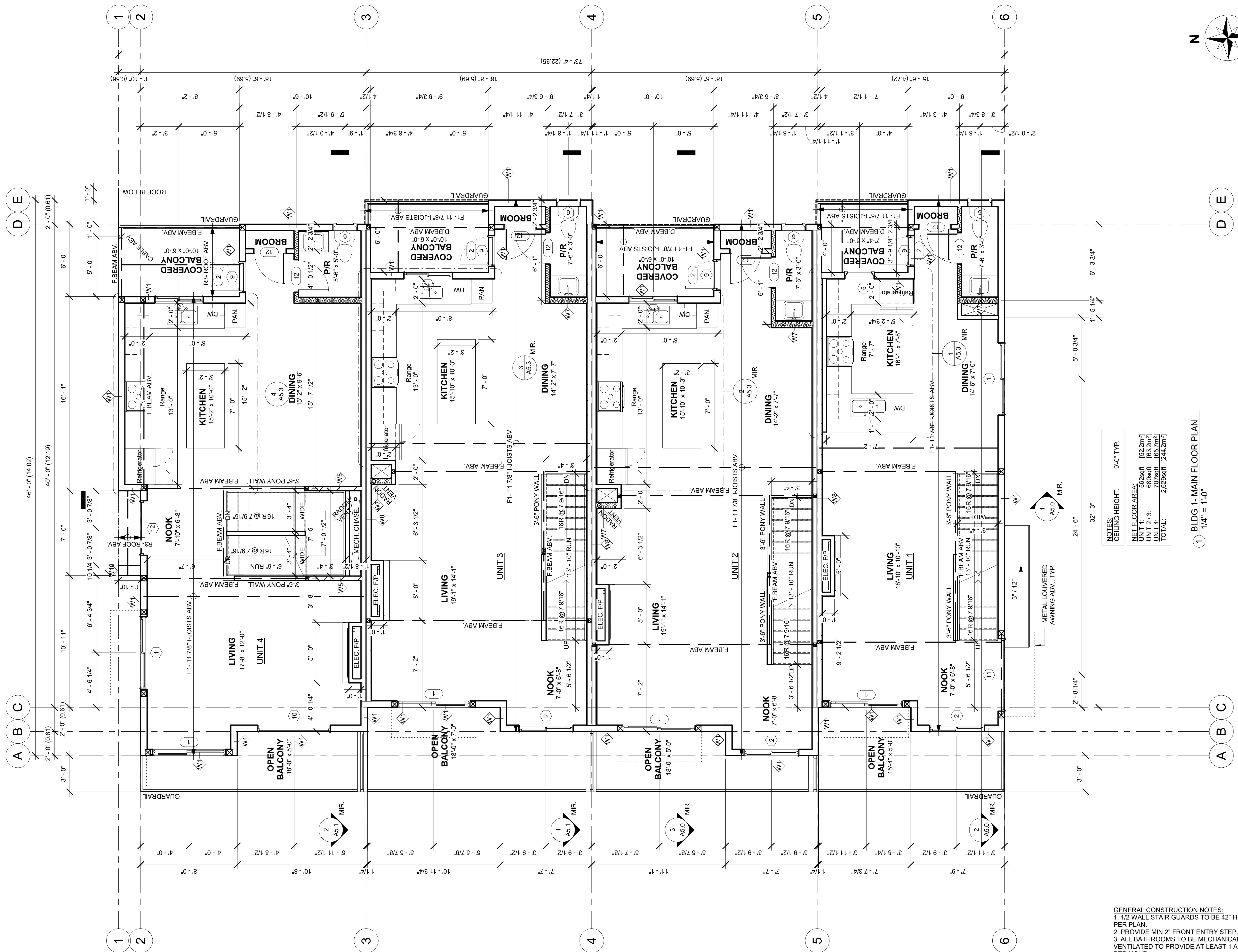
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BLDG 1- MAIN FLOOR PLAN

SCALE:
AS NOTED

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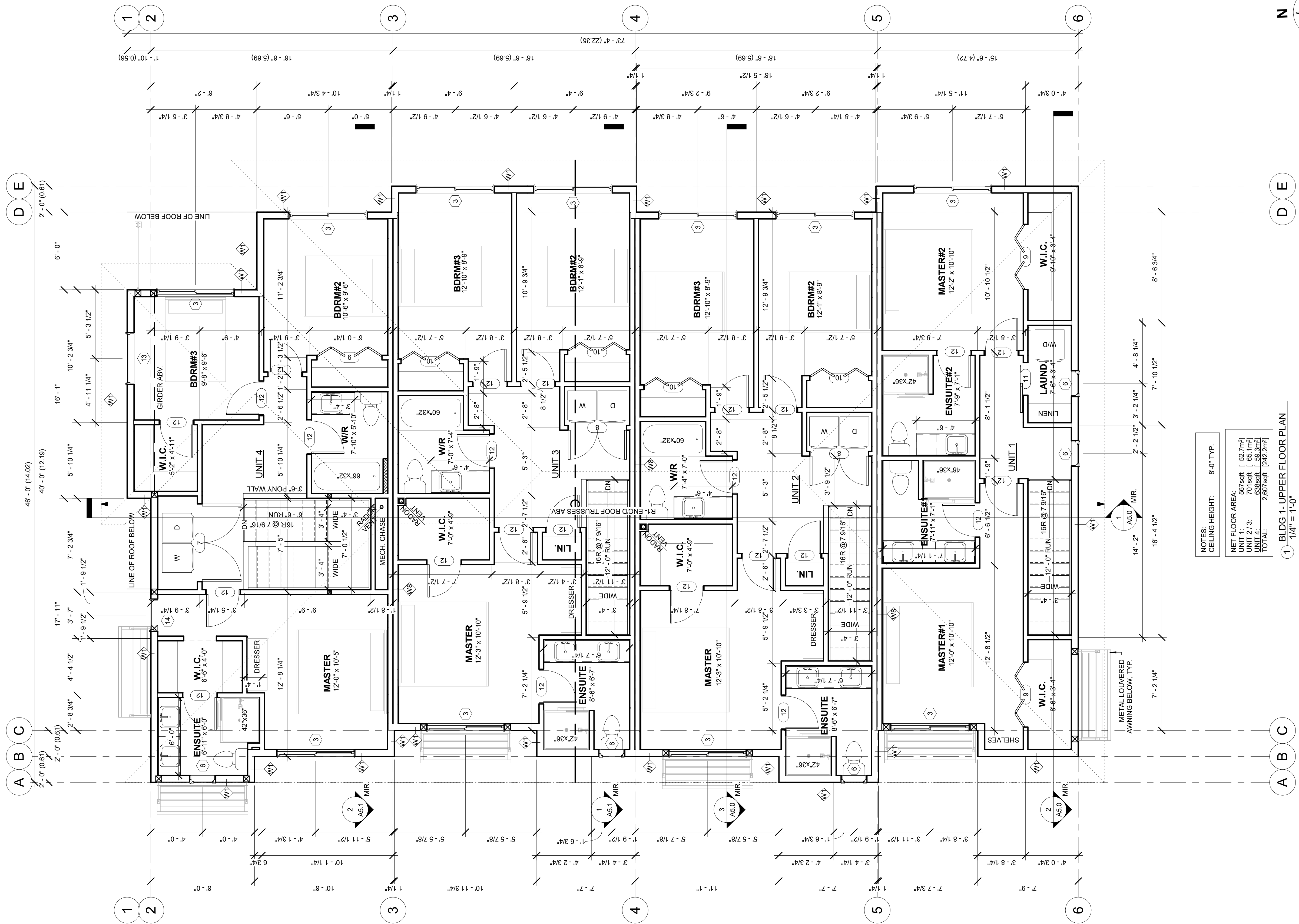
NOTES:
CEILING HEIGHT: 9'-0" TYP.
NET FLOOR AREA:
UNIT 1: 562sqft [52.2m²]
UNIT 2 / 3: 660sqft [63.2m²]
UNIT 4: 707sqft [65.7m²]
TOTAL: 2629sqft [244.2m²]

1 BLDG 1- MAIN FLOOR PLAN
1/4" = 1'-0"

- GENERAL CONSTRUCTION NOTES:**
- 1/2 WALL STAIR GUARDS TO BE 42" HIGH OR AS PER PLAN.
 - PROVIDE MIN 2" FRONT ENTRY STEP.
 - ALL BATHROOMS TO BE MECHANICALLY VENTILATED TO PROVIDE AT LEAST 1 AIR CHANGE PER HOUR.
 - 2" X 8" INSULATED/WEATHER STRIPPED ATTIC ACCESS HATCH W/ INSULATION SHAFT.
 - PROVIDE 2" (MIN.) CLEARANCE AROUND MECHANICAL FLUES TO ALL COMBUSTIBLE CONSTRUCTION.
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SCHEDULE A
This forms part of application
DP20-0154
Planner Initials **KB**
City of Kelowna
DEVELOPMENT PLANNING

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22	BP	03.10.22
23	BP	25.10.22



NOTES:
CEILING HEIGHT: 8'-0" TYP.
NET FLOOR AREA:
UNIT 1: 567sqft [52.7m²]
UNIT 2: 511sqft [47.3m²]
UNIT 3: 507sqft [46.9m²]
UNIT 4: 507sqft [46.9m²]
TOTAL: 2,092sqft [193.8m²]

1 BLDG 1 - UPPER FLOOR PLAN
1/4" = 1'-0"

SCHEDULE A

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DP20-0154

Planner Initials **KB**



- GENERAL CONSTRUCTION NOTES:**
- 1/2" WALL STAIR GUARDS TO BE 42" HIGH OR AS PER PLAN.
 - PROVIDE MIN 2" FRONT ENTRY STEP.
 - ALL BATHROOMS TO BE MECHANICALLY VENTILATED TO PROVIDE AT LEAST 1 AIR CHANGE PER HOUR.
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BLDG 1- UPPER FLOOR PLAN

SCALE:
AS NOTED


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DATE: 25.10.22	PROJECT: 2020-009

A3.1.3

Issue Schedule		
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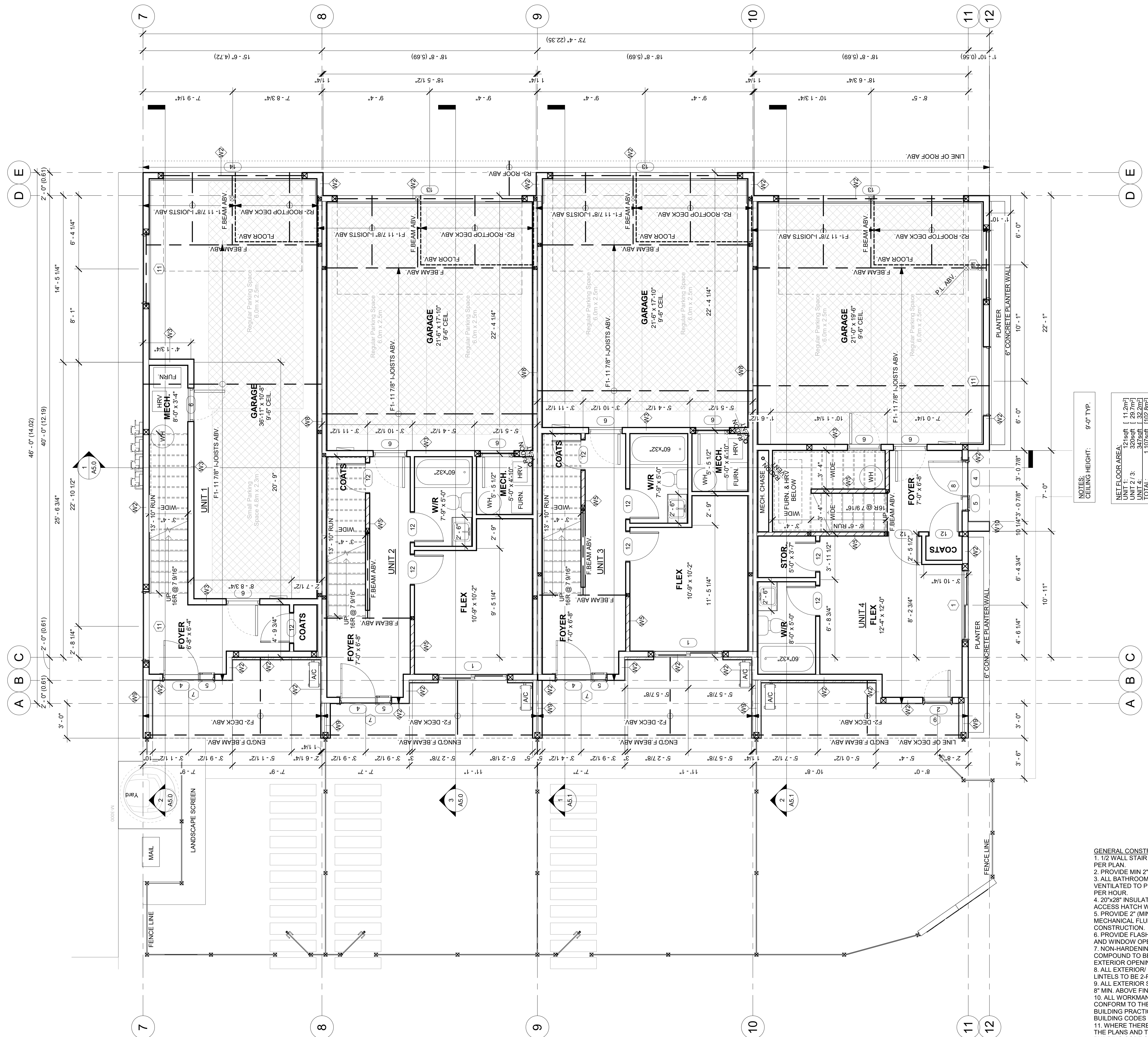
'Oakland by Symbolic'
Multi-Residential Development
605 Fraser Rd &
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BLDG 2- GROUND FLOOR PLAN

SCALE:
AS NOTED

DRAWN BY: BV	CHECKED BY: BV
DATE: 25.10.22	PROJECT: 2020-009

A3.2.1



NOTES:
CEILING HEIGHT: 9'-0" TYP.

NET FLOOR AREA:
UNIT 1: 11.2m²
UNIT 2: 11.2m²
UNIT 3: 11.2m²
UNIT 4: 11.2m²
TOTAL: 44.8m²

GENERAL CONSTRUCTION NOTES:
1. 1/2 WALL STAIR GUARDS TO BE 42" HIGH OR AS PER PLAN.
2. PROVIDE MIN 2" FRONT ENTRY STEP.
3. ALL BATHROOMS TO BE MECHANICALLY VENTILATED TO PROVIDE AT LEAST 1 AIR CHANGE PER HOUR.
4. 20'x28" INSULATED/WEATHER STRIPPED ATTIC ACCESS HATCH W/ INSULATION SHAFT.
5. PROVIDE 2" (MIN.) CLEARANCE AROUND MECHANICAL FLUES TO ALL COMBUSTIBLE CONSTRUCTION.
6. PROVIDE FLASHING ABOVE EXTERIOR DOORS AND WINDOW OPENINGS WHERE REQUIRED.
7. NON-HARDENING EXTERIOR CAULKING COMPOUND TO BE USED OVER & AROUND ALL EXTERIOR OPENINGS / IE. SERVICE ELECT., ETC.
8. ALL EXTERIOR/ INTERIOR LOAD BEARING LINTELS TO BE 2-PLY 2x10 U.N.O.
9. ALL EXTERIOR SIDING/ STUCCO FINISHES TO BE 8" MIN. ABOVE FINISHED GRADE.
10. ALL WORKMANSHIP AND MILLWORK TO CONFORM TO THE STANDARDS OF GOOD BUILDING PRACTICES, & CURRENT LOCAL BUILDING CODES WITH ALL RESPECTS.
11. WHERE THERE IS A DISCREPANCY BETWEEN THE PLANS AND THE BUILDING CODE, THE BUILDING CODE SHALL TAKE PRECEDENCE.


1 BLDG 2- GROUND FLOOR PLAN
1/4" = 1'-0"



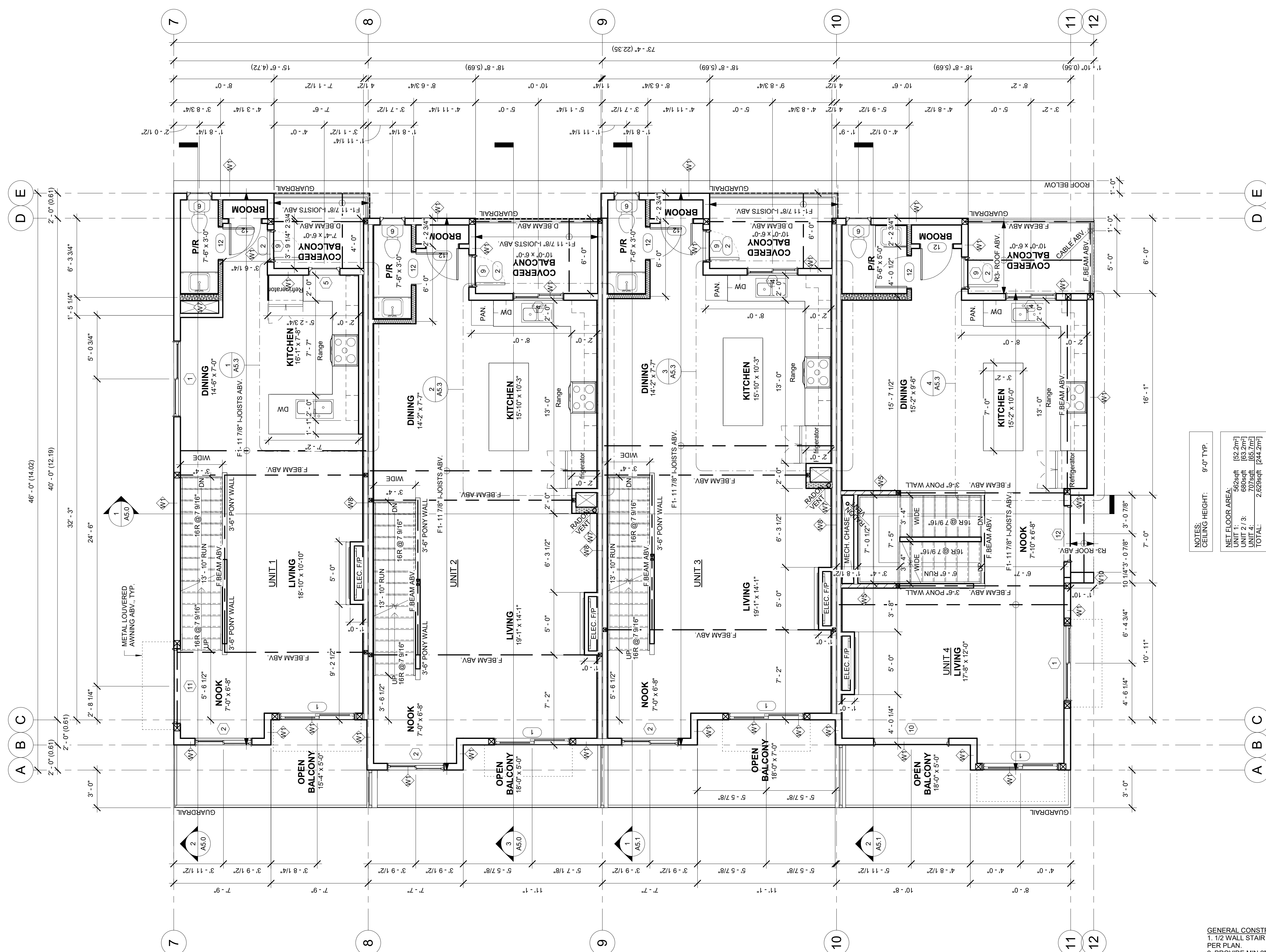
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Planner Initials **KB**



City of Kelowna
DEVELOPMENT PLANNING



NOTES:
CEILING HEIGHT: 9'-0" TYP.
NET FLOOR AREA:
UNIT 1: 562sqft [52.2m²]
UNIT 2 / 3: 660sqft [63.2m²]
UNIT 4: 702sqft [65.2m²]
TOTAL: 2,624sqft [244.2m²]

1 BLDG 2- MAIN FLOOR PLAN
1/4" = 1'-0"

GENERAL CONSTRUCTION NOTES:
1. 1/2" WALL STAIR GUARDS TO BE 42" HIGH OR AS PER PLAN.
2. PROVIDE MIN 2" FRONT ENTRY STEP.
3. ALL BATHROOMS TO BE MECHANICALLY VENTILATED TO PROVIDE AT LEAST 1 AIR CHANGE PER HOUR.
4. 2"x8" INSULATED/WEATHER STRIPPED ATTIC ACCESS HATCH W/ INSULATION SHAFT.
5. PROVIDE 2" (MIN.) CLEARANCE AROUND MECHANICAL FLUES TO ALL COMBUSTIBLE CONSTRUCTION.
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BLDG 2- MAIN FLOOR PLAN


SCALE:
AS NOTED

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DATE: 25.10.22	PROJECT: 2020-009

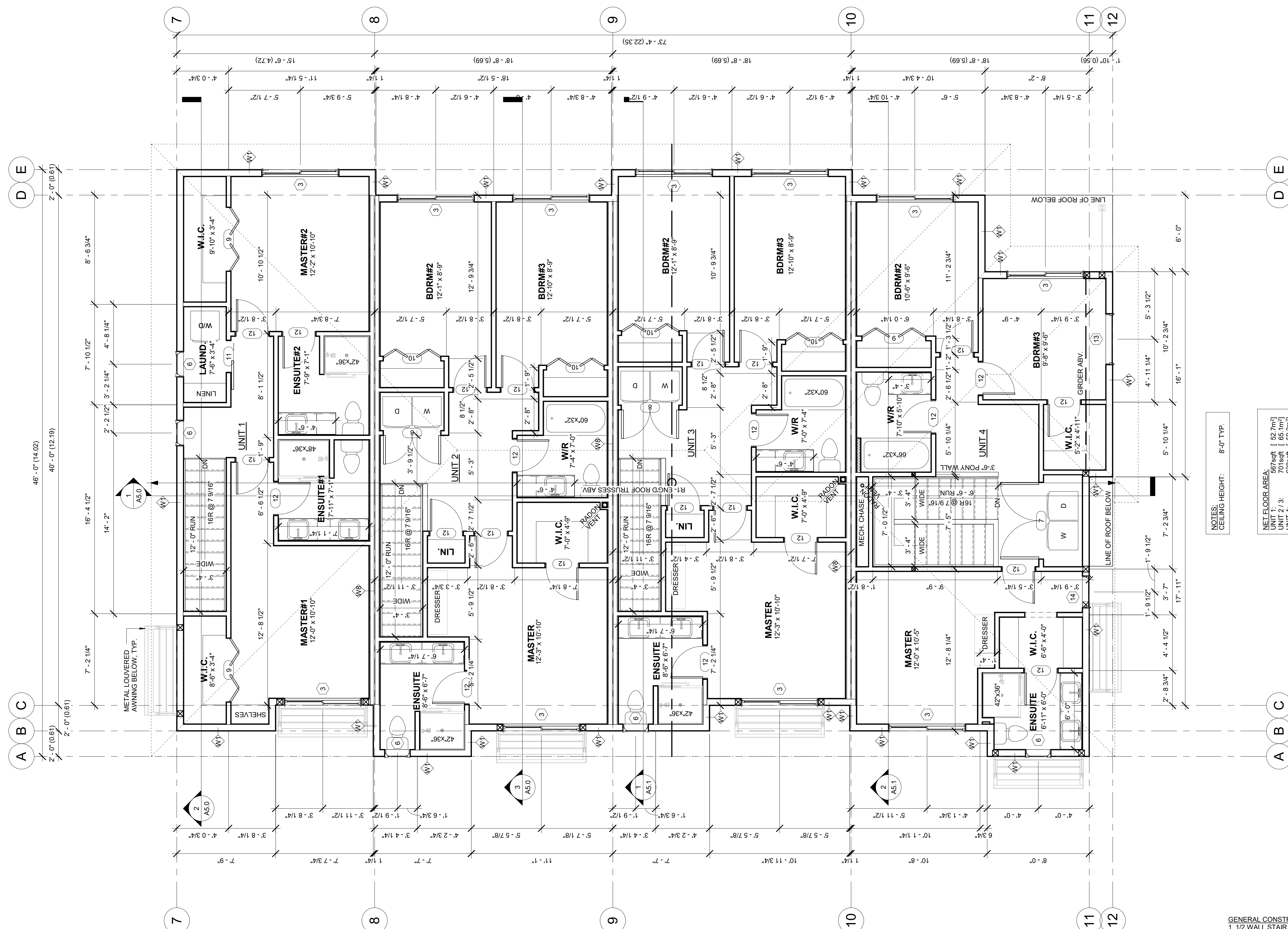
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Issue Schedule		
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SCHEDULE A
This forms part of application
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Planner Initials **KB**



NOTES:
CEILING HEIGHT: 8'-0" TYP.

NET FLOOR AREA:	567sqft [52.7m ²]
UNIT 1:	155sqft [14.3m ²]
UNIT 2:	155sqft [14.3m ²]
UNIT 3:	157sqft [14.5m ²]
UNIT 4:	150sqft [13.9m ²]
TOTAL:	2,607sqft [242.2m ²]

1 BLDG 2 - UPPER FLOOR PLAN
1/4" = 1'-0"

- GENERAL CONSTRUCTION NOTES:**
- 1/2 WALL STAIR GUARDS TO BE 42" HIGH OR AS PER PLAN.
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BLDG 2- UPPER FLOOR PLAN

SCALE:
AS NOTED


DRAWN BY: BV	CHECKED BY: BV
DATE: 25.10.22	PROJECT: 2020-009

A3.2.3

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Issue Schedule		
Issue Number	Description	Date (dd.mm.yy)
16	Development Permit	25.05.22
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19	Revised Plans	28.06.22
20	Coordination	13.06.22
21	BP	03.08.22
22	BP	03.10.22
23	BP	25.10.22

SCHEDULE A
This forms part of application
DP20-0154



City of Kelowna
DEVELOPMENT PLANNING

Planner Initials: **KB**

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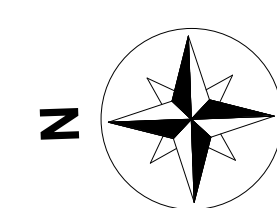
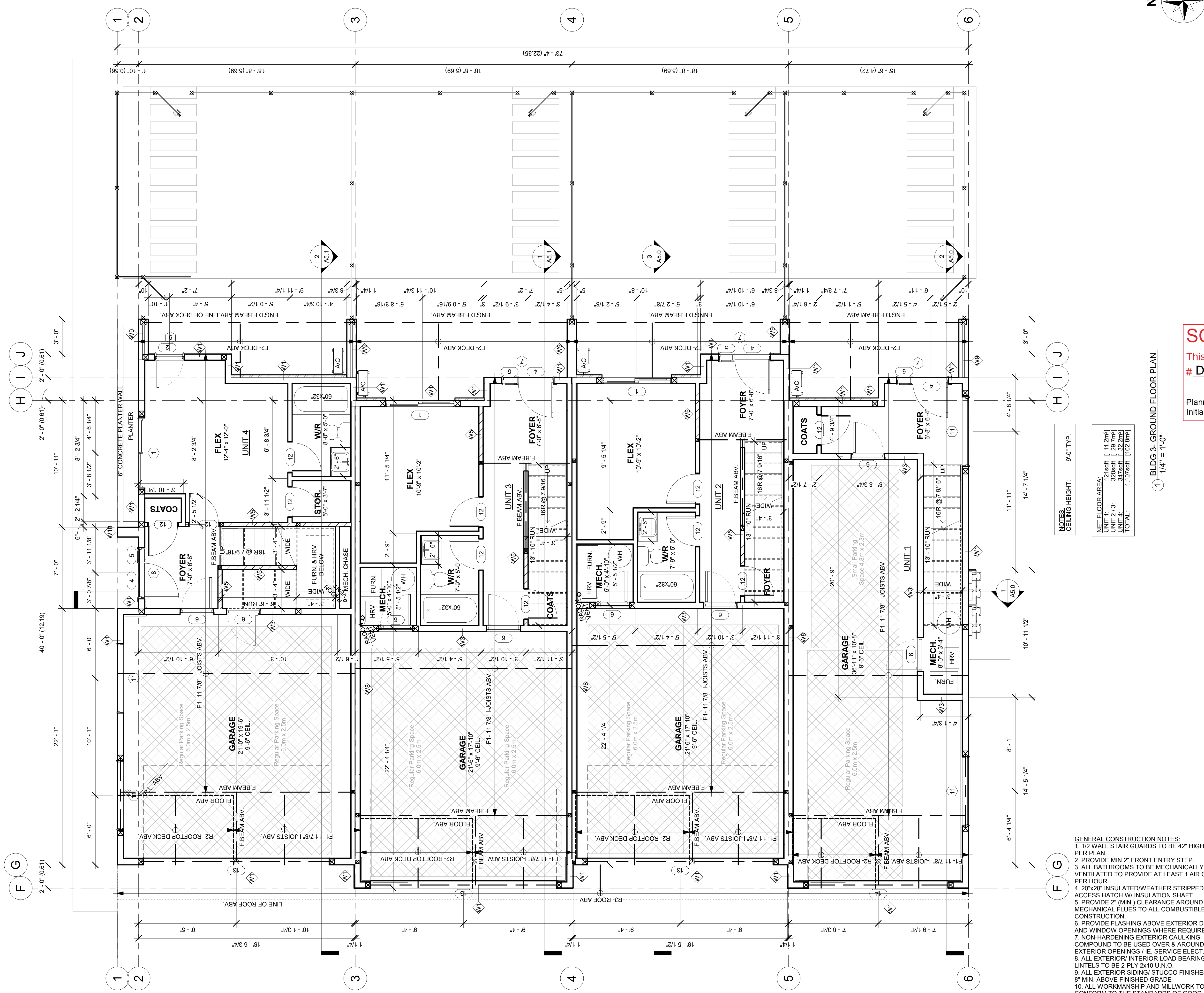
'Oakland by Symbolic'
Multi-Residential Development
605 Fraser Rd &
460 Leathhead Rd
Kelowna, BC

BLDG 3- GROUND FLOOR PLAN

SCALE:
AS NOTED

DRAWN BY: BV	CHECKED BY: BV
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A3.3.1




NET FLOOR AREA:
UNIT 1: 11.2m²
UNIT 2: 11.2m²
UNIT 3: 11.2m²
TOTAL: 33.6m²

BLDG 3- GROUND FLOOR PLAN
1/4" = 1'-0"

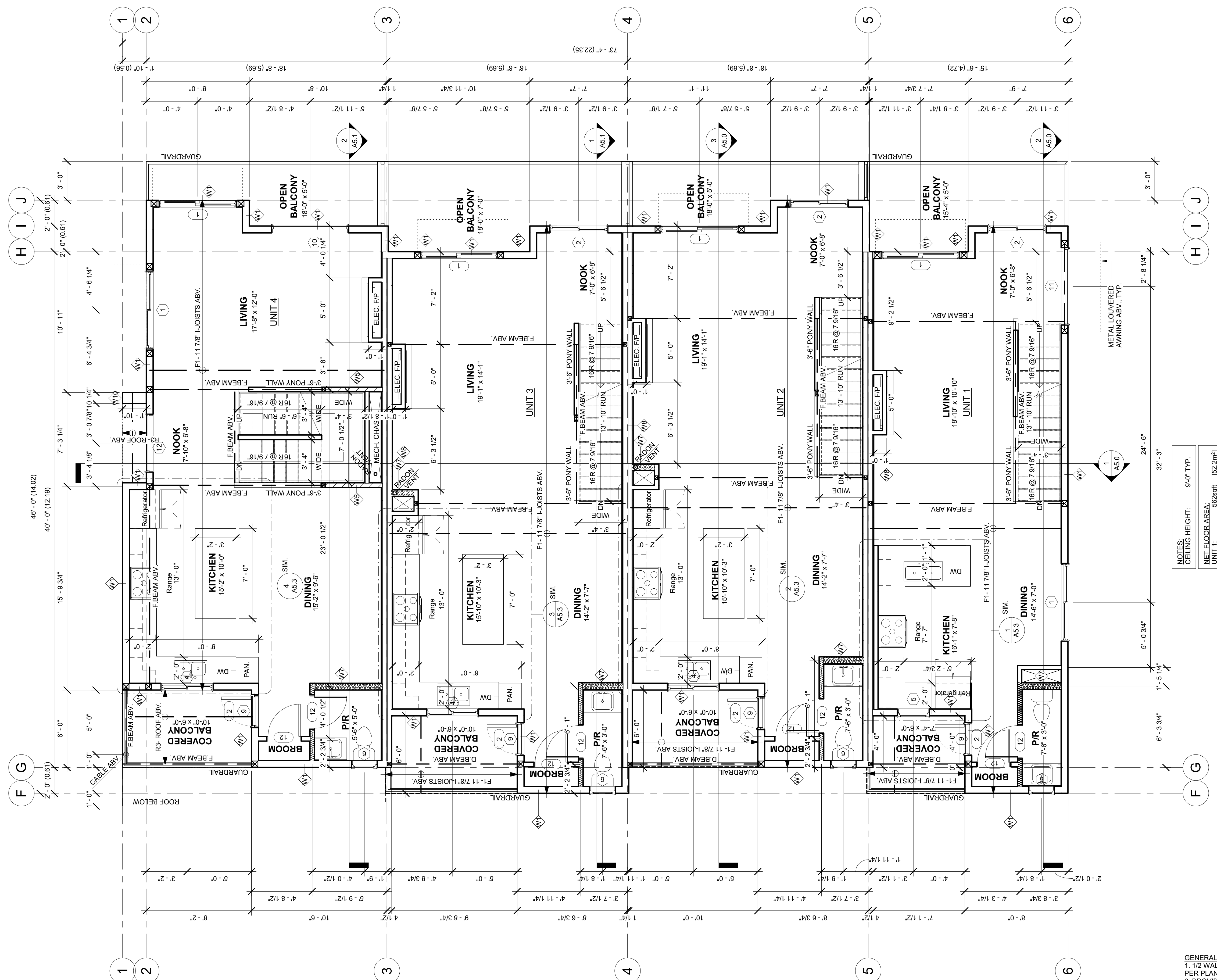
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City of Kelowna
DEVELOPMENT PLANNING



NOTES: CEILING HEIGHT: 9'-0" TYP.
NET FLOOR AREA:
UNIT 1: 562sqft (52.2m²)
UNIT 2 / 3: 660sqft (63.2m²)
UNIT 4: 707sqft (65.7m²)
TOTAL: 2,629sqft (244.2m²)

1 BLDG 3- MAIN FLOOR PLAN
1/4" = 1'-0"

GENERAL CONSTRUCTION NOTES:
1. 1/2" WALL STAIR GUARDS TO BE 42" HIGH OR AS PER PLAN.
2. PROVIDE MIN 2" FRONT ENTRY STEP.
3. ALL BATHROOMS TO BE MECHANICALLY VENTILATED TO PROVIDE AT LEAST 1 AIR CHANGE PER HOUR.
4. 20'x28' INSULATED/WEATHER STRIPPED ATTIC ACCESS HATCH W/ INSULATION SHAFT.
5. PROVIDE 2" (MIN.) CLEARANCE AROUND MECHANICAL FLUES TO ALL COMBUSTIBLE CONSTRUCTION.
6. PROVIDE FLASHING ABOVE EXTERIOR DOORS AND WINDOW OPENINGS WHERE REQUIRED.
7. NON-HARDENING EXTERIOR CAULKING COMPOUND TO BE USED OVER & AROUND ALL EXTERIOR OPENINGS / IE. SERVICE ELECT., ETC.
8. ALL EXTERIOR/ INTERIOR LOAD BEARING LINTELS TO BE 2-PLY 2x10 U.N.O.
9. ALL EXTERIOR SIDING/ STUCCO FINISHES TO BE 8" MIN. ABOVE FINISHED GRADE.
10. ALL WORKMANSHIP AND MILLWORK TO CONFORM TO THE STANDARDS OF GOOD BUILDING PRACTICES, & CURRENT LOCAL BUILDING CODES WITH ALL RESPECTS.
11. WHERE THERE IS A DISCREPANCY BETWEEN THE PLANS AND THE BUILDING CODE, THE BUILDING CODE SHALL TAKE PRECEDENCE.

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BLDG 3- MAIN FLOOR PLAN

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A3.3.2

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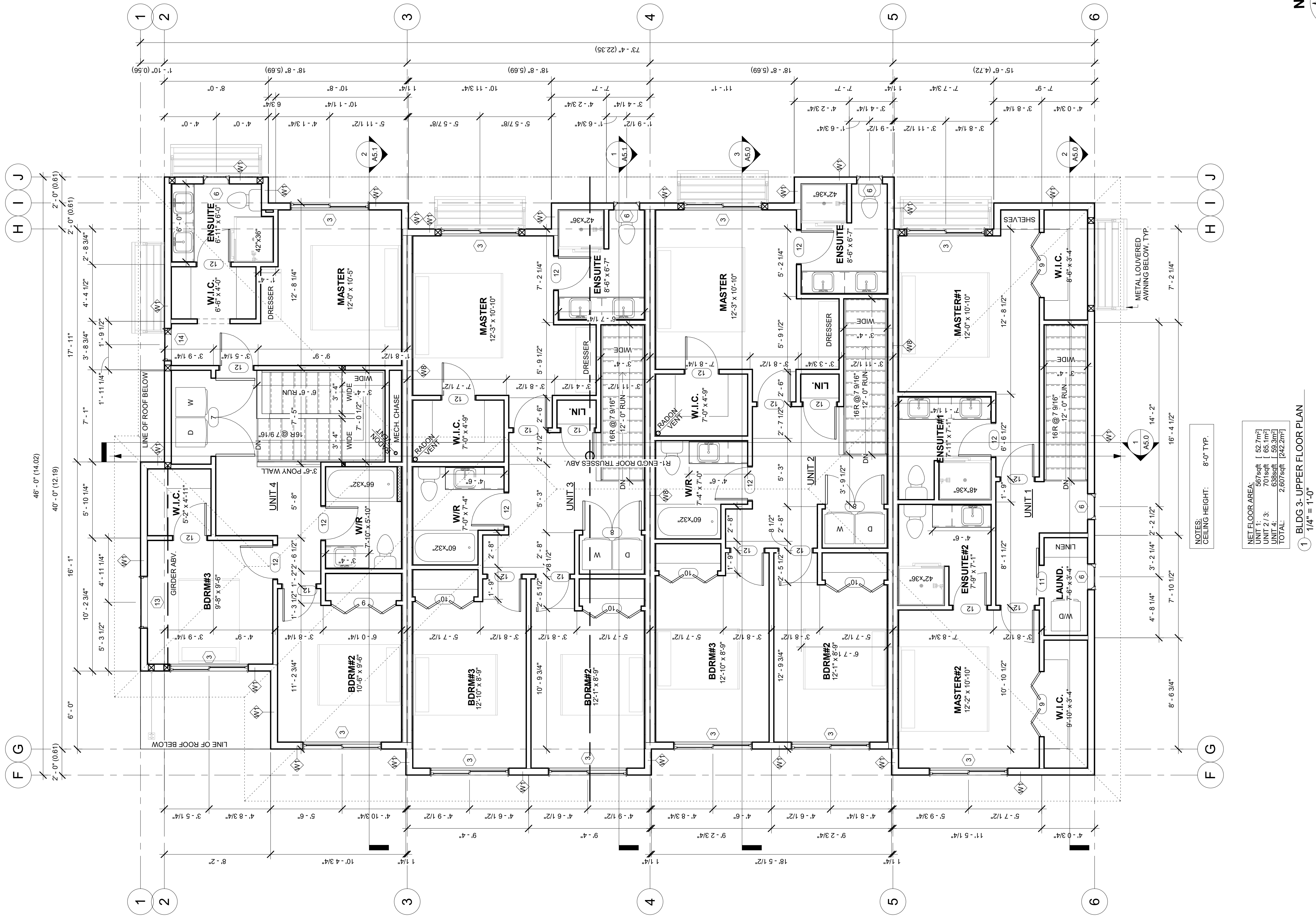
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DP20-0154

Planner Initials **KB**



City of Kelowna
DEVELOPMENT PLANNING



1 BLDG 3- UPPER FLOOR PLAN
1/4" = 1'-0"

NET FLOOR AREA:

UNIT 1:	567sqft [52.7m ²]
UNIT 2 / 3:	715sqft [66.1m ²]
UNIT 4:	630sqft [58.5m ²]
TOTAL:	2,607sqft [242.2m ²]

NOTES: CEILING HEIGHT: 8'-0" TYP.

- GENERAL CONSTRUCTION NOTES:**
- 1/2 WALL STAIR GUARDS TO BE 42" HIGH OR AS PER PLAN.
 - PROVIDE MIN 2" FRONT ENTRY STEP.
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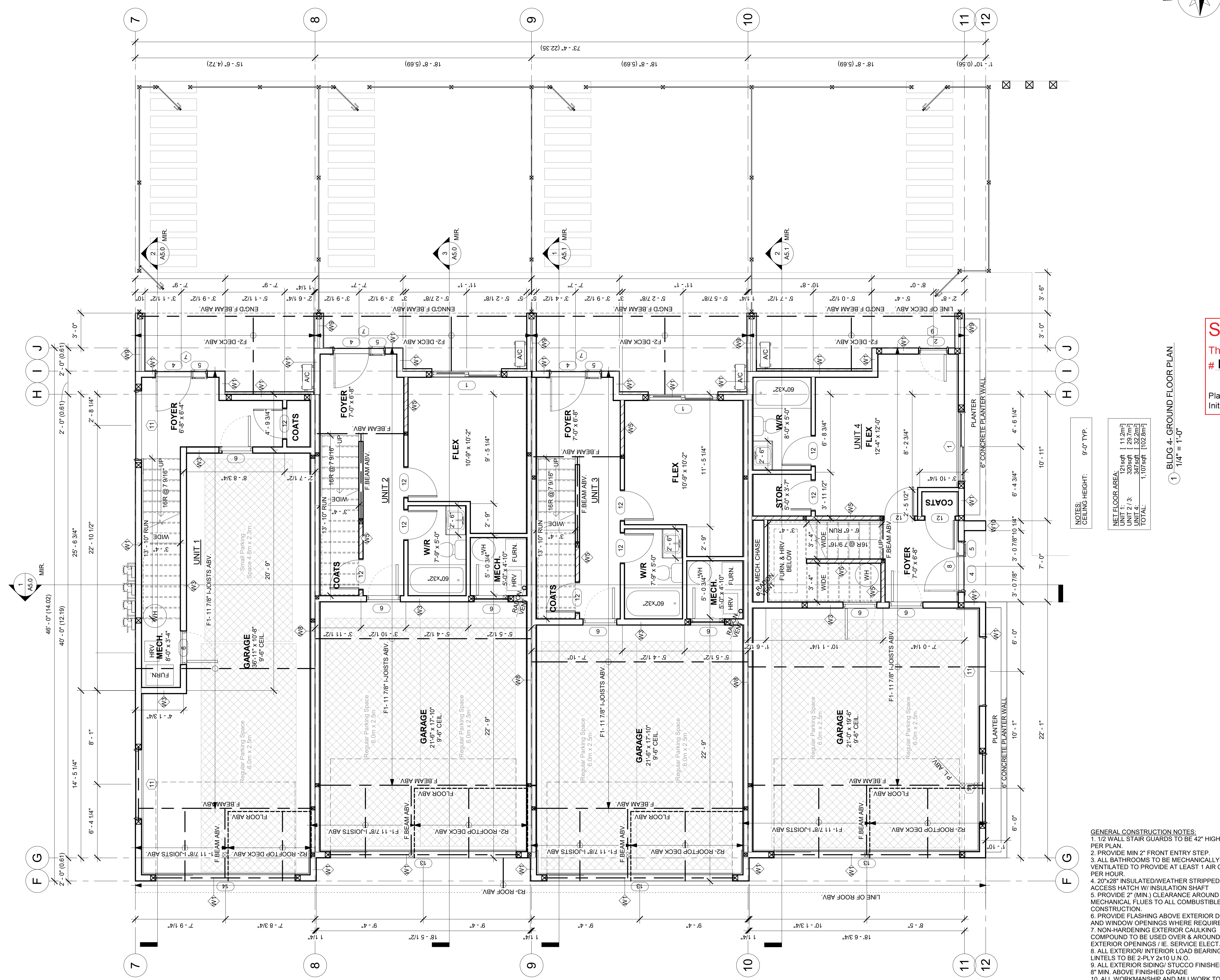
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City of Kelowna
DEVELOPMENT PLANNING



NOTES:
CEILING HEIGHT: 9'-0" TYP.
1 BLDG 4- GROUND FLOOR PLAN
1/4" = 1'-0"

- GENERAL CONSTRUCTION NOTES:**
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BLDG 4- GROUND FLOOR PLAN

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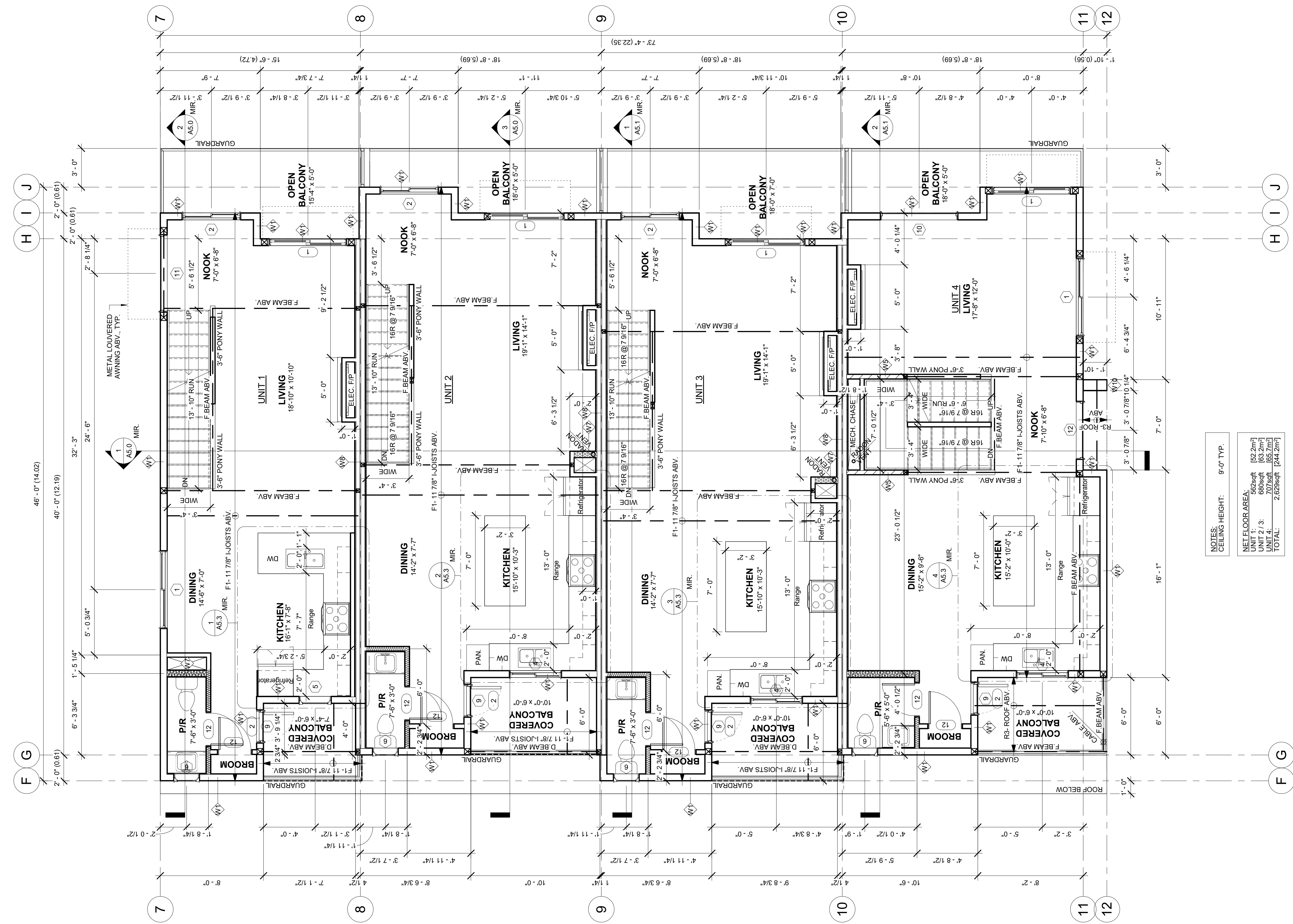
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City of Kelowna
DEVELOPMENT PLANNING



NOTES:
CEILING HEIGHT: 9'-0" TYP.

NET FLOOR AREA:
UNIT 1: 522sqft [52.2m²]
UNIT 2 / 3: 680sqft [63.2m²]
UNIT 4: 707sqft [65.2m²]
TOTAL: 2,629sqft [244.2m²]

1 BLDG 4- MAIN FLOOR PLAN
1/4" = 1'-0"

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BLDG 4- MAIN FLOOR PLAN


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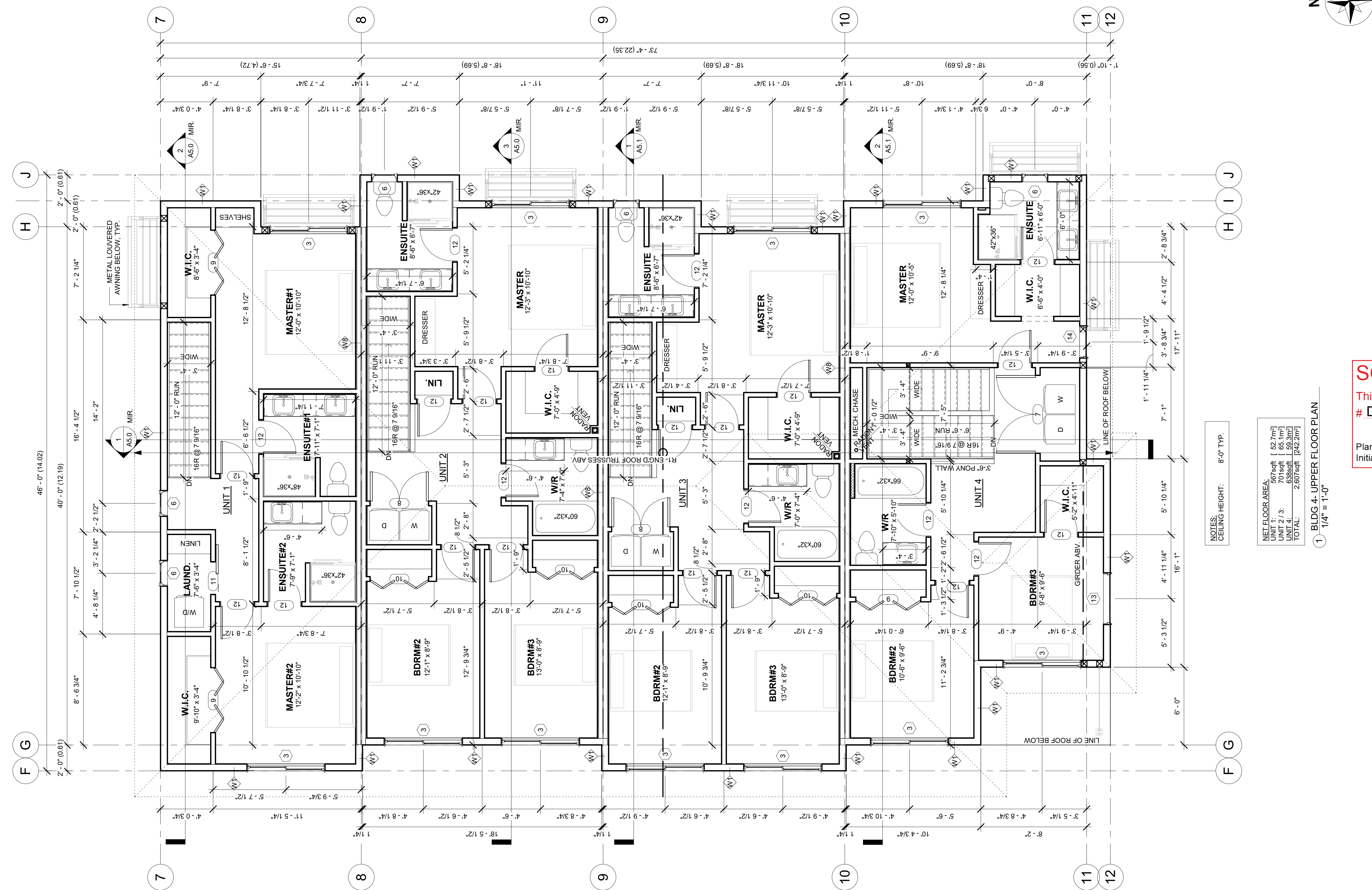
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BLDG 4- UPPER FLOOR PLAN

SCALE:
AS NOTED

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A3.4.3

GENERAL NOTES

- The following notes are to be included as part of the drawings.
- The General Contractor or the Owner/builder shall verify all dimensions, details, structural materials and conditions shown on the drawings or noted in the specifications.
- The General Contractor or Owner/builder shall resolve any problems arising out of any variances from the drawings and specifications, or from conditions encountered at the job site. Such resolution shall be the sole responsibility of the General Contractor or Owner/builder.
- The Designer shall not be responsible for any departure from the drawings and Specifications authorized by any inspection authority during the course of construction.
- The General Contractor or Owner/builder shall ensure that all work conform to the current Building Code adopted by the authorities having jurisdiction or local Building Codes and By-laws that may take precedence.
- The General Contractor or Owner/builder shall be responsible for correct placement of this building on the site. Any pre-existing structures must be surveyed prior to construction. The foundation must be surveyed post foundation construction.
- The Designer shall not be responsible for site conditions such as soil bearing capacity, depths of water tables or buried structures. A geotechnical engineer registered in the province of British Columbia may be required to determine such conditions per the requirements of the authorities having jurisdiction.
- All work shall be equal in all respects to good building practice.
- Written dimensions take precedence over scaled drawings.
- Construction loads on the structure caused by interim storage of materials or use of equipment will not be allowed to exceed the design loads.
- These drawings are not to be scaled.

ERRORS AND OMISSIONS

- The Designer makes every effort to provide complete and accurate home plans. This office assumes no liability for any errors or omissions that may affect construction.
- Should any discrepancies be found on this set of drawings, please advise our office at your earliest convenience.

STRUCTURAL DESIGN CRITERIA

- Assumed roof design snow load (live + dead) = 35 psf (1.68 kN/m²)
- Assumed soil bearing capacity = 2000 psf (95.76 kN/m²)
- Concrete foundation walls and slabs-on-grade shall have a minimum compressive strength of 3000 psi (20 MPa) at 28 days.
- All reinforcing bars shall be billet steel complying with CSA-G30.10
- Any Structural Engineer's drawings provided take precedence over these drawings.
- The qualified professional engineer must be registered in the province of British Columbia and in good standing with the Engineering Association of BC.
- If there is a Structural Engineering involved, they must provide schedules for their design and are responsible for their own design and inspections.
- If there is no Structural Engineer involved, it is the responsibility of the authority having jurisdiction to confirm all structural design criteria.

FOUNDATION

- Foundations shall be a minimum of 8" thick insulated concrete (exceptions noted) or ICF on solid undisturbed bearing soil or pre-engineered soil approved by a geotechnical engineer certified in the province of British Columbia and below a frost line of 2'-0" below grade.
- Basement foundation walls shall not be backfilled until:
 - Concrete has reached its specified 28 day strength.
 - Structural floor framing, including subfloor, required to support the walls is complete and fully nailed and anchored.
- Foundation wall heights may require adjustment to suit site conditions.
- All concrete and masonry foundation walls exceeding limits specified in the current Building Code require engineering.
- All foundation walls 24" (600mm) and higher shall have a minimum of 1 1/2" (12mm) reinforcing bar centered on wall and located 3" (75mm) from the top of wall.
- Corner reinforcing to be lapped a minimum 24" (600mm).
- Provide minimum side clear concrete cover of 1 1/2" (38mm).
- Provide minimum bottom clear concrete cover of 3" (76mm) cast against soil.
- The Contractor shall examine all applicable drawings for locations of embedded items before placing concrete.
- Perimeter drainage shall be installed where required to the approval of local authorities.

WOOD FRAME CONSTRUCTION:

- Dimensions are taken from outside face of exterior wall sheathing to centerline of interior wall studs. Face of exterior sheathing to be flush with outside face of foundation wall. Exceptions noted.
- All studs, plates, backing, blocking and bridging to be No. 2 SPF or better.
- All joists, rafters, beams and lintels to be No. 2 SPF or better. Exceptions noted.
- Floor joists shall be doubled under all non-loadbearing partitions parallel to the joists.
- Joists are to be placed to accommodate heating, plumbing and other services.
- All lintels to be 2-2x10 (2-38x25) or pre-engineered lintels. Exceptions noted.
- Wood in contact with concrete to be dampproofed with 45 lb tar saturated felt, 6 mil polyethylene.
- All wood plates are to be anchored to foundation with 12 mm (1/2") anchor bolts with spacing not exceeding 1800 mm or (6'-0") O.C. Unless noted otherwise by the structural engineer of record. Exceptions noted.
- Exterior wood plates are to be level and sealed at contact with concrete foundation.
- Cross-bridging for floor joists and roof joists shall be 38x38 (2"x2") diagonal type wherever possible. Use solid blocking with TJI's.
- Cross-bridging rows shall be installed at mid-span for joist spans exceeding 2100 mm (7'-0") or at 2100 mm (7'-0") maximum, unless strapping or sheathing is applied to the underside of joists.
- Roof trusses may require an engineer's certificate. For pre-engineered trusses, a certificate must be obtained from the truss fabricator.
- Caulk under all exterior door & window frames and at both sides of exposed masonry chimneys.
- Caulk under all base plates at exterior walls.
- Junctions between the floor to rim joist & rim joist to foundation must be sealed.

STEEL CONSTRUCTION:

- All structural steel design & construction must be sealed & approved by a Structural Engineer registered in the province of British Columbia.
- Fabrication, erection, structural design and detailing of all structural steel and connectors shall be in accordance with CSA-S16-09. Steel decking and metal studs shall be designed, fabricated and installed in accordance with CSA-S16-09 (R2012) and specifications of the manufacturer. Shop drawings shall be sealed by a qualified professional engineer registered in the province of British Columbia.

DECK AND PORCH CONSTRUCTION:

- All framing to be No.2 SPF or better and #1 ACQ pressure treated lumber. Exceptions noted.
- Girders for floor joists to be a min. 2-ply 2x10 unless noted otherwise. Girders shall be either bolted to posts w/ 1/2" dia. galvanized bolts or anchored into concrete pier.
- All joists to have blocking at 8'-0" o/c.
- all ledgers attached to house to have a flashing barrier, lapping behind the siding, between the house and ledger. Ledger shall be bolted to the building with 1/2" dia. galvanized bolts.
- All footings for posts and piers to be below local frost line. Piers shall extend a minimum of 6" above grade or per plan.
- All framing material to have appropriate galvanized hangers and anchors.

INSULATION, VENTILATION, AND SEALING:

- Minimum effective insulation requirements (HRV not installed):
 - Walls above grade: RSI 3.08 (R-17.5)
 - Walls below grade: RSI 2.98 (R-16.9)
 - Roof & ceiling / [cathedral & flat]: RSI 8.67 / [RSI 4.67] (R-50 / [R-28])
 - Floors Above Unheated Space: RSI 4.67 (R-26.5)
 - Under floors above frost line: RSI 1.96 (R-11)
 - Heated floors: RSI 2.32 (R-13.2)
- Minimum effective insulation requirements (HRV installed):
 - Walls above grade: RSI 2.29 (R-16.86)
 - Walls below grade: RSI 2.98 (R-16.86)
 - Roof & ceiling / [cathedral & flat]: RSI 6.91 / [RSI 4.67] (R-39.23 / [R-28])
 - Floors Above Unheated Space: RSI 4.67 (R-26.5)
 - Under floors above frost line: RSI 1.96 (R-11)
 - Heated floors: RSI 2.32 (R-13.2)
- Sealant shall be provided where required to prevent the entry of water into the structure.
- Sealant shall be provided at vertical joints between different cladding materials unless the joint is suitably lapped or flashed to prevent the entry of rain.
- 6 mil polyethylene vapour barrier shall be installed on the warm side of insulation.
- Flexible sheet air barrier materials require all joints to be lapped minimum of 50mm (2"), sealed, structurally supported. All sealants must be non-hardening. Vapour barrier tape is recommended to be applied to all joints additionally, even if not required at joint.
- Windows, Doors, and Skylights shall be sealed to vapour & air barriers.
- Sealants shall be applied between window frames or trim and the exterior calding or masonry per British Columbia Building Code 9.27.4. or a Envelope Engineer specifications.
- Poly hats are required on exterior walls and ceilings for electrical boxes and pot lights. Which must be sealed to the vapour/air barrier.
- Attic hatches and all electrical penetrations into the attic space along any gaps, spaces, penetrations, irregularities that could inhibit vapour/air leakage must be sealed.
- Foundation wall insulation to be 3" XPS (R15) of rigid insulation on outside face of concrete, both sides of ICF or min. 1" EPS rigid insulation between a batt filled firing wall & foundation wall.
- Ceiling insulation is blown cellulose insulation in attic/fat trusses and Sprayed polyurethane foam, medium density closed cell (CANULC S705.1) in floors/cathedral ceilings.
- Provide a baffle of air space (equal to soffit venting area) between insulation and roof sheathing at exterior wall line.
- All walls and ceilings between residential spaces and garages or carports shall be insulated.
- Insulation requirements may vary with heating systems and with local conditions. Verify with local authorities.

INSULATION, VENTILATION, AND SEALING:

- All roof spaces shall be ventilated with soffit, roof or gable vents, or a combination of these equally distributed between the top of roof space and soffits. Unless Sprayed polyurethane foam, medium density closed cell (CANULC S705.1) is used.
- Venting area for attics and roof spaces shall be a minimum of 1/300 the of attic or roof space area. Unless Sprayed polyurethane foam, medium density closed cell (CANULC S705.1) is used.
- Vents for unheated crawlspaces shall be closeable, with a minimum total area 1/500 the of the crawspace area.

MASONRY, CHIMNEYS AND FIREPLACES:

- All masonry work shall be in accordance with the current British Columbia Building Code. Chimney and fireplace construction to comply with the applicable sections of Part 9 of the British Columbia Building Code.
- All chimney and fireplace installations shall be governed, inspected and approved by municipal authorities. A separate permit may be required.
- Fireplace(s), including hearth and mantle if specified, are to be finished to Owner's specifications.
- Fireplace flue size to be minimum 1/10 of opening size.
- Dampers shall be rear hinged and min. 200mm (8") above finished opening.
- Provide min. 200mm (8") of brick, including firebrick, on all sides of firebox - min. 300mm (12") for stone.
- Interior wood-frame members to be min. 100mm (4") clear from back of and sides of firebox, and min. (2") 50mm clear from brick chimneys.
- Exterior wood-frame members to be min. 25mm (1") clear from exterior fireplace and minimum 12mm (1/2") clear from exterior chimney.
- Zero clearance type metal fireplaces and metal chimneys to be CSA approved and installed to manufacturer's specifications. Metal lining is recommended for chimney chases.

FINISHING:

- All interior and exterior finishes shown on the drawings shall be confirmed by the Owner & Contractor.
- Exterior doors shall be solid core and weather-stripped.
- All exterior doors with flush/recessed threshold to have built-in drain in sill or have grate drain and flashing below on the exterior side of the door.
- Garage doors to dwelling area to be solid core, weather-stripped and self-closing.
- All horizontal changes in exterior finishes to be flashed. As well as any horizontal offsets in cladding may compromise the drainage of moisture from behind the exterior finish above.
- Flashing to be installed over all unprotected exterior openings.
- Sliding glass doors shall have safety glass.
- Window sizes are shown in foot and inches.
- Door Sizes are shown in feet and inches.
- Openings in partitions shown without doors are to be full height unless shown as an arch, door opening, or noted otherwise.
- Lintels at archways are to be framed 2075mm (6'-11") high. Exceptions noted.
- Coat and clothes closets shall have one rod and shelf. Linen closets shall have 5 adjustable shelves where possible. Broom closets shall have one shelf (unless shown/noted otherwise).
- All bathrooms shall have a wall medicine cabinet or one lockable cabinet drawer.

HEATING:

- Installation of entire heating system, whether electric, forced warm air or hot water, must comply with manufacturer's directions (where applicable) and conform to requirements of local codes and regulations in all respects.
- Gas connection will require separate permit and inspection.
- All supply air ducts to be installed overhead in basement unless specified otherwise.
- All return air intakes and registers to be located and installed for maximum efficiency by a qualified heating contractor.

PLUMBING:

- All materials, equipment and methods of installation shall be in accordance with requirements outlined in Part 7 of the most current British Columbia Building Code and applicable local regulations.
- When the Owner's property is not located on a municipal sewer system, wells and septic disposal systems are to be located and constructed in accordance with health authorities having jurisdiction.
- All plumbing materials in contact with soils shall be corrosive resistant.
- All water closets to be low flush (water efficient) water closets. Unless noted otherwise.
- All plumbing fixtures to be low flow (water efficient) fixtures. Unless noted otherwise.

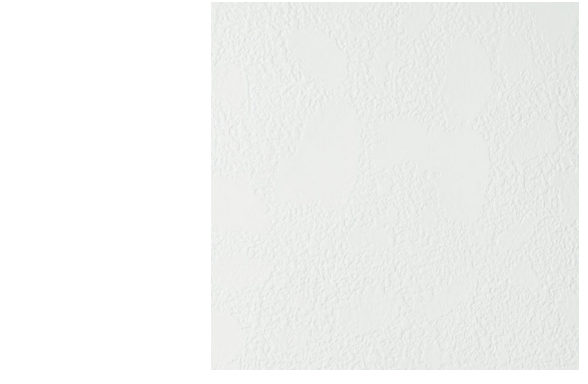


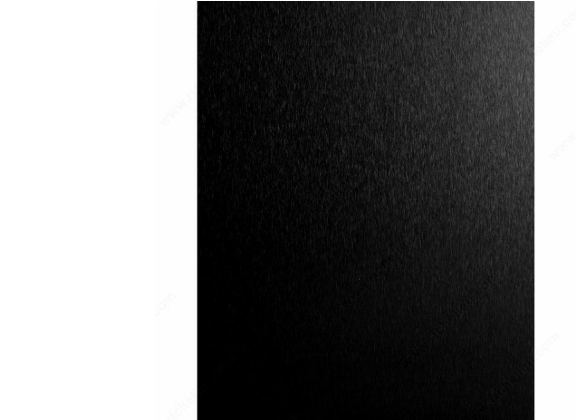





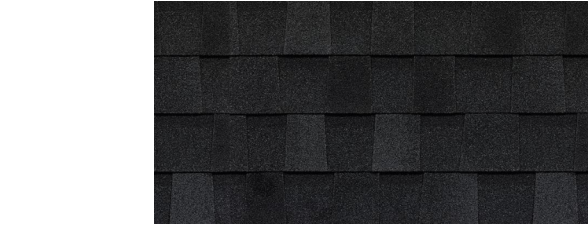

ELECTRICAL:

- Installation of electrical items must comply with the most current British Columbia Electrical Code and with the local electrical supplier in all respects.
- Outlet locations must comply with or exceed current minimum requirements outlined in the British Columbia Building Code. The minimum requirements are to be used as a guide only, and may be adjusted according to the Owner's and/or local authority's specific requirements beyond the minimum.
- All lights to be light emitting diode (LED) lights. Unless Noted Otherwise.

ABBREVIATIONS

AC.	Acoustic	LOUV.	Louvered
AW.	Awning	MAX.	Maximum
B.C.B.C.	B.C. Building Code	M.C.	Medicine cabinet
BD.	Board	MFR. SPECS	Manufacturer's Specifications
B.F.	Bifold door	MIN.	Minimum
BM.	Beam	MIR.	Mirror
BTWN.	Between	MW.	Microwave
B.U.	Built-up	N/A	Not Applicable
CEIL.	Ceiling	N.B.C	National Building Code
COL.	Column	N.T.S	Not to scale
CONC.	Concrete	OBSC.	Obscure
CONC. BLK	Concrete block	O/C	On centre
CONT.	Continuous	O/H	Overhead
C.S.	Crawspace	OH.	Overhang
CJ.	Complete with	PKT	Packet Door
DIA.	Diameter	P.L.A.	Point Load Above
DIM.	Dimension	PLYW'D	Plywood
DN.	Down	R.	Range
D.	Dryer	REQ'D	Required
D.W.	Dishwasher	R.C.	Rubber cover
ELECT.	Electrical	R. & S.	Rod & Shaft
ELEV.	Elevation	RM.	Room
EQ.	Equal	R.O.	Rough opening
E/W	Each Way	R/W	Reinforced with
F.	Refrigerator	R/W.L.	Rain Water Leader
F.D.	Floor drain	S.	Sink
FLR.	Floor	S/C	Solid core
F.E.P.	From Existing Plans	SH.	Shower
FND	Foundation	S.O.G.	Slab on grade
FRZR.	Freezer	SUSP.	Suspended
FTG.	Footing	T/O	Top of
FUR.	Furnace	TYP.	Typical
GA.	Guage	T.B.C	To be confirmed
G.R.	Guard Rail	U/S	Underside
GWB.	Gypsum board	V.B.	Vapour Barrier
H.B.	Hose bib	VERT.	Vertical
HORIZ.	Horizontal	V.H.	Vent Hood
HT.	Height.	W.	(Clothes) Washer
H/W.	Hot Water Tank	w/	With
I.H/W.	Instant Hot Water Heater	W.C.	Water Closet
INSUL.	Insulation	WD.	Wood
LDRY.	Laundry	W.P.	Weatherproof
LIN.	Linen	W.W.M.	Welded wire mesh
LINO.	Linoleum	U.N.O.	Unless Noted Otherwise

EXTERIOR MATERIAL SCHEDULE

SAMPLE	COLOUR	MATERIAL	TEXTURE
	WHITE w/ BLACK REVELS	CEMENT PANEL	SMOOTH
	EVENING BLUE OR BEIGE w/ BLACK REVELS	CEMENT PANEL	SMOOTH
	WOOD GRAIN BLONDE OAK	PVC LAP SIDING & VENTED SOFFIT	SMOOTH
	BLACK	ALUMINUM SIDING GUARDRAILS, EAVES VENTED SOFFIT, DOOR/WINDOW FRAME	BRUSHED/PAINTED
	BLACK	ENGINEERED WOOD/ CEMENT BOARD	10" WOOD GRAIN FASCIA
	BLACK	PAINTED STEEL	CABLE SUPPORT & AWNING
	OPAQUE	GLASS	SMOOTH
	SOUTHERN OAK	VINYL DECKING DEC-TEC®	TEXTURED/ SLIP RESIST
	GATEHOUSE	BRICK VENEER	BRICK PATTERN
	CHARCOAL	ASPHALT SHINGLES	ROOFING
	CHARCOAL	2 LAYERS SBS TORCH-ON	ROOFING



BRINGING YOUR VISIONS TO LIFE'

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Issue Number	Description	Date (dd.mm.yy)
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17	Revised Layouts	13.06.22
18	Revised Site	22.06.22
19	Revised Plans	28.06.22
20	Coordination	13.06.22
21	BP	03.08.22
22	BP	03.10.22
23	BP	25.10.22

SCHEDULE B

This forms part of application # DP20-0154

Planner Initials: **KB**

City of Kelowna DEVELOPMENT PLANNING

Symbolic Construction Group
#211- 12877 76 Ave
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605fraser@gmail.com

'Oakland by Symbolic'
Multi-Residential Development
605 Fraser Rd &
460 Leathead Rd
Kelowna, BC

GENERAL NOTES &
SCHEDULES

SCALE:
AS NOTED

DRAWN BY: BV
CHECKED BY: BV

DATE: 25.10.22
PROJECT: 2020-009

A1.0

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'Oakland by Symbolic'
 Multi-Residential Development
 605 Fraser Rd &
 460 Leathard Rd
 Kelowna, BC

BLDG 1- WEST ELEVATION

SCALE:
 AS NOTED

DRAWN BY: BV	CHECKED BY: BV
DATE: 25.10.22	PROJECT: 2020-009

A2.1.0

EXTERIOR FINISH SCHEDULE	
A	ASPHALT SHINGLES PER EXT. MAT'L SCHEDULE
B	2-LAYERS SBS ROOFING PER EXT. MAT'L SCHEDULE
C	CEMET PANEL SIDING PER EXT. MAT'L SCHEDULE (WHITE)
D	CEMET PANEL SIDING PER EXT. MAT'L SCHEDULE (COLOUR)
E	PVC HORIZ. SIDING PER EXT. MAT'L SCHEDULE
F	PVC SOFFIT PER EXT. MAT'L SCHEDULE (VENTED)
G	ALUMINUM SOFFIT PER EXT. MAT'L SCHEDULE (VENTED)
H	ALUMINUM SIDING PER EXT. MAT'L SCHEDULE
J	ALUMINUM PICKET GUARDRAILS PER EXT. MAT'L SCHEDULE
K	1x10 CEMENT BOARD FASCIA PER EXT. MAT'L SCHEDULE
L	STEEL LOUVERED AWNING PER EXT. MAT'L SCHEDULE
M	STEEL CABLE ROOF SUPPORT PER EXT. MAT'L SCHEDULE
N	PRIVACY GLASS PER EXT. MAT'L SCHEDULE
P	ALUMINUM EAVESTROUGH PER EXT. MAT'L SCHEDULE
Q	HORIZ. CEDAR WOOD FENCE (STAINED TO MATCH SIDING) w/ ALUMINUM POSTS (BLACK)
R	VINYL WATERPROOF DECKING OR COMPOSITE DECKING PER EXT. MAT'L SCHEDULE
S	BRICK FACADE PER EXT. MAT'L SCHEDULE
T	ROOF VENT AS REQ'D
U	ALUMINUM FLASHING ABOVE WINDOWS & DOORS
V	DRYER VENT
W	CEMENT PARGING ON FOUNDATION WALLS ABOVE GRADE
X	8x8 CEDAR WOOD TRELLIS (STAINED TO MATCH SIDING)

NOTES:
 - ALL FINISHINGS TO BE NEW MATERIALS.
 - EXTERIOR NOTES TYPICAL

① BLDG 1- WEST ELEVATION
 1/4" = 1'-0"

LIMITING DISTANCE = 8.53m (UNITS C&D)
 AREA OF EXPOSED BUILDING FACE = 2,144sqft (199.2m²)
 MAX. AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSED BUILDING FACE AREA = 31% (665sqft (61.8m²))
 (*INTERPOLATED FROM 9 TO 15.4 OF BCBC 2018)
 TOTAL AREA OF GLAZED OPENINGS = 438.2sqft (40.7m²)
 ACTUAL AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSED BUILDING FACE AREA = 20.4%

TOTAL DOOR SCHEDULE						TOTAL WINDOW SCHEDULE					
Door Type	Count	Type	Width	Height	Comments	Window Type	Count	Type	Width	Height	Comments
1	24	72" x 96" Exterior- Patio- Double Sliding	6' - 0"	8' - 0"		1	12	72" x 60" Slider	6' - 0"	5' - 0"	
2	20	30" x 80" Exterior- Patio- Full Lite Swing	2' - 6"	6' - 8"		2	12	54" x 60" Slider	4' - 6"	5' - 0"	
3	1	72" x 80" Exterior- Double Swing	6' - 0"	6' - 8"		3	44	72" x 48" Slider	6' - 0"	4' - 0"	
4	16	36" x 80" Exterior- Entry w/ 5-Lite Gl.	3' - 0"	6' - 8"		4	12	48" x 48" Slider	4' - 0"	4' - 0"	
5	16	16" x 80" Exterior- Entry Sidelite	1' - 4"	6' - 8"		5	4	30" x 48" Casement	2' - 6"	4' - 0"	
6	32	34" x 80" Exterior- Insulated Core w/ Threshold	2' - 10"	6' - 8"	Add closer for garage doors	6	36	24" x 48" Casement	2' - 0"	4' - 0"	
7	4	72" x 80" Interior- Double Swing	6' - 0"	6' - 8"		7	12	54" x 16" Transom	4' - 6"	1' - 4"	
8	8	54" x 80" Interior- Double Swing	4' - 6"	6' - 8"		8	4	52" x 16" Transom	4' - 4"	1' - 4"	
9	12	60" x 80" Interior- Double Bi-Fold	5' - 0"	6' - 8"		9	20	30" x 16" Transom	2' - 6"	1' - 4"	
10	16	54" x 80" Interior- Double Bi-Fold	4' - 6"	6' - 8"		10	4	72" x 60" Picture	6' - 0"	5' - 0"	
11	4	30" x 80" Interior- Sliding Barn	2' - 6"	6' - 8"		11	20	72" x 20" Picture	6' - 0"	1' - 8"	
12	172	30" x 80" Interior- Swing- Hollow Core	2' - 6"	6' - 8"		12	4	54" x 60" Picture	4' - 6"	5' - 0"	
13	12	192" x 96" O/H Garage Door- Modern	16' - 0"	8' - 0"		13	4	48" x 48" Picture	4' - 0"	4' - 0"	
14	4	144" x 96" O/H Garage Door- Modern	12' - 0"	8' - 0"		14	4	30" x 60" Picture	2' - 6"	5' - 0"	
Grand total: 341						Grand total: 192					

NOTE: ALL DOOR FRAMES/PANELS TO BE BLACK EXTERIOR

NOTE: ALL WINDOW FRAMES TO BE BLACK EXTERIOR

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BLDG 1- EAST ELEVATION

SCALE:
AS NOTED
 DRAWN BY: BV
 CHECKED BY: BV
 DATE: 25.10.22
 PROJECT: 2020-009

A2.1.1



LIMITING DISTANCE = 4.0m
 AREA OF EXPOSED BUILDING FACE = 2,144sqft (199.2m²)
 MAX. AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSED BUILDING FACE AREA = 12% (257sqft (23.9m²))
 (*INTERPOLATED FROM 9.10.15.4 OF BCBC 2018)
 TOTAL AREA OF GLAZED OPENINGS = 220.7sqft (20.5m²)
 ACTUAL AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSED BUILDING FACE AREA = 10.3%

1 BLDG 1- EAST ELEVATION
 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE	
A	ASPHALT SHINGLES PER EXT. MAT'L SCHEDULE
B	2-LAYERS SBS ROOFING PER EXT. MAT'L SCHEDULE
C	CEMET PANEL SIDING PER EXT. MAT'L SCHEDULE (WHITE)
D	CEMET PANEL SIDING PER EXT. MAT'L SCHEDULE (COLOUR)
E	PVC HORIZ. SIDING PER EXT. MAT'L SCHEDULE
F	PVC SOFFIT PER EXT. MAT'L SCHEDULE (VENTED)
G	ALUMINUM SOFFIT PER EXT. MAT'L SCHEDULE (VENTED)
H	ALUMINUM SIDING PER EXT. MAT'L SCHEDULE
J	ALUMINUM PICKET GUARDRAILS PER EXT. MAT'L SCHEDULE
K	1x10 CEMENT BOARD FASCIA PER EXT. MAT'L SCHEDULE
L	STEEL LOUVERED AWNING PER EXT. MAT'L SCHEDULE
M	STEEL CABLE ROOF SUPPORT PER EXT. MAT'L SCHEDULE
N	PRIVACY GLASS PER EXT. MAT'L SCHEDULE
P	ALUMINUM EAVESTROUGH PER EXT. MAT'L SCHEDULE
Q	HORIZ. CEDAR WOOD FENCE (STAINED TO MATCH SIDING) w/ ALUMINUM POSTS (BLACK)
R	VINYL WATERPROOF DECKING OR COMPOSITE DECKING PER EXT. MAT'L SCHEDULE
S	BRICK FACADE PER EXT. MAT'L SCHEDULE
T	ROOF VENT AS REQ'D
U	ALUMINUM FLASHING ABOVE WINDOWS & DOORS
V	DRYER VENT
W	CEMENT PARGING ON FOUNDATION WALLS ABOVE GRADE
X	8x8 CEDAR WOOD TRELLIS (STAINED TO MATCH SIDING)

NOTES:
 - ALL FINISHINGS TO BE NEW MATERIALS.
 - EXTERIOR NOTES TYPICAL

TOTAL DOOR SCHEDULE					
Door Type	Count	Type	Width	Height	Comments
1	24	72" x 96" Exterior- Patio- Double Sliding	6' - 0"	8' - 0"	
2	20	30" x 80" Exterior- Full Lite Swing	2' - 6"	6' - 8"	
3	1	72" x 80" Exterior- Double Swing	6' - 0"	6' - 8"	
4	16	36" x 80" Exterior- Entry w/ 5-Lite Gl.	3' - 0"	6' - 8"	
5	16	16" x 80" Exterior- Enty Sidelite	1' - 4"	6' - 8"	
6	32	34" x 80" Exterior- Insulated Core w/ Threshold	2' - 10"	6' - 8"	Add closer for garage doors
7	4	72" x 80" Interior- Double Swing	6' - 0"	6' - 8"	
8	8	54" x 80" Interior- Double Swing	4' - 6"	6' - 8"	
9	12	60" x 80" Interior- Double Bi-Fold	5' - 0"	6' - 8"	
10	16	54" x 80" Interior- Double Bi-Fold	4' - 6"	6' - 8"	
11	4	30" x 80" Interior- Sliding Barn	2' - 6"	6' - 8"	
12	172	30" x 80" Interior- Swing- Hollow Core	2' - 6"	6' - 8"	
13	12	192" x 96" O/H Garage Door- Modern	16' - 0"	8' - 0"	
14	4	144" x 96" O/H Garage Door- Modern	12' - 0"	8' - 0"	

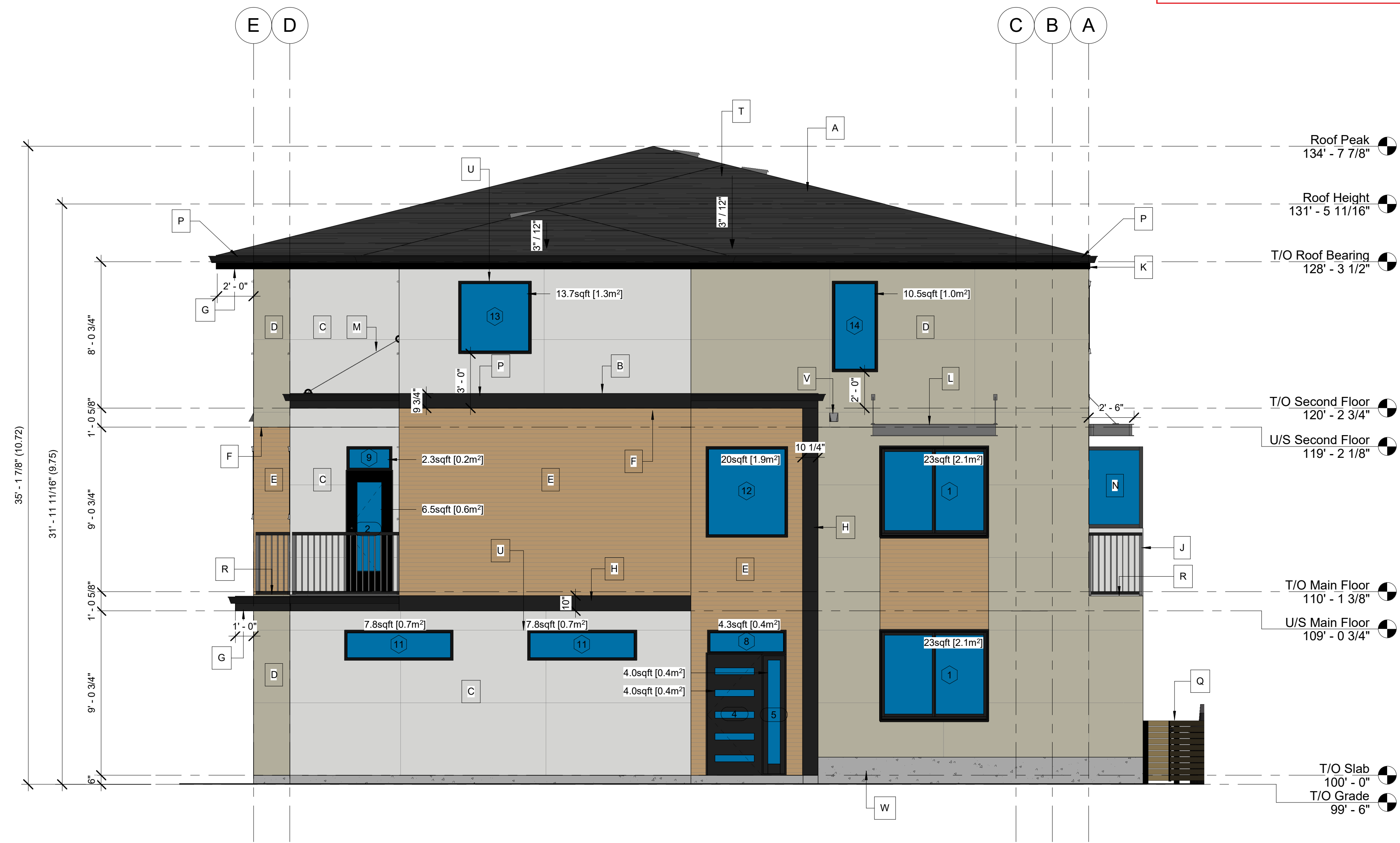
Grand total: 341
 NOTE: ALL DOOR FRAMES/PANELS TO BE BLACK EXTERIOR

TOTAL WINDOW SCHEDULE					
Window Type	Count	Type	Width	Height	Comments
1	12	72" x 60" Slider	6' - 0"	5' - 0"	
2	12	54" x 60" Slider	4' - 6"	5' - 0"	
3	44	72" x 48" Slider	6' - 0"	4' - 0"	
4	12	48" x 48" Slider	4' - 0"	4' - 0"	
5	4	30" x 48" Casement	2' - 6"	4' - 0"	
6	36	24" x 48" Casement	2' - 0"	4' - 0"	
7	12	54" x 16" Transom	4' - 6"	1' - 4"	
8	4	52" x 16" Transom	4' - 4"	1' - 4"	
9	20	30" x 16" Transom	2' - 6"	1' - 4"	
10	4	72" x 60" Picture	6' - 0"	5' - 0"	
11	20	72" x 20" Picture	6' - 0"	1' - 8"	
12	4	54" x 60" Picture	4' - 6"	5' - 0"	
13	4	48" x 48" Picture	4' - 0"	4' - 0"	
14	4	30" x 60" Picture	2' - 6"	5' - 0"	

Grand total: 192
 NOTE: ALL WINDOW FRAMES TO BE BLACK EXTERIOR

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LIMITING DISTANCE = 4.5m
 AREA OF EXPOSED BUILDING FACE = 1,347sqft (125.1m²)
 MAX. AGGREGATE AREA OF GLAZED OPENINGS, (% OF EXPOSED BUILDING FACE AREA) = 13.8% (186sqft (17.3m²))
 (*INTERPOLATED FROM 9.10.15.4 OF BCBC 2018)
 TOTAL AREA OF GLAZED OPENINGS = 126.9sqft (11.8m²)
 ACTUAL AGGREGATE AREA OF GLAZED OPENINGS, (% OF EXPOSED BUILDING FACE AREA) = 9.4%

1 BLDG 1- NORTH ELEVATION
 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE	
A	ASPHALT SHINGLES PER EXT. MAT'L SCHEDULE
B	2-LAYERS SBS ROOFING PER EXT. MAT'L SCHEDULE
C	CEMET PANEL SIDING PER EXT. MAT'L SCHEDULE (WHITE)
D	CEMET PANEL SIDING PER EXT. MAT'L SCHEDULE (COLOUR)
E	PVC HORIZ. SIDING PER EXT. MAT'L SCHEDULE
F	PVC SOFFIT PER EXT. MAT'L SCHEDULE (VENTED)
G	ALUMINUM SOFFIT PER EXT. MAT'L SCHEDULE (VENTED)
H	ALUMINUM SIDING PER EXT. MAT'L SCHEDULE
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Q	HORIZ. CEDAR WOOD FENCE (STAINED TO MATCH SIDING) w/ ALUMINUM POSTS (BLACK)
R	VINYL WATERPROOF DECKING OR COMPOSITE DECKING PER EXT. MAT'L SCHEDULE
S	BRICK FACADE PER EXT. MAT'L SCHEDULE
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NOTES: - ALL FINISHINGS TO BE NEW MATERIALS. - EXTERIOR NOTES TYPICAL	

TOTAL DOOR SCHEDULE					
Door Type	Count	Type	Width	Height	Comments
1	24	72" x 96" Exterior- Patio- Double Sliding	6' - 0"	8' - 0"	
2	20	30" x 80" Exterior Patio- Full Lite Swing	2' - 6"	6' - 8"	
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9	12	60" x 80" Interior- Double Bi-Fold	5' - 0"	6' - 8"	
10	16	54" x 80" Interior- Double Bi-Fold	4' - 6"	6' - 8"	
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14	4	144" x 96" O/H Garage Door- Modern	12' - 0"	8' - 0"	
Grand total: 341					
NOTE: ALL DOOR FRAMES/PANELS TO BE BLACK EXTERIOR					

TOTAL WINDOW SCHEDULE					
Window Type	Count	Type	Width	Height	Comments
1	12	72" x 60" Slider	6' - 0"	5' - 0"	
2	12	54" x 60" Slider	4' - 6"	5' - 0"	
3	44	72" x 48" Slider	6' - 0"	4' - 0"	
4	12	48" x 48" Slider	4' - 0"	4' - 0"	
5	4	30" x 48" Casement	2' - 6"	4' - 0"	
6	36	24" x 48" Casement	2' - 0"	4' - 0"	
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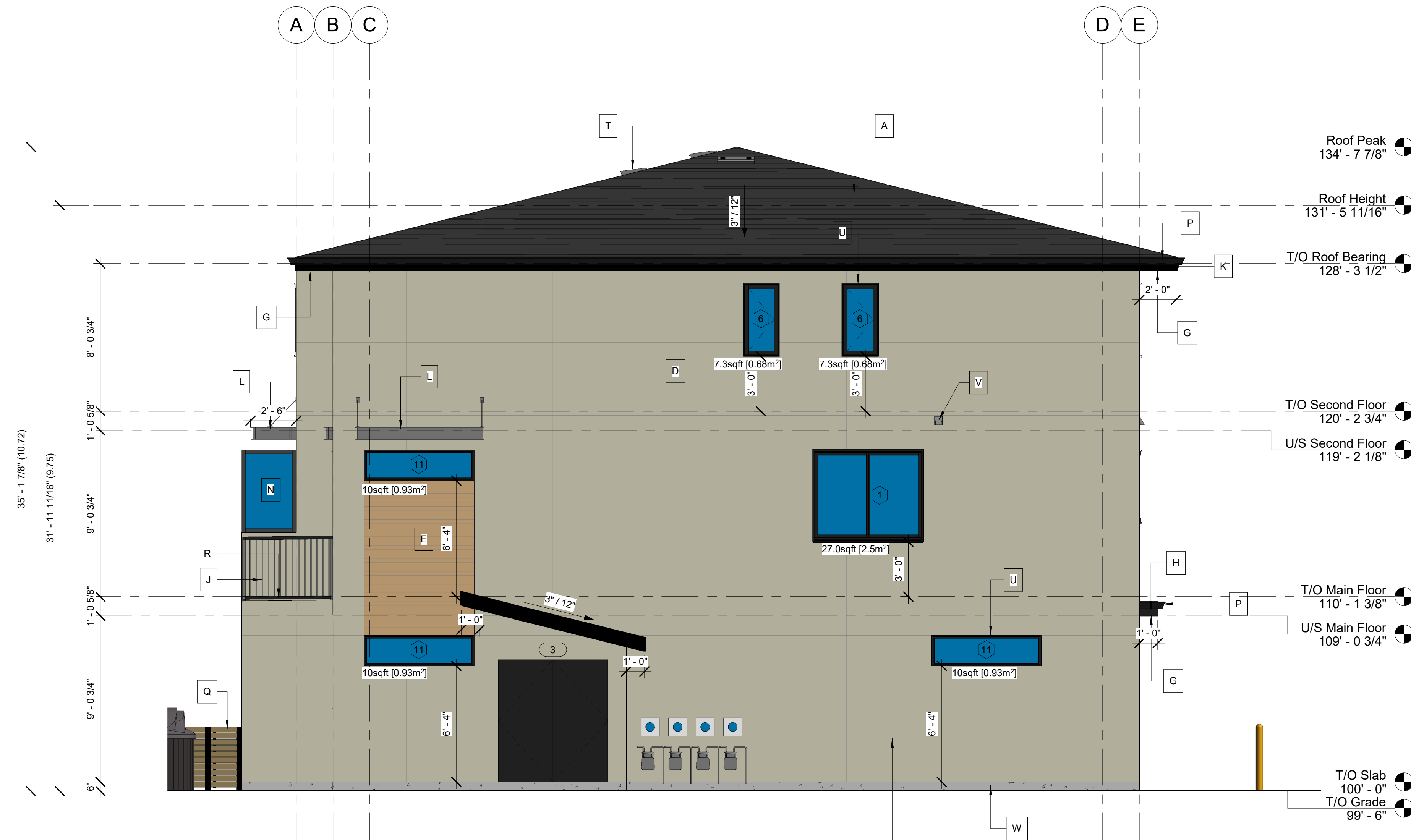
SCALE:
 AS NOTED

DRAWN BY: BV
 CHECKED BY: BV

DATE: 25.10.22
 PROJECT: 2020-009

A2.1.2

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LIMITING DISTANCE = 3.65m
 AREA OF EXPOSED BUILDING FACE = 1,347sqft (125.1m²)
 MAX. AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSED BUILDING FACE AREA = 11.3% (152sqft (14.1m²))
 (*INTERPOLATED FROM 9.10.15.4 OF BCBC 2018)
 TOTAL AREA OF GLAZED OPENINGS = 71.6sqft (6.7m²)
 ACTUAL AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSED BUILDING FACE AREA = 5.3%

1 BLDG 1- SOUTH ELEVATION
 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE	
A	ASPHALT SHINGLES PER EXT. MAT'L SCHEDULE
B	2-LAYERS SBS ROOFING PER EXT. MAT'L SCHEDULE
C	CEMET PANEL SIDING PER EXT. MAT'L SCHEDULE (WHITE)
D	CEMET PANEL SIDING PER EXT. MAT'L SCHEDULE (COLOUR)
E	PVC HORIZ. SIDING PER EXT. MAT'L SCHEDULE
F	PVC SOFFIT PER EXT. MAT'L SCHEDULE (VENTED)
G	ALUMINUM SOFFIT PER EXT. MAT'L SCHEDULE (VENTED)
H	ALUMINUM SIDING PER EXT. MAT'L SCHEDULE
J	ALUMINUM PICKET GUARDRAILS PER EXT. MAT'L SCHEDULE
K	1x10 CEMENT BOARD FASCIA PER EXT. MAT'L SCHEDULE
L	STEEL LOUVERED AWNING PER EXT. MAT'L SCHEDULE
M	STEEL CABLE ROOF SUPPORT PER EXT. MAT'L SCHEDULE
N	PRIVACY GLASS PER EXT. MAT'L SCHEDULE
P	ALUMINUM EAVESTROUGH PER EXT. MAT'L SCHEDULE
Q	HORIZ. CEDAR WOOD FENCE (STAINED TO MATCH SIDING) w/ ALUMINUM POSTS (BLACK)
R	VINYL WATERPROOF DECKING OR COMPOSITE DECKING PER EXT. MAT'L SCHEDULE
S	BRICK FACADE PER EXT. MAT'L SCHEDULE
T	ROOF VENT AS REQ'D
U	ALUMINUM FLASHING ABOVE WINDOWS & DOORS
V	DRYER VENT
W	CEMENT PARGING ON FOUNDATION WALLS ABOVE GRADE
X	8x8 CEDAR WOOD TRELLIS (STAINED TO MATCH SIDING)
NOTES: - ALL FINISHINGS TO BE NEW MATERIALS. - EXTERIOR NOTES TYPICAL	

TOTAL DOOR SCHEDULE					
Door Type	Count	Type	Width	Height	Comments
1	24	72" x 96" Exterior- Patio- Double Sliding	6' - 0"	8' - 0"	
2	20	30" x 80" Exterior Patio- Full Lite Swing	2' - 6"	6' - 8"	
3	1	72" x 80" Exterior- Double Swing	6' - 0"	6' - 8"	
4	16	36" x 80" Exterior- Entry w/ 5-Lite Gl.	3' - 0"	6' - 8"	
5	16	16" x 80" Exterior- Entry Sidelite	1' - 4"	6' - 8"	
6	32	34" x 80" Exterior- Insulated Core w/ Threshold	2' - 10"	6' - 8"	Add closer for garage doors
7	4	72" x 80" Interior- Double Swing	6' - 0"	6' - 8"	
8	8	54" x 80" Interior- Double Swing	4' - 6"	6' - 8"	
9	12	60" x 80" Interior- Double Bi-Fold	5' - 0"	6' - 8"	
10	16	54" x 80" Interior- Double Bi-Fold	4' - 6"	6' - 8"	
11	4	30" x 80" Interior- Sliding Barn	2' - 6"	6' - 8"	
12	172	30" x 80" Interior- Swing- Hollow Core	2' - 6"	6' - 8"	
13	12	192" x 96" O/H Garage Door- Modern	16' - 0"	8' - 0"	
14	4	144" x 96" O/H Garage Door- Modern	12' - 0"	8' - 0"	
Grand total: 341					
NOTE: ALL DOOR FRAMES/PANELS TO BE BLACK EXTERIOR					

TOTAL WINDOW SCHEDULE					
Window Type	Count	Type	Width	Height	Comments
1	12	72" x 60" Slider	6' - 0"	5' - 0"	
2	12	54" x 60" Slider	4' - 6"	5' - 0"	
3	44	72" x 48" Slider	6' - 0"	4' - 0"	
4	12	48" x 48" Slider	4' - 0"	4' - 0"	
5	4	30" x 48" Casement	2' - 6"	4' - 0"	
6	36	24" x 48" Casement	2' - 0"	4' - 0"	
7	12	54" x 16" Transom	4' - 6"	1' - 4"	
8	4	52" x 16" Transom	4' - 4"	1' - 4"	
9	20	30" x 16" Transom	2' - 6"	1' - 4"	
10	4	72" x 60" Picture	6' - 0"	5' - 0"	
11	20	72" x 20" Picture	6' - 0"	1' - 8"	
12	4	54" x 60" Picture	4' - 6"	5' - 0"	
13	4	48" x 48" Picture	4' - 0"	4' - 0"	
14	4	30" x 60" Picture	2' - 6"	5' - 0"	
Grand total: 192					
NOTE: ALL WINDOW FRAMES TO BE BLACK EXTERIOR					

Issue Schedule		
Issue Number	Description	Date (dd.mm.yy)
16	Development Permit	25.05.22
17	Revised Layouts	13.06.22
18	Revised Site	22.06.22
19	Revised Plans	28.06.22
20	Coordination	13.06.22
21	BP	03.08.22
22	BP	03.10.22
23	BP	25.10.22

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'Oakland by Symbolic'
 Multi-Residential Development
 605 Fraser Rd &
 460 Leathhead Rd
 Kelowna, BC

BLDG 1- SOUTH ELEVATION

SCALE:
AS NOTED
 DRAWN BY: BV
 CHECKED BY: BV
 DATE: 25.10.22
 PROJECT: 2020-009

A2.1.3

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EXTERIOR FINISH SCHEDULE	
A	ASPHALT SHINGLES PER EXT. MAT'L SCHEDULE
B	2-LAYERS SBS ROOFING PER EXT. MAT'L SCHEDULE
C	CEMET PANEL SIDING PER EXT. MAT'L SCHEDULE (WHITE)
D	CEMET PANEL SIDING PER EXT. MAT'L SCHEDULE (COLOUR)
E	PVC HORIZ. SIDING PER EXT. MAT'L SCHEDULE
F	PVC SOFFIT PER EXT. MAT'L SCHEDULE (VENTED)
G	ALUMINUM SOFFIT PER EXT. MAT'L SCHEDULE (VENTED)
H	ALUMINUM SIDING PER EXT. MAT'L SCHEDULE
J	ALUMINUM PICKET GUARDRAILS PER EXT. MAT'L SCHEDULE
K	1x10 CEMENT BOARD FASCIA PER EXT. MAT'L SCHEDULE
L	STEEL LOUVERED AWNING PER EXT. MAT'L SCHEDULE
M	STEEL CABLE ROOF SUPPORT PER EXT. MAT'L SCHEDULE
N	PRIVACY GLASS PER EXT. MAT'L SCHEDULE
P	ALUMINUM EAVESTROUGH PER EXT. MAT'L SCHEDULE
Q	HORIZ. CEDAR WOOD FENCE (STAINED TO MATCH SIDING) w/ ALUMINUM POSTS (BLACK)
R	VINYL WATERPROOF DECKING OR COMPOSITE DECKING PER EXT. MAT'L SCHEDULE
S	BRICK FACADE PER EXT. MAT'L SCHEDULE
T	ROOF VENT AS REQ'D
U	ALUMINUM FLASHING ABOVE WINDOWS & DOORS
V	DRYER VENT
W	CEMENT PARGING ON FOUNDATION WALLS ABOVE GRADE
X	8x8 CEDAR WOOD TRELLIS (STAINED TO MATCH SIDING)
NOTES: - ALL FINISHINGS TO BE NEW MATERIALS. - EXTERIOR NOTES TYPICAL	

① BLDG 2 - WEST ELEVATION
 1/4" = 1'-0"

TOTAL DOOR SCHEDULE					
Door Type	Count	Type	Width	Height	Comments
1	24	72" x 96" Exterior- Patio- Double Sliding	6' - 0"	8' - 0"	
2	20	30" x 80" Exterior- Full Lite Swing	2' - 6"	6' - 8"	
3	1	72" x 80" Exterior- Double Swing	6' - 0"	6' - 8"	
4	16	36" x 80" Exterior- Entry w/ 5-Lite Gl.	3' - 0"	6' - 8"	
5	16	16" x 80" Exterior- Entry Sidelite	1' - 4"	6' - 8"	
6	32	34" x 80" Exterior- Insulated Core w/ Threshold	2' - 10"	6' - 8"	Add closer for garage doors
7	4	72" x 80" Interior- Double Swing	6' - 0"	6' - 8"	
8	8	54" x 80" Interior- Double Swing	4' - 6"	6' - 8"	
9	12	60" x 80" Interior- Double Bi-Fold	5' - 0"	6' - 8"	
10	16	54" x 80" Interior- Double Bi-Fold	4' - 6"	6' - 8"	
11	4	30" x 80" Interior- Sliding Barn	2' - 6"	6' - 8"	
12	172	30" x 80" Interior- Swing- Hollow Core	2' - 6"	6' - 8"	
13	12	192" x 96" O/H Garage Door- Modern	16' - 0"	8' - 0"	
14	4	144" x 96" O/H Garage Door- Modern	12' - 0"	8' - 0"	
Grand total: 341					
NOTE: ALL DOOR FRAMES/PANELS TO BE BLACK EXTERIOR					

TOTAL WINDOW SCHEDULE					
Window Type	Count	Type	Width	Height	Comments
1	12	72" x 60" Slider	6' - 0"	5' - 0"	
2	12	54" x 60" Slider	4' - 6"	5' - 0"	
3	44	72" x 48" Slider	6' - 0"	4' - 0"	
4	12	48" x 48" Slider	4' - 0"	4' - 0"	
5	4	30" x 48" Casement	2' - 6"	4' - 0"	
6	36	24" x 48" Casement	2' - 0"	4' - 0"	
7	12	54" x 16" Transom	4' - 6"	1' - 4"	
8	4	52" x 16" Transom	4' - 4"	1' - 4"	
9	20	30" x 16" Transom	2' - 6"	1' - 4"	
10	4	72" x 60" Picture	6' - 0"	5' - 0"	
11	20	72" x 20" Picture	6' - 0"	1' - 8"	
12	4	54" x 60" Picture	4' - 6"	5' - 0"	
13	4	48" x 48" Picture	4' - 0"	4' - 0"	
14	4	30" x 60" Picture	2' - 6"	5' - 0"	
Grand total: 192					
NOTE: ALL WINDOW FRAMES TO BE BLACK EXTERIOR					

Issue Schedule		
Issue Number	Description	Date (dd.mm.yy)
16	Development Permit	25.05.22
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 Kelowna, BC

BLDG 2- WEST ELEVATION

SCALE:
 AS NOTED

DRAWN BY: BV	CHECKED BY: BV
DATE: 25.10.22	PROJECT: 2020-009

A2.2.0



LIMITING DISTANCE = 4.0m
 AREA OF EXPOSED BUILDING FACE = 2,144sqft (199.2m²)
 MAX. AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSED BUILDING FACE AREA = 12% (257sqft (23.9m²))
 (*INTERPOLATED FROM 9.10.15.4 OF BCBC 2018)
 TOTAL AREA OF GLAZED OPENINGS = 220.7sqft (20.5m²)
 ACTUAL AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSED BUILDING FACE AREA = 10.3%

EXTERIOR FINISH SCHEDULE	
A	ASPHALT SHINGLES PER EXT. MAT'L SCHEDULE
B	2-LAYERS SBS ROOFING PER EXT. MAT'L SCHEDULE
C	CEMET PANEL SIDING PER EXT. MAT'L SCHEDULE (WHITE)
D	CEMET PANEL SIDING PER EXT. MAT'L SCHEDULE (COLOUR)
E	PVC HORIZ. SIDING PER EXT. MAT'L SCHEDULE
F	PVC SOFFIT PER EXT. MAT'L SCHEDULE (VENTED)
G	ALUMINUM SOFFIT PER EXT. MAT'L SCHEDULE (VENTED)
H	ALUMINUM SIDING PER EXT. MAT'L SCHEDULE
J	ALUMINUM PICKET GUARDRAILS PER EXT. MAT'L SCHEDULE
K	1x10 CEMENT BOARD FASCIA PER EXT. MAT'L SCHEDULE
L	STEEL LOUVERED AWNING PER EXT. MAT'L SCHEDULE
M	STEEL CABLE ROOF SUPPORT PER EXT. MAT'L SCHEDULE
N	PRIVACY GLASS PER EXT. MAT'L SCHEDULE
P	ALUMINUM EAVESTROUGH PER EXT. MAT'L SCHEDULE
Q	HORIZ. CEDAR WOOD FENCE (STAINED TO MATCH SIDING) w/ ALUMINUM POSTS (BLACK)
R	VINYL WATERPROOF DECKING OR COMPOSITE DECKING PER EXT. MAT'L SCHEDULE
S	BRICK FACADE PER EXT. MAT'L SCHEDULE
T	ROOF VENT AS REQ'D
U	ALUMINUM FLASHING ABOVE WINDOWS & DOORS
V	DRYER VENT
W	CEMENT PARING ON FOUNDATION WALLS ABOVE GRADE
X	8x8 CEDAR WOOD TRELLIS (STAINED TO MATCH SIDING)

NOTES:
 - ALL FINISHINGS TO BE NEW MATERIALS.
 - EXTERIOR NOTES TYPICAL

1 BLDG 2 - EAST ELEVATION
 1/4" = 1'-0"

TOTAL DOOR SCHEDULE					
Door Type	Count	Type	Width	Height	Comments
1	24	72" x 96" Exterior- Patio- Double Sliding	6' - 0"	8' - 0"	
2	20	30" x 80" Exterior- Patio- Full Lite Swing	2' - 6"	6' - 8"	
3	1	72" x 80" Exterior- Double Swing	6' - 0"	6' - 8"	
4	16	36" x 80" Exterior- Entry w/ 5-Lite Gl.	3' - 0"	6' - 8"	
5	16	16" x 80" Exterior- Enty Sidelite	1' - 4"	6' - 8"	
6	32	34" x 80" Exterior- Insulated Core w/ Threshold	2' - 10"	6' - 8"	Add closer for garage doors
7	4	72" x 80" Interior- Double Swing	6' - 0"	6' - 8"	
8	8	54" x 80" Interior- Double Swing	4' - 6"	6' - 8"	
9	12	60" x 80" Interior- Double Bi-Fold	5' - 0"	6' - 8"	
10	16	54" x 80" Interior- Double Bi-Fold	4' - 6"	6' - 8"	
11	4	30" x 80" Interior- Sliding Barn	2' - 6"	6' - 8"	
12	172	30" x 80" Interior- Swing- Hollow Core	2' - 6"	6' - 8"	
13	12	192" x 96" O/H Garage Door- Modern	16' - 0"	8' - 0"	
14	4	144" x 96" O/H Garage Door- Modern	12' - 0"	8' - 0"	

Grand total: 341
 NOTE: ALL DOOR FRAMES/PANELS TO BE BLACK EXTERIOR

TOTAL WINDOW SCHEDULE					
Window Type	Count	Type	Width	Height	Comments
1	12	72" x 60" Slider	6' - 0"	5' - 0"	
2	12	54" x 60" Slider	4' - 6"	5' - 0"	
3	44	72" x 48" Slider	6' - 0"	4' - 0"	
4	12	48" x 48" Slider	4' - 0"	4' - 0"	
5	4	30" x 48" Casement	2' - 6"	4' - 0"	
6	36	24" x 48" Casement	2' - 0"	4' - 0"	
7	12	54" x 16" Transom	4' - 6"	1' - 4"	
8	4	52" x 16" Transom	4' - 4"	1' - 4"	
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13	4	48" x 48" Picture	4' - 0"	4' - 0"	
14	4	30" x 60" Picture	2' - 6"	5' - 0"	

Grand total: 192
 NOTE: ALL WINDOW FRAMES TO BE BLACK EXTERIOR

Issue Schedule		
Issue Number	Description	Date (dd.mm.yy)
16	Development Permit	25.05.22
17	Revised Layouts	13.06.22
18	Revised Site	22.06.22
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BLDG 2- EAST ELEVATION

SCALE:
 AS NOTED

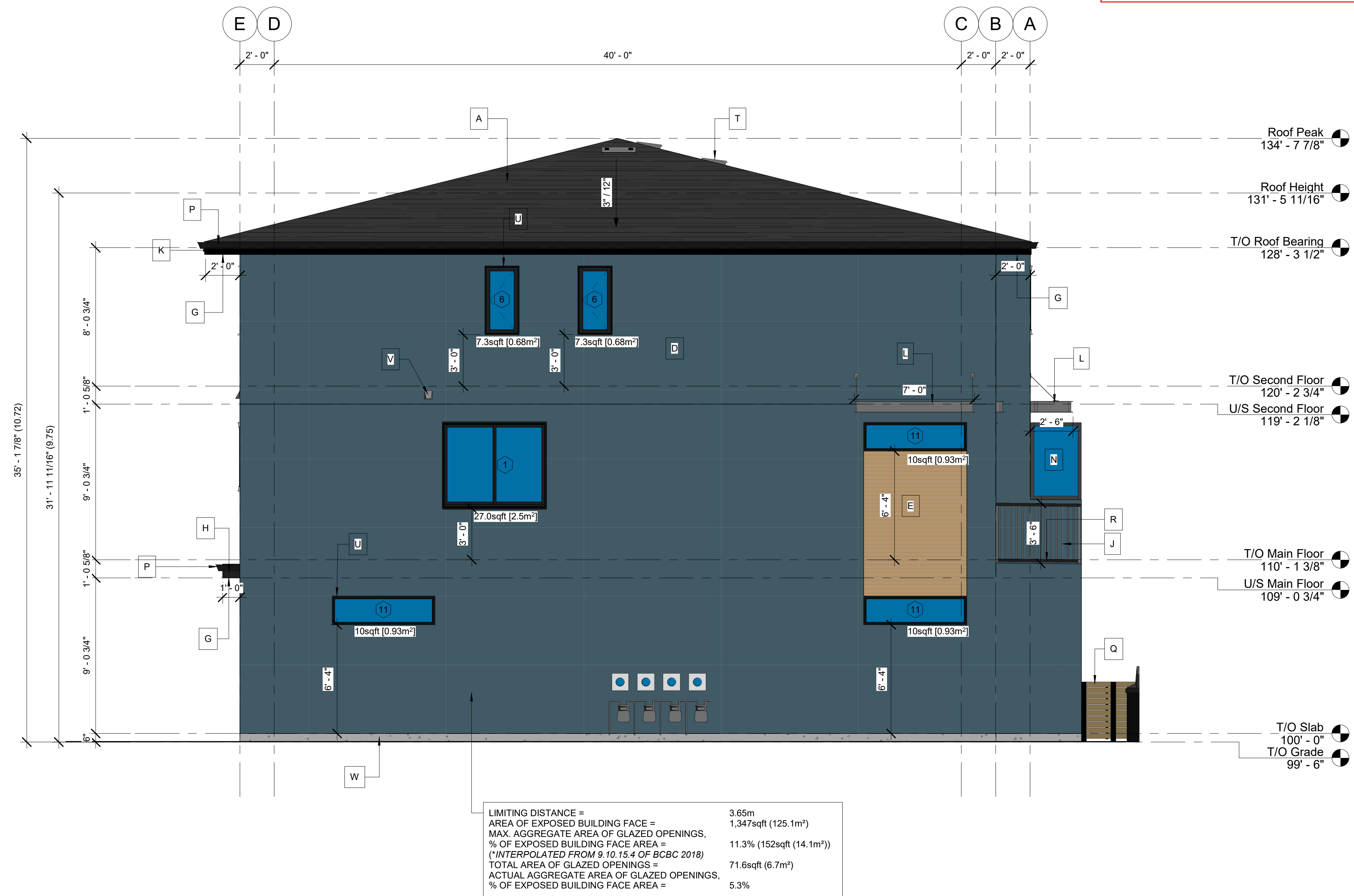
DRAWN BY: BV
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DATE: 25.10.22
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A2.2.1

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Issue Number	Description	Date (dd.mm.yy)
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22	BP	03.10.22
23	BP	25.10.22



1 BLDG 2- NORTH ELEVATION
 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE	
A	ASPHALT SHINGLES PER EXT. MATL SCHEDULE
B	2-LAYERS SBS ROOFING PER EXT. MATL SCHEDULE
C	CEMET PANEL SIDING PER EXT. MATL SCHEDULE (WHITE)
D	CEMET PANEL SIDING PER EXT. MATL SCHEDULE (COLOUR)
E	PVC HORIZ. SIDING PER EXT. MATL SCHEDULE
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H	ALUMINUM SIDING PER EXT. MATL SCHEDULE
J	ALUMINUM PICKET GUARDRAILS PER EXT. MATL SCHEDULE
K	1x10 CEMENT BOARD FASCIA PER EXT. MATL SCHEDULE
L	STEEL LOUVERED AWNING PER EXT. MATL SCHEDULE
M	STEEL CABLE ROOF SUPPORT PER EXT. MATL SCHEDULE
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Q	HORIZ. CEDAR WOOD FENCE (STAINED TO MATCH SIDING) w/ ALUMINUM POSTS (BLACK)
R	VINYL WATERPROOF DECKING OR COMPOSITE DECKING PER EXT. MATL SCHEDULE
S	BRICK FACADE PER EXT. MATL SCHEDULE
T	ROOF VENT AS REQ'D
U	ALUMINUM FLASHING ABOVE WINDOWS & DOORS
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W	CEMENT PARGING ON FOUNDATION WALLS ABOVE GRADE
X	8x8 CEDAR WOOD TRELLIS (STAINED TO MATCH SIDING)

NOTES:
 - ALL FINISHINGS TO BE NEW MATERIALS.
 - EXTERIOR NOTES TYPICAL

TOTAL DOOR SCHEDULE					
Door Type	Count	Type	Width	Height	Comments
1	24	72" x 96" Exterior- Patio- Double Sliding	6' - 0"	8' - 0"	
2	20	30" x 80" Exterior- Full Lite Swing	2' - 6"	6' - 8"	
3	1	72" x 80" Exterior- Double Swing	6' - 0"	6' - 8"	
4	16	36" x 80" Exterior- Entry w/ 5-Lite Gl.	3' - 0"	6' - 8"	
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8	8	54" x 80" Interior- Double Swing	4' - 6"	6' - 8"	
9	12	60" x 80" Interior- Double Bi-Fold	5' - 0"	6' - 8"	
10	16	54" x 80" Interior- Double Bi-Fold	4' - 6"	6' - 8"	
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14	4	144" x 96" O/H Garage Door- Modern	12' - 0"	8' - 0"	
Grand total: 341					

NOTE: ALL DOOR FRAMES/PANELS TO BE BLACK EXTERIOR

TOTAL WINDOW SCHEDULE					
Window Type	Count	Type	Width	Height	Comments
1	12	72" x 60" Slider	6' - 0"	5' - 0"	
2	12	54" x 60" Slider	4' - 6"	5' - 0"	
3	44	72" x 48" Slider	6' - 0"	4' - 0"	
4	12	48" x 48" Slider	4' - 0"	4' - 0"	
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Grand total: 192					

NOTE: ALL WINDOW FRAMES TO BE BLACK EXTERIOR

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BLDG 2- NORTH ELEVATION

SCALE:
AS NOTED

DRAWN BY: BV	CHECKED BY: BV
DATE: 25.10.22	PROJECT: 2020-009

A2.2.2

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BLDG 2- SOUTH ELEVATION

SCALE:
AS NOTED

DRAWN BY: BV	CHECKED BY: BV
DATE: 25.10.22	PROJECT: 2020-009

EXTERIOR FINISH SCHEDULE	
A	ASPHALT SHINGLES PER EXT. MAT'L SCHEDULE
B	2-LAYERS SBS ROOFING PER EXT. MAT'L SCHEDULE
C	CEMET PANEL SIDING PER EXT. MAT'L SCHEDULE (WHITE)
D	CEMET PANEL SIDING PER EXT. MAT'L SCHEDULE (COLOUR)
E	PVC HORIZ. SIDING PER EXT. MAT'L SCHEDULE
F	PVC SOFFIT PER EXT. MAT'L SCHEDULE (VENTED)
G	ALUMINUM SOFFIT PER EXT. MAT'L SCHEDULE (VENTED)
H	ALUMINUM SIDING PER EXT. MAT'L SCHEDULE
J	ALUMINUM PICKET GUARDRAILS PER EXT. MAT'L SCHEDULE
K	1x10 CEMENT BOARD FASCIA PER EXT. MAT'L SCHEDULE
L	STEEL LOUVERED AWNING PER EXT. MAT'L SCHEDULE
M	STEEL CABLE ROOF SUPPORT PER EXT. MAT'L SCHEDULE
N	PRIVACY GLASS PER EXT. MAT'L SCHEDULE
P	ALUMINUM EAVESTROUGH PER EXT. MAT'L SCHEDULE
Q	HORIZ. CEDAR WOOD FENCE (STAINED TO MATCH SIDING) w/ ALUMINUM POSTS (BLACK)
R	VINYL WATERPROOF DECKING OR COMPOSITE DECKING PER EXT. MAT'L SCHEDULE
S	BRICK FACADE PER EXT. MAT'L SCHEDULE
T	ROOF VENT AS REQ'D
U	ALUMINUM FLASHING ABOVE WINDOWS & DOORS
V	DRYER VENT
W	CEMENT PARGING ON FOUNDATION WALLS ABOVE GRADE
X	8x8 CEDAR WOOD TRELLIS (STAINED TO MATCH SIDING)
NOTES: - ALL FINISHINGS TO BE NEW MATERIALS. - EXTERIOR NOTES TYPICAL	

① BLDG 2- SOUTH ELEVATION
 1/4" = 1'-0"

TOTAL DOOR SCHEDULE						TOTAL WINDOW SCHEDULE					
Door Type	Count	Type	Width	Height	Comments	Window Type	Count	Type	Width	Height	Comments
1	24	72" x 96" Exterior- Patio- Double Sliding	6' - 0"	8' - 0"		1	12	72" x 60" Slider	6' - 0"	5' - 0"	
2	20	30" x 80" Exterior Patio- Full Lite Swing	2' - 6"	6' - 8"		2	12	54" x 60" Slider	4' - 6"	5' - 0"	
3	1	72" x 80" Exterior- Double Swing	6' - 0"	6' - 8"		3	44	72" x 48" Slider	6' - 0"	4' - 0"	
4	16	36" x 80" Exterior- Entry w/ 5-Lite Gl.	3' - 0"	6' - 8"		4	12	48" x 48" Slider	4' - 0"	4' - 0"	
5	16	16" x 80" Exterior- Entry Sidelite	1' - 4"	6' - 8"		5	4	30" x 48" Casement	2' - 6"	4' - 0"	
6	32	34" x 80" Exterior- Insulated Core w/ Threshold	2' - 10"	6' - 8"	Add closer for garage doors	6	36	24" x 48" Casement	2' - 0"	4' - 0"	
7	4	72" x 80" Interior- Double Swing	6' - 0"	6' - 8"		7	12	54" x 16" Transom	4' - 6"	1' - 4"	
8	8	54" x 80" Interior- Double Swing	4' - 6"	6' - 8"		8	4	52" x 16" Transom	4' - 4"	1' - 4"	
9	12	60" x 80" Interior- Double Bi-Fold	5' - 0"	6' - 8"		9	20	30" x 16" Transom	2' - 6"	1' - 4"	
10	16	54" x 80" Interior- Double Bi-Fold	4' - 6"	6' - 8"		10	4	72" x 60" Picture	6' - 0"	5' - 0"	
11	4	30" x 80" Interior- Sliding Barn	2' - 6"	6' - 8"		11	20	72" x 20" Picture	6' - 0"	1' - 8"	
12	172	30" x 80" Interior- Swing- Hollow Core	2' - 6"	6' - 8"		12	4	54" x 60" Picture	4' - 6"	5' - 0"	
13	12	192" x 96" O/H Garage Door- Modern	16' - 0"	8' - 0"		13	4	48" x 48" Picture	4' - 0"	4' - 0"	
14	4	144" x 96" O/H Garage Door- Modern	12' - 0"	8' - 0"		14	4	30" x 60" Picture	2' - 6"	5' - 0"	
Grand total: 341 NOTE: ALL DOOR FRAMES/PANELS TO BE BLACK EXTERIOR						Grand total: 192 NOTE: ALL WINDOW FRAMES TO BE BLACK EXTERIOR					

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LIMITING DISTANCE = 4.0m
 AREA OF EXPOSED BUILDING FACE = 2,144sqft (199.2m²)
 MAX. AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSED BUILDING FACE AREA = 12% (257sqft (23.9m²))
 (*INTERPOLATED FROM 9 TO 15.4 OF BCBC 2018)
 TOTAL AREA OF GLAZED OPENINGS = 220.7sqft (20.5m²)
 ACTUAL AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSED BUILDING FACE AREA = 10.3%

1 BLDG 3 - WEST ELEVATION
 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE	
A	ASPHALT SHINGLES PER EXT. MAT'L SCHEDULE
B	2-LAYERS SBS ROOFING PER EXT. MAT'L SCHEDULE
C	CEMET PANEL SIDING PER EXT. MAT'L SCHEDULE (WHITE)
D	CEMET PANEL SIDING PER EXT. MAT'L SCHEDULE (COLOUR)
E	PVC HORIZ. SIDING PER EXT. MAT'L SCHEDULE
F	PVC SOFFIT PER EXT. MAT'L SCHEDULE (VENTED)
G	ALUMINUM SOFFIT PER EXT. MAT'L SCHEDULE (VENTED)
H	ALUMINUM SIDING PER EXT. MAT'L SCHEDULE
J	ALUMINUM PICKET GUARDRAILS PER EXT. MAT'L SCHEDULE
K	1x10 CEMENT BOARD FASCIA PER EXT. MAT'L SCHEDULE
L	STEEL LOUVERED AWNING PER EXT. MAT'L SCHEDULE
M	STEEL CABLE ROOF SUPPORT PER EXT. MAT'L SCHEDULE
N	PRIVACY GLASS PER EXT. MAT'L SCHEDULE
P	ALUMINUM EAVESTROUGH PER EXT. MAT'L SCHEDULE
Q	HORIZ. CEDAR WOOD FENCE (STAINED TO MATCH SIDING) w/ ALUMINUM POSTS (BLACK)
R	VINYL WATERPROOF DECKING OR COMPOSITE DECKING PER EXT. MAT'L SCHEDULE
S	BRICK FACADE PER EXT. MAT'L SCHEDULE
T	ROOF VENT AS REQ'D
U	ALUMINUM FLASHING ABOVE WINDOWS & DOORS
V	DRYER VENT
W	CEMENT PARGING ON FOUNDATION WALLS ABOVE GRADE
X	8x8 CEDAR WOOD TRELLIS (STAINED TO MATCH SIDING)

NOTES:
 - ALL FINISHINGS TO BE NEW MATERIALS.
 - EXTERIOR NOTES TYPICAL

TOTAL DOOR SCHEDULE					
Door Type	Count	Type	Width	Height	Comments
1	24	72" x 96" Exterior- Patio- Double Sliding	6' - 0"	8' - 0"	
2	20	30" x 80" Exterior- Full Lite Swing	2' - 6"	6' - 8"	
3	1	72" x 80" Exterior- Double Swing	6' - 0"	6' - 8"	
4	16	36" x 80" Exterior- Entry w/ 5-Lite Gl.	3' - 0"	6' - 8"	
5	16	16" x 80" Exterior- Enty Sidelite	1' - 4"	6' - 8"	
6	32	34" x 80" Exterior- Insulated Core w/ Threshold	2' - 10"	6' - 8"	Add closer for garage doors
7	4	72" x 80" Interior- Double Swing	6' - 0"	6' - 8"	
8	8	54" x 80" Interior- Double Swing	4' - 6"	6' - 8"	
9	12	60" x 80" Interior- Double Bi-Fold	5' - 0"	6' - 8"	
10	16	54" x 80" Interior- Double Bi-Fold	4' - 6"	6' - 8"	
11	4	30" x 80" Interior- Sliding Barn	2' - 6"	6' - 8"	
12	172	30" x 80" Interior- Swing- Hollow Core	2' - 6"	6' - 8"	
13	12	192" x 96" O/H Garage Door- Modern	16' - 0"	8' - 0"	
14	4	144" x 96" O/H Garage Door- Modern	12' - 0"	8' - 0"	
Grand total: 341					

NOTE: ALL DOOR FRAMES/PANELS TO BE BLACK EXTERIOR

TOTAL WINDOW SCHEDULE					
Window Type	Count	Type	Width	Height	Comments
1	12	72" x 60" Slider	6' - 0"	5' - 0"	
2	12	54" x 60" Slider	4' - 6"	5' - 0"	
3	44	72" x 48" Slider	6' - 0"	4' - 0"	
4	12	48" x 48" Slider	4' - 0"	4' - 0"	
5	4	30" x 48" Casement	2' - 6"	4' - 0"	
6	36	24" x 48" Casement	2' - 0"	4' - 0"	
7	12	54" x 16" Transom	4' - 6"	1' - 4"	
8	4	52" x 16" Transom	4' - 4"	1' - 4"	
9	20	30" x 16" Transom	2' - 6"	1' - 4"	
10	4	72" x 60" Picture	6' - 0"	5' - 0"	
11	20	72" x 20" Picture	6' - 0"	1' - 8"	
12	4	54" x 60" Picture	4' - 6"	5' - 0"	
13	4	48" x 48" Picture	4' - 0"	4' - 0"	
14	4	30" x 60" Picture	2' - 6"	5' - 0"	
Grand total: 192					

NOTE: ALL WINDOW FRAMES TO BE BLACK EXTERIOR

Issue Schedule		
Issue Number	Description	Date (dd.mm.yy)
16	Development Permit	25.05.22
17	Revised Layouts	13.06.22
18	Revised Site	22.06.22
19	Revised Plans	28.06.22
20	Coordination	13.06.22
21	BP	03.08.22
22	BP	03.10.22
23	BP	25.10.22

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 460 Leathhead Rd
 Kelowna, BC

BLDG 3- WEST ELEVATION

SCALE:
 AS NOTED

DRAWN BY: BV
 CHECKED BY: BV

DATE: 25.10.22
 PROJECT: 2020-009

A2.3.0

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Issue Schedule		
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16	Development Permit	25.05.22
17	Revised Layouts	13.06.22
18	Revised Site	22.06.22
19	Revised Plans	28.06.22
20	Coordination	13.06.22
21	BP	03.08.22
22	BP	03.10.22
23	BP	25.10.22



LIMITING DISTANCE = 8.53m
 AREA OF EXPOSED BUILDING FACE = 2,144sqft (199.2m²)
 MAX. AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSED BUILDING FACE AREA = 31% (665sqft (61.8m²))
 (*INTERPOLATED FROM 9 10 15 4 OF BCBC 2018)
 TOTAL AREA OF GLAZED OPENINGS = 438.2sqft (40.7m²)
 ACTUAL AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSED BUILDING FACE AREA = 20.4%

1 BLDG 3- EAST ELEVATION
 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE	
A	ASPHALT SHINGLES PER EXT. MAT'L SCHEDULE
B	2-LAYERS SBS ROOFING PER EXT. MAT'L SCHEDULE
C	CEMET PANEL SIDING PER EXT. MAT'L SCHEDULE (WHITE)
D	CEMET PANEL SIDING PER EXT. MAT'L SCHEDULE (COLOUR)
E	PVC HORIZ. SIDING PER EXT. MAT'L SCHEDULE
F	PVC SOFFIT PER EXT. MAT'L SCHEDULE (VENTED)
G	ALUMINUM SOFFIT PER EXT. MAT'L SCHEDULE (VENTED)
H	ALUMINUM SIDING PER EXT. MAT'L SCHEDULE
J	ALUMINUM PICKET GUARDRAILS PER EXT. MAT'L SCHEDULE
K	1x10 CEMENT BOARD FASCIA PER EXT. MAT'L SCHEDULE
L	STEEL LOUVERED AWNING PER EXT. MAT'L SCHEDULE
M	STEEL CABLE ROOF SUPPORT PER EXT. MAT'L SCHEDULE
N	PRIVACY GLASS PER EXT. MAT'L SCHEDULE
P	ALUMINUM EAVESTROUGH PER EXT. MAT'L SCHEDULE
Q	HORIZ. CEDAR WOOD FENCE (STAINED TO MATCH SIDING) w/ ALUMINUM POSTS (BLACK)
R	VINYL WATERPROOF DECKING OR COMPOSITE DECKING PER EXT. MAT'L SCHEDULE
S	BRICK FACADE PER EXT. MAT'L SCHEDULE
T	ROOF VENT AS REQ'D
U	ALUMINUM FLASHING ABOVE WINDOWS & DOORS
V	DRYER VENT
W	CEMENT PARGING ON FOUNDATION WALLS ABOVE GRADE
X	8x8 CEDAR WOOD TRELLIS (STAINED TO MATCH SIDING)

NOTES:
 - ALL FINISHINGS TO BE NEW MATERIALS.
 - EXTERIOR NOTES TYPICAL

TOTAL DOOR SCHEDULE					
Door Type	Count	Type	Width	Height	Comments
1	24	72" x 96" Exterior- Patio- Double Sliding	6' - 0"	8' - 0"	
2	20	30" x 80" Exterior- Full Lite Swing	2' - 6"	6' - 8"	
3	1	72" x 80" Exterior- Double Swing	6' - 0"	6' - 8"	
4	16	36" x 80" Exterior- Entry w/ 5-Lite Gl.	3' - 0"	6' - 8"	
5	16	16" x 80" Exterior- Enty Sidelite	1' - 4"	6' - 8"	
6	32	34" x 80" Exterior- Insulated Core w/ Threshold	2' - 10"	6' - 8"	Add closer for garage doors
7	4	72" x 80" Interior- Double Swing	6' - 0"	6' - 8"	
8	8	54" x 80" Interior- Double Swing	4' - 6"	6' - 8"	
9	12	60" x 80" Interior- Double Bi-Fold	5' - 0"	6' - 8"	
10	16	54" x 80" Interior- Double Bi-Fold	4' - 6"	6' - 8"	
11	4	30" x 80" Interior- Sliding Barn	2' - 6"	6' - 8"	
12	172	30" x 80" Interior- Swing- Hollow Core	2' - 6"	6' - 8"	
13	12	192" x 96" O/H Garage Door- Modern	16' - 0"	8' - 0"	
14	4	144" x 96" O/H Garage Door- Modern	12' - 0"	8' - 0"	

Grand total: 341
 NOTE: ALL DOOR FRAMES/PANELS TO BE BLACK EXTERIOR

TOTAL WINDOW SCHEDULE						
Window Type	Count	Type	Width	Height	Comments	
1	12	72" x 60" Slider	6' - 0"	5' - 0"		
2	12	54" x 60" Slider	4' - 6"	5' - 0"		
3	44	72" x 48" Slider	6' - 0"	4' - 0"		
4	12	48" x 48" Slider	4' - 0"	4' - 0"		
5	4	30" x 48" Casement	2' - 6"	4' - 0"		
6	36	24" x 48" Casement	2' - 0"	4' - 0"		
7	12	54" x 16" Transom	4' - 6"	1' - 4"		
8	4	52" x 16" Transom	4' - 4"	1' - 4"		
9	20	30" x 16" Transom	2' - 6"	1' - 4"		
10	4	72" x 60" Picture	6' - 0"	5' - 0"		
11	20	72" x 20" Picture	6' - 0"	1' - 8"		
12	4	54" x 60" Picture	4' - 6"	5' - 0"		
13	4	48" x 48" Picture	4' - 0"	4' - 0"		
14	4	30" x 60" Picture	2' - 6"	5' - 0"		

Grand total: 192
 NOTE: ALL WINDOW FRAMES TO BE BLACK EXTERIOR

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 460 Leathard Rd
 Kelowna, BC

BLDG 3- EAST ELEVATION

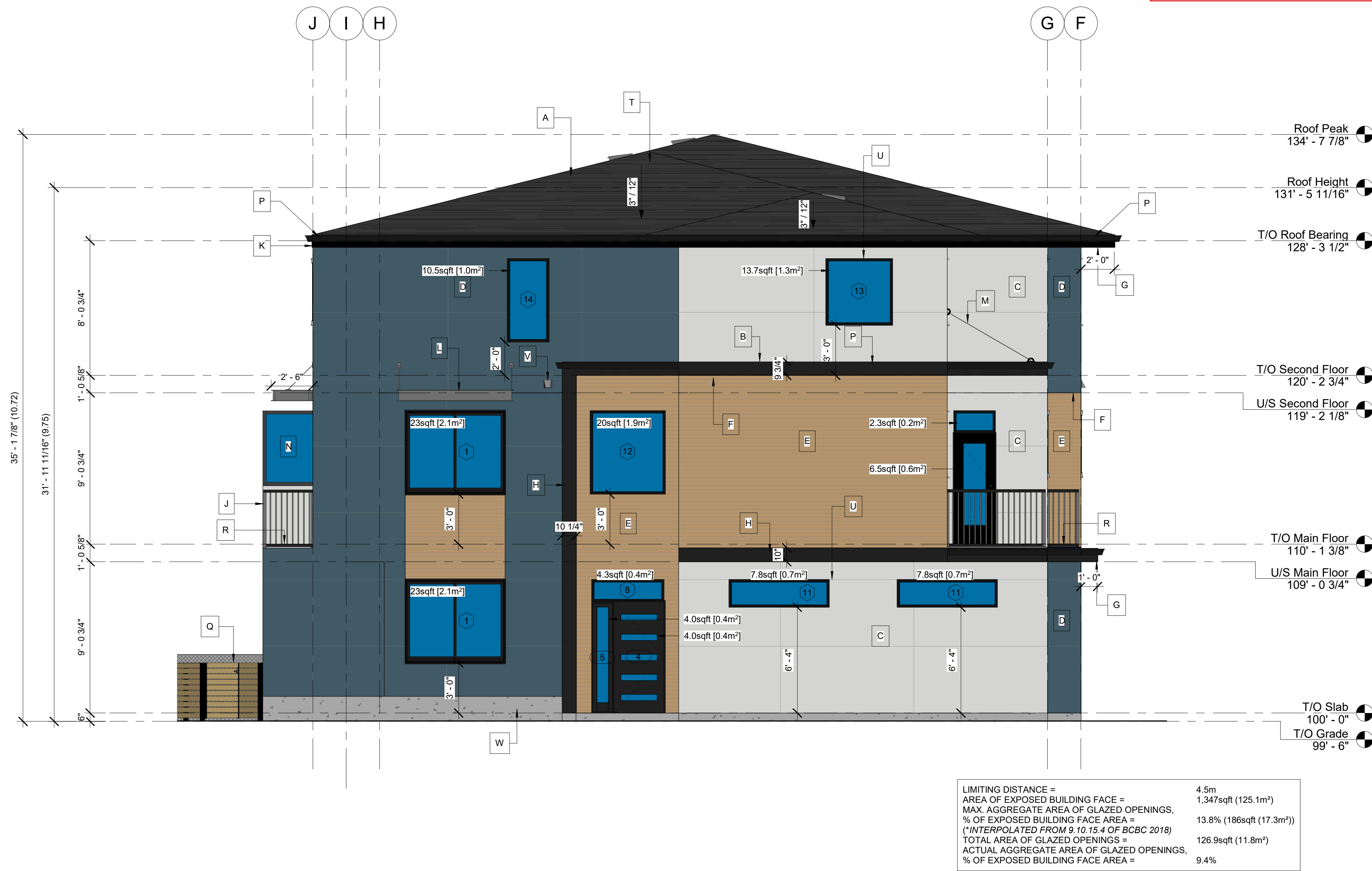
SCALE:
 AS NOTED

DRAWN BY: BV
 CHECKED BY: BV

DATE: 25.10.22
 PROJECT: 2020-009

A2.3.1

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1 BLDG 3- NORTH ELEVATION
 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE	
A	ASPHALT SHINGLES PER EXT. MAT'L SCHEDULE
B	2-LAYERS SBS ROOFING PER EXT. MAT'L SCHEDULE
C	CEMET PANEL SIDING PER EXT. MAT'L SCHEDULE (WHITE)
D	CEMET PANEL SIDING PER EXT. MAT'L SCHEDULE (COLOUR)
E	PVC HORIZ. SIDING PER EXT. MAT'L SCHEDULE
F	PVC SOFFIT PER EXT. MAT'L SCHEDULE (VENTED)
G	ALUMINUM SOFFIT PER EXT. MAT'L SCHEDULE (VENTED)
H	ALUMINUM SIDING PER EXT. MAT'L SCHEDULE
J	ALUMINUM PICKET GUARDRAILS PER EXT. MAT'L SCHEDULE
K	1x10 CEMENT BOARD FASCIA PER EXT. MAT'L SCHEDULE
L	STEEL LOUVERED AWNING PER EXT. MAT'L SCHEDULE
M	STEEL CABLE ROOF SUPPORT PER EXT. MAT'L SCHEDULE
N	PRIVACY GLASS PER EXT. MAT'L SCHEDULE
P	ALUMINUM EAVESTROUGH PER EXT. MAT'L SCHEDULE
Q	HORIZ. CEDAR WOOD FENCE (STAINED TO MATCH SIDING) w/ ALUMINUM POSTS (BLACK)
R	VINYL WATERPROOF DECKING OR COMPOSITE DECKING PER EXT. MAT'L SCHEDULE
S	BRICK FACADE PER EXT. MAT'L SCHEDULE
T	ROOF VENT AS REQ'D
U	ALUMINUM FLASHING ABOVE WINDOWS & DOORS
V	DRYER VENT
W	CEMENT PARGING ON FOUNDATION WALLS ABOVE GRADE
X	8x8 CEDAR WOOD TRELLIS (STAINED TO MATCH SIDING)
NOTES: - ALL FINISHINGS TO BE NEW MATERIALS. - EXTERIOR NOTES TYPICAL	

TOTAL DOOR SCHEDULE						TOTAL WINDOW SCHEDULE					
Door Type	Count	Type	Width	Height	Comments	Window Type	Count	Type	Width	Height	Comments
1	24	72" x 96" Exterior- Patio- Double Sliding	6' - 0"	8' - 0"		1	12	72" x 60" Slider	6' - 0"	5' - 0"	
2	20	30" x 80" Exterior- Full Lite Swing	2' - 6"	6' - 8"		2	12	54" x 60" Slider	4' - 6"	5' - 0"	
3	1	72" x 80" Exterior- Double Swing	6' - 0"	6' - 8"		3	44	72" x 48" Slider	6' - 0"	4' - 0"	
4	16	36" x 80" Exterior- Entry w/ 5-Lite Gl.	3' - 0"	6' - 8"		4	12	48" x 48" Slider	4' - 0"	4' - 0"	
5	16	16" x 80" Exterior- Entry Sidelite	1' - 4"	6' - 8"		5	4	30" x 48" Casement	2' - 6"	4' - 0"	
6	32	34" x 80" Exterior- Insulated Core w/ Threshold	2' - 10"	6' - 8"	Add closer for garage doors	6	36	24" x 48" Casement	2' - 0"	4' - 0"	
7	4	72" x 80" Interior- Double Swing	6' - 0"	6' - 8"		7	12	54" x 16" Transom	4' - 6"	1' - 4"	
8	8	54" x 80" Interior- Double Swing	4' - 6"	6' - 8"		8	4	52" x 16" Transom	4' - 4"	1' - 4"	
9	12	60" x 80" Interior- Double Bi-Fold	5' - 0"	6' - 8"		9	20	30" x 16" Transom	2' - 6"	1' - 4"	
10	16	54" x 80" Interior- Double Bi-Fold	4' - 6"	6' - 8"		10	4	72" x 60" Picture	6' - 0"	5' - 0"	
11	4	30" x 80" Interior- Sliding Barn	2' - 6"	6' - 8"		11	20	72" x 20" Picture	6' - 0"	1' - 8"	
12	172	30" x 80" Interior- Swing- Hollow Core	2' - 6"	6' - 8"		12	4	54" x 60" Picture	4' - 6"	5' - 0"	
13	12	192" x 96" O/H Garage Door- Modern	16' - 0"	8' - 0"		13	4	48" x 48" Picture	4' - 0"	4' - 0"	
14	4	144" x 96" O/H Garage Door- Modern	12' - 0"	8' - 0"		14	4	30" x 60" Picture	2' - 6"	5' - 0"	
Grand total: 341 NOTE: ALL DOOR FRAMES/PANELS TO BE BLACK EXTERIOR						Grand total: 192 NOTE: ALL WINDOW FRAMES TO BE BLACK EXTERIOR					

Issue Schedule		
Issue Number	Description	Date (dd.mm.yy)
16	Development Permit	25.05.22
17	Revised Layouts	13.06.22
18	Revised Site	22.06.22
19	Revised Plans	28.06.22
20	Coordination	13.06.22
21	BP	03.08.22
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BLDG 3- NORTH ELEVATION

SCALE:
 AS NOTED

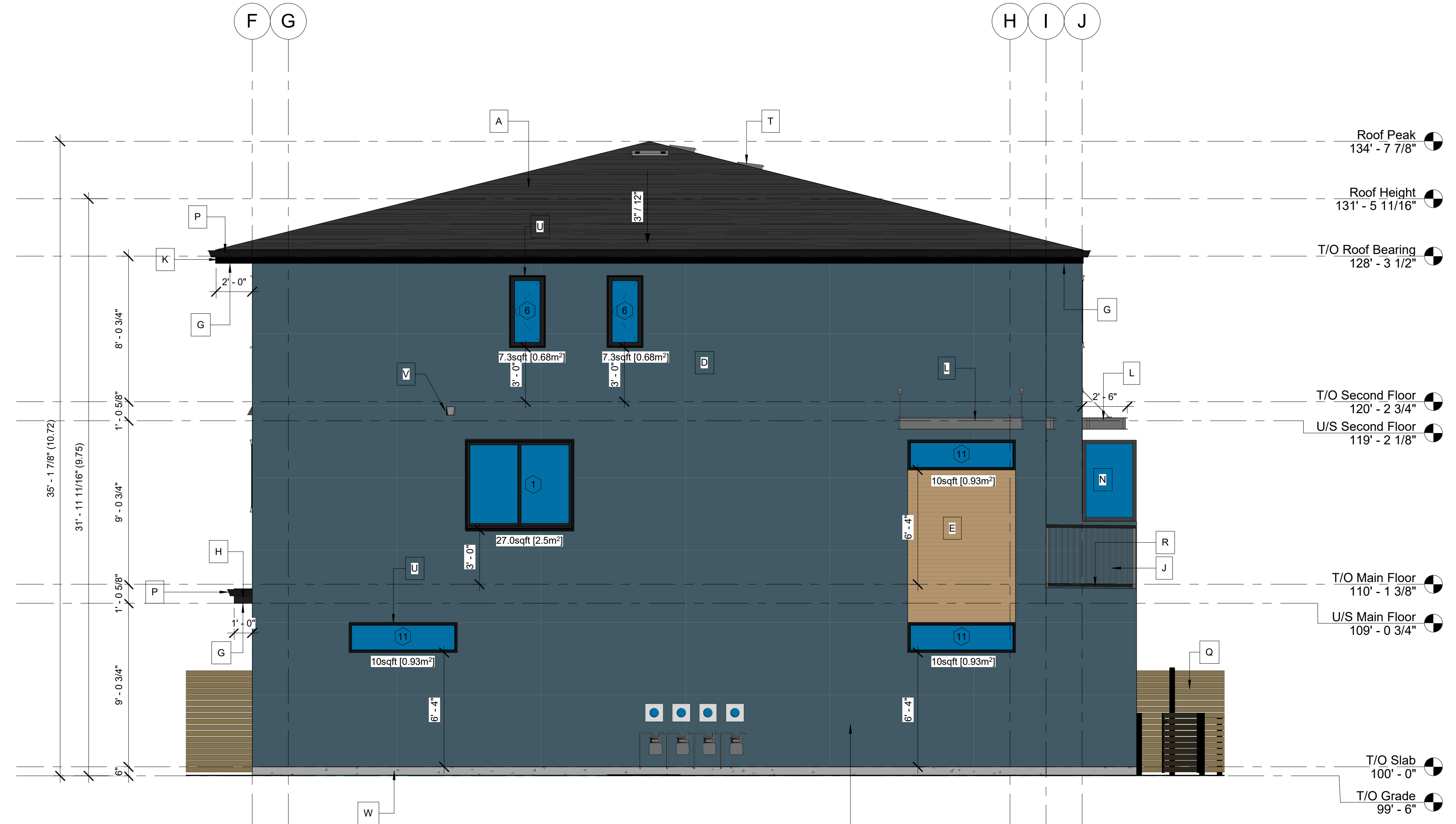
DRAWN BY: Author
 CHECKED BY: Checker

DATE: 25.10.22
 PROJECT: 2020-009

A2.3.2

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Issue Schedule		
Issue Number	Description	Date (dd.mm.yy)
16	Development Permit	25.05.22
17	Revised Layouts	13.06.22
18	Revised Site	22.06.22
19	Revised Plans	28.06.22
20	Coordination	13.06.22
21	BP	03.08.22
22	BP	03.10.22
23	BP	25.10.22



LIMITING DISTANCE = 3.65m
 AREA OF EXPOSED BUILDING FACE = 1,347sqft (125.1m²)
 MAX. AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSED BUILDING FACE AREA = 11.3% (152sqft (14.1m²))
 (*INTERPOLATED FROM 9.10.15.4 OF BCBC 2018)
 TOTAL AREA OF GLAZED OPENINGS = 71.6sqft (6.7m²)
 ACTUAL AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSED BUILDING FACE AREA = 5.3%

① BLDG 3- SOUTH ELEVATION
 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE	
A	ASPHALT SHINGLES PER EXT. MAT'L SCHEDULE
B	2-LAYERS SBS ROOFING PER EXT. MAT'L SCHEDULE
C	CEMET PANEL SIDING PER EXT. MAT'L SCHEDULE (WHITE)
D	CEMET PANEL SIDING PER EXT. MAT'L SCHEDULE (COLOUR)
E	PVC HORIZ. SIDING PER EXT. MAT'L SCHEDULE
F	PVC SOFFIT PER EXT. MAT'L SCHEDULE (VENTED)
G	ALUMINUM SOFFIT PER EXT. MAT'L SCHEDULE (VENTED)
H	ALUMINUM SIDING PER EXT. MAT'L SCHEDULE
J	ALUMINUM PICKET GUARDRAILS PER EXT. MAT'L SCHEDULE
K	1x10 CEMENT BOARD FASCIA PER EXT. MAT'L SCHEDULE
L	STEEL LOUVERED AWNING PER EXT. MAT'L SCHEDULE
M	STEEL CABLE ROOF SUPPORT PER EXT. MAT'L SCHEDULE
N	PRIVACY GLASS PER EXT. MAT'L SCHEDULE
P	ALUMINUM EAVESTROUGH PER EXT. MAT'L SCHEDULE
Q	HORIZ. CEDAR WOOD FENCE (STAINED TO MATCH SIDING) w/ ALUMINUM POSTS (BLACK)
R	VINYL WATERPROOF DECKING OR COMPOSITE DECKING PER EXT. MAT'L SCHEDULE
S	BRICK FACADE PER EXT. MAT'L SCHEDULE
T	ROOF VENT AS REQ'D
U	ALUMINUM FLASHING ABOVE WINDOWS & DOORS
V	DRYER VENT
W	CEMENT PARGING ON FOUNDATION WALLS ABOVE GRADE
X	8x8 CEDAR WOOD TRELLIS (STAINED TO MATCH SIDING)
NOTES: - ALL FINISHINGS TO BE NEW MATERIALS. - EXTERIOR NOTES TYPICAL	

TOTAL DOOR SCHEDULE					
Door Type	Count	Type	Width	Height	Comments
1	24	72" x 96" Exterior- Patio- Double Sliding	6' - 0"	8' - 0"	
2	20	30" x 80" Exterior- Patio- Full Lite Swing	2' - 6"	6' - 8"	
3	1	72" x 80" Exterior- Double Swing	6' - 0"	6' - 8"	
4	16	36" x 80" Exterior- Entry w/ 5-Lite Gl.	3' - 0"	6' - 8"	
5	16	16" x 80" Exterior- Entry Sidelite	1' - 4"	6' - 8"	
6	32	34" x 80" Exterior- Insulated Core w/ Threshold	2' - 10"	6' - 8"	Add closer for garage doors
7	4	72" x 80" Interior- Double Swing	6' - 0"	6' - 8"	
8	8	54" x 80" Interior- Double Swing	4' - 6"	6' - 8"	
9	12	60" x 80" Interior- Double Bi-Fold	5' - 0"	6' - 8"	
10	16	54" x 80" Interior- Double Bi-Fold	4' - 6"	6' - 8"	
11	4	30" x 80" Interior- Sliding Barn	2' - 6"	6' - 8"	
12	172	30" x 80" Interior- Swing- Hollow Core	2' - 6"	6' - 8"	
13	12	192" x 96" O/H Garage Door- Modern	16' - 0"	8' - 0"	
14	4	144" x 96" O/H Garage Door- Modern	12' - 0"	8' - 0"	
Grand total: 341					
NOTE: ALL DOOR FRAMES/PANELS TO BE BLACK EXTERIOR					

TOTAL WINDOW SCHEDULE					
Window Type	Count	Type	Width	Height	Comments
1	12	72" x 60" Slider	6' - 0"	5' - 0"	
2	12	54" x 60" Slider	4' - 6"	5' - 0"	
3	44	72" x 48" Slider	6' - 0"	4' - 0"	
4	12	48" x 48" Slider	4' - 0"	4' - 0"	
5	4	30" x 48" Casement	2' - 6"	4' - 0"	
6	36	24" x 48" Casement	2' - 0"	4' - 0"	
7	12	54" x 16" Transom	4' - 6"	1' - 4"	
8	4	52" x 16" Transom	4' - 4"	1' - 4"	
9	20	30" x 16" Transom	2' - 6"	1' - 4"	
10	4	72" x 60" Picture	6' - 0"	5' - 0"	
11	20	72" x 20" Picture	6' - 0"	1' - 8"	
12	4	54" x 60" Picture	4' - 6"	5' - 0"	
13	4	48" x 48" Picture	4' - 0"	4' - 0"	
14	4	30" x 60" Picture	2' - 6"	5' - 0"	
Grand total: 192					
NOTE: ALL WINDOW FRAMES TO BE BLACK EXTERIOR					

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 605fraser@gmail.com

'Oakland by Symbolic'
 Multi-Residential Development
 605 Fraser Rd &
 460 Leathead Rd
 Kelowna, BC

BLDG 3- SOUTH ELEVATION

SCALE:
 AS NOTED

DRAWN BY: BV
 CHECKED BY: BV

DATE: 25.10.22
 PROJECT: 2020-009

A2.3.3

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Issue Schedule

Issue Number	Description	Date (dd.mm.yy)
16	Development Permit	25.05.22
17	Revised Layouts	13.06.22
18	Revised Site	22.06.22
19	Revised Plans	28.06.22
20	Coordination	13.06.22
21	BP	03.08.22
22	BP	03.10.22
23	BP	25.10.22

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'Oakland by Symbolic'
 Multi-Residential Development
 605 Fraser Rd &
 460 Leathard Rd
 Kelowna, BC

BLDG 4- WEST ELEVATION

SCALE:
AS NOTED

DRAWN BY: **BV** CHECKED BY: **BV**

DATE: **25.10.22** PROJECT: **2020-009**

A2.4.0

EXTERIOR FINISH SCHEDULE

A	ASPHALT SHINGLES PER EXT. MAT'L SCHEDULE
B	2-LAYERS SBS ROOFING PER EXT. MAT'L SCHEDULE
C	CEMET PANEL SIDING PER EXT. MAT'L SCHEDULE (WHITE)
D	CEMET PANEL SIDING PER EXT. MAT'L SCHEDULE (COLOUR)
E	PVC HORIZ. SIDING PER EXT. MAT'L SCHEDULE
F	PVC SOFFIT PER EXT. MAT'L SCHEDULE (VENTED)
G	ALUMINUM SOFFIT PER EXT. MAT'L SCHEDULE (VENTED)
H	ALUMINUM SIDING PER EXT. MAT'L SCHEDULE
J	ALUMINUM PICKET GUARDRAILS PER EXT. MAT'L SCHEDULE
K	1x10 CEMENT BOARD FASCIA PER EXT. MAT'L SCHEDULE
L	STEEL LOUVERED AWNING PER EXT. MAT'L SCHEDULE
M	STEEL CABLE ROOF SUPPORT PER EXT. MAT'L SCHEDULE
N	PRIVACY GLASS PER EXT. MAT'L SCHEDULE
P	ALUMINUM EAVESTROUGH PER EXT. MAT'L SCHEDULE
Q	HORIZ. CEDAR WOOD FENCE (STAINED TO MATCH SIDING) w/ ALUMINUM POSTS (BLACK)
R	VINYL WATERPROOF DECKING OR COMPOSITE DECKING PER EXT. MAT'L SCHEDULE
S	BRICK FACADE PER EXT. MAT'L SCHEDULE
T	ROOF VENT AS REQ'D
U	ALUMINUM FLASHING ABOVE WINDOWS & DOORS
V	DRYER VENT
W	CEMENT PARGING ON FOUNDATION WALLS ABOVE GRADE
X	8x8 CEDAR WOOD TRELLIS (STAINED TO MATCH SIDING)

NOTES:
 - ALL FINISHINGS TO BE NEW MATERIALS.
 - EXTERIOR NOTES TYPICAL

BLDG 4- WEST ELEVATION
 1/4" = 1'-0"

LIMITING DISTANCE = 4.0m
 AREA OF EXPOSED BUILDING FACE = 2,144sqft (199.2m²)
 MAX. AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSED BUILDING FACE AREA = 12% (257sqft (23.9m²))
 (*INTERPOLATED FROM 9.10.15.4 OF BCBC 2018)
 TOTAL AREA OF GLAZED OPENINGS = 220.7sqft (20.5m²)
 ACTUAL AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSED BUILDING FACE AREA = 10.3%

TOTAL DOOR SCHEDULE

Door Type	Count	Type	Width	Height	Comments
1	24	72" x 96" Exterior- Patio- Double Sliding	6' - 0"	8' - 0"	
2	20	30" x 80" Exterior- Patio- Full Lite Swing	2' - 6"	6' - 8"	
3	1	72" x 80" Exterior- Double Swing	6' - 0"	6' - 8"	
4	16	36" x 80" Exterior- Entry w/ 5-Lite Gl.	3' - 0"	6' - 8"	
5	16	16" x 80" Exterior- Entry Sidelite	1' - 4"	6' - 8"	
6	32	34" x 80" Exterior- Insulated Core w/ Threshold	2' - 10"	6' - 8"	Add closer for garage doors
7	4	72" x 80" Interior- Double Swing	6' - 0"	6' - 8"	
8	8	54" x 80" Interior- Double Swing	4' - 6"	6' - 8"	
9	12	60" x 80" Interior- Double Bi-Fold	5' - 0"	6' - 8"	
10	16	54" x 80" Interior- Double Bi-Fold	4' - 6"	6' - 8"	
11	4	30" x 80" Interior- Sliding Barn	2' - 6"	6' - 8"	
12	172	30" x 80" Interior- Swing- Hollow Core	2' - 6"	6' - 8"	
13	12	192" x 96" O/H Garage Door- Modern	16' - 0"	8' - 0"	
14	4	144" x 96" O/H Garage Door- Modern	12' - 0"	8' - 0"	

Grand total: 341
 NOTE: ALL DOOR FRAMES/PANELS TO BE BLACK EXTERIOR

TOTAL WINDOW SCHEDULE

Window Type	Count	Type	Width	Height	Comments
1	12	72" x 60" Slider	6' - 0"	5' - 0"	
2	12	54" x 60" Slider	4' - 6"	5' - 0"	
3	44	72" x 48" Slider	6' - 0"	4' - 0"	
4	12	48" x 48" Slider	4' - 0"	4' - 0"	
5	4	30" x 48" Casement	2' - 6"	4' - 0"	
6	36	24" x 48" Casement	2' - 0"	4' - 0"	
7	12	54" x 16" Transom	4' - 6"	1' - 4"	
8	4	52" x 16" Transom	4' - 4"	1' - 4"	
9	20	30" x 16" Transom	2' - 6"	1' - 4"	
10	4	72" x 60" Picture	6' - 0"	5' - 0"	
11	20	72" x 20" Picture	6' - 0"	1' - 8"	
12	4	54" x 60" Picture	4' - 6"	5' - 0"	
13	4	48" x 48" Picture	4' - 0"	4' - 0"	
14	4	30" x 60" Picture	2' - 6"	5' - 0"	

Grand total: 192
 NOTE: ALL WINDOW FRAMES TO BE BLACK EXTERIOR

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BLDG 4- EAST ELEVATION

SCALE:
AS NOTED
 DRAWN BY: BV
 CHECKED BY: BV
 DATE: 25.10.22
 PROJECT: 2020-009

EXTERIOR FINISH SCHEDULE	
A	ASPHALT SHINGLES PER EXT. MAT'L SCHEDULE
B	2-LAYERS SBS ROOFING PER EXT. MAT'L SCHEDULE
C	CEMET PANEL SIDING PER EXT. MAT'L SCHEDULE (WHITE)
D	CEMET PANEL SIDING PER EXT. MAT'L SCHEDULE (COLOUR)
E	PVC HORIZ. SIDING PER EXT. MAT'L SCHEDULE
F	PVC SOFFIT PER EXT. MAT'L SCHEDULE (VENTED)
G	ALUMINUM SOFFIT PER EXT. MAT'L SCHEDULE (VENTED)
H	ALUMINUM SIDING PER EXT. MAT'L SCHEDULE
J	ALUMINUM PICKET GUARDRAILS PER EXT. MAT'L SCHEDULE
K	1x10 CEMENT BOARD FASCIA PER EXT. MAT'L SCHEDULE
L	STEEL LOUVERED AWNING PER EXT. MAT'L SCHEDULE
M	STEEL CABLE ROOF SUPPORT PER EXT. MAT'L SCHEDULE
N	PRIVACY GLASS PER EXT. MAT'L SCHEDULE
P	ALUMINUM EAVESTROUGH PER EXT. MAT'L SCHEDULE
Q	HORIZ. CEDAR WOOD FENCE (STAINED TO MATCH SIDING) w/ ALUMINUM POSTS (BLACK)
R	VINYL WATERPROOF DECKING OR COMPOSITE DECKING PER EXT. MAT'L SCHEDULE
S	BRICK FACADE PER EXT. MAT'L SCHEDULE
T	ROOF VENT AS REQ'D
U	ALUMINUM FLASHING ABOVE WINDOWS & DOORS
V	DRYER VENT
W	CEMENT PARGING ON FOUNDATION WALLS ABOVE GRADE
X	8x8 CEDAR WOOD TRELLIS (STAINED TO MATCH SIDING)

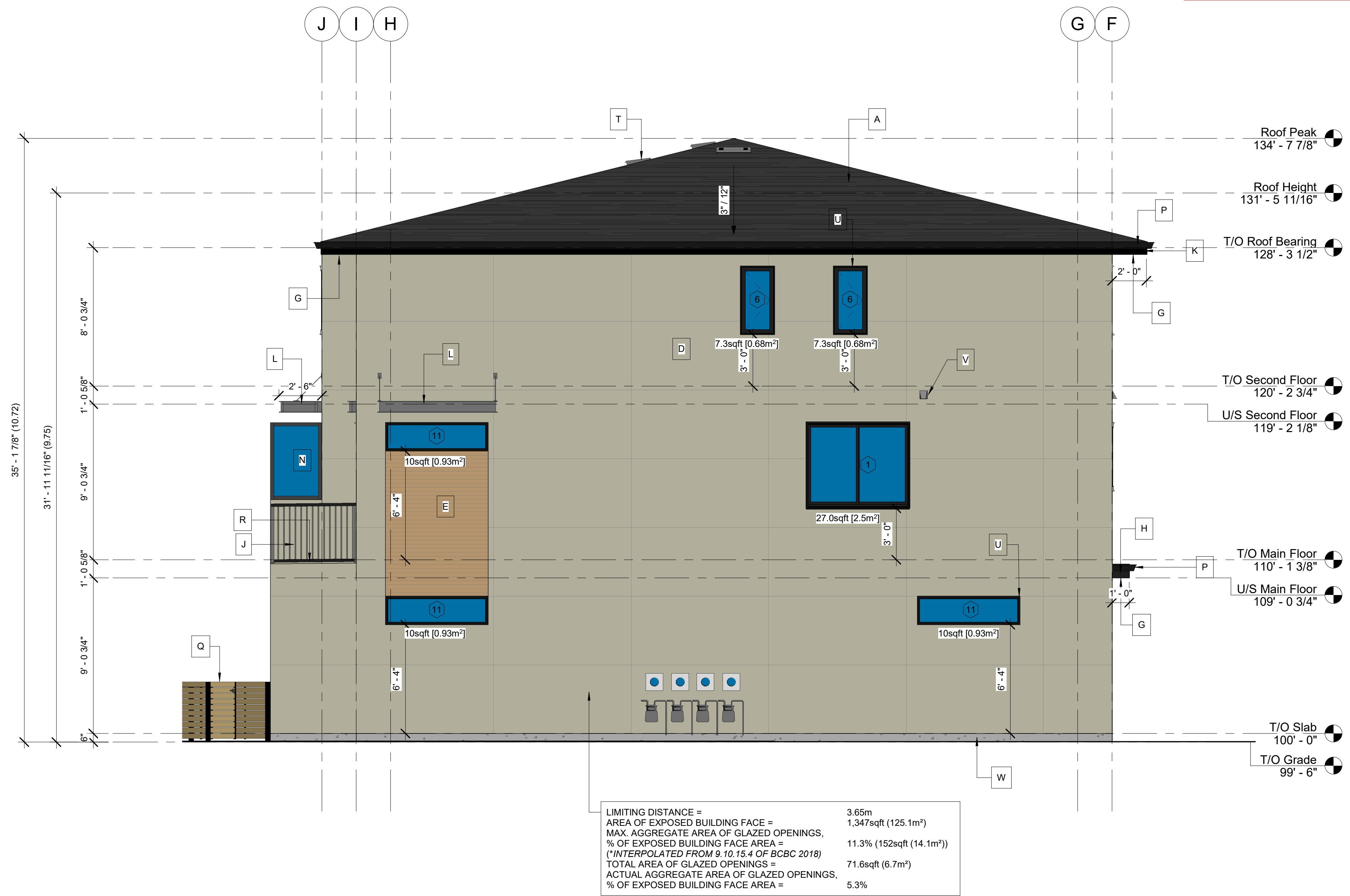
NOTES:
 - ALL FINISHINGS TO BE NEW MATERIALS.
 - EXTERIOR NOTES TYPICAL

BLDG 4- EAST ELEVATION
 1/4" = 1'-0"

LIMITING DISTANCE = 8.53m
 AREA OF EXPOSED BUILDING FACE = 2,144sqft (199.2m²)
 MAX. AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSED BUILDING FACE AREA = 31% (665sqft (61.8m²))
 (*INTERPOLATED FROM 9.10.15.4 OF BCBC 2018)
 TOTAL AREA OF GLAZED OPENINGS = 438.2sqft (40.7m²)
 ACTUAL AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSED BUILDING FACE AREA = 20.4%

TOTAL DOOR SCHEDULE						TOTAL WINDOW SCHEDULE					
Door Type	Count	Type	Width	Height	Comments	Window Type	Count	Type	Width	Height	Comments
1	24	72" x 96" Exterior- Patio- Double Sliding	6' - 0"	8' - 0"		1	12	72" x 60" Slider	6' - 0"	5' - 0"	
2	20	30" x 80" Exterior- Patio- Full Lite Swing	2' - 6"	6' - 8"		2	12	54" x 60" Slider	4' - 6"	5' - 0"	
3	1	72" x 80" Exterior- Double Swing	6' - 0"	6' - 8"		3	44	72" x 48" Slider	6' - 0"	4' - 0"	
4	16	36" x 80" Exterior- Entry w/ 5-Lite Gl.	3' - 0"	6' - 8"		4	12	48" x 48" Slider	4' - 0"	4' - 0"	
5	16	16" x 80" Exterior- Enty Sidelite	1' - 4"	6' - 8"		5	4	30" x 48" Casement	2' - 6"	4' - 0"	
6	32	34" x 80" Exterior- Insulated Core w/ Threshold	2' - 10"	6' - 8"	Add closer for garage doors	6	36	24" x 48" Casement	2' - 0"	4' - 0"	
7	4	72" x 80" Interior- Double Swing	6' - 0"	6' - 8"		7	12	54" x 16" Transom	4' - 6"	1' - 4"	
8	8	54" x 80" Interior- Double Swing	4' - 6"	6' - 8"		8	4	52" x 16" Transom	4' - 4"	1' - 4"	
9	12	60" x 80" Interior- Double Bi-Fold	5' - 0"	6' - 8"		9	20	30" x 16" Transom	2' - 6"	1' - 4"	
10	16	54" x 80" Interior- Double Bi-Fold	4' - 6"	6' - 8"		10	4	72" x 60" Picture	6' - 0"	5' - 0"	
11	4	30" x 80" Interior- Sliding Barn	2' - 6"	6' - 8"		11	20	72" x 20" Picture	6' - 0"	1' - 8"	
12	172	30" x 80" Interior- Swing- Hollow Core	2' - 6"	6' - 8"		12	4	54" x 60" Picture	4' - 6"	5' - 0"	
13	12	192" x 96" O/H Garage Door- Modern	16' - 0"	8' - 0"		13	4	48" x 48" Picture	4' - 0"	4' - 0"	
14	4	144" x 96" O/H Garage Door- Modern	12' - 0"	8' - 0"		14	4	30" x 60" Picture	2' - 6"	5' - 0"	
Grand total: 341 NOTE: ALL DOOR FRAMES/PANELS TO BE BLACK EXTERIOR						Grand total: 192 NOTE: ALL WINDOW FRAMES TO BE BLACK EXTERIOR					

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LIMITING DISTANCE = 3.65m
 AREA OF EXPOSED BUILDING FACE = 1,347sqft (125.1m²)
 MAX AGGREGATE AREA OF GLAZED OPENINGS = 11.3% (152sqft (14.1m²))
 (% OF EXPOSED BUILDING FACE AREA = (*INTERPOLATED FROM 9.10.15.4 OF BCBC 2018)
 TOTAL AREA OF GLAZED OPENINGS = 71.6sqft (6.7m²)
 ACTUAL AGGREGATE AREA OF GLAZED OPENINGS, (% OF EXPOSED BUILDING FACE AREA = 5.3%

1 BLDG 4- NORTH ELEVATION
 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE	
A	ASPHALT SHINGLES PER EXT. MAT'L SCHEDULE
B	2-LAYERS SBS ROOFING PER EXT. MAT'L SCHEDULE
C	CEMET PANEL SIDING PER EXT. MAT'L SCHEDULE (WHITE)
D	CEMET PANEL SIDING PER EXT. MAT'L SCHEDULE (COLOUR)
E	PVC HORIZ. SIDING PER EXT. MAT'L SCHEDULE
F	PVC SOFFIT PER EXT. MAT'L SCHEDULE (VENTED)
G	ALUMINUM SOFFIT PER EXT. MAT'L SCHEDULE (VENTED)
H	ALUMINUM SIDING PER EXT. MAT'L SCHEDULE
J	ALUMINUM PICKET GUARDRAILS PER EXT. MAT'L SCHEDULE
K	1x10 CEMENT BOARD FASCIA PER EXT. MAT'L SCHEDULE
L	STEEL LOUVERED AWNING PER EXT. MAT'L SCHEDULE
M	STEEL CABLE ROOF SUPPORT PER EXT. MAT'L SCHEDULE
N	PRIVACY GLASS PER EXT. MAT'L SCHEDULE
P	ALUMINUM EAVESTROUGH PER EXT. MAT'L SCHEDULE
Q	HORIZ. CEDAR WOOD FENCE (STAINED TO MATCH SIDING) w/ ALUMINUM POSTS (BLACK)
R	VINYL WATERPROOF DECKING OR COMPOSITE DECKING PER EXT. MAT'L SCHEDULE
S	BRICK FACADE PER EXT. MAT'L SCHEDULE
T	ROOF VENT AS REQ'D
U	ALUMINUM FLASHING ABOVE WINDOWS & DOORS
V	DRYER VENT
W	CEMENT PARGING ON FOUNDATION WALLS ABOVE GRADE
X	8x8 CEDAR WOOD TRELLIS (STAINED TO MATCH SIDING)
NOTES: - ALL FINISHINGS TO BE NEW MATERIALS. - EXTERIOR NOTES TYPICAL	

TOTAL DOOR SCHEDULE					
Door Type	Count	Type	Width	Height	Comments
1	24	72" x 96" Exterior- Patio- Double Sliding	6' - 0"	8' - 0"	
2	20	30" x 80" Exterior- Patio- Full Lite Swing	2' - 6"	6' - 8"	
3	1	72" x 80" Exterior- Double Swing	6' - 0"	6' - 8"	
4	16	36" x 80" Exterior- Entry w/ 5-Lite Gl.	3' - 0"	6' - 8"	
5	16	16" x 80" Exterior- Entry Sidelite	1' - 4"	6' - 8"	
6	32	34" x 80" Exterior- Insulated Core w/ Threshold	2' - 10"	6' - 8"	Add closer for garage doors
7	4	72" x 80" Interior- Double Swing	6' - 0"	6' - 8"	
8	8	54" x 80" Interior- Double Swing	4' - 6"	6' - 8"	
9	12	60" x 80" Interior- Double Bi-Fold	5' - 0"	6' - 8"	
10	16	54" x 80" Interior- Double Bi-Fold	4' - 6"	6' - 8"	
11	4	30" x 80" Interior- Sliding Barn	2' - 6"	6' - 8"	
12	172	30" x 80" Interior- Swing- Hollow Core	2' - 6"	6' - 8"	
13	12	192" x 96" O/H Garage Door- Modern	16' - 0"	8' - 0"	
14	4	144" x 96" O/H Garage Door- Modern	12' - 0"	8' - 0"	
Grand total: 341					
NOTE: ALL DOOR FRAMES/PANELS TO BE BLACK EXTERIOR					

TOTAL WINDOW SCHEDULE					
Window Type	Count	Type	Width	Height	Comments
1	12	72" x 60" Slider	6' - 0"	5' - 0"	
2	12	54" x 60" Slider	4' - 6"	5' - 0"	
3	44	72" x 48" Slider	6' - 0"	4' - 0"	
4	12	48" x 48" Slider	4' - 0"	4' - 0"	
5	4	30" x 48" Casement	2' - 6"	4' - 0"	
6	36	24" x 48" Casement	2' - 0"	4' - 0"	
7	12	54" x 16" Transom	4' - 6"	1' - 4"	
8	4	52" x 16" Transom	4' - 4"	1' - 4"	
9	20	30" x 16" Transom	2' - 6"	1' - 4"	
10	4	72" x 60" Picture	6' - 0"	5' - 0"	
11	20	72" x 20" Picture	6' - 0"	1' - 8"	
12	4	54" x 60" Picture	4' - 6"	5' - 0"	
13	4	48" x 48" Picture	4' - 0"	4' - 0"	
14	4	30" x 60" Picture	2' - 6"	5' - 0"	
Grand total: 192					
NOTE: ALL WINDOW FRAMES TO BE BLACK EXTERIOR					

Issue Schedule		
Issue Number	Description	Date (dd.mm.yy)
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BLDG 4- NORTH ELEVATION

SCALE:
 AS NOTED

DRAWN BY: BV
 CHECKED BY: BV

DATE: 25.10.22
 PROJECT: 2020-009

A2.4.2

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20	Coordination	13.06.22
21	BP	03.08.22
22	BP	03.10.22
23	BP	25.10.22



① BLDG 4 - SOUTH ELEVATION
 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE	
A	ASPHALT SHINGLES PER EXT. MAT'L SCHEDULE
B	2-LAYERS SBS ROOFING PER EXT. MAT'L SCHEDULE
C	CEMET PANEL SIDING PER EXT. MAT'L SCHEDULE (WHITE)
D	CEMET PANEL SIDING PER EXT. MAT'L SCHEDULE (COLOUR)
E	PVC HORIZ. SIDING PER EXT. MAT'L SCHEDULE
F	PVC SOFFIT PER EXT. MAT'L SCHEDULE (VENTED)
G	ALUMINUM SOFFIT PER EXT. MAT'L SCHEDULE (VENTED)
H	ALUMINUM SIDING PER EXT. MAT'L SCHEDULE
J	ALUMINUM PICKET GUARDRAILS PER EXT. MAT'L SCHEDULE
K	1x10 CEMENT BOARD FASCIA PER EXT. MAT'L SCHEDULE
L	STEEL LOUVERED AWNING PER EXT. MAT'L SCHEDULE
M	STEEL CABLE ROOF SUPPORT PER EXT. MAT'L SCHEDULE
N	PRIVACY GLASS PER EXT. MAT'L SCHEDULE
P	ALUMINUM EAVESTROUGH PER EXT. MAT'L SCHEDULE
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T	ROOF VENT AS REQ'D
U	ALUMINUM FLASHING ABOVE WINDOWS & DOORS
V	DRYER VENT
W	CEMENT PARGING ON FOUNDATION WALLS ABOVE GRADE
X	8x8 CEDAR WOOD TRELLIS (STAINED TO MATCH SIDING)
NOTES: - ALL FINISHINGS TO BE NEW MATERIALS. - EXTERIOR NOTES TYPICAL	

TOTAL DOOR SCHEDULE					
Door Type	Count	Type	Width	Height	Comments
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3	1	72" x 80" Exterior- Double Swing	6' - 0"	6' - 8"	
4	16	36" x 80" Exterior- Entry w/ 5-Lite Gl.	3' - 0"	6' - 8"	
5	16	16" x 80" Exterior- Entry Sidelite	1' - 4"	6' - 8"	
6	32	34" x 80" Exterior- Insulated Core w/ Threshold	2' - 10"	6' - 8"	Add closer for garage doors
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9	12	60" x 80" Interior- Double Bi-Fold	5' - 0"	6' - 8"	
10	16	54" x 80" Interior- Double Bi-Fold	4' - 6"	6' - 8"	
11	4	30" x 80" Interior- Sliding Barn	2' - 6"	6' - 8"	
12	172	30" x 80" Interior- Swing- Hollow Core	2' - 6"	6' - 8"	
13	12	192" x 96" O/H Garage Door- Modern	16' - 0"	8' - 0"	
14	4	144" x 96" O/H Garage Door- Modern	12' - 0"	8' - 0"	
Grand total: 341 NOTE: ALL DOOR FRAMES/PANELS TO BE BLACK EXTERIOR					

TOTAL WINDOW SCHEDULE					
Window Type	Count	Type	Width	Height	Comments
1	12	72" x 60" Slider	6' - 0"	5' - 0"	
2	12	54" x 60" Slider	4' - 6"	5' - 0"	
3	44	72" x 48" Slider	6' - 0"	4' - 0"	
4	12	48" x 48" Slider	4' - 0"	4' - 0"	
5	4	30" x 48" Casement	2' - 6"	4' - 0"	
6	36	24" x 48" Casement	2' - 0"	4' - 0"	
7	12	54" x 16" Transom	4' - 6"	1' - 4"	
8	4	52" x 16" Transom	4' - 4"	1' - 4"	
9	20	30" x 16" Transom	2' - 6"	1' - 4"	
10	4	72" x 60" Picture	6' - 0"	5' - 0"	
11	20	72" x 20" Picture	6' - 0"	1' - 8"	
12	4	54" x 60" Picture	4' - 6"	5' - 0"	
13	4	48" x 48" Picture	4' - 0"	4' - 0"	
14	4	30" x 60" Picture	2' - 6"	5' - 0"	
Grand total: 192 NOTE: ALL WINDOW FRAMES TO BE BLACK EXTERIOR					

Symbolic Construction Group
 #211- 12877 76 Ave
 Surrey, BC V3W 1E6
 P:604-599-6886
 C:604-763-7068
 605fraser@gmail.com

'Oakland by Symbolic'
 Multi-Residential Development
 605 Fraser Rd &
 460 Leathead Rd
 Kelowna, BC

BLDG 4 - SOUTH ELEVATION

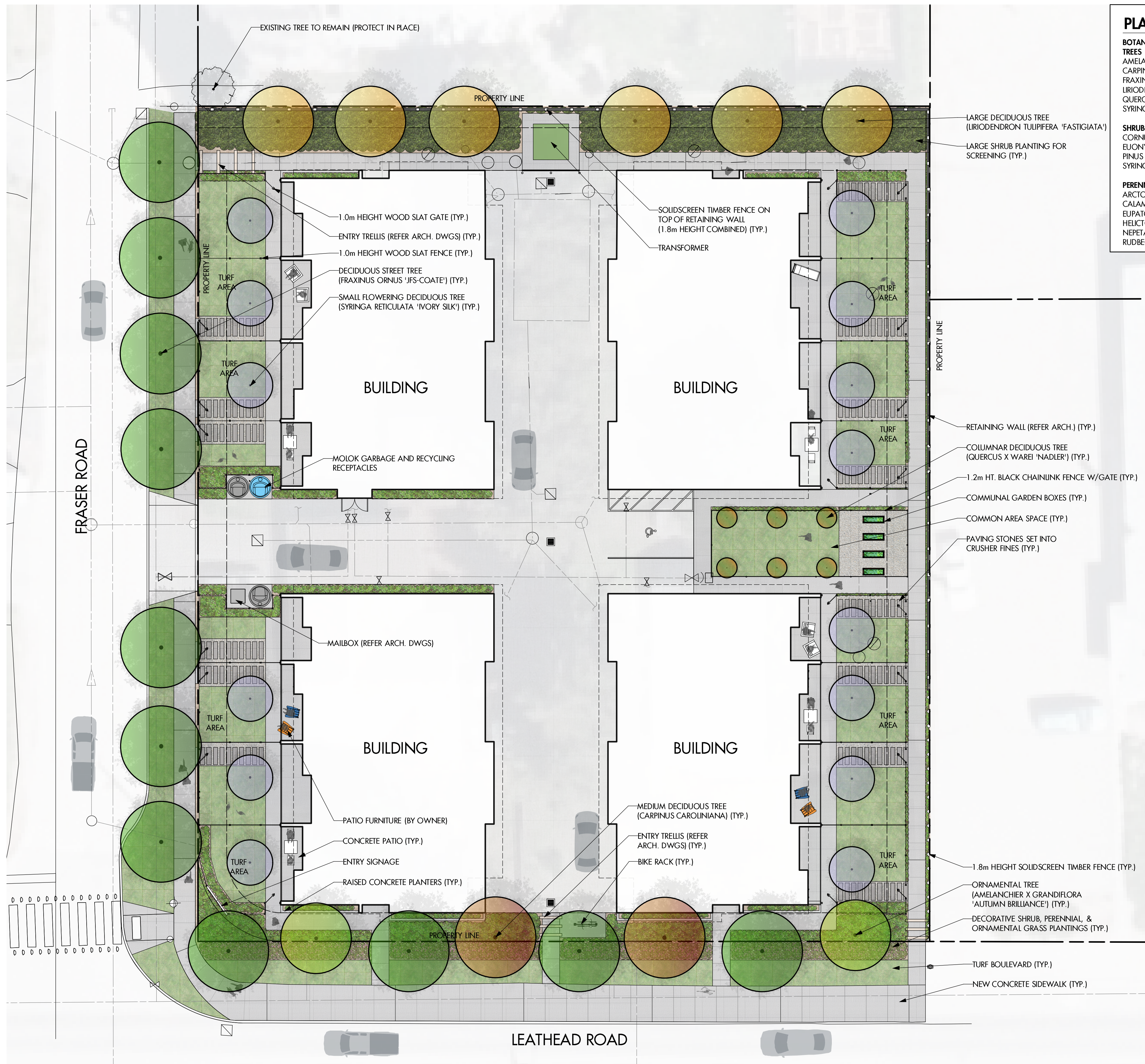
SCALE:
 AS NOTED

DRAWN BY: BV
 CHECKED BY: BV

DATE: 25.10.22
 PROJECT: 2020-009

A2.4.3

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PLANT LIST

BOTANICAL NAME	COMMON NAME	QTY	SIZE/SPACING & REMARKS
TREES			
AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	SERVICEBERRY	2	3m CAL
CARPINUS CAROLINIANA	AMERICAN HORNBEAM	2	4m CAL
FRAXINUS ORNIUS 'JFS-COATE'	URBAN BOUQUET ASH	11	4m CAL
LIRIODENDRON TULIPIFERA 'FASTIGIATA'	COLUMNAR TULIP TREE	6	5m CAL
QUERCUS X WAREI 'NADLER'	KINDRED SPIRIT OAK	6	3m CAL
SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK TREE LILAC	14	3m CAL
SHRUBS			
CORNUS STOLONIFERA 'FARROW'	ARCTIC FIRE DOGWOOD	25	#02 CONT. /1.5M O.C. SPACING
EUONYMUS ALATUS 'SELECT'	FIRE BALL BURNING BUSH	18	#02 CONT. /1.8M O.C. SPACING
PINUS SYLVESTRIS 'GLAUCA NANA'	DWARF BLUE SCOTCH PINE	9	#02 CONT. /2.5M O.C. SPACING
SYRINGA MEYERI 'PALIBIN'	DWARF KOREAN LILAC	14	#02 CONT. /2.0M O.C. SPACING
PERENNIALS & GRASSES			
ARCTOSTAPHYLOS UVA-URSI	KINKINNICK	102	9cm POT/0.5M O.C. SPACING
CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FOERSTER'S FEATHER REED GRASS	11	#01 CONT. /1.5M O.C. SPACING
EUPATORIUM DUBIUM 'LITTLE JOE'	LITTLE JOE DWARF JOE PYE	11	#01 CONT. /1.5M O.C. SPACING
HELICTROICHON SEMPERVIRENS	BLUE OAT GRASS	18	#01 CONT. /1.2M O.C. SPACING
NEPETA X FAASSENII 'WALKER'S LOW'	WALKER'S LOW CATMINT	18	#01 CONT. /1.2M O.C. SPACING
RUDBECKIA FULGIDA 'GOLDSTURM'	GOLDSTURM CONEFLOWER	25	#01 CONT. /1.0M O.C. SPACING

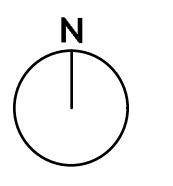
- NOTES**
- PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED CANADIAN LANDSCAPE STANDARDS. ALL OFFSITE LANDSCAPE WORKS TO MEET CITY OF KELOWNA BYLAW 12375 STANDARDS.
 - ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.
 - TREE AND SHRUB BEDS TO BE DRESSED IN A MINIMUM 75mm WOOD MULCH. DO NOT PLACE WEED MAT UNDERNEATH TREE AND SHRUB BEDS.
 - SHRUB BEDS TO RECEIVE A MINIMUM 300mm DEPTH TOPSOIL PLACEMENT. TREE BEDS TO RECEIVE A MINIMUM 1000mm DEPTH TOPSOIL PLACEMENT. MEDIUM AND LARGE TREES IN SETBACK TO RECEIVE 1500mm DEPTH TOPSOIL TO ACHIEVE SOIL VOLUME REQUIREMENT PER TREE PER BYLAW 12375.
 - TURF AREAS FROM SOD SHALL BE NO. 1 GRADE GROWN FROM CERTIFIED SEED OF IMPROVED CULTIVARS REGISTERED FOR SALE IN B.C. AND SHALL BE TOLERANT OF DROUGHT CONDITIONS. A MINIMUM OF 150mm DEPTH OF GROWING MEDIUM IS REQUIRED BENEATH TURF AREAS. TURF AREAS SHALL MEET EXISTING GRADES AND HARD SURFACES FLUSH.
 - SITE GRADING AND DRAINAGE WILL ENSURE THAT ALL STRUCTURES HAVE POSITIVE DRAINAGE AND THAT NO WATER OR LOOSE IMPEDIMENTS WILL BE DISCHARGED FROM THE LOT ONTO ADJACENT PUBLIC, COMMON OR PRIVATE PROPERTIES.

SCHEDULE C

This forms part of application
DP20-0154

Planner Initials **KB**

City of Kelowna
DEVELOPMENT PLANNING



PROJECT TITLE
460 LEATHEAD ROAD

Kelowna, BC
DRAWING TITLE

CONCEPTUAL LANDSCAPE PLAN

ISSUED FOR / REVISION

NO.	DATE	REVISION
4	22.05.24	Review
5	22.07.14	Review
6	23.02.17	Review
7	23.03.31	Review
8	23.07.10	Development Permit

PROJECT NO. 20060

DESIGN BY FB

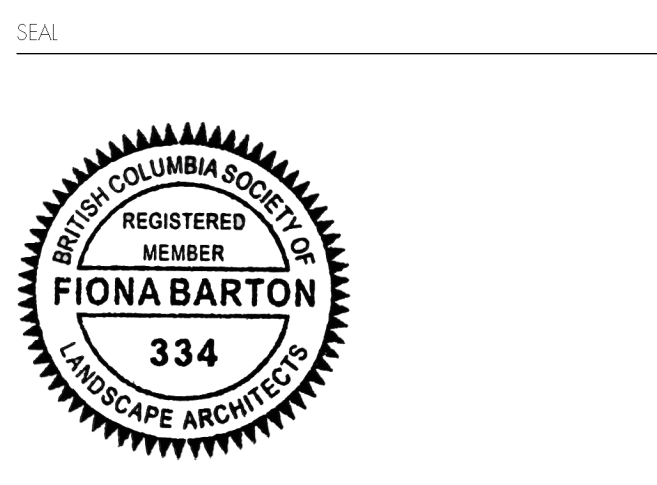
DRAWN BY MC/TR

CHECKED BY FB

DATE JUL. 10, 2023

SCALE 1:150

PAGE SIZE 24x36"



DRAWING NUMBER
L1/2

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IRRIGATION NOTES

1. IRRIGATION PRODUCTS AND INSTALLATION METHODS SHALL MEET OR EXCEED THE REQUIREMENTS OF THE WATER USE REGULATION BYLAW NO. 10480 AND THE SUPPLEMENTARY SPECIFICATIONS IN THE CITY OF KELOWNA BYLAW 7900 (PART 6, SCHEDULE 5).
2. THE IRRIGATION SYSTEM SHALL MEET THE REQUIREMENTS, REGULATIONS, AND BYLAWS OF THE WATER PURVEYOR.
3. THE IRRIGATION SYSTEM SHALL BE EQUIPPED WITH AN APPROVED BACKFLOW PREVENTION DEVICE, WATER METER, AND SHUT OFF VALVE LOCATED OUTSIDE THE BUILDING ACCESSIBLE TO THE CITY.
4. AN APPROVED SMART CONTROLLER SHALL BE INSTALLED. THE IRRIGATION SCHEDULING TIMES SHALL UTILIZE A MAXIMUM ET VALUE OF 7" / MONTH (KELOWNA JULY ET), TAKING INTO CONSIDERATION SOIL TYPE, SLOPE, AND MICROCLIMATE.
5. DRIP LINE AND EMITTERS SHALL INCORPORATE TECHNOLOGY TO LIMIT ROOT INTRUSION.
6. IRRIGATION SLEEVES SHALL BE INSTALLED TO ROUTE IRRIGATION LINES UNDER HARD SURFACES AND FEATURES.
7. IRRIGATION PIPE SHALL BE SIZED TO ALLOW FOR A MAXIMUM FLOW OF 1.5m /SEC.
8. A FLOW SENSOR AND MASTER VALVE SHALL BE CONNECTED TO THE CONTROLLER AND PROGRAMMED TO STOP FLOW TO THE SYSTEM IN CASE OF AN IRRIGATION WATER LEAK.

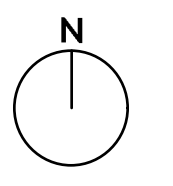
IRRIGATION LEGEND

- ZONE #1:** LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS
TOTAL AREA: 138sq.m
MICROCLIMATE: SOUTHWEST EXPOSURE, PARTIALLY SHADED BY TREES
ESTIMATED ANNUAL WATER USE: 118 cu.m.
- ZONE #2:** LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS
TOTAL AREA: 73 sq.m.
MICROCLIMATE: SOUTHEAST EXPOSURE, PARTIALLY SHADED BY TREES
ESTIMATED ANNUAL WATER USE: 63 cu.m.
- ZONE #3:** LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS
TOTAL AREA: 115 sq.m
MICROCLIMATE: NORTHEAST EXPOSURE, PARTIALLY SHADED BY TREES
ESTIMATED ANNUAL WATER USE: 99 cu.m.
- ZONE #4:** LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS
TOTAL AREA: 116 sq.m.
MICROCLIMATE: NORTHWEST EXPOSURE, PARTIALLY SHADED BY TREES
ESTIMATED ANNUAL WATER USE: 99 cu.m.
- ZONE #5:** LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS
TOTAL AREA: 63 sq.m.
MICROCLIMATE: SOUTHWEST EXPOSURE, PARTIALLY SHADED BY BUILDING AND TREES
ESTIMATED ANNUAL WATER USE: 54 cu.m.
- ZONE #6:** HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 33 sq.m.
MICROCLIMATE: WEST EXPOSURE, PARTIALLY SHADED BY TREES
ESTIMATED ANNUAL WATER USE: 11 cu.m.
- ZONE #7:** HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 176 sq.m.
MICROCLIMATE: SOUTHEAST EXPOSURE, PARTIALLY SHADED BY BUILDING AND TREES
ESTIMATED ANNUAL WATER USE: 59 cu.m.
- ZONE #8:** HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 143 sq.m.
MICROCLIMATE: NORTHEAST EXPOSURE, PARTIALLY SHADED BY BUILDING AND TREES
ESTIMATED ANNUAL WATER USE: 48 cu.m.

WATER CONSERVATION CALCULATIONS

LANDSCAPE MAXIMUM WATER BUDGET (WB) = 569 cu.m. / year
ESTIMATED LANDSCAPE WATER USE (WU) = 550 cu.m. / year
WATER BALANCE = 19 cu.m. / year
*REFER ATTACHED IRRIGATION APPLICATION FOR DETAILED CALCULATIONS

SCHEDULE C
This forms part of application # DP20-0154
Planner Initials **KB**
City of Kelowna DEVELOPMENT PLANNING



PROJECT TITLE

460 LEATHEAD ROAD

Kelowna, BC

DRAWING TITLE

WATER CONSERVATION/ IRRIGATION PLAN

ISSUED FOR / REVISION

4	22.05.24	Review
5	22.07.14	Review
6	23.02.17	Review
7	23.03.31	Review
8	23.07.10	Development Permit

PROJECT NO	20060
DESIGN BY	FB
DRAWN BY	MC/TR
CHECKED BY	FB
DATE	JUL. 10, 2023
SCALE	1:150
PAGE SIZE	24x36"

SEAL



DRAWING NUMBER

L2/2

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460 Leathead Road - Zoning Bylaw 12375 Landscape Summary

Landscaping Standards (7.2)	Zone (MF2)	Proposed
Min. tree amount	10	10
Min. deciduous tree caliper	L: 5cm M: 4cm S: 3cm	L: 5cm M: 4cm S: 3cm
Min. coniferous tree height	250cm	N/A
Min. ratio between tree size	L: 50% minimum (min.) M: no min. or max. S: 25% maximum (max.)	L: 60% M: 20% S: 20%
Min. growing medium area	75% soil based landscaping	81% soil based landscaping
Min. growing medium volumes per tree	L: 30 cu.m or 25 cu.m if connected trench/cluster M: 20 cu.m or 18 cu.m if connected trench/cluster S: 15 cu.m or 12 cu.m if connected trench/cluster	L: 25 cu.m where connected trench/cluster ¹ M: 18 cu.m where connected trench/cluster ¹ S: 12 cu.m where connected trench/cluster
Landscape graded area (7.2.7)	Max. 1:3 (33%) lawn areas, Max. 1:2 (50%) planting areas, Min. 1:50 (2%) cross slopes	Max. 1:3 (33%) lawn areas, Max. 1:2 (50%) planting areas, Min. 1:50 (2%) cross slopes
Fence Height	Front/Flanking: 1.2m Side/Rear: 2.0m	Front/Flanking: 1.0m Side/Rear: 1.8m
Riparian management area?	N	y/n
Retention of existing trees on site?	N	y/n
Surface parking lot (7.2.10)?	N	y/n
Refuse & recycle bins screened?	N	y/n
Other:	¹ Growing medium volumes include adjacent areas outside of landscape buffer to attain required volumes per tree.	



Landscape Water Conservation Report

APPLICANT INFORMATION

Owner	Symbolic Construction group		Contractor co. name	Ecora Engineering & Resource Group Ltd.	
Project address	460 Leathhead Road		Contractor contact name	Fiona Barton	
City	Kelowna		Contractor phone #	250-469-9757	
Owner phone #	604-599-6886		Contractor email	fiona.barton@ecora.ca	
Owner email	605fraser@gmail.com				
Province	BC	Postal Code:	V1X 2J4	Preferred contact Owner <input type="checkbox"/> Contractor <input type="checkbox"/>	

NOTE: ALL 3 PAGES OF THE APPLICATION MUST BE COMPLETED AND SUBMITTED

LANDSCAPE AND IRRIGATION CHECKLIST

The Applicant in submitting this application, has adhered to:

- Applicable electrical standards, plumbing standards, and backflow prevention standards
- Bylaw 7900 Schedule 4 and 5
- Requirements of Water Regulation Bylaw

Where an exemption is required (e.g. golf course or large school field), contact the Water Smart program directly.

Note that checklists for selecting an irrigation contractor are available through the IIABC or the IA. Below is the link to the IIABC checklist.

<https://www.irrigationbc.com/page/selecting-a-contractor>



Applicant notes pertaining to the application:

Landscape Water Conservation Report

LANDSCAPE WATER USE AREA

Applicant: **Symbolic Construction group** Address: **460 Leathead Road**

Step 1: Measure Total Landscape Area (LA)

Area of site that will absorb water:

949

sq.m.

(over 100 square meters)


Note: Include boulevard, and proposed lawn, plants, mulch, pervious decks or paving stones. Do not include areas that are not pervious such as buildings, paved driveways, concrete patios etc.

Step 2: Divide Into Landscape Treatments*		Plant Factor	Irrig Efficiency	Hydrozone Area	% of Total LA	Estimated Water
Note: each of the areas below are a 'HYDROZONE'		(PF)	(IE)	(HA)		(WU)
Unwatered Pervious Areas (not impervious paving)						
Mulch (Stone, bark or sand)		N/A	N/A	92	10%	N/A
Pervious deck (Spaced wood deck)		N/A	N/A		0%	N/A
Pervious paving (ie: AquaPave, Rima Pave)		N/A	N/A		0%	N/A
Naturalized meadow (wildflowers)		N/A	N/A		0%	N/A
Naturalized area (Existing natural area)		N/A	N/A		0%	N/A
Other:		N/A	N/A		0%	N/A
Swimming or ornamental pool		1	1		0%	0
Watered Planting Beds (shrubs or groundcover)						
<i>Planting Type</i>	<i>Irrig Efficiency</i>					
Low water use plants	High (Drip or Bubbler)	0.3	0.9		0%	0
Low water use plants	Moderate (Spray or Rotor)	0.3	0.7		0%	0
Moderate water use plants	High (Drip or Bubbler)	0.5	0.9	352	37%	117
Moderate water use plants	Moderate (Spray or Rotor)	0.5	0.7		0%	0
High water use plants	High (Drip or Bubbler)	0.7	0.9		0%	0
High water use plants	Moderate (Spray or Rotor)	0.7	0.7		0%	0
Watered Mown Lawn Areas	Moderate (Spray or Rotor)	1	0.7	505	53%	433
Special Landscape Areas (SLA)						
Vegetable Garden	High (Drip or Bubbler)	1	0.9		0%	0
Vegetable Garden	Moderate (Spray or Rotor)	1	0.7		0%	0
Commercial sportsfield turf	Moderate (Spray or Rotor)	1	0.7		0%	0
Rainwater or Recycled Water Use		0.3	1		0%	0
Totals				949	100%	550
Special Landscape Area (SLA) Sub total				0		

*If proposed design conditions are not shown on the form please contact Water Smart 250-469-8502

SCHEDULE C

This forms part of application
DP20-0154



Planner Initials **KB**

City of **Kelowna**
DEVELOPMENT PLANNING

Landscape Water Conservation Report

Applicant:

Symbolic Construction group

Address: 460 Leathead Road

CALCULATE & COMPARE WATER BUDGET TO ESTIMATED WATER USE

Total Landscape Area	949	sq.m.
Landscape Water Budget (WB)	569	cu.m./yr.
Estimated Landscape Water Use (WU)	550	cu.m./yr.
Under (-OVER) Budget (Must be under Water Budget WB)	19	cu.m./yr.
	OK	

I confirm by completing the attached Landscape Water Conservation Report, that the project will conform to industry best practices for landscape and irrigation installation in Kelowna. I also acknowledge that the landscape treatments of the project will conform to the Hydrozone areas as identified in the Landscape Area Water Use Area table.

Name of Applicant (person submitting the form)


Date: _____

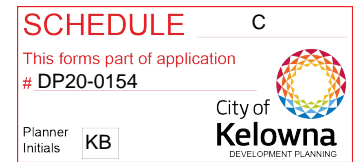
FOR CITY OF KELOWNA OFFICE USE ONLY

The calculations above satisfy the requirements of the Water Regulation Bylaw 10480 Section 4.4.2 and 4.4.3. and the application is hereby APPROVED with the signature of the Water Manager or designate.

Name of Kelowna Water Smart designate
For Water Manager

Date: _____

SCHEDULE C	
This forms part of application	
# DP20-0154	
Planner Initials	
KB	City of Kelowna DEVELOPMENT PLANNING



Monday, July 10th, 2023

460 Leathead Road, Kelowna, BC

Symbolic Construction Group

211-12877-76 Avenue

Surrey, BC V3W 1E6

Attn: Jatinderpal Singh Gill

phone:(604) 599-6886

Via email to: 605fraser@gmail.com

Re: 460 Leathead Road – Preliminary Cost Estimate for Bonding

Dear Jatinderpal:

Please be advised of the following preliminary cost estimate for bonding of the proposed landscape works shown in the 460 Leathead Road conceptual landscape plan dated 23.07.10;

- On-site Improvements: 1,490 square metres (16,037 square feet) = \$106,183.00
- Off-site Improvements: 254 square metres (2,734 square feet) of = \$16,498.50

This preliminary cost estimate is inclusive of trees, shrubs, turf, mulch, hardscape, topsoil, irrigation & site furniture.

You will be required to submit a performance bond to the City of Kelowna in the amount of 125% of the preliminary cost estimate. Please do not hesitate to contact me with any questions about the landscape plan.

Best regards,

Fiona Barton, MBCSLA, CSLA

as per

Ecora Engineering & Resource Group Ltd.

200-2045 Enterprise Way, Kelowna, BC, V1Y 9T5 P 250.469.9757

ecora.ca

FORM & CHARACTER – DEVELOPMENT PERMIT GUIDELINES

Chapter 2 - The Design Foundations: apply to all projects and provide the overarching principles for supporting creativity, innovation and design excellence in Kelowna.

- Facilitate Active Mobility
- Use Placemaking to Strengthen Neighbourhood Identity
- Create Lively and Attractive Streets & Public Spaces
- Design Buildings to the Human Scale
- Strive for Design Excellence

The General Residential and Mixed Use Guidelines: provide the key guidelines that all residential and mixed use projects should strive to achieve to support the Design Foundations.

- The General Guidelines are supplement by typology-specific guidelines (e.g., Townhouses & Infill on page 18-19, High-Rise Residential and Mixed-Use on page 18-42), which provide additional guidance about form and character.

Chapter 2 - Design Foundations

Apply To All Projects

Page 18-8

Section 2.1 - General Residential and Mixed Use Design Guidelines

Page 18-9

Section 2.2 - Achieving High Performance

Page 18-17

Chapter 3
 Townhouses & Infill

Page 18-19

Chapter 4
 Low & Mid-Rise
 Residential &
 Mixed Use

Page 18-34

Chapter 5
 High-Rise
 Residential &
 Mixed Use

Page 18-42

*Note: Refer to the Design Foundations and the Guidelines associated with the specific building typology.

Consideration has been given to the following guidelines as identified in Chapter 18 of the City of Kelowna 2040 Official Community Plan:

SECTION 2.0: GENERAL RESIDENTIAL AND MIXED USE						
RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE <i>(1 is least complying & 5 is highly complying)</i>	N/A	1	2	3	4	5
2.1 General residential & mixed use guidelines						
2.1.1 Relationship to the Street	N/A	1	2	3	4	5
a. Orient primary building facades and entries to the fronting street or open space to create street edge definition and activity.				✓		
b. On corner sites, orient building facades and entries to both fronting streets.				✓		
c. Minimize the distance between the building and the sidewalk to create street definition and a sense of enclosure.				✓		
d. Locate and design windows, balconies, and street-level uses to create active frontages and 'eyes on the street', with additional glazing and articulation on primary building facades.						✓
e. Ensure main building entries are clearly visible with direct sight lines from the fronting street.					✓	
f. Avoid blank, windowless walls along streets or other public open spaces.						✓
g. Avoid the use of roll down panels and/or window bars on retail and commercial frontages that face streets or other public open spaces.	✓					
h. In general, establish a street wall along public street frontages to create a building height to street width ratio of 1:2, with a minimum ratio of 11:3 and a maximum ratio of 1:1.75. <ul style="list-style-type: none"> Wider streets (e.g. transit corridors) can support greater streetwall heights compared to narrower streets (e.g. local streets); The street wall does not include upper storeys that are setback from the primary frontage; and A 1:1 building height to street width ratio is appropriate for a lane of mid-block connection condition provided the street wall height is no greater than 3 storeys. 						✓
2.1.2 Scale and Massing	N/A	1	2	3	4	5
a. Provide a transition in building height from taller to shorter buildings both within and adjacent to the site with consideration for future land use direction.			✓			
b. Break up the perceived mass of large buildings by incorporating visual breaks in facades.					✓	
c. Step back the upper storeys of buildings and arrange the massing and siting of buildings to: <ul style="list-style-type: none"> Minimize the shadowing on adjacent buildings as well as public and open spaces such as sidewalks, plazas, and courtyards; and Allow for sunlight onto outdoor spaces of the majority of ground floor units during the winter solstice. 			✓			

2.1.3 Site Planning	N/A	1	2	3	4	5
a. Site and design buildings to respond to unique site conditions and opportunities, such as oddly shaped lots, location at prominent intersections, framing of important open spaces, corner lots, sites with buildings that terminate a street end view, and views of natural features.				✓		
b. Use Crime Prevention through Environmental Design (CPTED) principles to better ensure public safety through the use of appropriate lighting, visible entrances, opportunities for natural surveillance, and clear sight lines for pedestrians.						✓
c. Limit the maximum grades on development sites to 30% (3:1)	✓					
d. Design buildings for 'up-slope' and 'down-slope' conditions relative to the street by using strategies such as: <ul style="list-style-type: none"> Stepping buildings along the slope, and locating building entrances at each step and away from parking access where possible; Incorporating terracing to create usable open spaces around the building Using the slope for under-building parking and to screen service and utility areas; Design buildings to access key views; and Minimizing large retaining walls (retaining walls higher than 1 m should be stepped and landscaped). 	✓					
e. Design internal circulation patterns (street, sidewalks, pathways) to be integrated with and connected to the existing and planned future public street, bicycle, and/or pedestrian network.						✓
f. Incorporate easy-to-maintain traffic calming features, such as on-street parking bays and curb extensions, textured materials, and crosswalks.	✓					
g. Apply universal accessibility principles to primary building entries, sidewalks, plazas, mid-block connections, lanes, and courtyards through appropriate selection of materials, stairs, and ramps as necessary, and the provision of wayfinding and lighting elements.	✓					
2.1.4 Site Servicing, Access, and Parking	N/A	1	2	3	4	5
a. Locate off-street parking and other 'back-of-house' uses (such as loading, garbage collection, utilities, and parking access) away from public view. Staff note: In-ground waste and recycling bins are located near the vehicular entry and located in an area of public view.			✓			
b. Ensure utility areas are clearly identified at the development permit stage and are located to not unnecessarily impact public or common open spaces.						✓
c. Avoid locating off-street parking between the front façade of a building and the fronting public street.						✓
d. In general, accommodate off-street parking in one of the following ways, in order of preference: <ul style="list-style-type: none"> Underground (where the high water table allows) 					✓	

<ul style="list-style-type: none"> • Parking in a half-storey (where it is able to be accommodated to not negatively impact the street frontage); • Garages or at-grade parking integrated into the building (located at the rear of the building); and • Surface parking at the rear, with access from the lane or secondary street wherever possible. 						
e. Design parking areas to maximize rainwater infiltration through the use of permeable materials such as paving blocks, permeable concrete, or driveway planting strips.			✓			
f. In cases where publicly visible parking is unavoidable, screen using strategies such as: <ul style="list-style-type: none"> • Landscaping; • Trellises; • Grillwork with climbing vines; or • Other attractive screening with some visual permeability. 			✓			
g. Provide bicycle parking at accessible locations on site, including: <ul style="list-style-type: none"> • Covered short-term parking in highly visible locations, such as near primary building entrances; and • Secure long-term parking within the building or vehicular parking area. 					✓	
h. Provide clear lines of site at access points to parking, site servicing, and utility areas to enable casual surveillance and safety.						✓
i. Consolidate driveway and laneway access points to minimize curb cuts and impacts on the pedestrian realm or common open spaces.						✓
j. Minimize negative impacts of parking ramps and entrances through treatments such as enclosure, screening, high quality finishes, sensitive lighting and landscaping.	✓					
2.1.5 Streetscapes, Landscapes, and Public Realm Design	N/A	1	2	3	4	5
a. Site buildings to protect mature trees, significant vegetation, and ecological features.			✓			
b. Locate underground parkades, infrastructure, and other services to maximize soil volumes for in-ground plantings.	✓					
c. Site trees, shrubs, and other landscaping appropriately to maintain sight lines and circulation.						✓
d. Design attractive, engaging, and functional on-site open spaces with high quality, durable, and contemporary materials, colors, lighting, furniture, and signage.				✓		
e. Ensure site planning and design achieves favourable microclimate outcomes through strategies such as: <ul style="list-style-type: none"> • Locating outdoor spaces where they will receive ample sunlight throughout the year; • Using materials and colors that minimize heat absorption; • Planting both evergreen and deciduous trees to provide a balance of shading in the summer and solar access in the winter; and • Using building mass, trees and planting to buffer wind. 					✓	

f. Use landscaping materials that soften development and enhance the public realm.					✓	
g. Plant native and/or drought tolerant trees and plants suitable for the local climate.					✓	
h. Select trees for long-term durability, climate and soil suitability, and compatibility with the site's specific urban conditions.					✓	
2.1.6 Building Articulation, Features and Materials	N/A	1	2	3	4	5
a. Express a unified architectural concept that incorporates variation in façade treatments. Strategies for achieving this include: <ul style="list-style-type: none"> • Articulating facades by stepping back or extending forward a portion of the façade to create a series of intervals or breaks; • Repeating window patterns on each step-back and extension interval; • Providing a porch, patio, or deck, covered entry, balcony and/or bay window for each interval; and • Changing the roof line by alternating dormers, stepped roofs, gables, or other roof elements to reinforce each interval. 						✓
b. Incorporate a range of architectural features and details into building facades to create visual interest, especially when approached by pedestrians. Include architectural features such as: bay windows and balconies; corner feature accents, such as turrets or cupolas; variations in roof height, shape and detailing; building entries; and canopies and overhangs. Include architectural details such as: Masonry such as tiles, brick, and stone; siding including score lines and varied materials to distinguish between floors; articulation of columns and pilasters; ornamental features and art work; architectural lighting; grills and railings; substantial trim details and moldings / cornices; and trellises, pergolas, and arbors.						✓
c. Design buildings to ensure that adjacent residential properties have sufficient visual privacy (e.g. by locating windows to minimize overlook and direct sight lines into adjacent units), as well as protection from light trespass and noise.				✓		
d. Design buildings such that their form and architectural character reflect the buildings internal function and use.						✓
e. Incorporate substantial, natural building materials such as masonry, stone, and wood into building facades. Staff note: Primary building materials are cement panels with brick veneer accents			✓			
f. Provide weather protection such as awnings and canopies at primary building entries.						✓
g. Place weather protection to reflect the building's architecture.					✓	
h. Limit signage in number, location, and size to reduce visual clutter and make individual signs easier to see.	✓					

SECTION 4.0: TOWNHOUSES & INFILL						
RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE <i>(1 is least complying & 5 is highly complying)</i>	N/A	1	2	3	4	5
3.1 Townhouses & Infill						
3.1.1 Relationship to the Street						
a. Design primary unit entrances to provide: <ul style="list-style-type: none"> A clearly visible front door directly accessible from a public street or publicly accessible pathway via a walkway, porch and/or stoop; Architectural entrance features such as stoops, porches, shared landings, patios, recessed entries, and canopies; A sense of transition from the public to the private realm by utilizing strategies such as changes in grade, decorative railings, and planters; and Punctuation, articulation, and rhythm along the street 	N/A					✓
b. A maximum 1.2 m height (e.g. 5-6 steps) is desired for front entryways or stoops. Exceptions can be made in cases where the water table requires this to be higher.						✓
c. In the case of shared landings that provide access to multiple units, avoid having more than two doors in a row facing outward.						✓
d. For buildings oriented perpendicularly to the street (e.g. shotgun townhomes), ensure that the end unit facing the street is a custom street-oriented unit with primary entry directly accessible from the fronting street and primary living space at grade.						✓
e. For large townhouse projects (e.g. master planned communities with internal circulation pattern), Guidelines 3.1.1.a-d apply for units facing strata roads as well as those units fronting onto public streets.	✓					
3.1.2 Scale and Massing						
a. Wherever possible, reflect the positive attributes of adjacent housing while integrating new higher density forms of housing as envisioned in the OCP.				✓		
b. Scale and site buildings to establish consistent rhythm along the street by, for example, articulating individual units through integration of recessed entries, balconies, a change in materials and slight projection/recess in the façade.						✓
c. Limit the number of connected townhouse units to a maximum of 6 units before splitting into multiple buildings. <ul style="list-style-type: none"> In larger townhouse developments (e.g., master planned communities with internal circulation pattern), integrate a large proportion of 4 unit townhouse buildings to create a finer gran of development and limit visual impacts. 						✓
3.1.3 Site Planning						
a. Gated or walled communities are not supported.	✓					
b. For large townhouse projects, consider including communal amenity buildings.	✓					
Connectivity						

c. Provide pedestrian pathways on site to connect: <ul style="list-style-type: none"> • Main building entrances to public sidewalks and open spaces; • Visitor parking areas to building entrances; • From the site to adjacent pedestrian/trail/cycling networks (where applicable). 						✓
d. When pedestrian connections are provided on site, frame them with an active edge – with entrances and windows facing the path or lane.						✓
e. For large townhouse projects (e.g. master planned communities with internal circulation pattern): <ul style="list-style-type: none"> • Design the internal circulation pattern to be integrated with and connected to the existing and planned public street network. 	✓					
Facing Distances and Setbacks						
f. Locate and design buildings to maintain access to sunlight, and reduce overlook between buildings and neighbouring properties.					✓	
g. Separate facing buildings on site a minimum of 10 – 12 m to provide ample spatial separation and access to sunlight. <i>Staff note: The east-west building separation is 8.0m (drive aisle). The north-south building separation is 7.30m.</i>		✓				
h. Limit building element projections, such as balconies, into setback areas, streets, and amenity areas to protect solar access.						✓
i. Front yard setbacks on internal roads should respond to the height of townhouses, with taller townhouses (e.g. 3 storeys) having greater setbacks to improve liveability and solar access.	✓					
3.1.4 Open Spaces						
a. Design all units to have easy access to useable private or semi-private outdoor amenity space.						✓
b. Design front yards to include a path from the fronting street to the primary entry, landscaping, and semi-private outdoor amenity space.						✓
c. Avoid a 'rear yard' condition with undeveloped frontages along streets and open spaces.						✓
d. Design private outdoor amenity spaces to: <ul style="list-style-type: none"> • Have access to sunlight; • Have railing and/or fencing to help increase privacy; and • Have landscaped areas to soften the interface with the street or open spaces/ 						✓
e. Design front patios to: <ul style="list-style-type: none"> • Provide an entrance to the unit; and • Be raised a minimum of 0.6 m and a maximum of 1.2 m to create a semi-private transition zone. 						✓
f. Design rooftop patios to: <ul style="list-style-type: none"> • Have parapets with railings; • Minimize direct sight lines into nearby units; and • Have access away from primary facades. 	✓					
g. Design balconies to be inset or partially inset to offer privacy and shelter, reduce building bulk, and minimize shadowing.				✓		

<ul style="list-style-type: none"> Consider using balcony strategies to reduce the significant potential for heat loss through thermal bridge connections which could impact energy performance. 						
<p>h. Provide a minimum of 10% of the total site area to common outdoor amenity spaces that:</p> <ul style="list-style-type: none"> Incorporate landscaping, seating, play space, and other elements that encourage gathering or recreation; and Avoid isolated, irregularly shaped areas or areas impacted by parking, mechanical equipment, or servicing areas. <p>Staff note: Designated common outdoor amenity space accounts for 3.6% of the total site area</p>		✓				
<p>i. For large townhouse projects, provide generous shared outdoor amenity spaces integrating play spaces, gardening, storm water and other ecological features, pedestrian circulation, communal amenity buildings, and other communal uses.</p>	✓					
<p>j. Design internal roadways to serve as additional shared space (e.g. vehicle access, pedestrian access, open space) using strategies such as:</p> <ul style="list-style-type: none"> High quality pavement materials (e.g. permeable pavers); and Providing useable spaces for sitting, gathering and playing. 	✓					
3.1.5 Site Servicing, Access, and Parking	N/A	1	2	3	4	5
<p>a. Provide landscaping in strategic locations throughout to frame building entrances, soften edges, screen parking garages, and break up long facades.</p>						✓
Site Servicing						
<p>b. Exceptions for locating waste collection out of public view can be made for well-designed waste collection systems such as Molok bins.</p> <p>Staff note: in-ground waste collection systems are proposed, in an area of public view</p>					✓	
Parking						
<p>c. Rear-access garage or integrated tuck under parking is preferred in townhouses, in general, and is required for townhouses facing public streets.</p>						✓
<p>d. Centralized parking areas that eliminate the need to integrate parking into individual units are supported.</p>	✓					
<p>e. Front garages and driveway parking are acceptable in townhouses facing internal strata roads, with the following considerations:</p> <ul style="list-style-type: none"> Architecturally integrate the parking into the building and provide weather protection to building entries; and Design garage doors to limit visual impact, using strategies such as recessing the garage from the rest of the façade. 						✓
<p>f. Provide visitor parking in accessible locations throughout the site and provide pedestrian connections from visitor parking to townhouse units. Acceptable locations include:</p> <ul style="list-style-type: none"> Distributed through the site adjacent to townhouse blocks; and 						✓

<ul style="list-style-type: none"> Centralized parking, including integration with shared outdoor amenity space 						
Access						
g. Ensure that internal circulation for vehicles is designed to accommodate necessary turning radii and provides for logical and safe access and egress.					✓	
h. For large townhouse projects (e.g. master planned communities with internal circulation pattern), a minimum of two access/egress points to the site is desired.	✓					
i. Locate access points to minimize impacts of headlights on building interiors.						✓
j. Design the internal circulation pattern and pedestrian open space network to be integrated with and connected to the existing and planned public street and open space network.						✓
3.1.6 Building Articulation, Features, and Materials	N/A	1	2	3	4	5
a. Design facades to articulate the individual units while reflecting positive attributes of neighbourhood character. Strategies for achieving this include: <ul style="list-style-type: none"> Recessing or projecting facades to highlight the identity of individual units; and Using entrance features, roofline features, or other architectural elements. 						✓
b. To maximize integration with the existing neighbourhood, design infill townhouses to: <ul style="list-style-type: none"> Incorporate design elements, proportions, and other characteristics found within the neighbourhood; and Use durable, quality materials similar or complementary to those found within the neighbourhood. 					✓	
c. Maintain privacy of units on site and on adjacent properties by minimizing overlook and direct sight lines from the building using strategies such as: <ul style="list-style-type: none"> Off-setting the location of windows in facing walls and locating doors and patios to minimize privacy concerns from direct sight lines; Use of clerestory windows; Use of landscaping or screening; and Use of setbacks and articulation of the building. 					✓	
d. In larger townhouse developments (e.g. master planned communities with internal circulation pattern), provide modest variation between different blocks of townhouse units, such as change in colour, materiality, building, and roof form.	✓					



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Subject Property

605 Fraser Rd
Kelowna B.C.

Condition Report

The Colorado blue Spruce (*Picea pungens*) located on the northwest property line is in a moderate standard of care and health. The trees proximity to the overhead power lines that run along the property has required clearance work to keep the tree out of the limits of approach for the power system. The pruning required for this type of clearance has created an odd canopy shape in the upper canopy, and as a result the tree has an unbalanced canopy.

The interior structure of the Spruce has excessive deadwood and debris the tree should be mitigated to alleviate fire hazard as the material in the interior of the tree is tinder dry.

The Spruce tree has multiple house service wires through the canopy and have indications of pressure on the lines which creates a possible hazard as the insulated power service wires can be worn through in wind events and the tree can become energized.

Development impact

The Spruce tree's location will be affected by the development of the property as the current design indicates the access to the site will be down the north side of the property the tree will require a minimum setback that would alleviate any road preparation from being completed within the drip lie of the canopy. The root structure of Spruce trees is a surface rooted structure down approximately 10-14 inches in the soil and as such the large anchor roots of the tree could be damaged if preparation for a road was completed to close the tree roots. As the tree has been hydro pruned to retain canopy clearances the upper canopy is unbalanced, and root loss or damage would potentially cause an failure of the tree in a wind event.

Conclusion

The Blue Spruce (*Picea pungens*) located in the northwest corner of the property has the potential to be impacted by the proposed development. Given the trees condition and the pruning that has been completed to retain the tree in the location for power service the tree should be removed if the roots were to be compromised in the development of the roadway.

Spruce trees are sensitive to root disruption given the trees history, condition, and species (common not considered a highly valuable species in landscape applications better for parks) removal of the tree may be the best option for this site as the trees condition has been compromised and the overall condition is fair.

Jeff Judson
President

ISA Certified
CTRA 1159
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