City of
Kelowna

Development Permit

DP21-0283

This permit relates to land in the City of Kelowna municipally known as

2165 Benvoulin Ct

and legally known as

LOT A DISTRICT LOT 128 OSOYOOS DIVISION YALE DISTRICT PLAN KAP89861

and permits the land to be used for the following development:

Apartment Housing

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council Approval: February 6, 2023

Development Permit Area: Form and Character

Existing Zone: UC₃ – Midtown Urban Centre

Future Land Use Designation: UC – Urban Centre

This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: BENVOULIN APARTMENTS KELOWNA 2022 LTD., INC.NO. BC1342273

Applicant: Traine Construction and Development

Terry Barton
Development Planning Department Manager
Planning & Development Services

Date of Issuance

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

THAT Council authorizes the issuance of Development Permit No. DP21-0283 for LOT A DISTRICT LOT 128 OSOYOOS DIVISION YALE DISTRICT PLAN KAP89861 located at 2165 Benvoulin Ct, Kelowna, BC, subject to the following:

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C";
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the amount of 125% of the estimated value of the Landscape Plan, as determined by a Registered Landscape Architect;

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property owner of the day. Should the Developer carry out the development as per the conditions of this permit, the security shall be returned to the Developer or his or her designate following proof of Substantial Compliance as defined in Bylaw No. 12310. There is filed accordingly:

- a) An Irrevocable Letter of Credit **OR** certified cheque **OR** a Surety Bond in the amount of **\$738,807.19**

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**

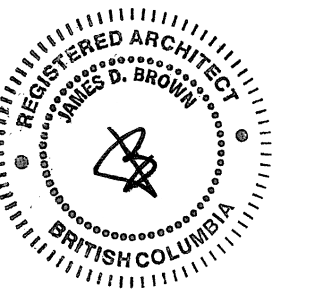


NOTE: IMAGE SHOWN AS ARTISTIC RENDERING ONLY.

ISSUED FOR REZONING AND DEVELOPMENT PERMIT



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300, 640 – 8 Avenue SW
Calgary, AB T2P 1G7
T + 1 403 233 2525



BENVOULIN COURT MULTIFAMILY



TRAINED CONSTRUCTION & DEVELOPMENT

TRAINED CONSTRUCTION & DEVELOPMENT
 BENVOLIN COURT MULTIFAMILY
 2165 BENVOLIN COURT KELOWNA, BC
 221-124

2023-01-19 RE-ISSUED FOR DEVELOPMENT PERMIT

ARCHITECTURAL

- DP0.02 PERSPECTIVE VIEWS
- DP0.03 PERSPECTIVE VIEWS
- DP1.01 SITE PLAN, PROJECT DATA
- DP2.00 P1 FLOOR PLAN
- DP2.01 GROUND FLOOR PLAN
- DP2.02 TYPICAL FLOOR PLAN, TOP FLOOR PLAN
- DP2.03 BUILDING 1 FLOOR PLANS
- DP2.04 BUILDING 2 FLOOR PLANS
- DP3.01 BUILDING 1 ELEVATIONS
- DP3.02 BUILDING 2 ELEVATIONS
- DP4.01 BUILDING SECTIONS

LANDSCAPE

- L1 CONCEPTUAL LANDSCAPE PLAN
- L2 WATER CONSERVATION/IRRIGATION PLAN
- LP-101 OFFSITE LANDSCAPE PLAN
- LP-102 OFFSITE LANDSCAPE PLAN
- LI-101 OFFSITE IRRIGATION PLAN
- LI-102 OFFSITE IRRIGATION PLAN


CIVIL

- 2428 C1 COMPOSITE UTILITY PLAN
- 2428 C2 COMPOSITE UTILITY PLAN
- 2428 D1 SITE GRADING PLAN - SEDIMENT AND EROSION CONTROL PLAN
- 2428 D2 STORM WATER MANAGEMENT PLAN

SCHEDULE A

This forms part of application
DP21-0283

Planner Initials **KB**



City of
Kelowna
DEVELOPMENT PLANNING



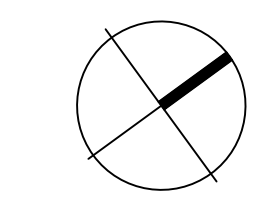
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client



TRAINE
 CONSTRUCTION & DEVELOPMENT

project title

**BENVOULIN COURT
 MULTI FAMILY**

**2175 BENVOLIN COURT
 KELOWNA, BC**

drawing title

SITE PLAN

scale: **1:300**

drawn by:

checked by:

project no: **221-124**

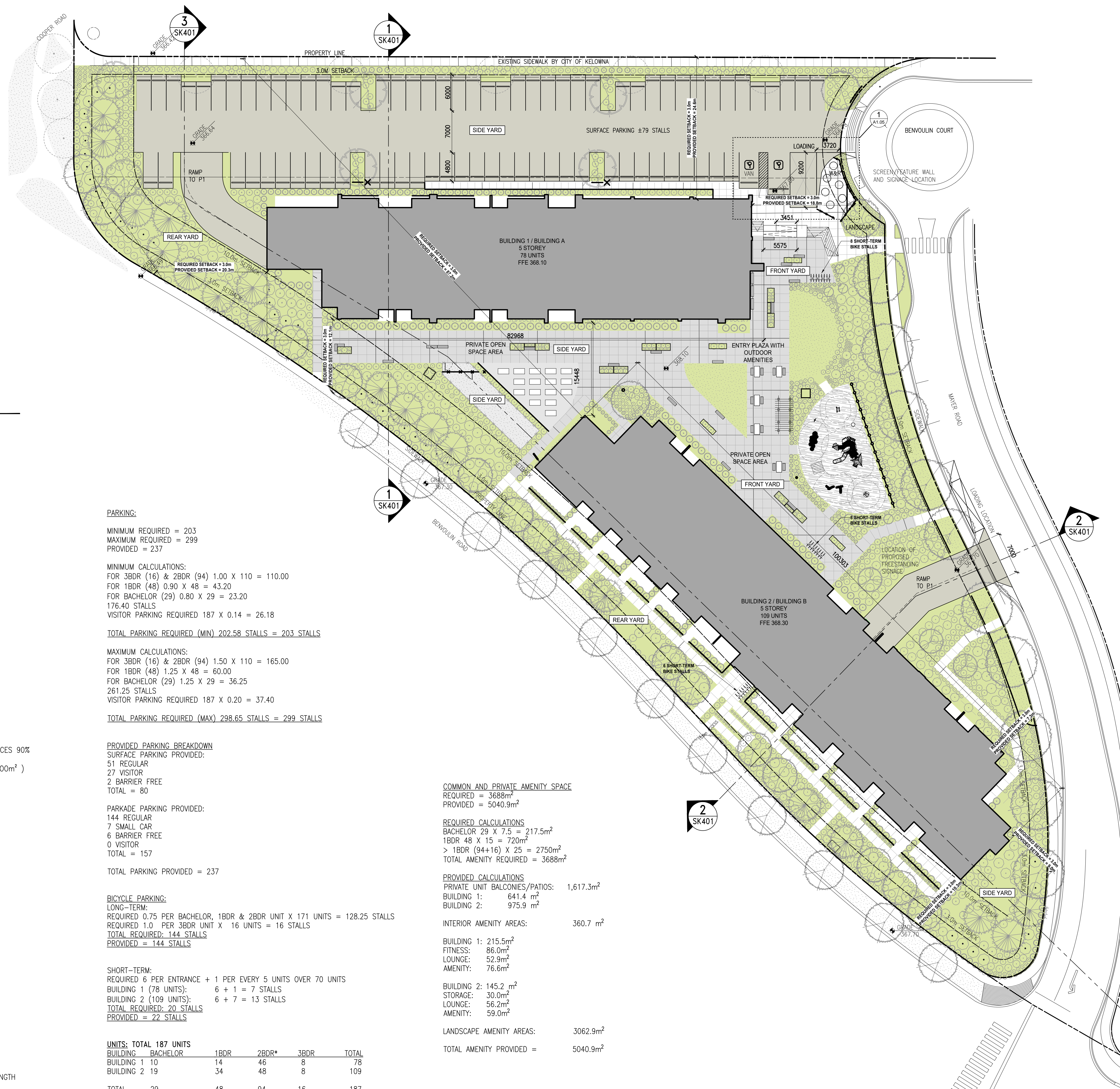
date issued: **2023-01-19**

re-issue no:

sheet no:

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SK1.01



SITE PLAN

SCALE: 1:300

PROJECT DATA

USE: MEDIUM DENSITY MULTIPLE HOUSING

ZONING: CURRENT A1, PROPOSED – PER O.C.P. – UC3

MUNICIPAL ADDRESS: 2165 BENVOLIN COURT, KELOWNA, BC

LEGAL ADDRESS: LOT A ODDY, PLAN 89861

GENERAL INFORMATION
 PARCEL AREA: 12,336.00m² (3.311 ACRES)
 BUILDING AREA: 3,241.70m²
 BUILDING 1=1,456.90m²; BUILDING 2=1,784.80m²
 GROSS FLOOR AREA: 15,620.67m²**
 BUILDING 1=7,030.86m²; BUILDING 2=8,589.81m²
 NET FLOOR AREA: 13,001.65m²
 BUILDING 1=5,725.56m²; BUILDING 2=7,276.09m²

FLOOR AREA RATIO: MAXIMUM 1.8

FLOOR AREA RATIO PROVIDED: 1.053 (13,001.65/12,336.00)

SITE COVERAGE: MAXIMUM 85%
 PROVIDED: 26.28%
 (BUILDINGS 3,241.70m² /12,336.00m²)
 MAXIMUM SITE COVERAGE BUILDINGS, STRUCTURES AND IMPERMEABLE SURFACES 90%
 PROVIDED 44.89%
 (BUILDINGS 3,241.70m² PARKING 2142.69m² DRIVEWAY 166.67m² /12,336.00m²)

MAXIMUM BUILDING HEIGHT: 6 STOREYS & 22m
PROVIDED BUILDING HEIGHT: 5 STOREYS & 17m

SETBACKS: – MIN. SITE FRONT YARD – 3.0m
 – MIN. SITE SIDE YARD – 3.0m
 – MIN. SITE SIDE YARD TO A FLANKING STREET – 3.0m
 – MIN. SITE REAR YARD – 3.0m
 – AGRICULTURAL LAND RESERVE (ALR) – 10.0m

BUILDING 1 (A)	REQUIRED	PROVIDED
FRONT YARD SETBACK (Benvoulin Court)	3.0m	18.8m
REAR YARD SETBACK (Benvoulin Road)	3.0m	20.3m
SIDE YARD SETBACK (North)	3.0m	24.6m
SIDE YARD SETBACK (South)	3.0m	12.1m

BUILDING 2 (B)	REQUIRED	PROVIDED
FRONT YARD SETBACK (Benvoulin Court)	3.0m	7.3m
REAR YARD SETBACK (Benvoulin Road)	3.0m	10.3m
SIDE YARD SETBACK (North)	3.0m	87.2m
SIDE YARD SETBACK (South)	3.0m	9.0m

A CONTINUOUS BUILDING FRONTAGE SHALL NOT EXCEED 100 METRES IN LENGTH
 BUILDING 1 – 79.46 METRES LONG ; BUILDING 2 – 98.50 METRES LONG

PARKING:

MINIMUM REQUIRED = 203
 MAXIMUM REQUIRED = 299
 PROVIDED = 237

MINIMUM CALCULATIONS:
 FOR 3BDR (16) & 2BDR (94) 1.00 X 110 = 110.00
 FOR 1BDR (48) 0.90 X 48 = 43.20
 FOR BACHELOR (29) 0.80 X 29 = 23.20
 176.40 STALLS
 VISITOR PARKING REQUIRED 187 X 0.14 = 26.18

TOTAL PARKING REQUIRED (MIN) 202.58 STALLS = 203 STALLS

MAXIMUM CALCULATIONS:
 FOR 3BDR (16) & 2BDR (94) 1.50 X 110 = 165.00
 FOR 1BDR (48) 1.25 X 48 = 60.00
 FOR BACHELOR (29) 1.25 X 29 = 36.25
 261.25 STALLS
 VISITOR PARKING REQUIRED 187 X 0.20 = 37.40

TOTAL PARKING REQUIRED (MAX) 298.65 STALLS = 299 STALLS

PROVIDED PARKING BREAKDOWN

SURFACE PARKING PROVIDED:
 51 REGULAR
 27 VISITOR
 2 BARRIER FREE
 TOTAL = 80

PARKADE PARKING PROVIDED:

144 REGULAR
 7 SMALL CAR
 6 BARRIER FREE
 0 VISITOR
 TOTAL = 157

TOTAL PARKING PROVIDED = 237

BICYCLE PARKING:

LONG-TERM:
 REQUIRED 0.75 PER BACHELOR, 1BDR & 2BDR UNIT X 171 UNITS = 128.25 STALLS
 REQUIRED 1.0 PER 3BDR UNIT X 16 UNITS = 16 STALLS
TOTAL REQUIRED: 144 STALLS
PROVIDED = 144 STALLS

SHORT-TERM:

REQUIRED 6 PER ENTRANCE + 1 PER EVERY 5 UNITS OVER 70 UNITS
 BUILDING 1 (78 UNITS): 6 + 1 = 7 STALLS
 BUILDING 2 (109 UNITS): 6 + 7 = 13 STALLS
TOTAL REQUIRED: 20 STALLS
PROVIDED = 22 STALLS

UNITS: TOTAL 187 UNITS

BUILDING	BACHELOR	1BDR	2BDR*	3BDR	TOTAL
BUILDING 1 10	14	46	8	8	78
BUILDING 2 19	34	48	8	8	109
TOTAL	29	48	94	16	187

*2BDR TOTALS INCLUDE 1BED+DEN UNITS

COMMON AND PRIVATE AMENITY SPACE
 REQUIRED = 3688m²
 PROVIDED = 5040.9m²

REQUIRED CALCULATIONS
 BACHELOR 29 X 7.5 = 217.5m²
 1BDR 48 X 15 = 720m²
 > 1BDR (94+16) X 25 = 2750m²
TOTAL AMENITY REQUIRED = 3688m²

PROVIDED CALCULATIONS

PRIVATE UNIT BALCONIES/PATIOS: 1,617.3m²
 BUILDING 1: 641.4 m²
 BUILDING 2: 975.9 m²

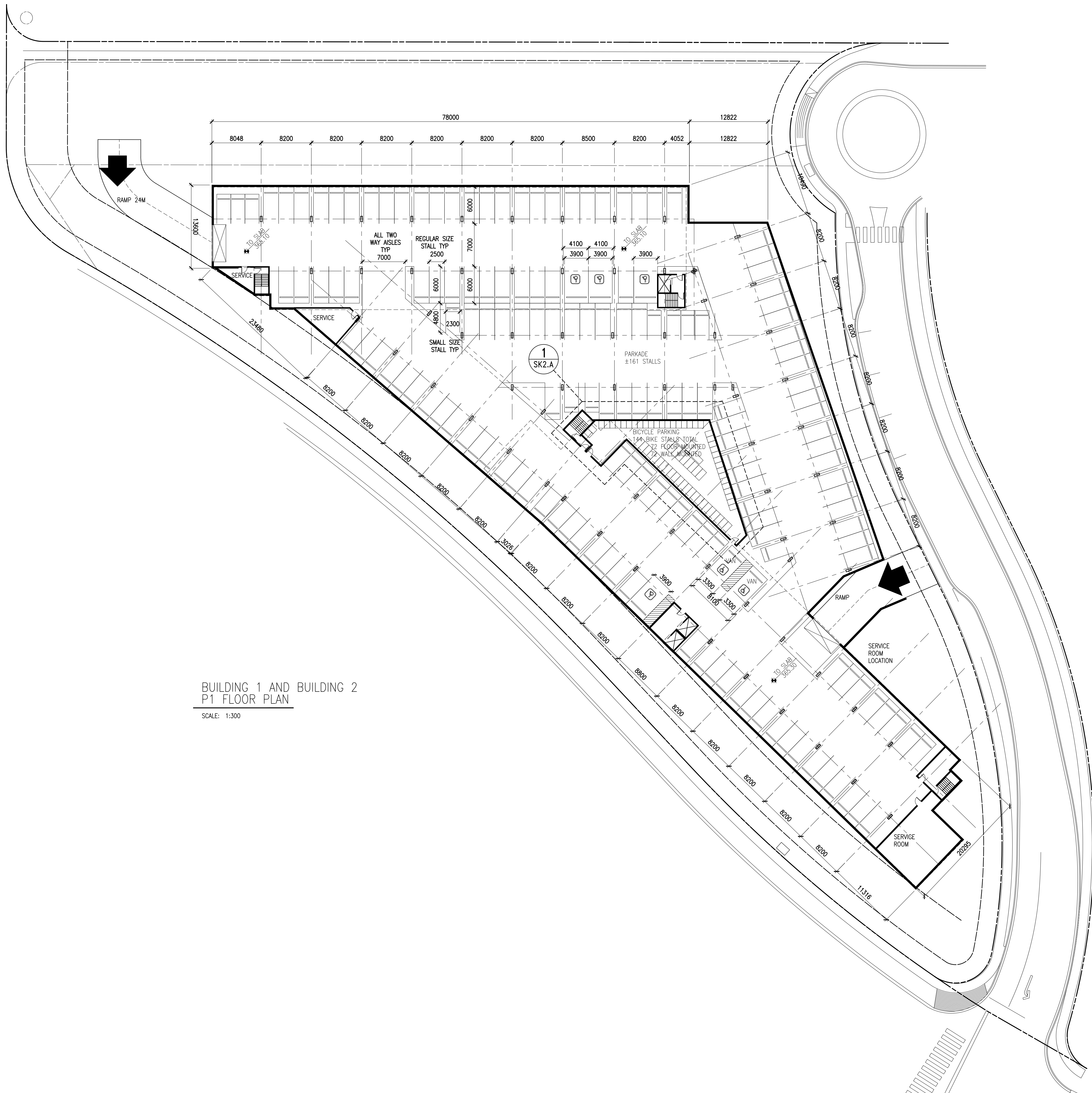
INTERIOR AMENITY AREAS: 360.7 m²

BUILDING 1: 215.5m²
 FITNESS: 86.0m²
 LOUNGE: 52.9m²
 AMENITY: 76.6m²

BUILDING 2: 145.2 m²
 STORAGE: 30.0m²
 LOUNGE: 56.2m²
 AMENITY: 59.0m²

LANDSCAPE AMENITY AREAS: 3062.9m²

TOTAL AMENITY PROVIDED = 5040.9m²



BUILDING 1 AND BUILDING 2
P1 FLOOR PLAN
SCALE: 1:300

SCHEDULE A

This forms part of application
DP21-0283

Planner Initials **KB**

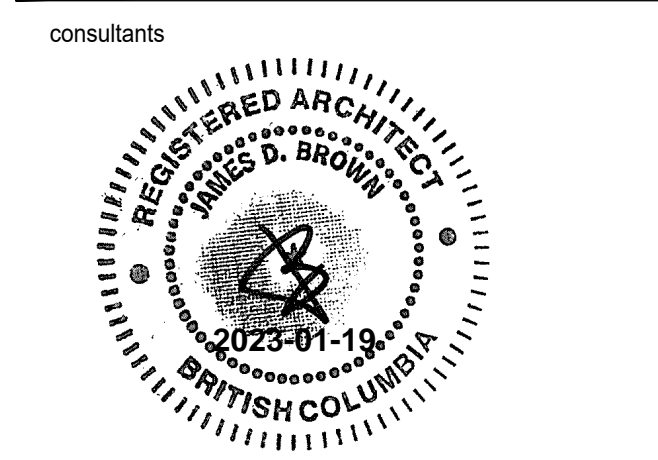
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DEVELOPMENT PLANNING

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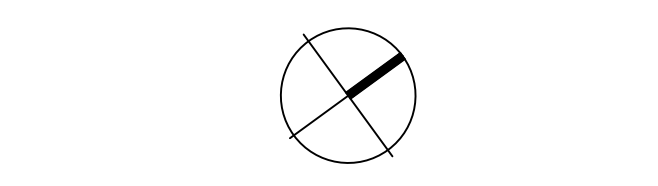
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project title

**BENVOULIN COURT
MULTI FAMILY**

2175 BENVOULIN COURT
KELOWNA, BC

drawing title

FLOOR PLANS

scale: 1:300

drawn by:

checked by:

project no: 221-124

date issued: 2023-01-19

re-issue no: sheet no:

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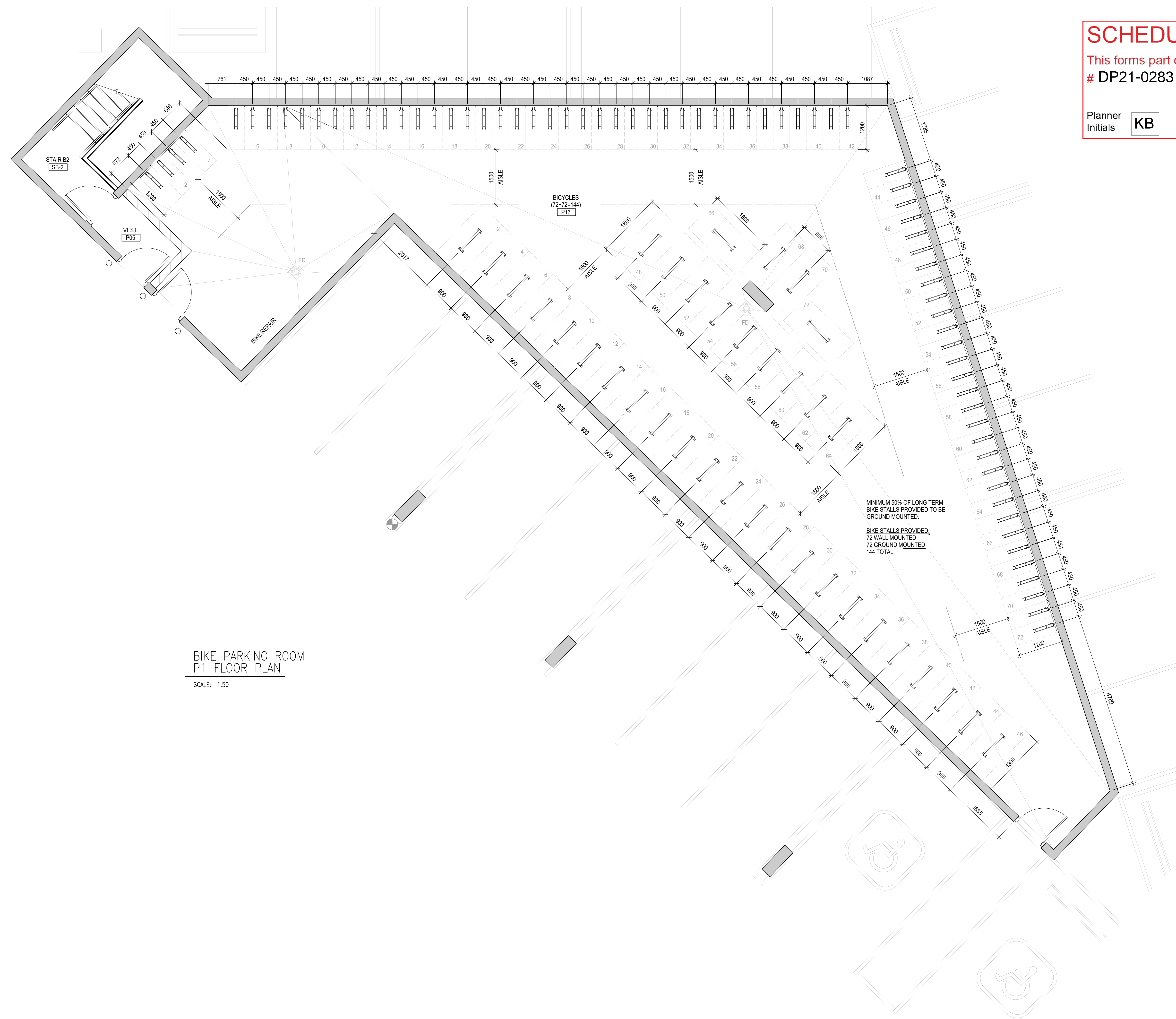
SCHEDULE A

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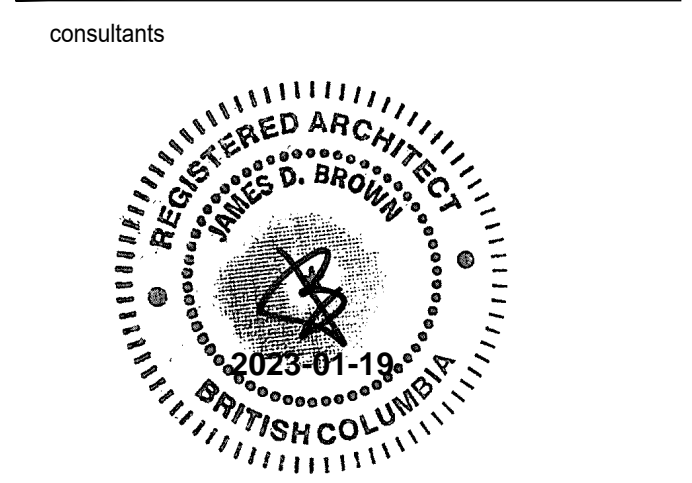

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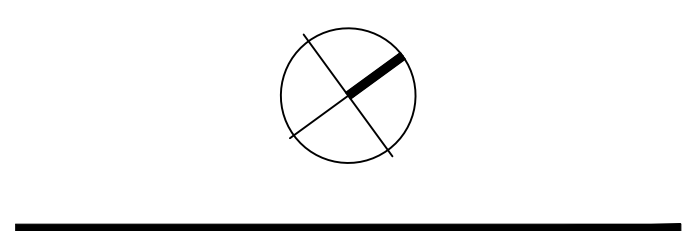
**BIKE PARKING ROOM
P1 FLOOR PLAN**
SCALE: 1:50

seal

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project title
**BENVOULIN COURT
MULTI FAMILY**
2175 BENVOLIN COURT
KELOWNA, BC

drawing title
**ENLARGED FLOOR PLAN
PARKADE P1 BICYCLE ROOM**

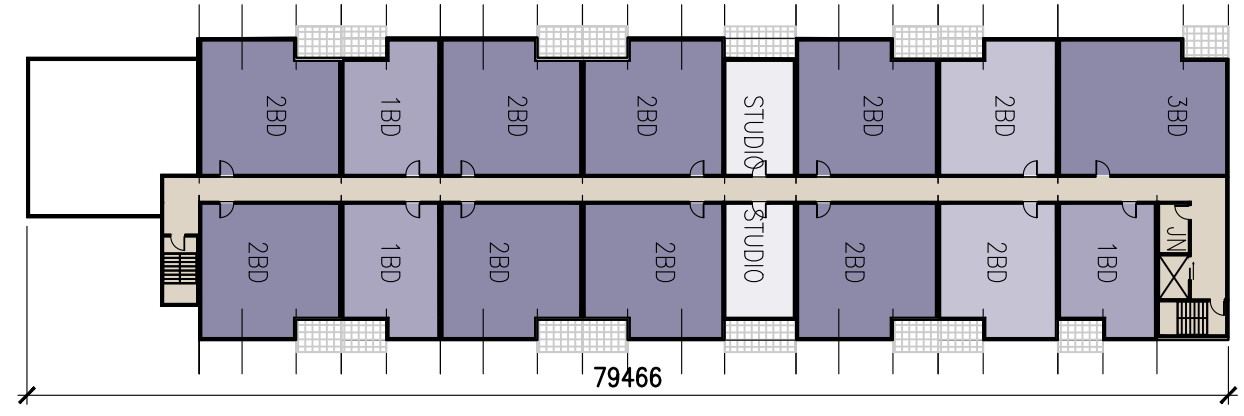
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checked by:
project no: 221-124
date issued: 2023-01-13

re-issue no: sheet no:
SK2.A

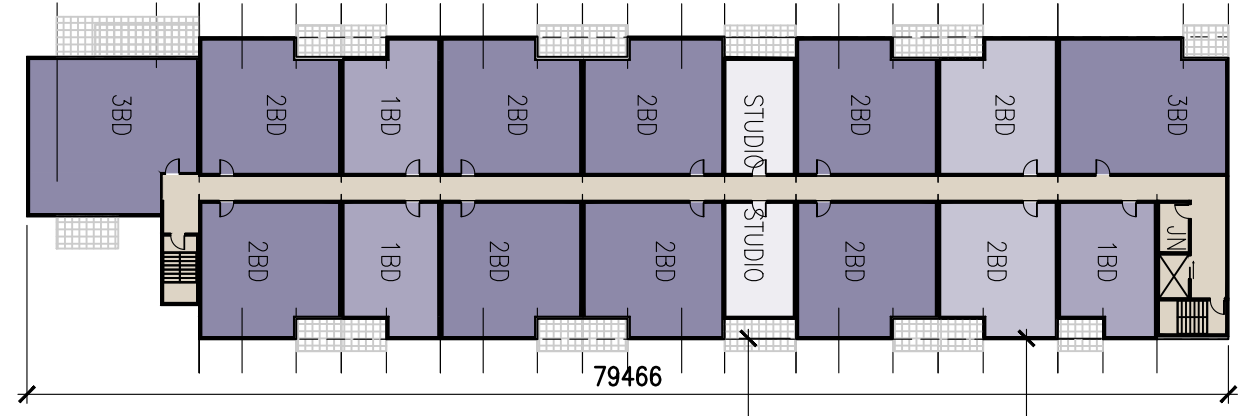
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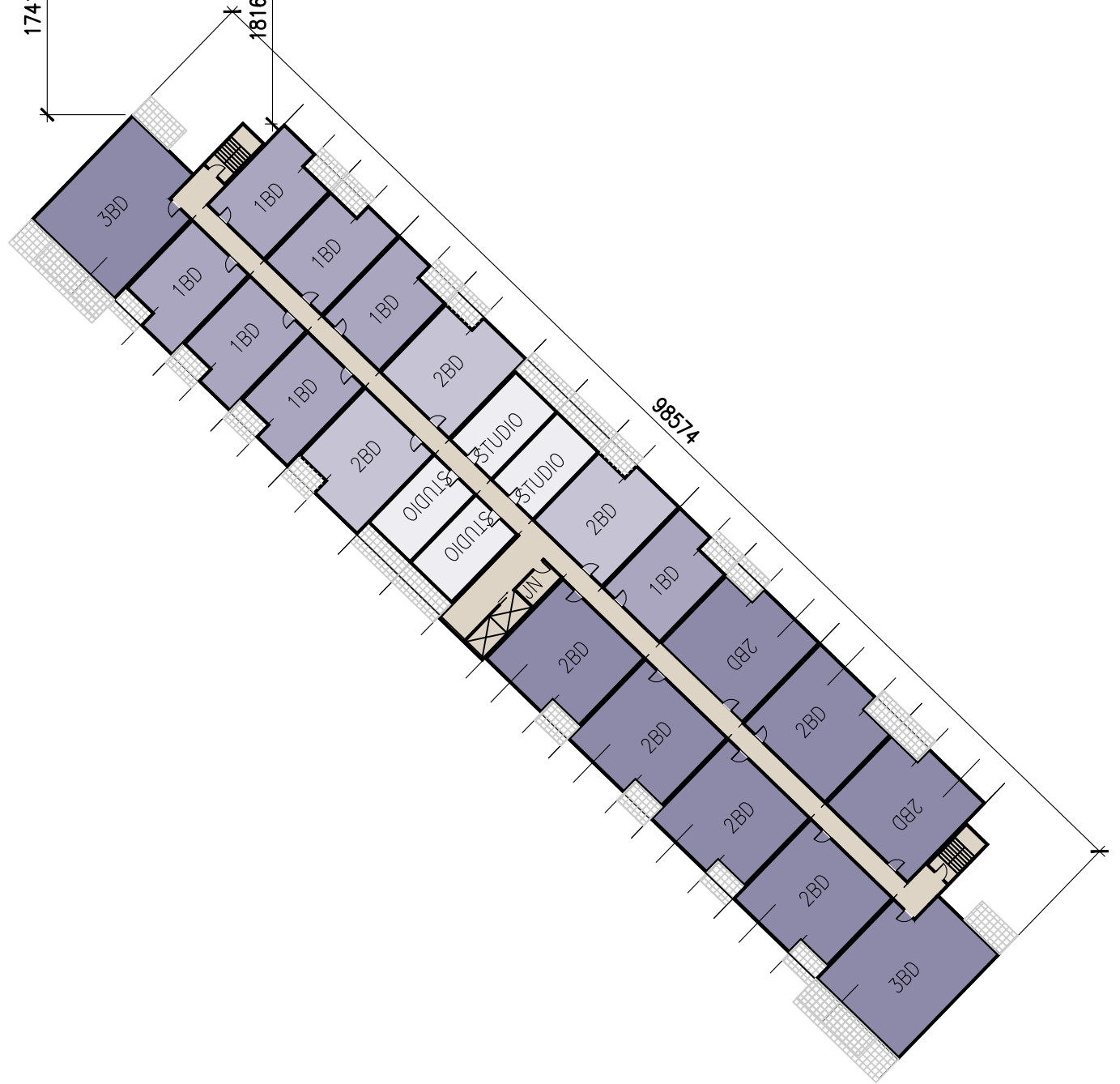
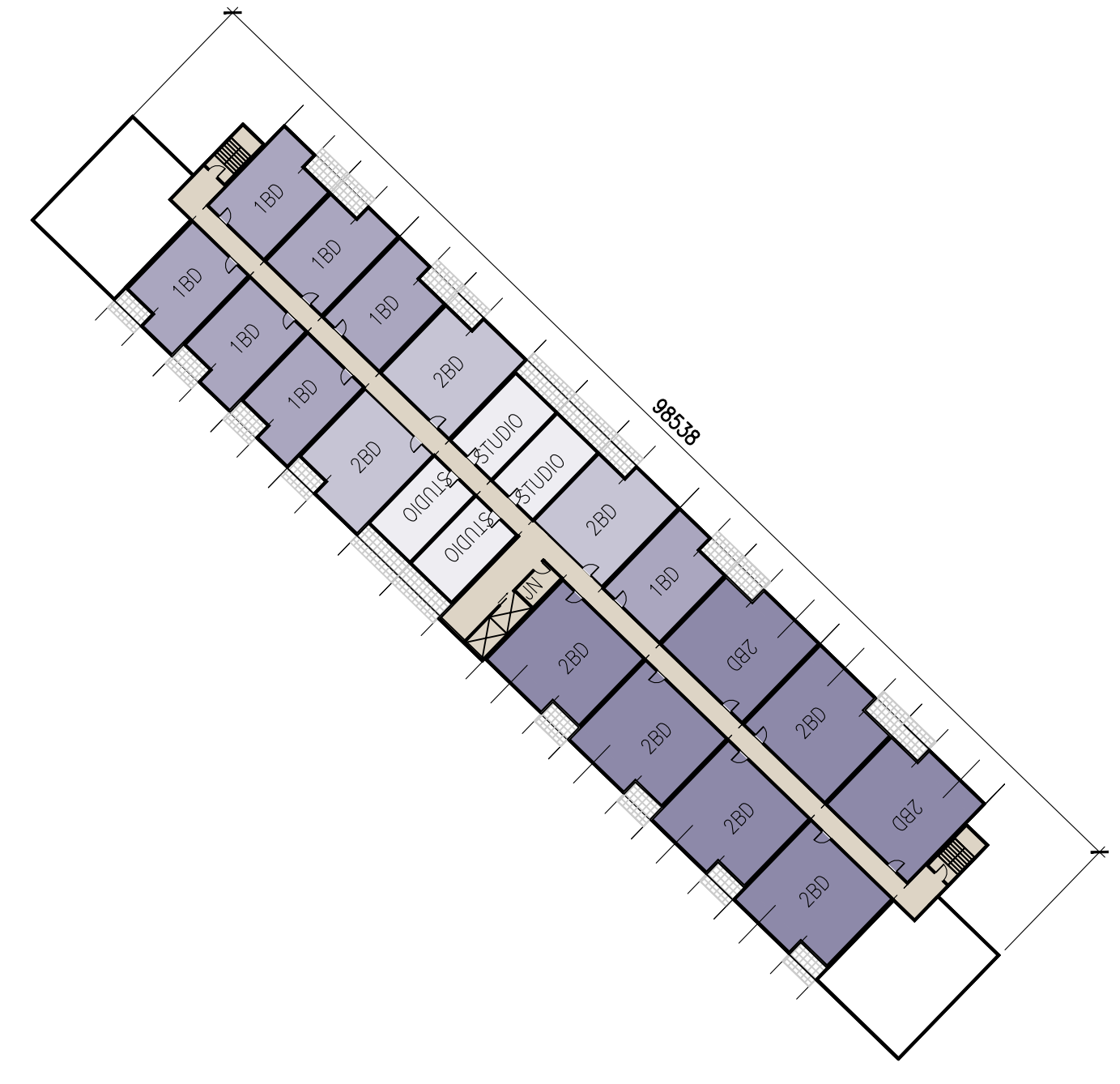
BUILDING 1 AND BUILDING 2
GROUND FLOOR PLAN
SCALE: 1:500



BUILDING 1 AND BUILDING 2
TOP FLOOR PLAN
SCALE: 1:500



BUILDING 1 AND BUILDING 2
TYPICAL FLOOR PLAN
SCALE: 1:500



SCHEDULE A

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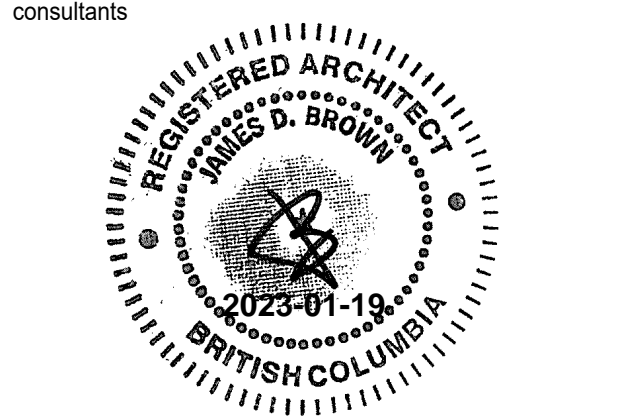
Planner Initials **KB**

City of Kelowna
DEVELOPMENT PLANNING

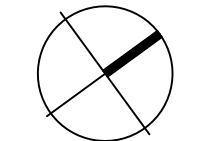


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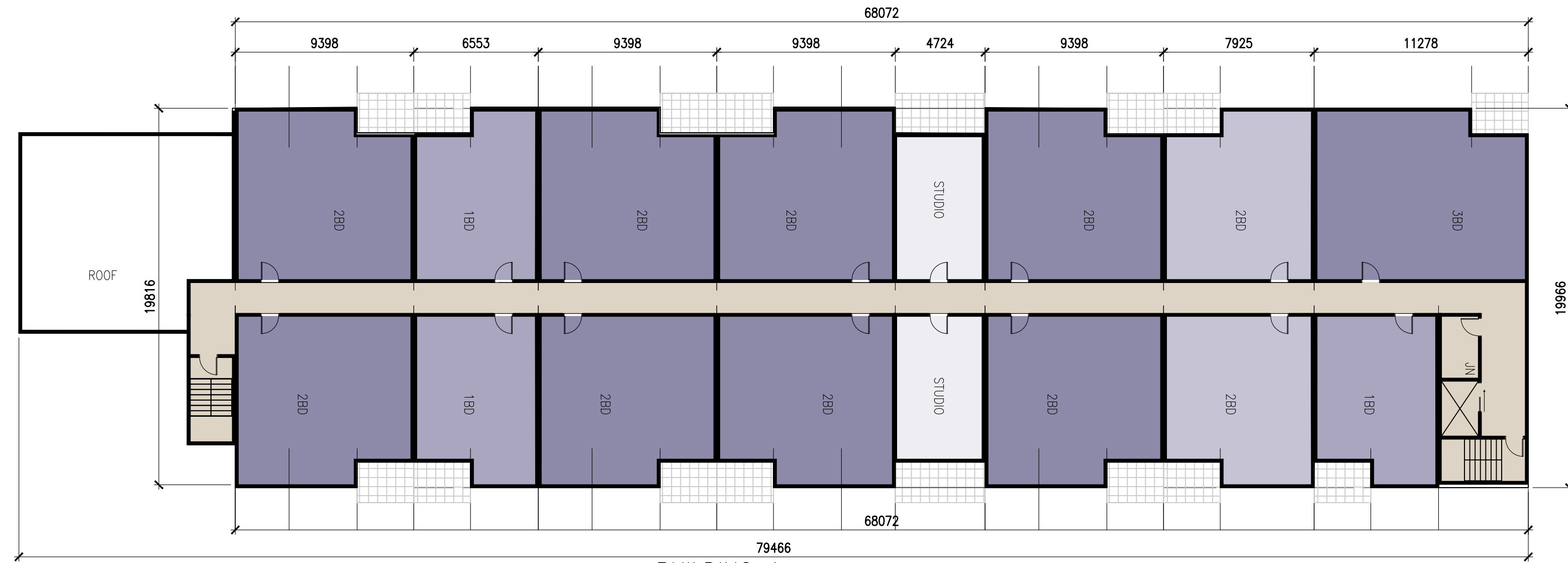
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BENVOULIN COURT
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FLOOR PLANS

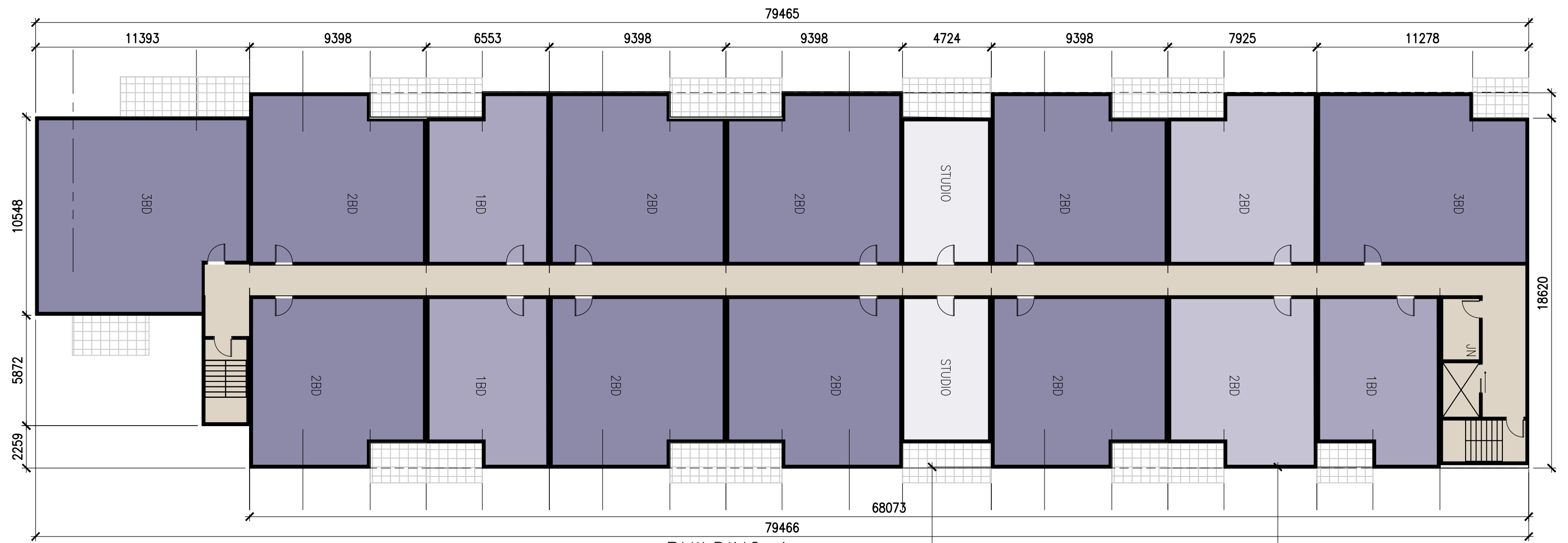
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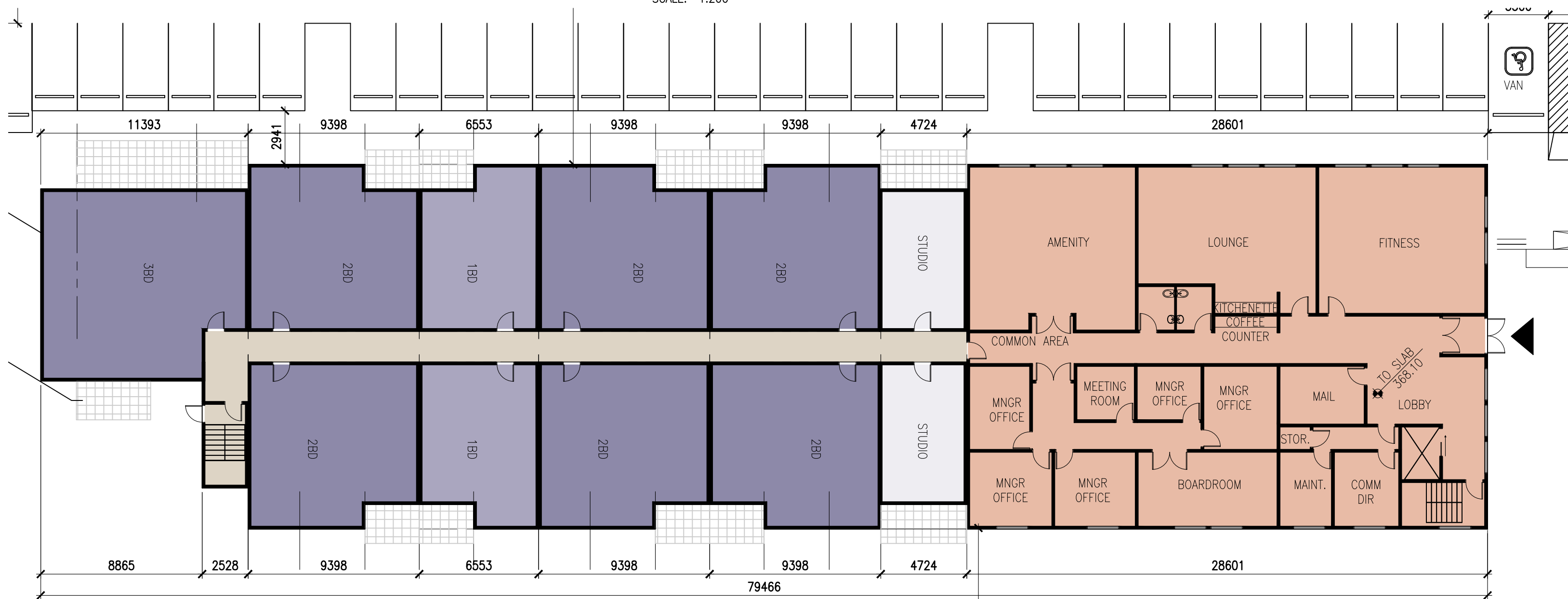
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BUILDING 1
TOP FLOOR PLAN
SCALE: 1:200



BUILDING 1
TYPICAL FLOOR PLAN
SCALE: 1:200



BUILDING 1
GROUND FLOOR PLAN
SCALE: 1:200

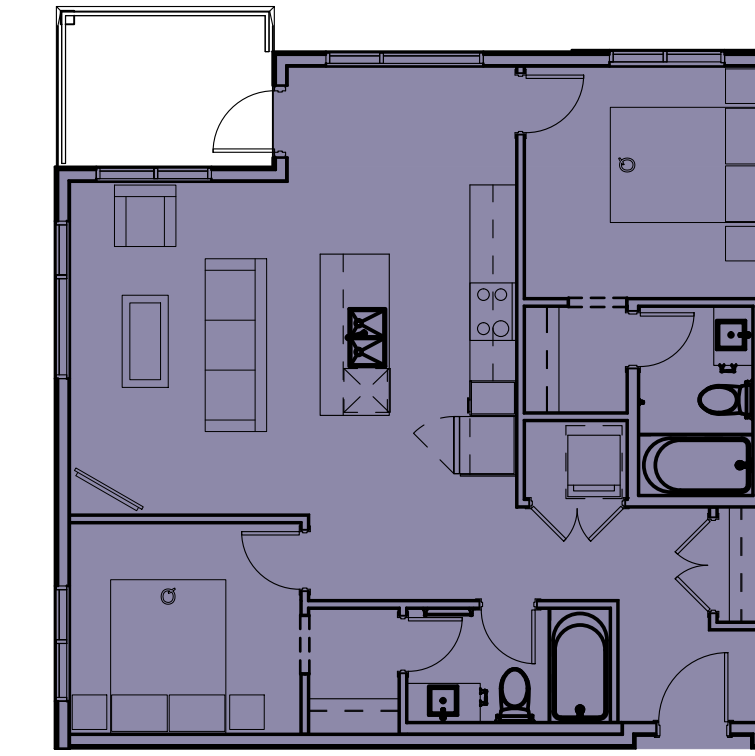
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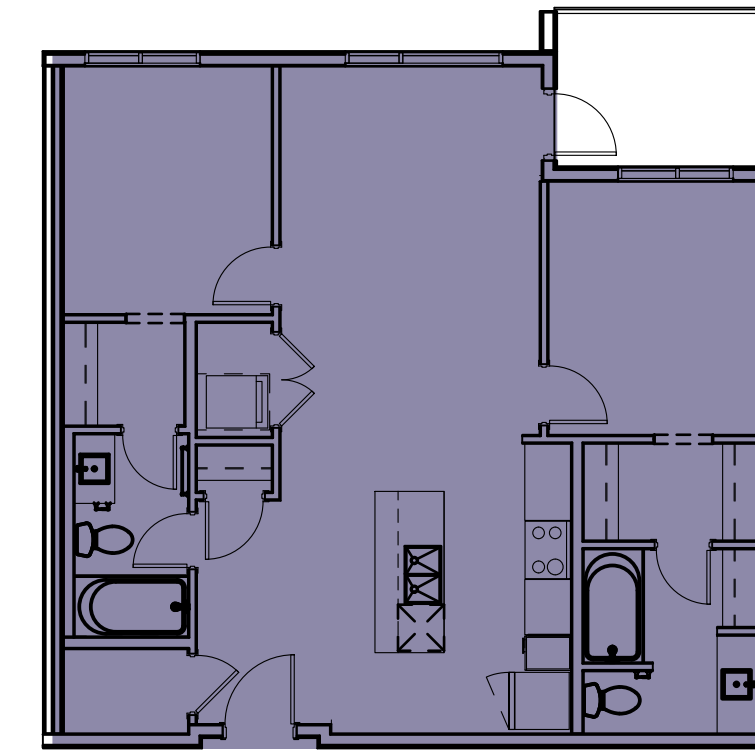
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City of Kelowna
DEVELOPMENT PLANNING

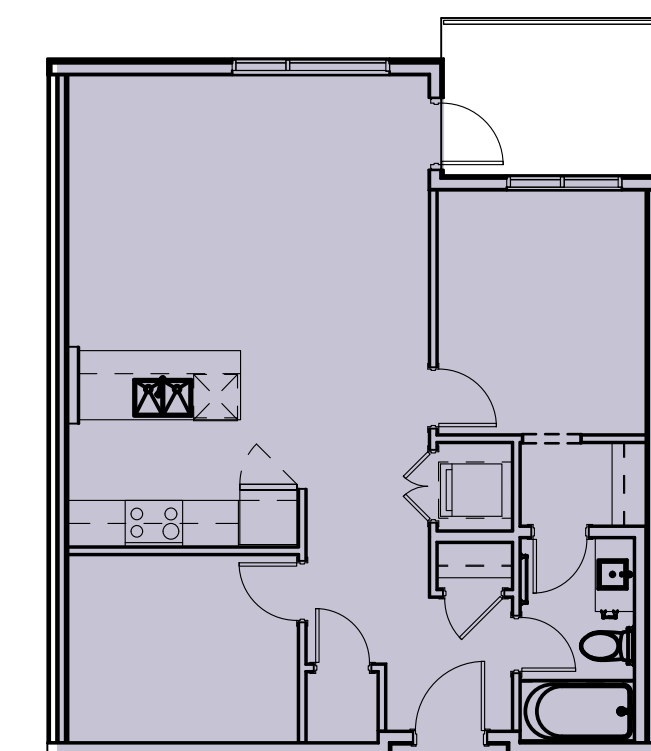
2-BED UNIT 1
SCALE: 1:100



2-BED UNIT 2
SCALE: 1:100



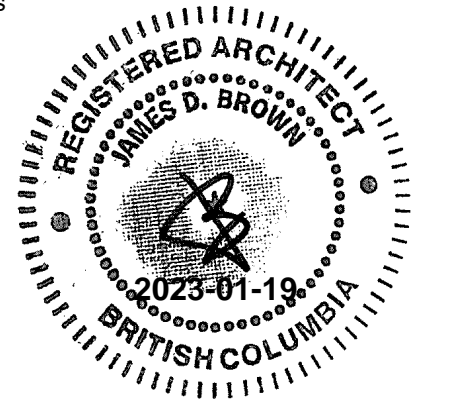
2-BED UNIT 3
SCALE: 1:100



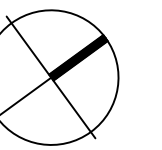
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9	2022-09-12	RE-ISSUED FOR DEVELOPMENT PERMIT
10	2022-09-23	RE-ISSUED FOR DEVELOPMENT PERMIT
11	2023-01-19	RE-ISSUED FOR DEVELOPMENT PERMIT

client



project title
**BENVOULIN COURT
MULTI FAMILY**
2175 BENVOULIN COURT
KELOWNA, BC

drawing title

FLOOR PLANS BUILDING 1

scale: 1:200

drawn by:

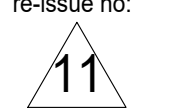
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project no: 221-124

date issued: 2023-01-13

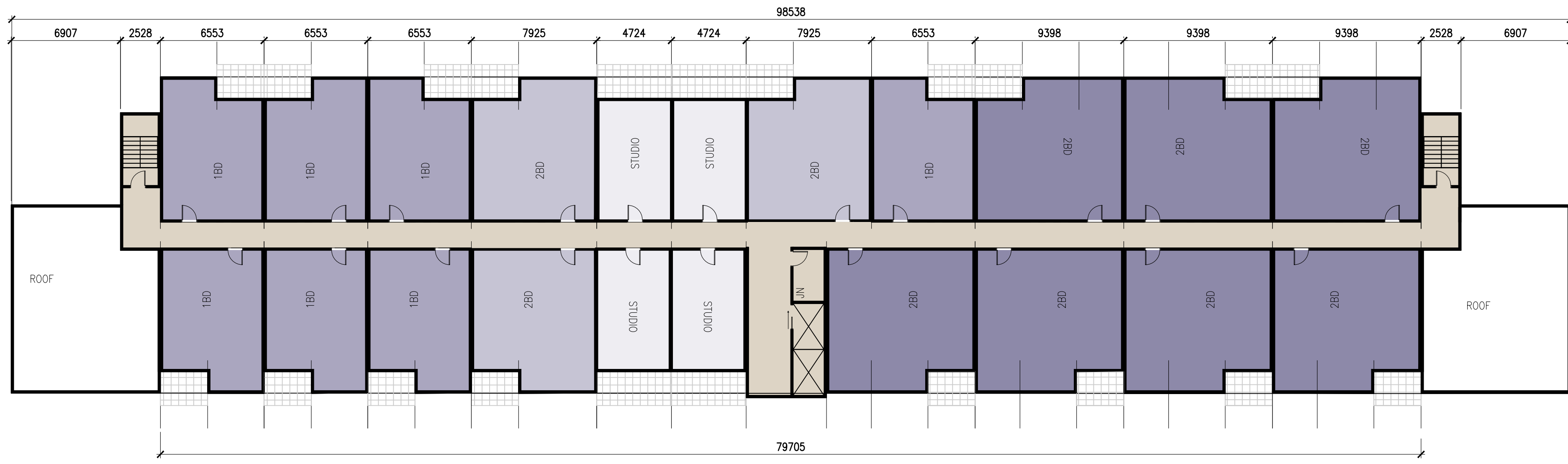
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sheet no:



SK2.02

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BUILDING 2
TOP FLOOR PLAN
SCALE: 1:200

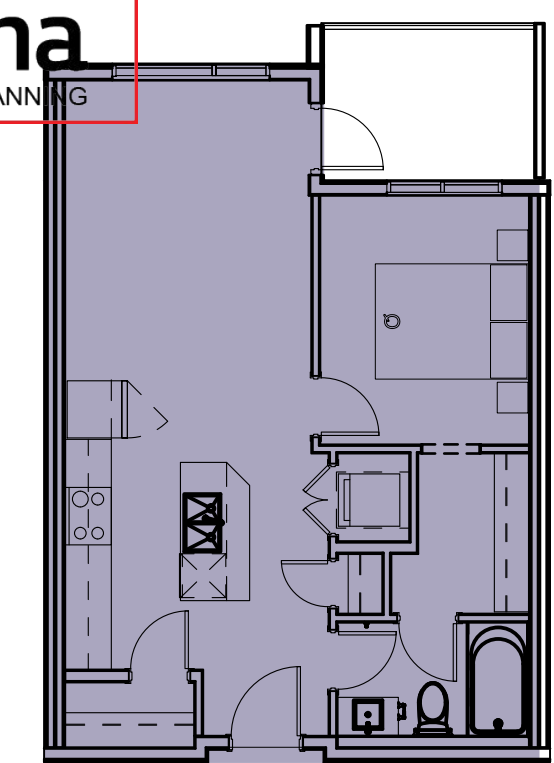


BUILDING 2
TYPICAL FLOOR PLAN
SCALE: 1:200

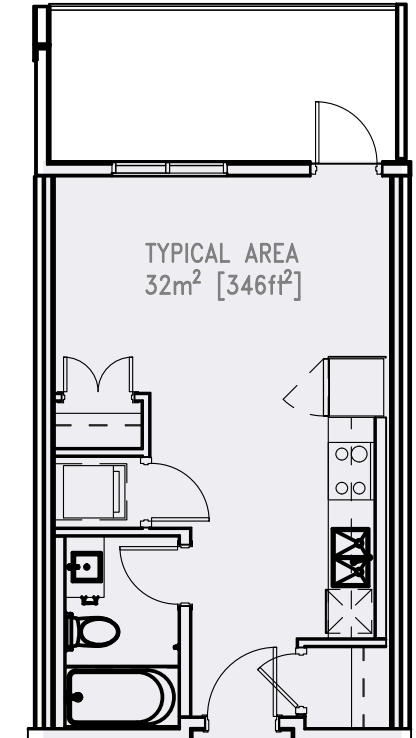


BUILDING 2
GROUND FLOOR PLAN
SCALE: 1:200

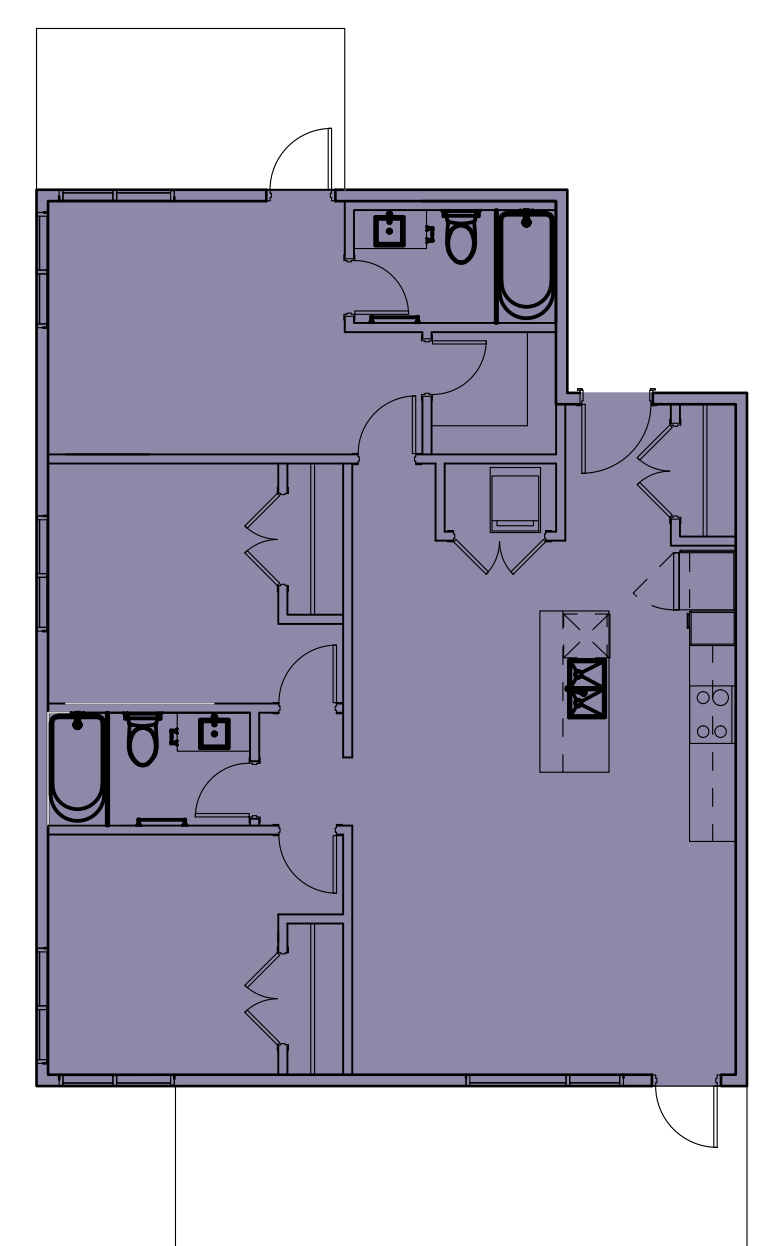
SCHEDULE A
This forms part of application
DP21-0283
Planner Initials **KB**
City of Kelowna
DEVELOPMENT PLANNING



1-BED UNIT
SCALE: 1:100



STUDIO UNIT
SCALE: 1:100



3-BED UNIT 1
SCALE: 1:100

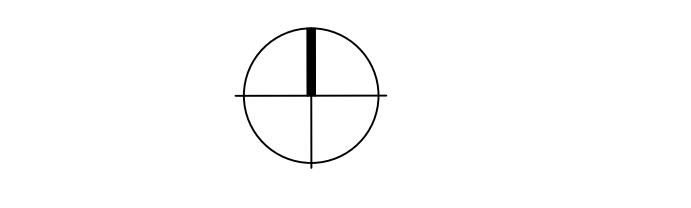


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2	2021-08-13	ISSUED FOR REVIEW
3	2021-08-20	ISSUED FOR REVIEW
4	2021-08-24	ISSUED FOR REVIEW
5	2021-09-23	ISSUED FOR REVIEW
6	2021-11-26	ISSUED FOR REVIEW
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8	2021-12-16	ISSUED FOR DEVELOPMENT PERMIT
9	2022-09-12	RE-ISSUED FOR DEVELOPMENT PERMIT
10	2022-09-23	RE-ISSUED FOR DEVELOPMENT PERMIT
11	2023-01-19	RE-ISSUED FOR DEVELOPMENT PERMIT



project title
**BENVOULIN COURT
MULTI FAMILY**
2175 BENVOLIN COURT
KELOWNA, BC

drawing title
FLOOR PLANS BUILDING 2

scale: 1:200
drawn by:
checked by:
project no: 221-124
date issued: 2023-01-13

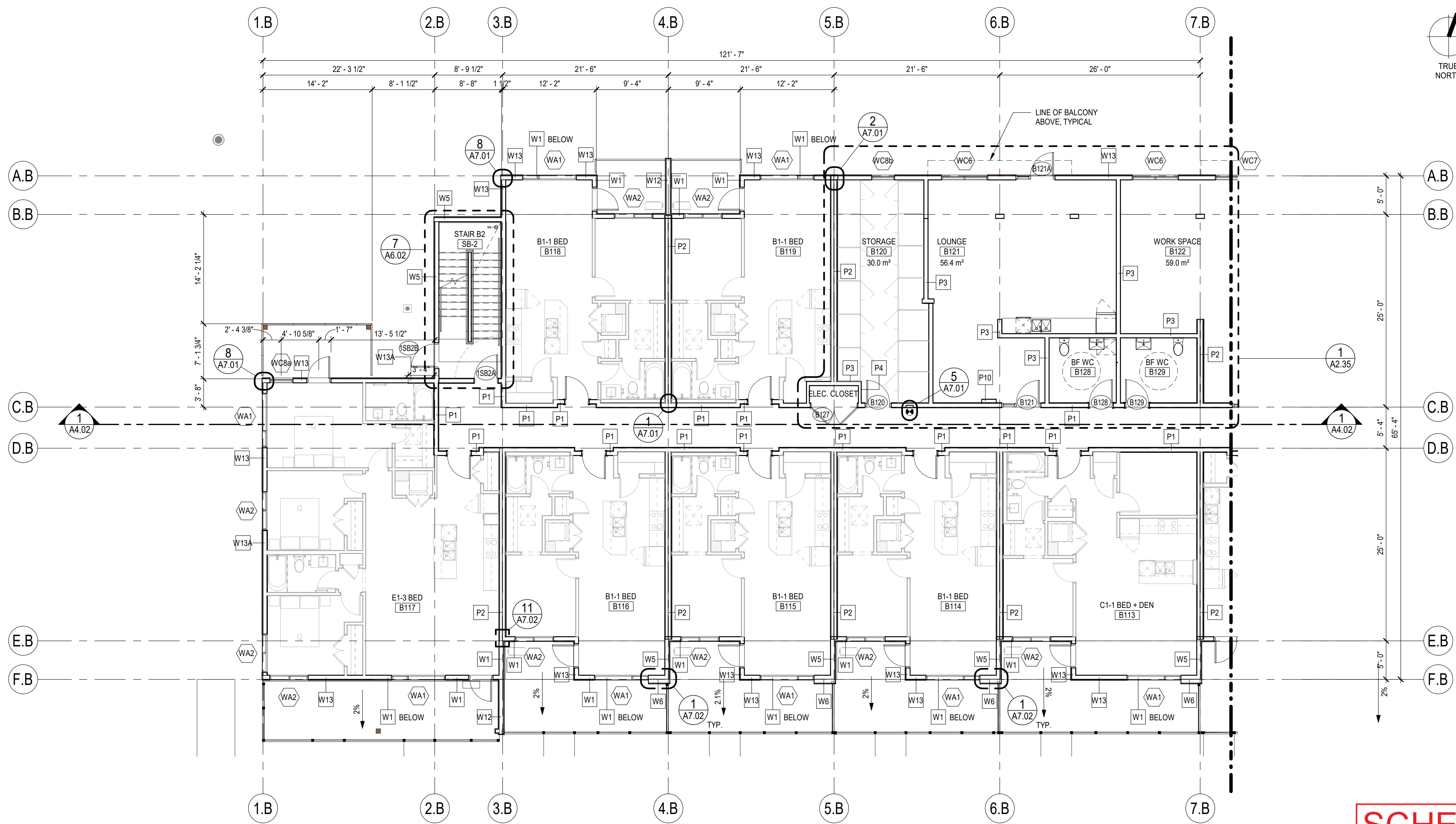
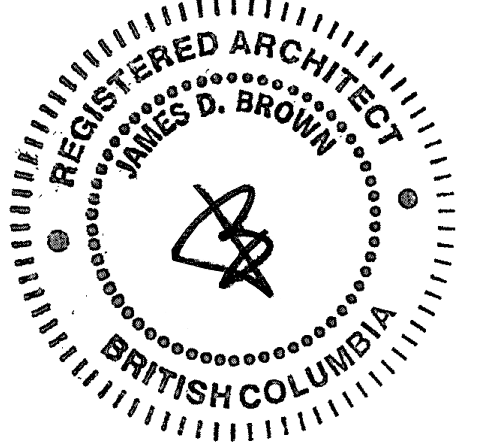
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SK2.03

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NOTE

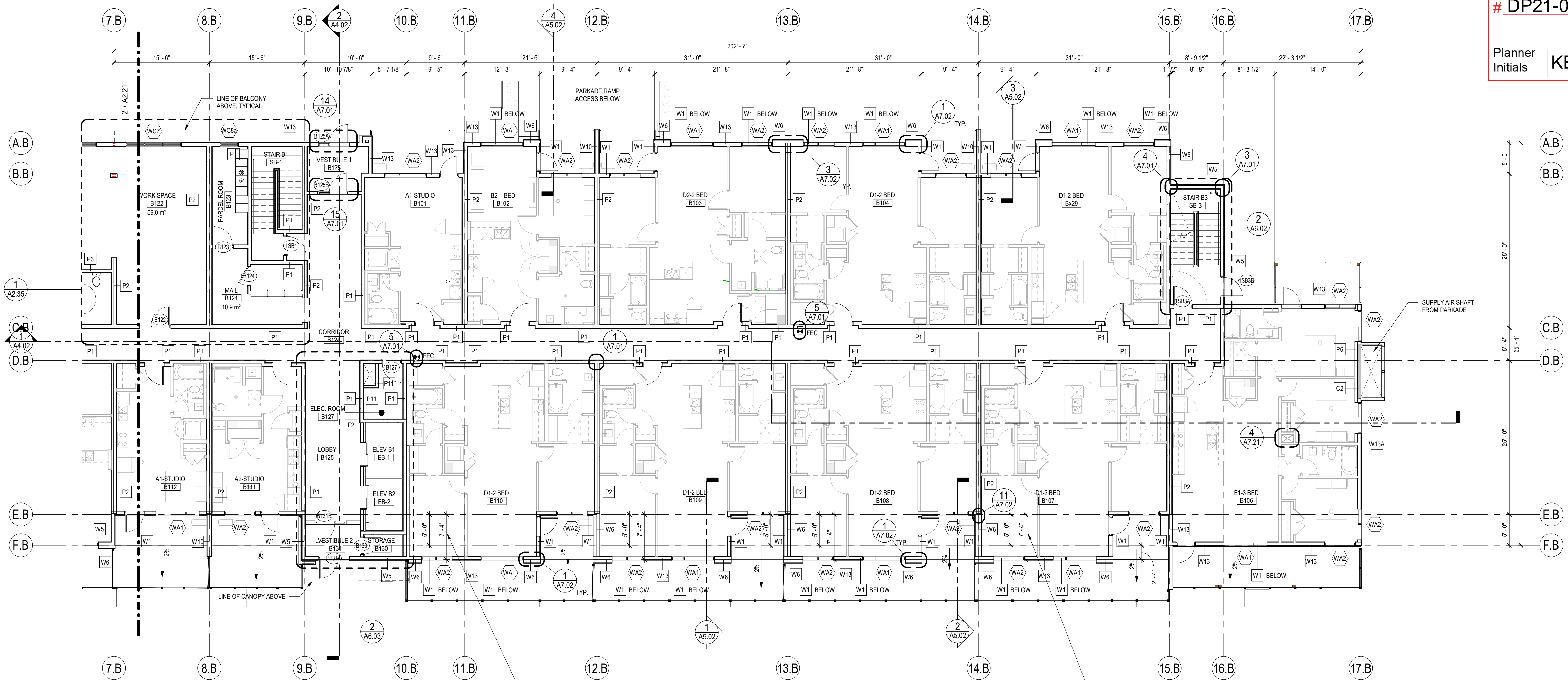
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KEY PLAN



2 LEVEL 1 FLOOR PLAN
A2.21 SCALE: 1/8" = 1'-0"

SCHEDULE A
This forms part of application
DP21-0283
Planner Initials **KB**
City of Kelowna
DEVELOPMENT PLANNING



1 LEVEL 1 FLOOR PLAN
A2.21 SCALE: 1/8" = 1'-0"

NO.	ISSUE / REVISION	DATE
1	2023-01-19 RE-ISSUED FOR DEVELOPMENT PERMIT	2021-08-06
2	ISSUED FOR REVIEW	2021-08-13
3	ISSUED FOR REVIEW	2021-08-20
4	ISSUED FOR REVIEW	2021-08-24
5	ISSUED FOR REVIEW	2021-08-23
6	ISSUED FOR REVIEW	2021-11-26
7	ISSUED FOR REVIEW	2021-12-01
8	ISSUED FOR DEVELOPMENT PERMIT	2022-09-26

NOT FOR CONSTRUCTION

PROJECT
TRaine - LA VIDA

PROJECT ADDRESS
2165 BENOULIN COURT,
KELOWNA, BC V1W 2C7

TITLE
BUILDING B - FLOOR PLANS - LEVEL 1

PROJECT NO. 221-124 DRAWN Author CHECKED Checker

DRAWING NO. **A2.21** REVISION NO. 8

NOTE:
ON LEVELS 1&2 THE D1 & D2 UNITS ALONG THIS SOUTH EAST CORNER OF BUILDING B HAVE DEEPER FLOOR PLATE AS SHOWN

NOTE:
ON LEVELS 1&2 THE D1 & D2 UNITS ALONG THIS SOUTH EAST CORNER OF BUILDING B HAVE DEEPER FLOOR PLATE AS SHOWN

NOTE
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KEY PLAN



SCHEDULE A
This forms part of application
DP21-0283
Planner Initials **KB**
City of Kelowna
DEVELOPMENT PLANNING

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6	ISSUED FOR REVIEW	2021-11-26
7	ISSUED FOR REVIEW	2021-12-01
8	ISSUED FOR DEVELOPMENT PERMIT	2022-09-26

NOT FOR CONSTRUCTION

PROJECT
TRaine - LA VIDA

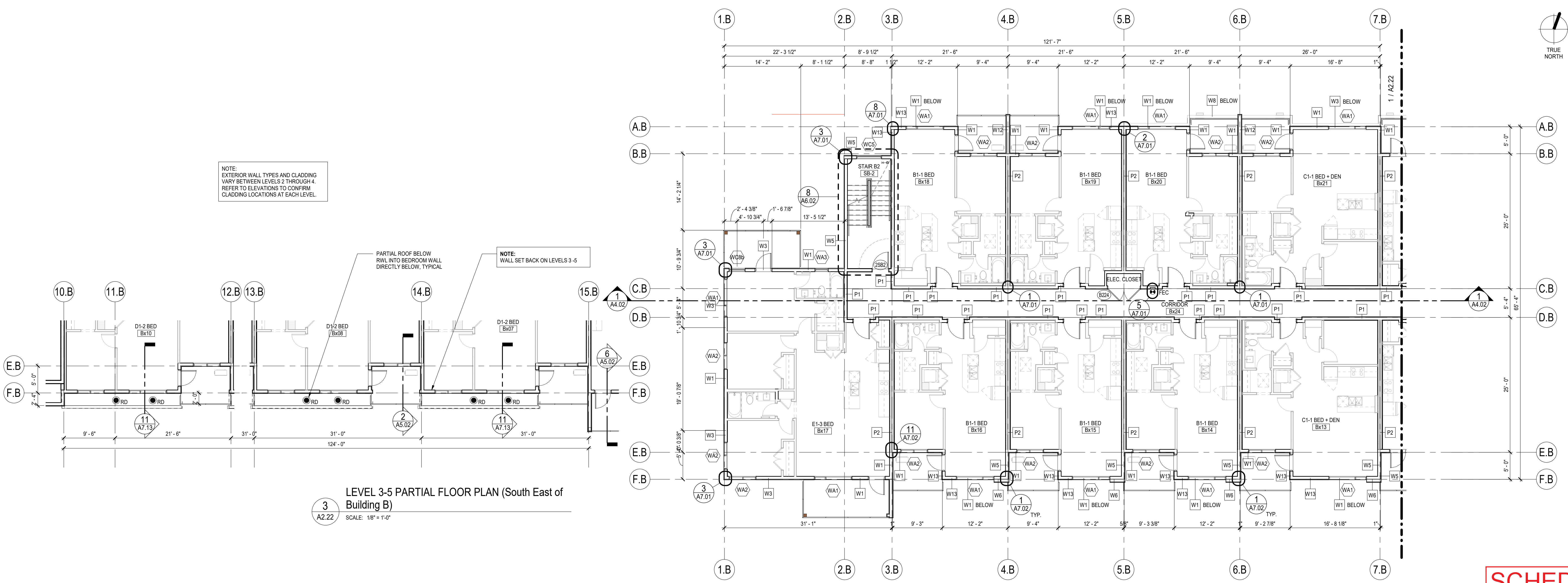
PROJECT ADDRESS
2165 BENVOLUIN COURT,
KELOWNA, BC V1W 2C7

TITLE
BUILDING B - FLOOR PLANS - LEVELS 2-4

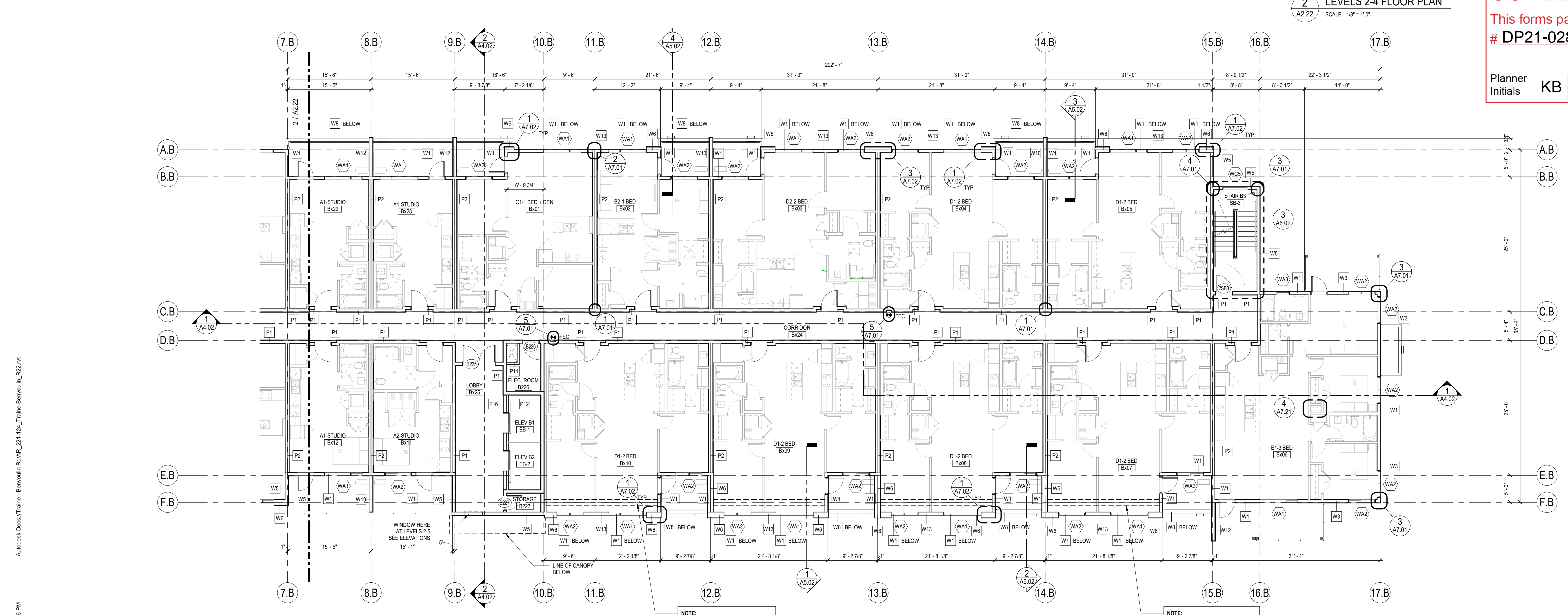
PROJECT NO. DRAWN CHECKED
221-124 Author Checker

DRAWING NO. REVISION NO.

A2.22



3 LEVEL 3-5 PARTIAL FLOOR PLAN (South East of Building B)
SCALE: 1/8" = 1'-0"



2 LEVELS 2-4 FLOOR PLAN
SCALE: 1/8" = 1'-0"

Autodesk Docs/Traine - Benvolun Rd/A2_201-124_Traine-Benvolun_R22.rvt 6/27/2022 3:08:55 PM

NOTE

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KEY PLAN

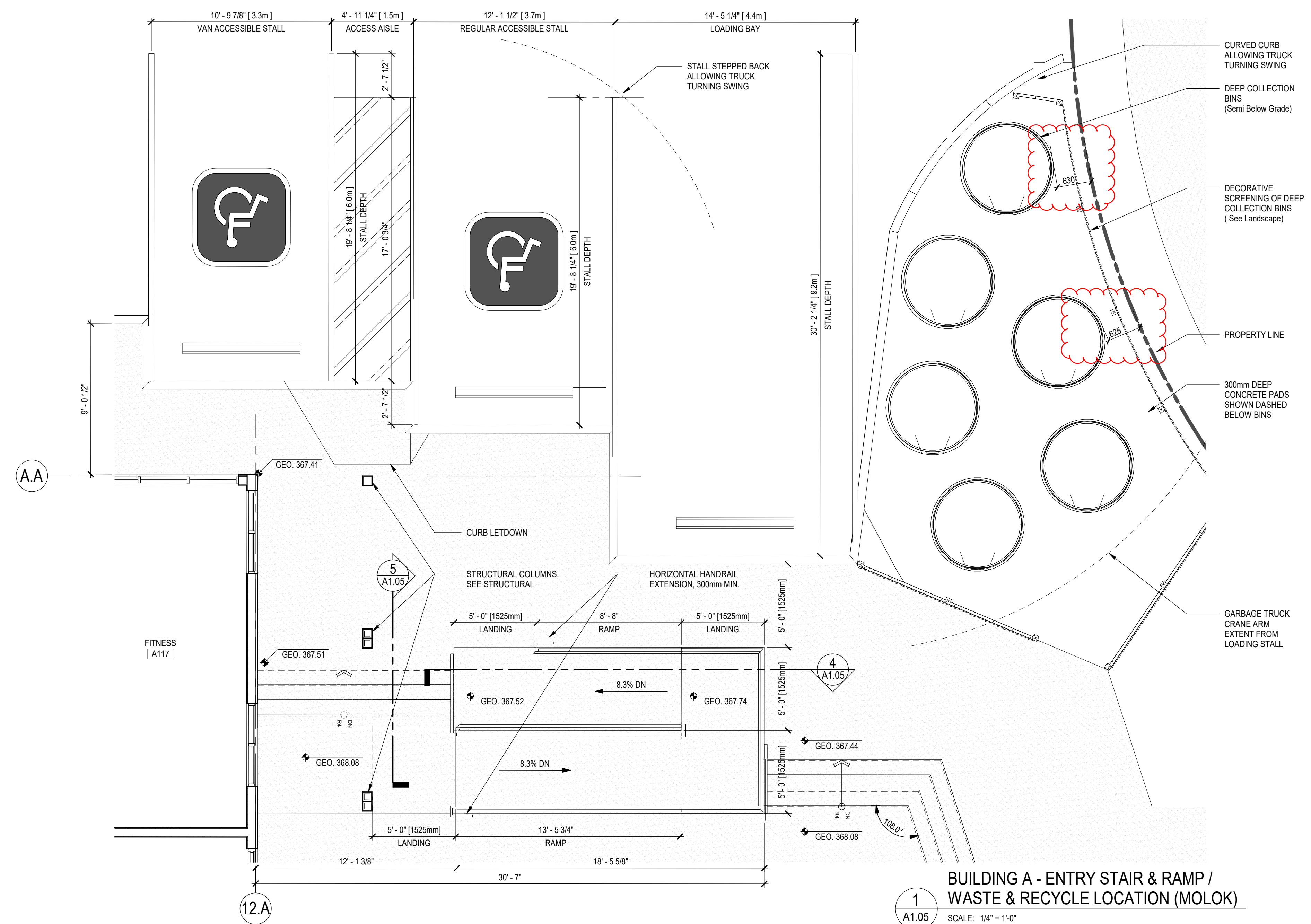


SCHEDULE A

This forms part of application # DP21-0283

Planner Initials **KB**

City of Kelowna DEVELOPMENT PLANNING



NO.	ISSUE/ REVISION	DATE
2023-01-19	RE-ISSUED FOR DEVELOPMENT PERMIT	

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PROJECT
TRaine - LA VIDA

PROJECT ADDRESS
2165 BENVOLIN COURT,
KELOWNA, BC V1W 2C7

TITLE
SITE DETAILS

PROJECT NO.	DRAWN	CHECKED
221-124	Author	Checker

DRAWING NO. **A1.05** REVISION NO. **8**



**BUILDING 1
SOUTH ELEVATION**
SCALE: 1:200



**BUILDING 1
EAST ELEVATION**
SCALE: 1:200



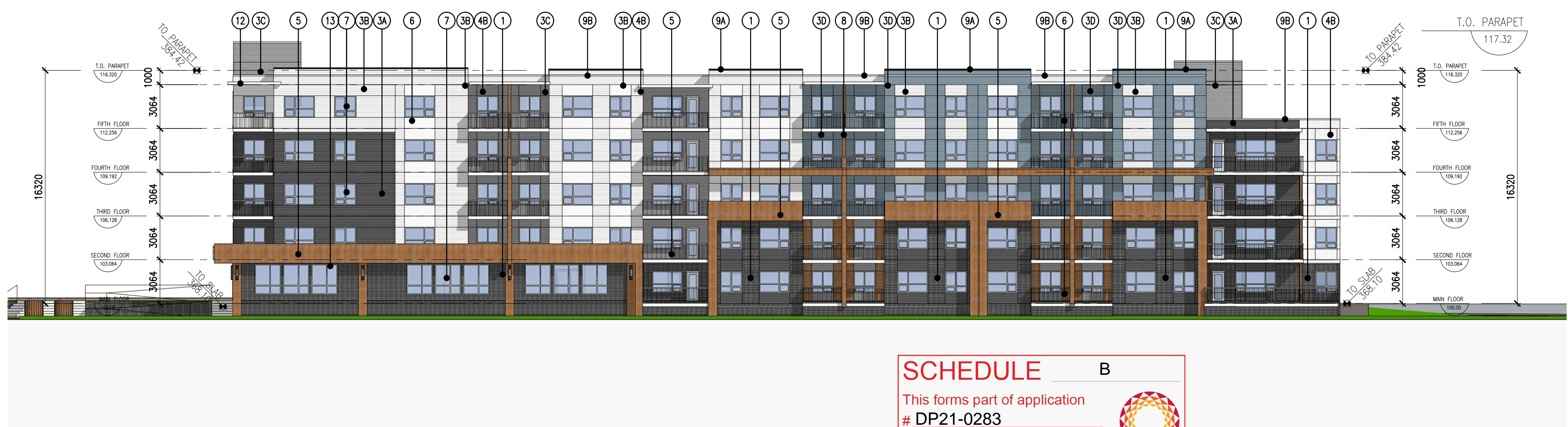
MATERIAL AND FINISHES LEGEND

- ① MASONRY UNIT - BRICK (CHARCOAL), STACK BOND
- ② EIFS GRAY
- ③- FIBRECEMENT CLADDING (HARDIE, LAP SIDING, CEDARMILL FINISH)
 - Ⓐ COLOUR - "IRON GRAY" Ⓑ COLOUR - "ARCTIC WHITE"
 - Ⓒ COLOUR - "PEARL GRAY" Ⓓ COLOUR - "BOOTHBAY BLUE"
 - Ⓔ COLOUR - "SPICY MUSTARD"
- ④- FIBRECEMENT CLADDING (HARDIE, PANEL, SMOOTH FINISH)
 - Ⓐ COLOUR - "IRON GRAY" Ⓑ COLOUR - "ARCTIC WHITE"
 - Ⓔ COLOUR - "SPICY MUSTARD"
- ⑤ FIBRECEMENT SMOOTH PANEL "WOOD" COLOUR
- ⑥ PRE-FINISHED METAL PICKET GUARD RAILS, PAINTED 'BLACK'
- ⑦ PVC WINDOW - WHITE EXTERIOR FRAME / WHITE INTERIOR FRAME
- ⑧ TERRACE DIVIDING SCREEN
- ⑨- PRE-FINISHED METAL FLASHING
 - Ⓐ COLOUR - "BLACK" Ⓑ COLOUR - "WHITE"
 - Ⓒ COLOUR - "GRAY" Ⓓ COLOUR - "BROWN"
- ⑩ PAINTED METAL DOOR AND FRAME
- ⑪ O/H DOOR, COLOUR TO MATCH ADJACENT WALL COLOUR
- ⑫ CANOPY
- ⑬ WALL MOUNTED ARCHITECTURAL LIGHT FIXTURE
- ⑭ VANDAL PROOF LIGHTING ADJACENT TO ENTRANCEWAYS, OVERHEAD AND MAIN DOORS

NOTE:
ROOFTOP MECHANICAL UNITS TO BE FULLY PAINTED TO MATCH BUILDING. IF STILL VISIBLE FROM ROADWAY, UNITS WILL BE SCREENED WITH AN APPROVED SCREEN DETAIL.



**BUILDING 1
WEST ELEVATION**
SCALE: 1:200



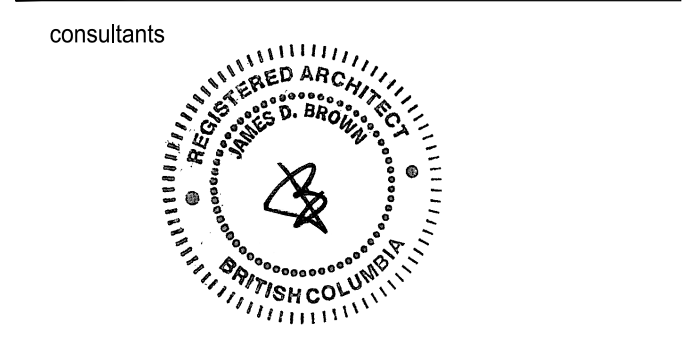
**BUILDING 1
NORTH ELEVATION**
SCALE: 1:200

SCHEDULE B
This forms part of application # DP21-0283
Planner Initials **KB**
City of Kelowna DEVELOPMENT PLANNING



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Calgary, AB T2P 1G7
T + 1 403 233 2525

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6	2021-11-26	ISSUED FOR REVIEW
7	2021-12-01	ISSUED FOR REVIEW
8	2022-09-26	ISSUED FOR DEVELOPMENT PERMIT
	2023-01-19	RE-ISSUED FOR DEVELOPMENT PERMIT



client
TRAIN
CONSTRUCTION & DEVELOPMENT

project title
**BENVOULIN COURT
MULTI FAMILY**
2165 BENVOLIN COURT
KELOWNA, BC

drawing title
BUILDING 1

scale: AS SHOWN
drawn by:
checked by:
project no: 221-124
date issued: 2022-09-26

re-issue no: 8
sheet no: **SK3.01**



BUILDING 2
SOUTH ELEVATION
SCALE: 1:200



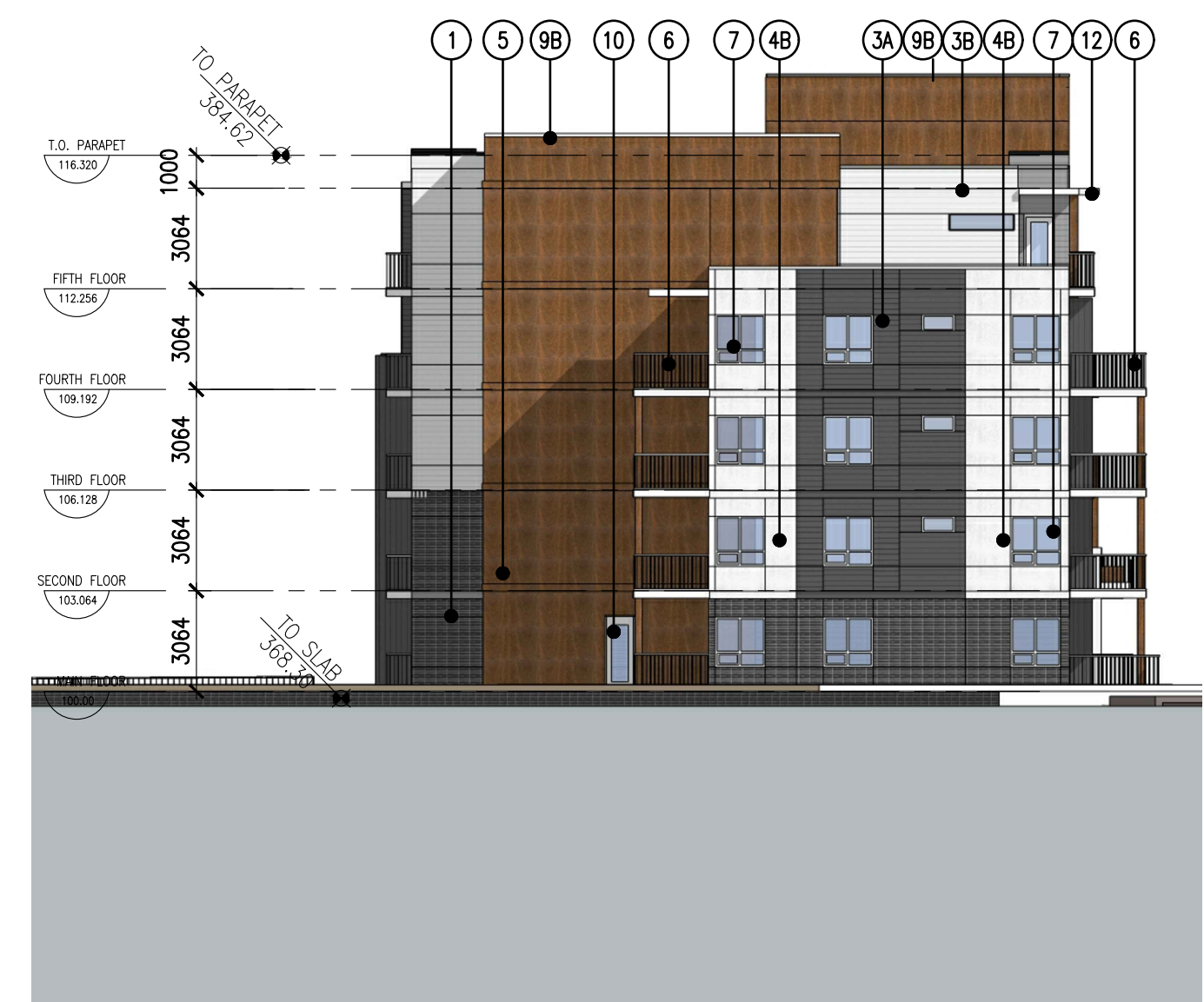
BUILDING 2
EAST ELEVATION
SCALE: 1:200



MATERIAL AND FINISHES LEGEND

- ① MASONRY UNIT - BRICK (CHARCOAL), STACK BOND
- ② EIFS GRAY
- ③- FIBRECEMENT CLADDING (HARDIE, LAP SIDING, CEDARMILL FINISH)
 - Ⓐ COLOUR - "IRON GRAY" Ⓑ COLOUR - "ARCTIC WHITE"
 - Ⓒ COLOUR - "PEARL GRAY" Ⓓ COLOUR - "BOOTHBAY BLUE"
 - Ⓔ COLOUR - "SPICY MUSTARD"
- ④- FIBRECEMENT CLADDING (HARDIE, PANEL, SMOOTH FINISH)
 - Ⓐ COLOUR - "IRON GRAY" Ⓑ COLOUR - "ARCTIC WHITE"
 - Ⓔ COLOUR - "SPICY MUSTARD"
- ⑤ FIBRECEMENT "SMOOTH PANEL "WOOD" COLOUR
- ⑥ PRE-FINISHED METAL PICKET GUARD RAILS, PAINTED 'BLACK'
- ⑦ PVC WINDOW - WHITE EXTERIOR FRAME / WHITE INTERIOR FRAME
- ⑧ TERRACE DIVIDING SCREEN
- ⑨- PRE-FINISHED METAL FLASHING
 - Ⓐ COLOUR - "BLACK" Ⓑ COLOUR - "WHITE"
 - Ⓒ COLOUR - "GRAY" Ⓓ COLOUR - "BROWN"
- ⑩ PAINTED METAL DOOR AND FRAME
- ⑪ O/H DOOR, COLOUR TO MATCH ADJACENT WALL COLOUR
- ⑫ CANOPY
- ⑬ WALL MOUNTED ARCHITECTURAL LIGHT FIXTURE
- ⑭ VANDAL PROOF LIGHTING ADJACENT TO ENTRANCEWAYS, OVERHEAD AND MAIN DOORS

NOTE:
ROOFTOP MECHANICAL UNITS TO BE FULLY PAINTED TO MATCH BUILDING. IF STILL VISIBLE FROM ROADWAY, UNITS WILL BE SCREENED WITH AN APPROVED SCREEN DETAIL.



BUILDING 2
WEST ELEVATION
SCALE: 1:200



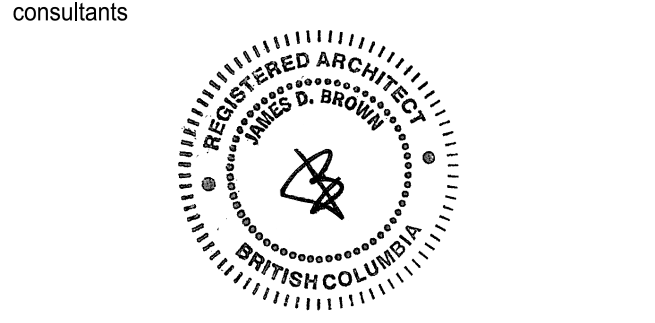
BUILDING 2
NORTH ELEVATION
SCALE: 1:200

SCHEDULE B
This forms part of application
DP21-0283
Planner Initials KB
City of Kelowna
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7	2021-12-01	ISSUED FOR REVIEW
8	2022-09-26	ISSUED FOR DEVELOPMENT PERMIT
	2023-01-19	RE-ISSUED FOR DEVELOPMENT PERMIT

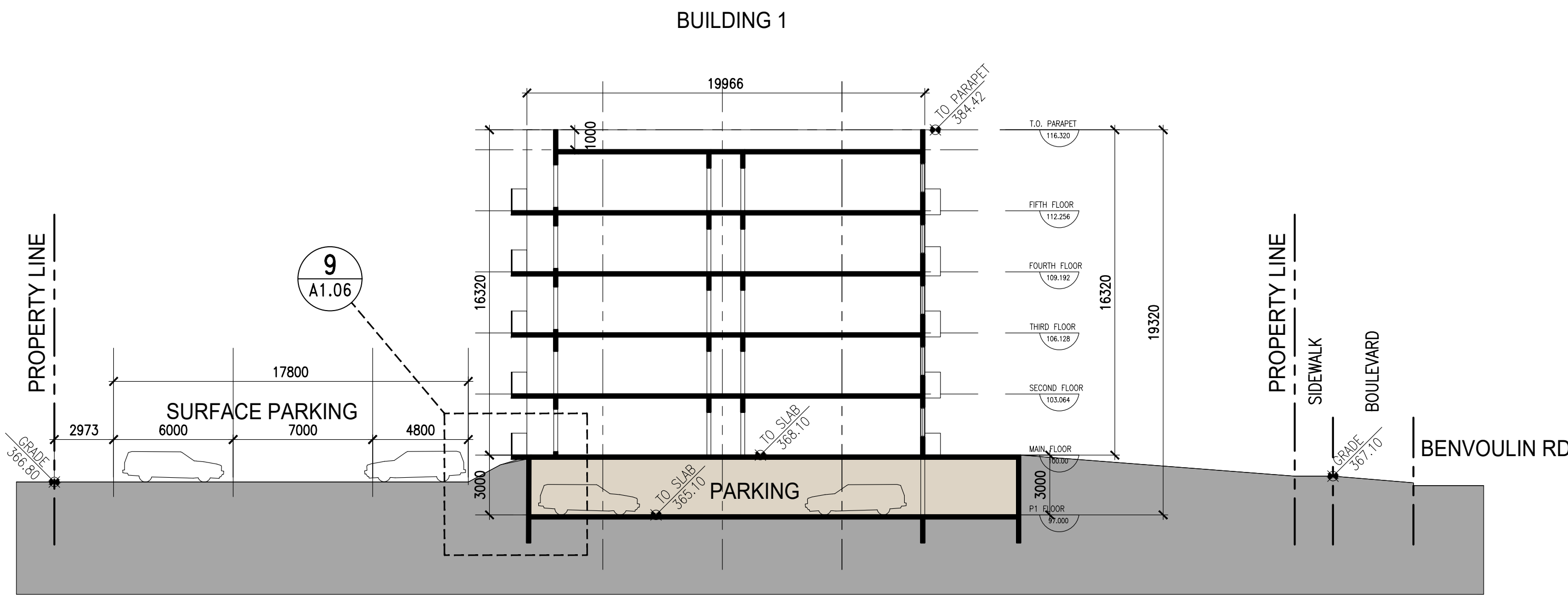


project title
**BENVOULIN COURT
MULTI FAMILY**
2165 BENVOULIN COURT
KELOWNA, BC

drawing title
BUILDING 2

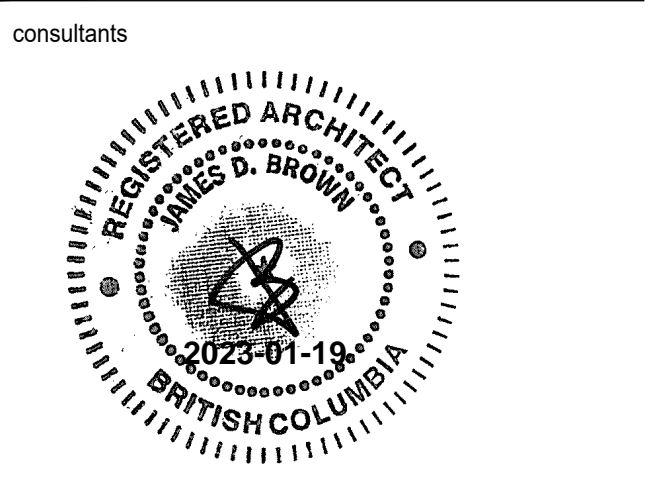
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checked by:
project no: 221-124
date issued: 2022-09-26

re-issue no: 8
sheet no: **SK3.02**



BUILDING 1 SECTION 1-1
 SCALE: 1:200

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11	2023-01-19	RE-ISSUED FOR DEVELOPMENT PERMIT

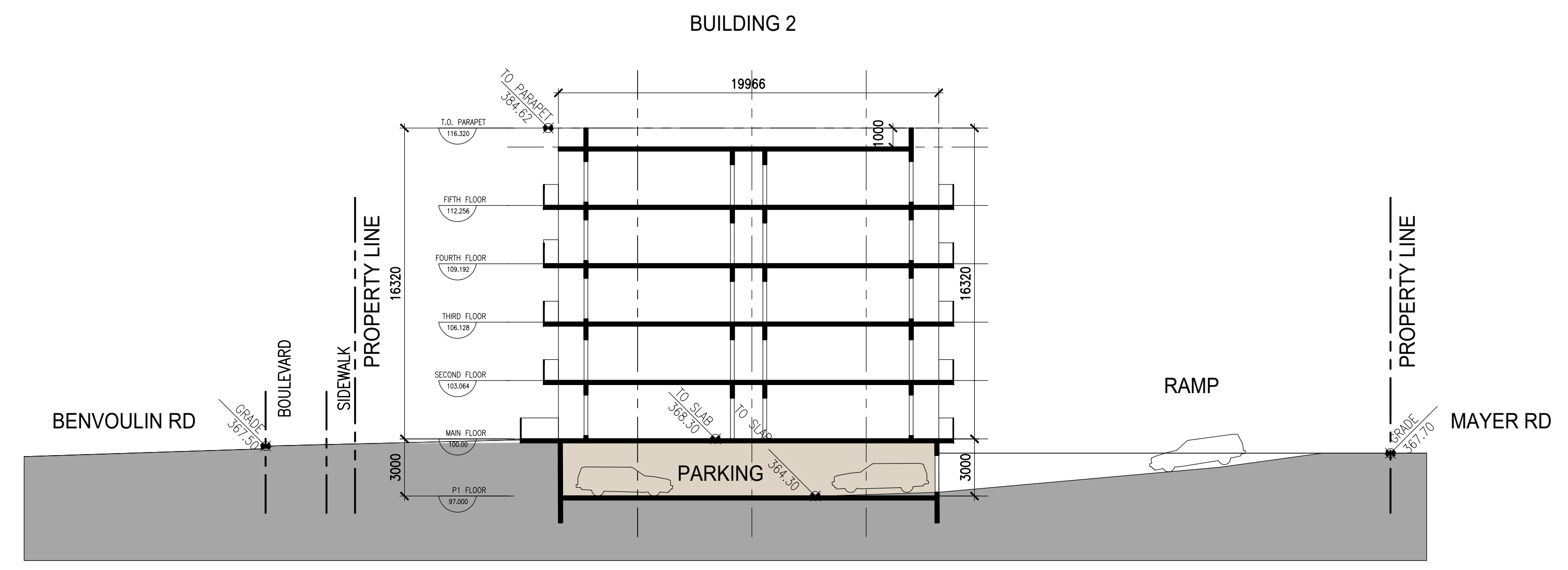


client
TRANE
 CONSTRUCTION & DEVELOPMENT
 project title
BENVOULIN COURT MULTI FAMILY
 2175 BENVOULIN COURT
 KELOWNA, BC

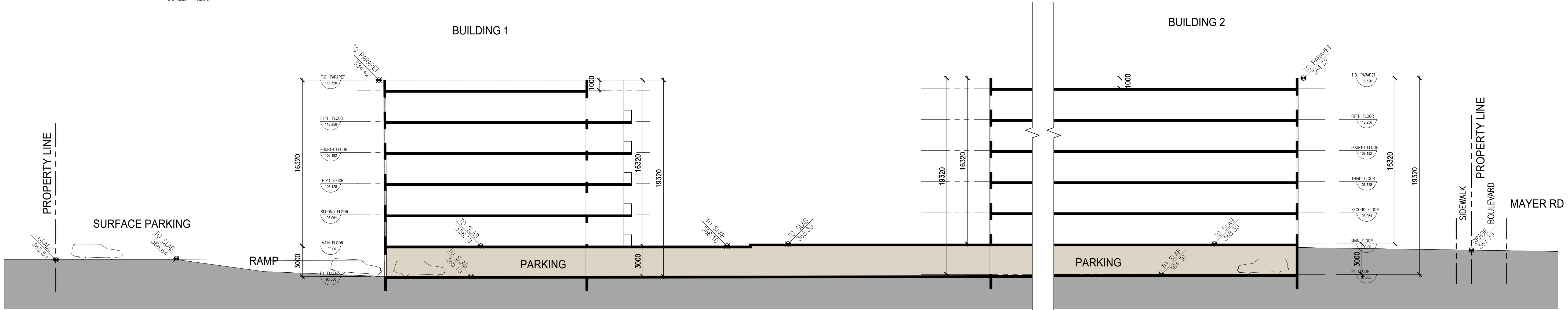
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BUILDING SECTIONS

scale: AS SHOWN
 drawn by:
 checked by:
 project no: 221-124
 date issued: 2023-01-19

re-issue no: sheet no:
SK4.01



BUILDING 2 SECTION 2-2
 SCALE: 1:200



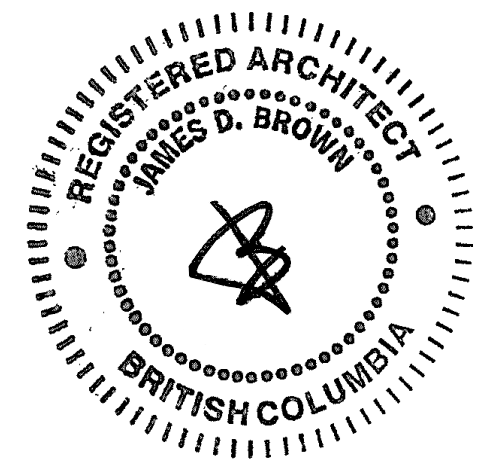
BUILDINGS 1 & 2 SECTION 3-3
 SCALE: 1:200



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KEY PLAN



EXTERIOR BUILDING MATERIALS LEGEND

- (1A) FIBRECEMENT BOARD LAP CLADDING (HARDIE, ARCTIC WHITE, CEDARMILL FINISH)
- (1B) FIBRECEMENT BOARD LAP CLADDING (HARDIE, SPICY MUSTARD, CEDARMILL FINISH)
- (1C) FIBRECEMENT BOARD LAP CLADDING (HARDIE, GRAY, CEDARMILL FINISH)
- (1D) FIBRECEMENT BOARD LAP CLADDING (HARDIE, IRON GRAY CEDARMILL FINISH)
- (1E) FIBRECEMENT BOARD LAP CLADDING (HARDIE, BOOTHBAY BLUE CEDARMILL FINISH)
- (2A) FIBRECEMENT PANEL CLADDING (HARDIE, ARCTIC WHITE, SMOOTH FINISH)
- (2B) FIBRECEMENT PANEL CLADDING (HARDIE, SPICY MUSTARD, SMOOTH FINISH)
- (3) THIN BRICK CLADDING (BRAMPTON BRICK, GRAPHITE, STACK BOND, METRIC PREMIER PLUS - 90 x 79 x 257mm)
- (4) BALCONY FASCIA BOARD - FIBRECEMENT PANEL CLADDING, COLOUR TO MATCH ADJACENT CLADDING
- (5) METAL GUARDRAIL - METAL PICKETS, COLOUR: BLACK
- (6) PVC WINDOW - DOUBLE GLAZED, WHITE FRAME
- (7) THERMALLY BROKEN, DOUBLE GLAZED, LOW-E CLEAR ANODIZED GLAZING STOREFRONT GLAZING SYSTEM
- (8) OVERHEAD DOOR - COLOUR: CHARCOAL
- (9) METAL DOOR - COLOUR: CHARCOAL
- (10) ALUMINUM GLAZED ENTRY DOOR - CLEAR VISION GLASS
- (11) HIGH IMPACT EIFS - COLOUR: CONCRETE GREY
- (12) PREFINISHED METAL LOUVER RTU SCREEN
- (13) PREFINISHED ALUMINUM POSTS C/W HORIZONTAL COMPOSITE BOARDS, STAINED, TIMBERTECH VINTAGE COLLECTION, COLOUR: WEATHERED TEAK
- (14) PREFINISHED METAL CAP FLASHING, 'BLACK'
- (15) MECHANICAL VENT WALL LOUVER, 'BLACK'
- (16) EMERGENCY OVERFLOW ROOF SCUPPER, 'BLACK'
- (17) WOOD POST - PROTECTIVE STAIN FINISH



SCHEDULE B
 This forms part of application
 # DP21-0283
 Planner Initials **KB**
 City of Kelowna
 DEVELOPMENT PLANNING

NO.	ISSUE/ REVISION	DATE
1	2023-01-19 RE-ISSUED FOR DEVELOPMENT PERMIT	2021-08-06
2	ISSUED FOR REVIEW	2021-08-13
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6	ISSUED FOR REVIEW	2021-11-26
7	ISSUED FOR REVIEW	2021-12-01
8	ISSUED FOR DEVELOPMENT PERMIT	2022-08-26

NOT FOR CONSTRUCTION

PROJECT
TRAIINE - BENVOLIN

PROJECT ADDRESS
 2155 BENVOLIN COURT,
 KELOWNA, BC V1W 2C7

TITLE
**BUILDING A -
 ELEVATIONS (S)**

PROJECT NO. 221-124
 DRAWN Author
 CHECKED Checker

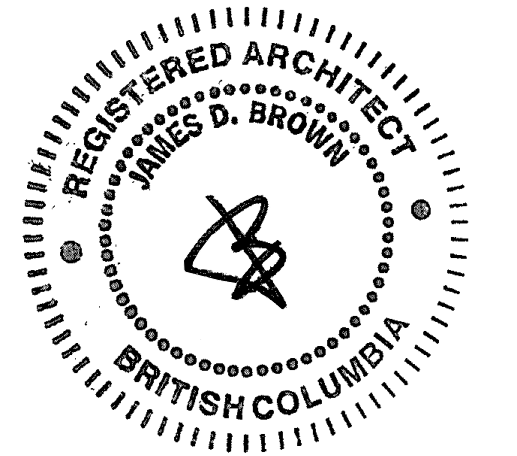
DRAWING NO. **A3.02** REVISION NO. 8



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KEY PLAN



SCHEDULE B
 This forms part of application
 # DP21-0283
 City of Kelowna
 DEVELOPMENT PLANNING
 Planner Initials **KB**

NO.	ISSUE/ REVISION	DATE
1	2023-01-19 RE-ISSUED FOR DEVELOPMENT PERMIT	2021-08-06
2	ISSUED FOR REVIEW	2021-08-13
3	ISSUED FOR REVIEW	2021-08-20
4	ISSUED FOR REVIEW	2021-08-24
5	ISSUED FOR REVIEW	2021-08-23
6	ISSUED FOR REVIEW	2021-11-26
7	ISSUED FOR REVIEW	2021-12-01
8	ISSUED FOR DEVELOPMENT PERMIT	2022-09-26

NOT FOR CONSTRUCTION

PROJECT
TRAINE - BENVOLIN

PROJECT ADDRESS
 2165 BENVOLIN COURT,
 KELOWNA, BC V1W 2C7

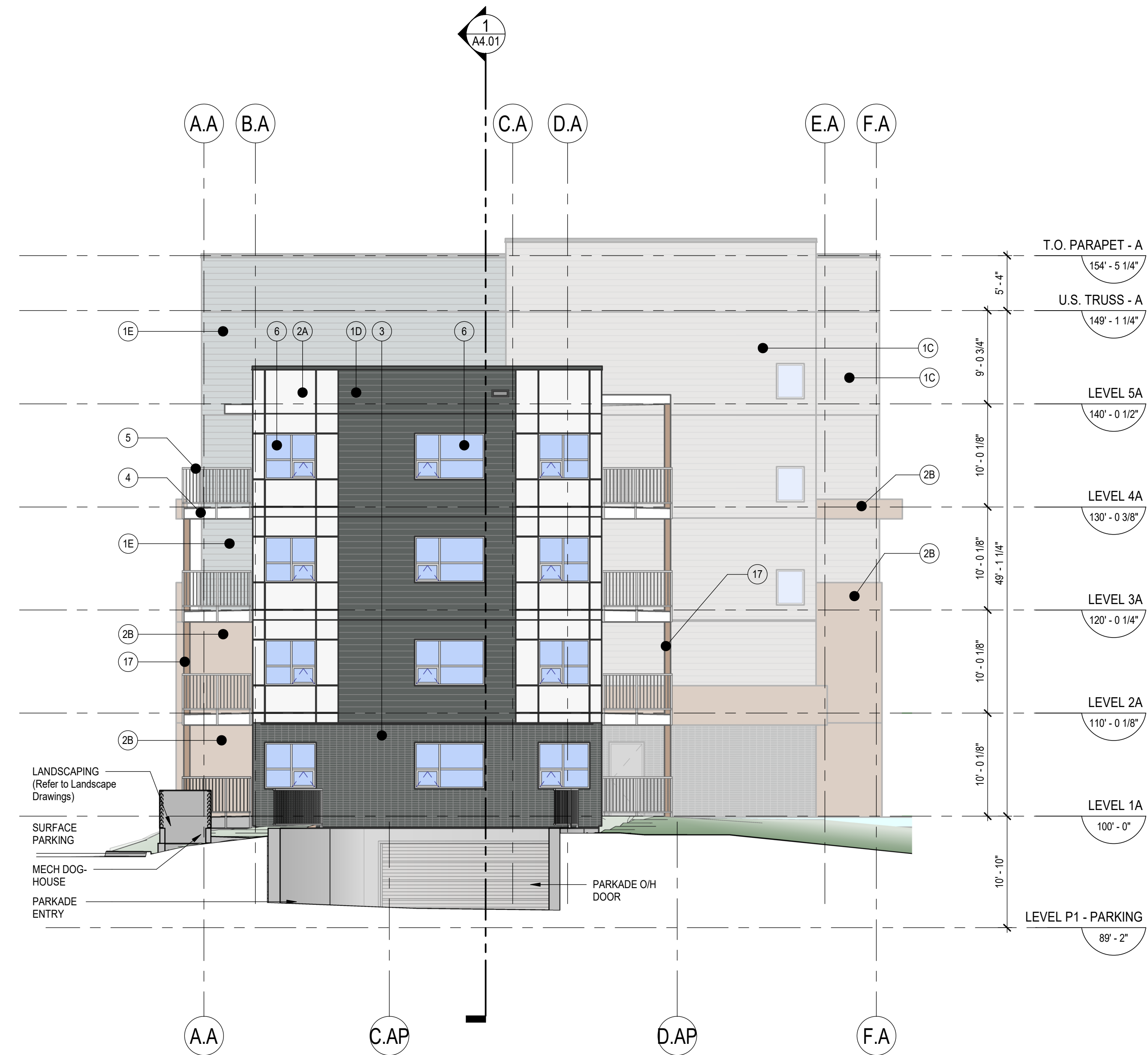
TITLE
**BUILDING A -
 ELEVATIONS (E&W)**

PROJECT NO. 221-124 **DRAWN** Author **CHECKED** Checker

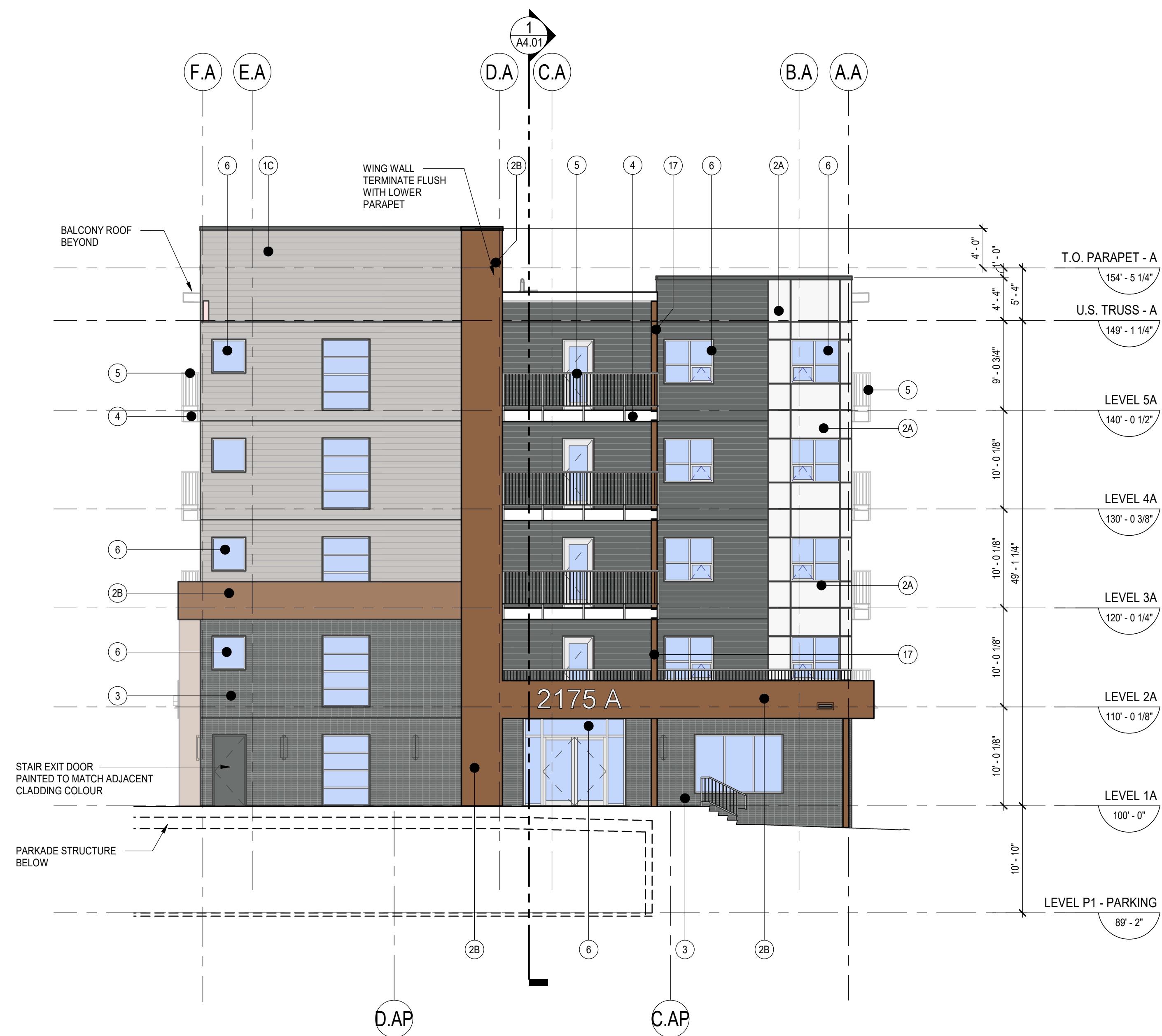
DRAWING NO. **A3.03** **REVISION NO.** 8

EXTERIOR BUILDING MATERIALS LEGEND

- 1A FIBERCEMENT BOARD LAP CLADDING (HARDIE, ARCTIC WHITE, CEDARMILL FINISH)
- 1B FIBERCEMENT BOARD LAP CLADDING (HARDIE, SPICY MUSTARD, CEDARMILL FINISH)
- 1C FIBERCEMENT BOARD LAP CLADDING (HARDIE, GRAY, CEDARMILL FINISH)
- 1D FIBERCEMENT BOARD LAP CLADDING (HARDIE, IRON GRAY, CEDARMILL FINISH)
- 1E FIBERCEMENT BOARD LAP CLADDING (HARDIE, BOOTHBAY BLUE, CEDARMILL FINISH)
- 2A FIBERCEMENT PANEL CLADDING (HARDIE, ARCTIC WHITE, SMOOTH FINISH)
- 2B FIBERCEMENT PANEL CLADDING (HARDIE, SPICY MUSTARD, SMOOTH FINISH)
- 3 THIN BRICK CLADDING (BRAMPTON BRICK, GRAPHITE, STACK BOND, METRIC PREMIER PLUS - 90 x 79 x 257mm)
- 4 BALCONY FASCIA BOARD - FIBERCEMENT PANEL CLADDING, COLOUR TO MATCH ADJACENT CLADDING
- 5 METAL GUARDRAIL - METAL PICKETS, COLOUR: BLACK
- 6 PVC WINDOW - DOUBLE GLAZED, WHITE FRAME
- 7 THERMALLY BROKEN, DOUBLE GLAZED, LOW-E CLEAR ANODIZED GLAZING STOREFRONT GLAZING SYSTEM
- 8 OVERHEAD DOOR - COLOUR: CHARCOAL
- 9 METAL DOOR - COLOUR: CHARCOAL
- 10 ALUMINUM GLAZED ENTRY DOOR - CLEAR VISION GLASS
- 11 HIGH IMPACT EIFS - COLOUR: CONCRETE GREY
- 12 PREFINISHED METAL LOUVER RTU SCREEN
- 13 PREFINISHED ALUMINUM POSTS C/W HORIZONTAL COMPOSITE BOARDS, STAINED, TIMBERTECH VINTAGE COLLECTION, COLOUR: WEATHERED TEAK
- 14 PREFINISHED METAL CAP FLASHING, 'BLACK'
- 15 MECHANICAL VENT WALL LOUVER, 'BLACK'
- 16 EMERGENCY OVERFLOW ROOF SCUPPER, 'BLACK'
- 17 WOOD POST - PROTECTIVE STAIN FINISH



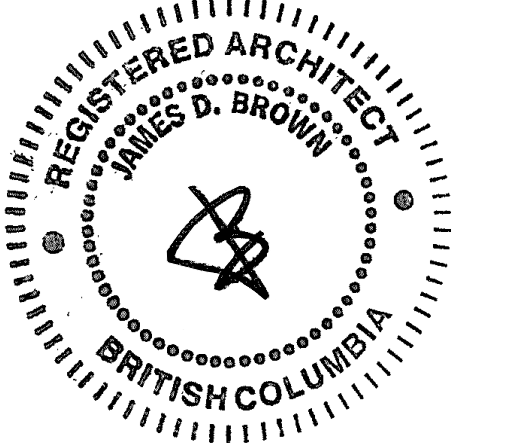
2 WEST ELEVATION
 A3.03 SCALE: 1/8" = 1'-0"



1 EAST ELEVATION
 A3.03 SCALE: 1/8" = 1'-0"

NOTE
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KEY PLAN



EXTERIOR BUILDING MATERIALS LEGEND

- (1A) FIBRECEMENT BOARD LAP CLADDING (HARDIE, ARCTIC WHITE, CEDARMILL FINISH)
- (1B) FIBRECEMENT BOARD LAP CLADDING (HARDIE, GRAY, CEDARMILL FINISH)
- (1C) FIBRECEMENT BOARD LAP CLADDING (HARDIE, IRON GRAY CEDARMILL FINISH)
- (1D) FIBRECEMENT BOARD LAP CLADDING (HARDIE, BOOTHBAY BLUE CEDARMILL FINISH)
- (2A) FIBRECEMENT PANEL CLADDING (HARDIE, ARCTIC WHITE, SMOOTH FINISH)
- (2B) METAL WOOD APPARENT PANEL CLADDING (PRODUCT, COLOUR, FINISH)
- (3) THIN BRICK CLADDING (BRAMPTON BRICK, GRAPHITE, STACK BOND, THIN BRICK 13 x 79 x 257mm)
- (4) BALCONY FASCIA BOARD - FIBRECEMENT PANEL CLADDING, (HARDIE, ARCTIC WHITE)
- (5) METAL GUARDRAIL - METAL PICKETS, BLACK
- (6) PVC WINDOW - DOUBLE GLAZED, WHITE FRAME
- (7) THERMALLY BROKEN, DOUBLE GLAZED, LOW-E CLEAR ANODIZED GLAZING STOREFRONT GLAZING SYSTEM
- (8) OVERHEAD DOOR - COLOUR: CHARCOAL
- (9) METAL DOOR - COLOUR: CHARCOAL
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- (14) PREFINISHED METAL CAP FLASHING, 'BLACK'
- (15) MECHANICAL VENT WALL LOUVER, 'WHITE' ADJACENT TO WHITE CLADDING, 'BLACK' IN ALL OTHER CASE
- (16A) EMERGENCY OVERFLOW ROOF SCUPPER, 'BLACK'
- (16B) BALCONY SCUPPER, COLOUR TO MATCH ADJACENT CLADDING
- (17) WOOD POST - BUILT-UP 2x6 POST CLAD IN FIBRECEMENT PANEL, COLOUR TO MATCH WOOD TONE CLADDING
- (18) THROUGH WALL FLASHING, COLOUR TO MATCH ADJACENT CLADDING



2 NORTH ELEVATION
A3.11 SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION
A3.11 SCALE: 1/8" = 1'-0"

SCHEDULE B
This forms part of application
DP21-0283
Planner Initials **KB**
City of Kelowna
DEVELOPMENT PLANNING

NO.	ISSUE/ REVISION	DATE
1	ISSUED FOR REVIEW	2021-08-06
2	RE-ISSUED FOR DEVELOPMENT PERMIT	2021-08-13
3	ISSUED FOR REVIEW	2021-08-20
4	ISSUED FOR REVIEW	2021-08-24
5	ISSUED FOR REVIEW	2021-08-23
6	ISSUED FOR REVIEW	2021-11-26
7	ISSUED FOR REVIEW	2021-12-01
8	ISSUED FOR DEVELOPMENT PERMIT	2022-09-26

NOT FOR CONSTRUCTION

PROJECT
TRaine - LA VIDA

PROJECT ADDRESS
2155 BENVOLUN COURT,
KELOWNA, BC V1W 2C7

TITLE

BUILDING B - ELEVATIONS (N)

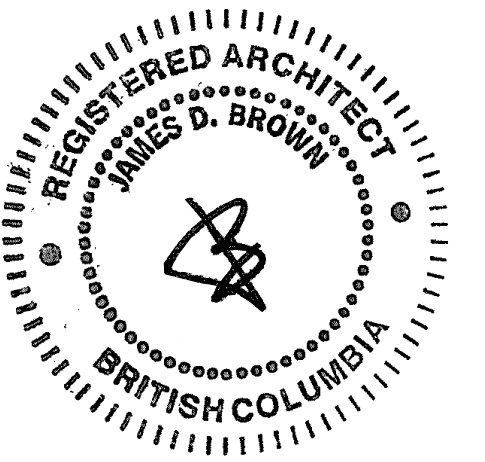
PROJECT NO. 221-124
DRAWN Author
CHECKED Checker

DRAWING NO. **A3.11**
REVISION NO. 8

NOTE

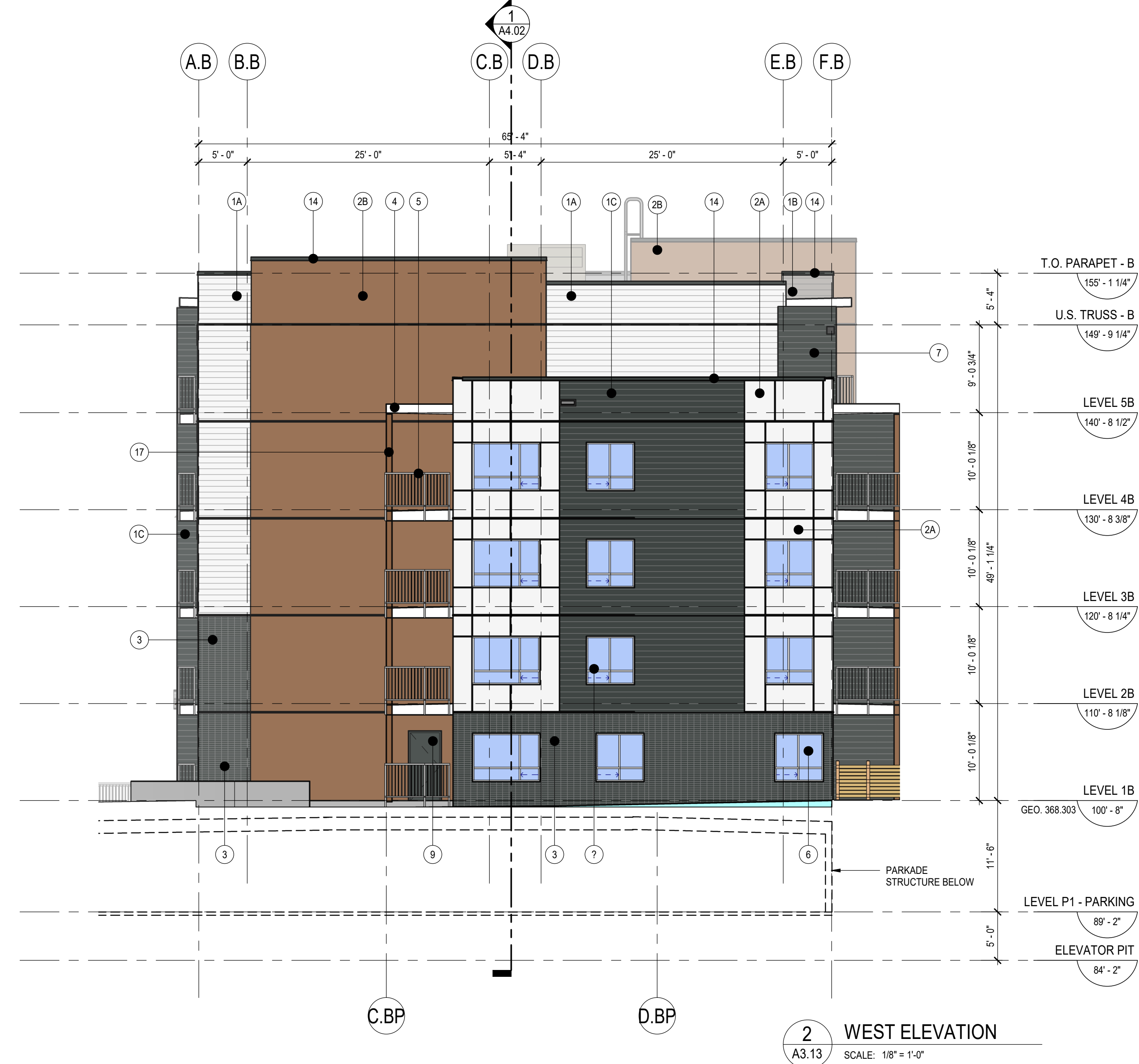
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KEY PLAN

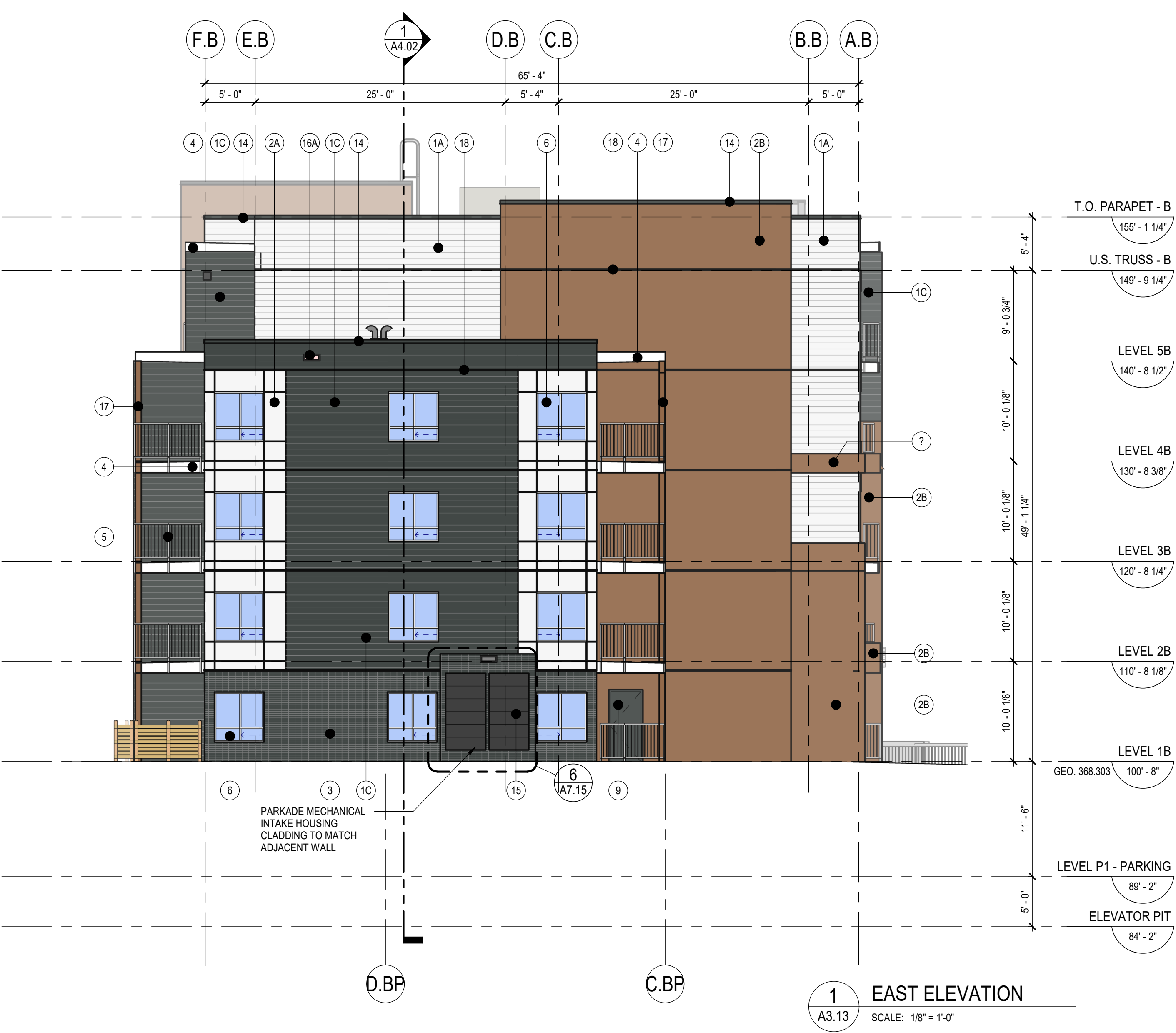


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2 WEST ELEVATION
A3.13 SCALE: 1/8" = 1'-0"



1 EAST ELEVATION
A3.13 SCALE: 1/8" = 1'-0"

SCHEDULE B
This forms part of application # DP21-0283
Planner Initials **KB**
City of Kelowna DEVELOPMENT PLANNING

NO.	ISSUE/ REVISION	DATE
1	2023-01-19 RE-ISSUED FOR DEVELOPMENT PERMIT	2021-08-06
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7	ISSUED FOR REVIEW	2021-12-01
8	ISSUED FOR DEVELOPMENT PERMIT	2022-09-26

NOT FOR CONSTRUCTION

PROJECT
TRaine - LA VIDA

PROJECT ADDRESS
2165 BENVOLUN COURT,
KELOWNA, BC V1W 2C7

TITLE
BUILDING B - ELEVATIONS (E&W)

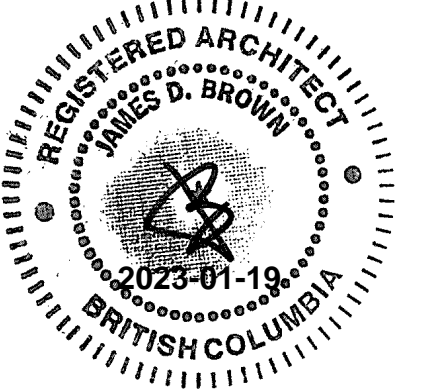
PROJECT NO. 221-124 DRAWN Author CHECKED Checker

DRAWING NO. **A3.13** REVISION NO. **8**

NOTE

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KEY PLAN



SCHEDULE B

This forms part of application # DP21-0283

Planner Initials **KB**

2023-01-19 RE-ISSUED FOR DEVELOPMENT PERMIT	
NO.	ISSUE/ REVISION

NOT FOR CONSTRUCTION

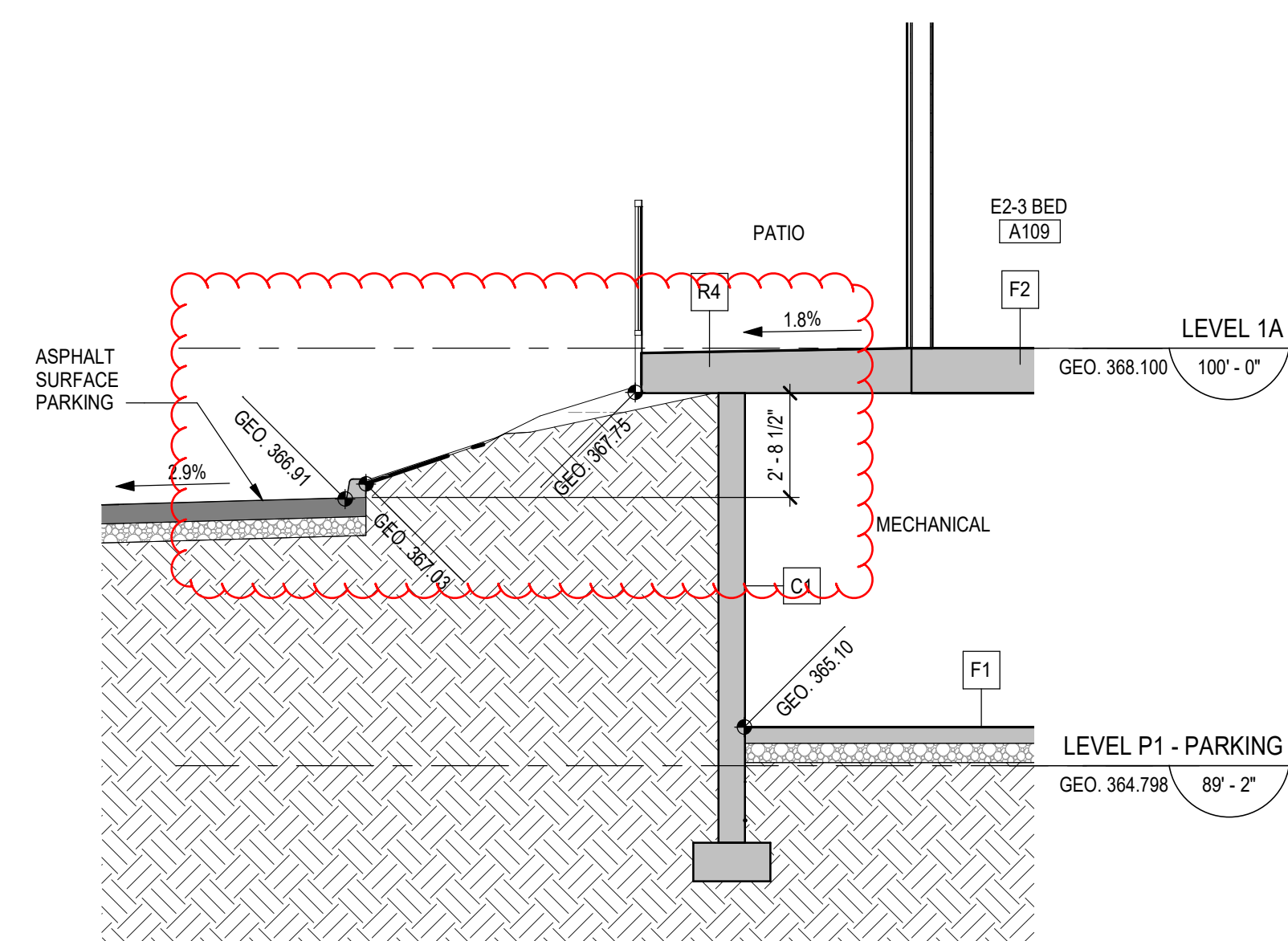
PROJECT
TRaine - LA VIDA

PROJECT ADDRESS
2165 BENVOLJIN COURT,
KELOWNA, BC V1W 2C7

TITLE
SITE DETAILS

PROJECT NO.	DRAWN	CHECKED
221-124	Author	Checker

DRAWING NO.	REVISION NO.
A1.06	8



9 BUILDING A PATIO AT GRADE
A1.06 SCALE: 1/4" = 1'-0"



BUILDING 1 & 2
VIEW FROM SOUTHWEST
SCALE: NTS



BUILDING 2
VIEW FROM SOUTHEAST
SCALE: NTS



BUILDING 2
VIEW FROM SOUTHEAST
SCALE: NTS

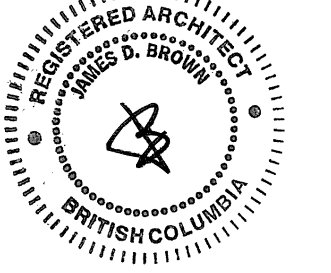


BUILDING 2
VIEW FROM SOUTHWEST
SCALE: NTS

seal

NOT FOR CONSTRUCTION

consultants




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SCHEDULE B

This forms part of application
DP21-0283

Planner Initials **KB**



Issue No.	Date	Description
1	2021-08-06	ISSUED FOR REVIEW
2	2021-08-13	ISSUED FOR REVIEW
3	2021-08-20	ISSUED FOR REVIEW
4	2021-08-24	ISSUED FOR REVIEW
5	2021-09-23	ISSUED FOR REVIEW
6	2021-11-26	ISSUED FOR REVIEW
7	2021-12-01	ISSUED FOR REVIEW
8	2022-09-26	ISSUED FOR DEVELOPMENT PERMIT
	2023-01-19	RE-ISSUED FOR DEVELOPMENT PERMIT

client



project title
**BENVOULIN COURT
MULTI FAMILY**
2165 BENVOLIN COURT
KELOWNA, BC

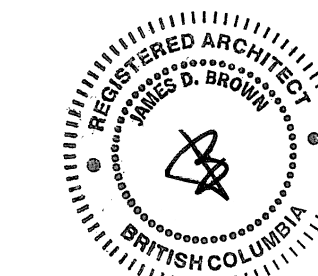
drawing title

PERSPECTIVE VIEWS

scale: NTS
drawn by:
checked by:
project no: 221-124
date issued: 2022-09-26

re-issue no:  sheet no: **SK0.02**

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BUILDING 1 & 2
 VIEW FROM SOUTHWEST
 SCALE: NTS



BUILDING 1 & 2
 VIEW FROM NORTHWEST
 SCALE: NTS

SCHEDULE B

This forms part of application # DP21-0283

Planner Initials **KB**

Issue No.	Date	Description
1	2021-08-06	ISSUED FOR REVIEW
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	2023-01-19	RE-ISSUED FOR DEVELOPMENT PERMIT



**BENVOULIN COURT
 MULTI FAMILY**

2165 BENVOLIN COURT
 KELOWNA, BC

PERSPECTIVE VIEWS

scale: NTS

drawn by:

checked by:

project no: 221-124

date issued: 2022-09-26

re-issue no:

sheet no:

8

SK0.03



BUILDING 1 & 2
 VIEW FROM SOUTH
 SCALE: NTS



BUILDING 1 & 2
 VIEW FROM NORTHWEST
 SCALE: NTS

0 20 30 40 50 M



EXISTING TREE TO REMAIN, PROTECT IN PLACE (TYP.)
 DECORATIVE SCREENING PLANTINGS (TYP.)
 DECIDUOUS TREE PLANTING (GLEDITSIA TRIACANTHOS 'IMPCOLE') (TYP.)
 DECORATIVE SHRUB, PERENNIAL & ORNAMENTAL GRASS PLANTINGS (TYP.)

MIX OF DECIDUOUS AND CONIFEROUS SHRUB PLANTINGS FOR SCREENING ALONG PARKING AREA/RAMP
 CONIFEROUS TREE PLANTING (PINUS CONTORTA LATIFOLIA) (TYP.)

MOLOK WASTE & RECYCLING BINS
 CONCRETE PAVING (TYP.)
 PLAYGROUND (TYP.)
 TRELLIS (TYP.)
 RAISED PLANTER (TYP.)
 SMALL DECIDUOUS TREE PLANTING (CORNUS KOUSA 'SUMMER GOLD') (TYP.)

COMMUNITY GARDEN AREA
 FENCED DOG RUN (TYP.)
 BENCH (TYP.)
 MECHANICAL DOGHOUSE (TYP.)

DEVELOPMENT SIGNAGE
 DECORATIVE SCREEN (TYP.)
 RAMP (TYP.)
 CONCRETE STAIRS (TYP.)

DECORATIVE SPLIT RAIL FENCE (TYP.)
 SMALL FEATURE SHRUB PLANTING (HIBISCUS 'LIL' KIM VIOLET') (TYP.)
 MEDIUM SHRUB PLANTING (FORSYTHIA 'NORTHERN GOLD') (TYP.)

SMALL DECIDUOUS TREE PLANTING (SYRINGA RETICULATA 'IVORY SILK') (TYP.)
 DECIDUOUS TREE PLANTING (PLATANUS X ACERIFOLIA 'BLOODGOOD') (TYP.)
 DECIDUOUS TREE PLANTING (CARPINUS BETULUS 'FASTIGIATA') (TYP.)
 CONIFEROUS TREE PLANTING (PINUS CONTORTA LATIFOLIA) (TYP.)
 CONIFEROUS TREE PLANTING (ACER RUBRUM 'RED SUNSET') (TYP.)

DECORATIVE SHRUB PLANTINGS (TYP.)
 DECORATIVE SCREEN (TYP.)

- ### NOTES
- PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED THE CANADIAN LANDSCAPE STANDARD. ALL OFF-SITE LANDSCAPE WORKS TO MEET CITY OF KELOWNA BYLAW 7900 STANDARDS.
 - ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.
 - TREE AND SHRUB BEDS TO BE DRESSED IN A MINIMUM 75mm WOOD MULCH. DO NOT PLACE WEED MAT UNDERNEATH TREE AND SHRUB BEDS.
 - TREE AND SHRUB BEDS TO RECEIVE A MINIMUM 300mm DEPTH TOPSOIL PLACEMENT. TURF TO RECEIVE A MINIMUM OF 150mm DEPTH TOPSOIL PLACEMENT.
 - TURF AREAS FROM SOD SHALL BE NO. 1 GRADE GROWN FROM CERTIFIED SEED OF IMPROVED CULTIVARS REGISTERED FOR SALE IN B.C. AND SHALL BE TOLERANT OF DROUGHT CONDITIONS. A MINIMUM OF 100mm DEPTH OF GROWING MEDIUM IS REQUIRED BENEATH TURF AREAS. TURF AREAS SHALL MEET EXISTING GRADES AND HARD SURFACES FLUSH.
 - SITE GRADING AND DRAINAGE WILL ENSURE THAT ALL STRUCTURES HAVE POSITIVE DRAINAGE AND THAT NO WATER OR LOOSE IMPEDIMENTS WILL BE DISCHARGED FROM THE LOT ONTO ADJACENT PUBLIC, COMMON, OR PRIVATE PROPERTIES.

TREE & LANDSCAPING PLANTING REQUIREMENTS

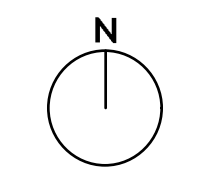
LANDSCAPING STANDARDS	ZONE	PROPOSED
1. MIN. TREE AMOUNT	39	39
2. MIN. DECIDUOUS TREE CALIPER	- LARGE:	6cm
	- MEDIUM:	5cm
	- SMALL:	4cm
3. MIN. CONIFEROUS TREE HEIGHT	250cm	250cm
4. MIN. RATIO BETWEEN TREE SIZE	- LARGE:	MIN. 50%
	- MEDIUM:	NO MIN. OR MAX.
	- SMALL:	MAX. 25%
5. MIN. GROWING MEDIUM AREA		76.6%
6. MIN. GROWING MEDIUM VOLUME PER TREE LANDSCAPE GRADED AREA	- LARGE:	SINGLE: 30m ³ ; MULTIPLE: 25m ³
	- MEDIUM:	SINGLE: 20m ³ ; MULTIPLE: 18m ³
	- SMALL:	SINGLE: 15m ³ ; MULTIPLE: 12m ³
7. LANDSCAPE GRADED AREA	- LAWN	MAX. 33%
	- PLANTING AREAS	MAX. 50%
	- CROSS SLOPES	MAX. 2%
	- FENCE HEIGHT	1.2m
FENCE HEIGHT	1.2m	1.5m
RIPARIAN MANAGEMENT AREA	NO	NO
RETENTION OF EXISTING TREES ON SITE	YES	YES, OFF-SITE TREES TO BE RETAINED
SURFACE PARKING LOT	YES	YES
REFUSE & RECYCLE BINS SCREENED	YES	YES
OTHER: *1.5m FENCE IN FRONT OF YARD ALONG MAYER ROAD IS TALLER FOR SCREENING OF REFUSE & RECYCLE BINS		



DEVELOPMENT SIGNAGE PRECEDENT IMAGE

PLANT LIST

BOTANICAL NAME	COMMON NAME	QTY	SIZE/SPACING & REMARKS
TREES			
ACER RUBRUM 'RED SUNSET'	RED SUNSET RED MAPLE	11	5cm CAL
CARPINUS BETULUS 'FASTIGIATA'	COMMON HORN-BEAM	14	5cm CAL
CORNUS KOUSA 'SUMMER GOLD'	SUMMER GOLD DOGWOOD	3	4cm CAL
GLEDITSIA TRIACANTHOS 'IMPCOLE'	IMPERIAL HONEY LOCUST	6	5cm CAL
PINUS CONTORTA LATIFOLIA	LODGEPOLE PINE	20	2.5m MIN. HT.
PLATANUS X ACERIFOLIA 'BLOODGOOD'	LONDON PLANETREE	10	6cm CAL
SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK LILAC	3	4cm CAL
SHRUBS			
BERBERIS THUNBERGI 'MONRY'	SUNSATON JAPANESE BARBERRY	115	#02 CONT. /1.2M O.C. SPACING
CORNUS ALBA 'SIBIRICA VARIEGATA'	SIBERIAN VARIEGATED DOGWOOD	27	#02 CONT. /2.5M O.C. SPACING
EUONYMUS ALATUS 'COMPACTA'	DWARF BURNING BUSH	27	#02 CONT. /2.5M O.C. SPACING
FORSYTHIA 'NORTHERN GOLD'	NORTHERN GOLD FORSYTHIA	4	#02 CONT. /2.1M O.C. SPACING
HIBISCUS SYRIACUS 'LIL KIM VIOLET'	HIBISCUS LIL KIM VIOLET	12	#02 CONT. /1.2M O.C. SPACING
HYDRANGEA MACROPHYLLA 'BALMER'	ENDLESS SUMMER HYDRANGEA	42	#02 CONT. /2.0M O.C. SPACING
MAHONIA AQUIFOLIUM	REGOIN GRAPE HOLLY	52	#02 CONT. /1.8M O.C. SPACING
PANICUM VIRGATUM 'ROSTRAHLBUSCH'	RED SWITCH GRASS	115	#02 CONT. /1.2M O.C. SPACING
PINUS MUCCO 'SLOW GROWING'	SLOW GROWING MUGO PINE	166	#02 CONT. /0.75M O.C. SPACING
ROSA MEDIALAND 'MEIDOMONAC'	BONICA ROSE	166	#02 CONT. /1.0M O.C. SPACING
SPIREA BETULIFOLIA 'TOR'	BIRCHLEAF SPIREA	73	#02 CONT. /1.5M O.C. SPACING
SYMPHORICARPOS ALBUS	SNOWBERRY	42	#02 CONT. /2.0M O.C. SPACING
SYRINGA MEYERI 'PALBIN'	DWARF KOREAN LILAC	42	#02 CONT. /2.0M O.C. SPACING
PERENNIALS, GRASSES & GROUNDCOVERS			
ACHILLEA FILIPENDULINA 'MOONSHINE'	MOONSHINE YARROW	136	#01 CONT. /0.9M O.C. SPACING
ASTILBE JAPONICA 'PEACH BLOSSOM'	PEACH BLOSSOM ASTILBE	136	#01 CONT. /0.9M O.C. SPACING
CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	77	#01 CONT. /1.2M O.C. SPACING
HEMEROCALLIS 'RUBY STELLA'	RUBY STELLA DAYLILY	136	#01 CONT. /0.9M O.C. SPACING
HOSTA 'GUACAMOLE'	GUACAMOLE HOSTA	49	#01 CONT. /1.5M O.C. SPACING
MISCANTHUS SINENSIS 'GRACILLIMUS'	MAIDEN GRASS	49	#01 CONT. /1.5M O.C. SPACING
NEPETA X FAASSENII 'WALKER'S LOW'	WALKER'S LOW CATMINT	111	#01 CONT. /1.0M O.C. SPACING
PANICUM VIRGATUM 'ROSTRAHLBUSCH'	RED SWITCH GRASS	77	#01 CONT. /1.2M O.C. SPACING
PEROVSKIA ATRIPICIFOLIA	RUSSIAN SAGE	77	#01 CONT. /1.2M O.C. SPACING
PICEA ABIES 'LITTLE GEM'	LITTLE GEM NORWAY SPRUCE	136	#01 CONT. /0.9M O.C. SPACING
RUDBECKIA FULGIDA 'GOLDSTURM'	GOLDSTURM CONEFLOWER	136	#01 CONT. /0.9M O.C. SPACING
SEDUM SPECTABILE 'AUTUMN JOY'	AUTUMN JOY STONECROP	136	#01 CONT. /0.9M O.C. SPACING



PROJECT TITLE
2175 BENVOLIN COURT

Kelowna, BC
 DRAWING TITLE
CONCEPTUAL LANDSCAPE PLAN

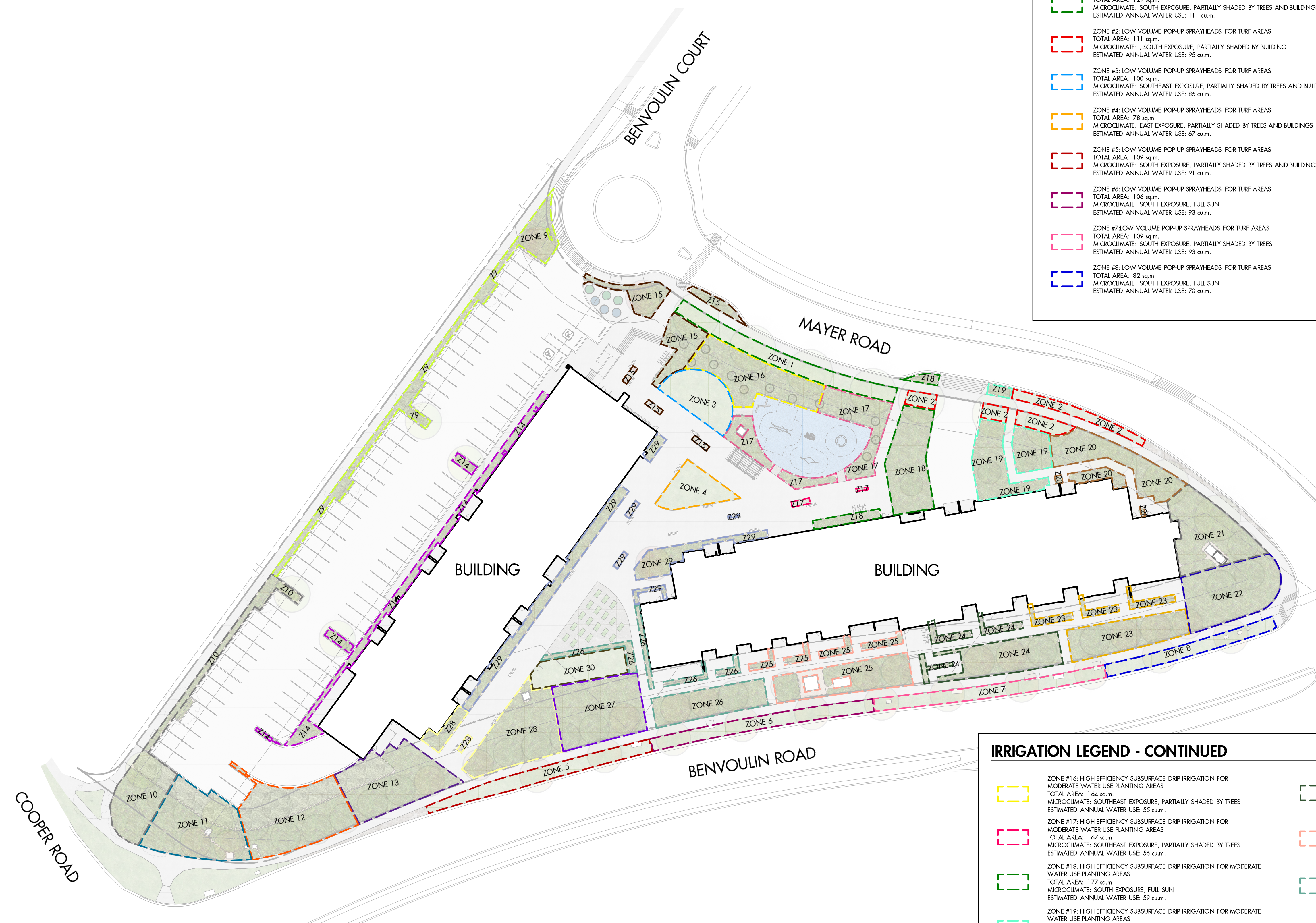
ISSUED FOR / REVISION

NO.	DATE	REVISION
2	22.03.09	Review
3	22.04.13	Review
4	22.04.27	Review
5	22.09.23	Review
6	23.01.18	Review

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L1/2



IRRIGATION LEGEND

<p>ZONE #1: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS TOTAL AREA: 129 sq.m. MICROCLIMATE: SOUTH EXPOSURE, PARTIALLY SHADED BY TREES AND BUILDINGS ESTIMATED ANNUAL WATER USE: 111 cu.m.</p>	<p>ZONE #9: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS TOTAL AREA: 159 sq.m. MICROCLIMATE: SOUTHWEST EXPOSURE, PARTIALLY SHADED BY TREES ESTIMATED ANNUAL WATER USE: 53 cu.m.</p>
<p>ZONE #2: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS TOTAL AREA: 111 sq.m. MICROCLIMATE: SOUTH EXPOSURE, PARTIALLY SHADED BY BUILDING ESTIMATED ANNUAL WATER USE: 95 cu.m.</p>	<p>ZONE #10: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS TOTAL AREA: 188 sq.m. MICROCLIMATE: SOUTHWEST EXPOSURE, PARTIALLY SHADED BY TREES ESTIMATED ANNUAL WATER USE: 63 cu.m.</p>
<p>ZONE #3: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS TOTAL AREA: 100 sq.m. MICROCLIMATE: SOUTHEAST EXPOSURE, PARTIALLY SHADED BY TREES AND BUILDING ESTIMATED ANNUAL WATER USE: 86 cu.m.</p>	<p>ZONE #11: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS TOTAL AREA: 207 sq.m. MICROCLIMATE: SOUTH EXPOSURE, PARTIALLY SHADED BY TREES ESTIMATED ANNUAL WATER USE: 69 cu.m.</p>
<p>ZONE #4: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS TOTAL AREA: 78 sq.m. MICROCLIMATE: EAST EXPOSURE, PARTIALLY SHADED BY TREES AND BUILDINGS ESTIMATED ANNUAL WATER USE: 67 cu.m.</p>	<p>ZONE #12: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS TOTAL AREA: 231 sq.m. MICROCLIMATE: SOUTH EXPOSURE, PARTIALLY SHADED BY TREES ESTIMATED ANNUAL WATER USE: 77 cu.m.</p>
<p>ZONE #5: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS TOTAL AREA: 109 sq.m. MICROCLIMATE: SOUTH EXPOSURE, PARTIALLY SHADED BY TREES AND BUILDINGS ESTIMATED ANNUAL WATER USE: 91 cu.m.</p>	<p>ZONE #13: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS TOTAL AREA: 197 sq.m. MICROCLIMATE: SOUTH EXPOSURE, PARTIALLY SHADED BY TREES ESTIMATED ANNUAL WATER USE: 66 cu.m.</p>
<p>ZONE #6: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS TOTAL AREA: 106 sq.m. MICROCLIMATE: SOUTH EXPOSURE, FULL SUN ESTIMATED ANNUAL WATER USE: 93 cu.m.</p>	<p>ZONE #14: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS TOTAL AREA: 149 sq.m. MICROCLIMATE: WEST EXPOSURE, PARTIALLY SHADED BY TREES ESTIMATED ANNUAL WATER USE: 50 cu.m.</p>
<p>ZONE #7: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS TOTAL AREA: 82 sq.m. MICROCLIMATE: SOUTH EXPOSURE, PARTIALLY SHADED BY TREES ESTIMATED ANNUAL WATER USE: 93 cu.m.</p>	<p>ZONE #15: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS TOTAL AREA: 146 sq.m. MICROCLIMATE: NORTHEAST EXPOSURE, PARTIALLY SHADED BY TREES ESTIMATED ANNUAL WATER USE: 49 cu.m.</p>
<p>ZONE #8: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS TOTAL AREA: 88 sq.m. MICROCLIMATE: SOUTH EXPOSURE, FULL SUN ESTIMATED ANNUAL WATER USE: 70 cu.m.</p>	

IRRIGATION LEGEND - CONTINUED

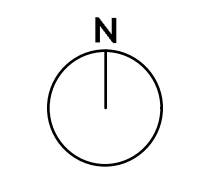
<p>ZONE #16: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS TOTAL AREA: 165 sq.m. MICROCLIMATE: SOUTHEAST EXPOSURE, PARTIALLY SHADED BY TREES ESTIMATED ANNUAL WATER USE: 55 cu.m.</p>	<p>ZONE #24: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS TOTAL AREA: 165 sq.m. MICROCLIMATE: SOUTH EXPOSURE, PARTIALLY SHADED BY TREES ESTIMATED ANNUAL WATER USE: 55 cu.m.</p>
<p>ZONE #17: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS TOTAL AREA: 167 sq.m. MICROCLIMATE: SOUTHEAST EXPOSURE, PARTIALLY SHADED BY TREES ESTIMATED ANNUAL WATER USE: 56 cu.m.</p>	<p>ZONE #25: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS TOTAL AREA: 178 sq.m. MICROCLIMATE: SOUTH EXPOSURE, PARTIALLY SHADED BY TREES ESTIMATED ANNUAL WATER USE: 59 cu.m.</p>
<p>ZONE #18: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS TOTAL AREA: 177 sq.m. MICROCLIMATE: SOUTH EXPOSURE, FULL SUN ESTIMATED ANNUAL WATER USE: 59 cu.m.</p>	<p>ZONE #26: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS TOTAL AREA: 176 sq.m. MICROCLIMATE: SOUTH EXPOSURE, PARTIALLY SHADED BY TREES ESTIMATED ANNUAL WATER USE: 59 cu.m.</p>
<p>ZONE #19: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS TOTAL AREA: 164 sq.m. MICROCLIMATE: NORTHEAST EXPOSURE, PARTIALLY SHADED BY TREES AND BUILDING ESTIMATED ANNUAL WATER USE: 55 cu.m.</p>	<p>ZONE #27: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS TOTAL AREA: 187 sq.m. MICROCLIMATE: SOUTH EXPOSURE, PARTIALLY SHADED BY TREES ESTIMATED ANNUAL WATER USE: 62 cu.m.</p>
<p>ZONE #20: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS TOTAL AREA: 158 sq.m. MICROCLIMATE: NORTHEAST EXPOSURE, PARTIALLY SHADED BY TREES AND BUILDING ESTIMATED ANNUAL WATER USE: 53 cu.m.</p>	<p>ZONE #28: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS TOTAL AREA: 209 sq.m. MICROCLIMATE: SOUTH EXPOSURE, PARTIALLY SHADED BY TREES AND BUILDING ESTIMATED ANNUAL WATER USE: 70 cu.m.</p>
<p>ZONE #21: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS TOTAL AREA: 168 sq.m. MICROCLIMATE: EAST EXPOSURE, PARTIALLY SHADED BY TREES ESTIMATED ANNUAL WATER USE: 56 cu.m.</p>	<p>ZONE #29: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS TOTAL AREA: 202 sq.m. MICROCLIMATE: NORTHWEST EXPOSURE, PARTIALLY SHADED BY TREES AND BUILDING ESTIMATED ANNUAL WATER USE: 67 cu.m.</p>
<p>ZONE #22: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS TOTAL AREA: 181 sq.m. MICROCLIMATE: EAST EXPOSURE, PARTIALLY SHADED BY TREES AND BUILDING ESTIMATED ANNUAL WATER USE: 60 cu.m.</p>	<p>ZONE #30: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS TOTAL AREA: 88 sq.m. MICROCLIMATE: SOUTH EXPOSURE, PARTIALLY SHADED BY TREES AND BUILDING ESTIMATED ANNUAL WATER USE: 75 cu.m.</p>
<p>ZONE #23: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS TOTAL AREA: 171 sq.m. MICROCLIMATE: SOUTH EXPOSURE, PARTIALLY SHADED BY TREES AND BUILDING ESTIMATED ANNUAL WATER USE: 57 cu.m.</p>	

- ### IRRIGATION NOTES
- IRRIGATION PRODUCTS AND INSTALLATION METHODS SHALL MEET OR EXCEED THE REQUIREMENTS OF THE WATER USE REGULATION BYLAW NO. 10480 AND THE SUPPLEMENTARY SPECIFICATIONS IN THE CITY OF KELOWNA BYLAW 7900 (PART 6, SCHEDULE 5).
 - THE IRRIGATION SYSTEM SHALL MEET THE REQUIREMENTS, REGULATIONS, AND BYLAWS OF THE WATER PURVEYOR.
 - THE IRRIGATION SYSTEM SHALL BE EQUIPPED WITH AN APPROVED BACKFLOW PREVENTION DEVICE, WATER METER, AND SHUT OFF VALVE LOCATED OUTSIDE THE BUILDING ACCESSIBLE TO THE CITY.
 - AN APPROVED SMART CONTROLLER SHALL BE INSTALLED. THE IRRIGATION SCHEDULING TIMES SHALL UTILIZE A MAXIMUM ET VALUE OF 7" / MONTH (KELOWNA JULY ET), TAKING INTO CONSIDERATION SOIL TYPE, SLOPE, AND MICROCLIMATE.
 - DRIP LINE AND EMITTERS SHALL INCORPORATE TECHNOLOGY TO LIMIT ROOT INTRUSION.
 - IRRIGATION SLEEVES SHALL BE INSTALLED TO ROUTE IRRIGATION LINES UNDER HARD SURFACES AND FEATURES.
 - IRRIGATION PIPE SHALL BE SIZED TO ALLOW FOR A MAXIMUM FLOW OF 1.5m /SEC.
 - A FLOW SENSOR AND MASTER VALVE SHALL BE CONNECTED TO THE CONTROLLER AND PROGRAMMED TO STOP FLOW TO THE SYSTEM IN CASE OF AN IRRIGATION WATER LEAK.

WATER CONSERVATION CALCULATIONS

LANDSCAPE MAXIMUM WATER BUDGET (WMB) = 2,888 cu.m. / year
ESTIMATED LANDSCAPE WATER USE (WU) = 2,185 cu.m. / year
WATER BALANCE = 703 cu.m. / year
*REFER ATTACHED IRRIGATION APPLICATION FOR DETAILED CALCULATIONS

SCHEDULE C
This forms part of application
DP21-0283
Planner Initials **KB**
City of Kelowna DEVELOPMENT PLANNING



PROJECT TITLE
2175 BENVOLIN COURT

LOCATION
Kelowna, BC

DRAWING TITLE
**WATER CONSERVATION/
IRRIGATION PLAN**

ISSUED FOR / REVISION	DATE	REVISION
2	22.03.09	Review
3	22.04.13	Review
4	22.04.27	Review
5	22.09.23	Review
6	23.01.18	Review

PROJECT NO	21-181
DESIGN BY	KM
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DRAWING NUMBER

L2/2



FORM & CHARACTER – DEVELOPMENT PERMIT GUIDELINES

Chapter 2 - The Design Foundations: apply to all projects and provide the overarching principles for supporting creativity, innovation and design excellence in Kelowna.

- Facilitate Active Mobility
- Use Placemaking to Strengthen Neighbourhood Identity
- Create Lively and Attractive Streets & Public Spaces
- Design Buildings to the Human Scale
- Strive for Design Excellence

The General Residential and Mixed Use Guidelines: provide the key guidelines that all residential and mixed use projects should strive to achieve to support the Design Foundations.

- The General Guidelines are supplement by typology-specific guidelines (e.g., Townhouses & Infill on page 18-19, High-Rise Residential and Mixed-Use on page 18-42), which provide additional guidance about form and character.

Chapter 2 - Design Foundations

Apply To All Projects

Page 18-8

Section 2.1 - General Residential and Mixed Use Design Guidelines

Page 18-9

Section 2.2 - Achieving High Performance

Page 18-17

Chapter 3
Townhouses & Infill

Page 18-19

Chapter 4
Low & Mid-Rise
Residential &
Mixed Use

Page 18-34

Chapter 5
High-Rise
Residential &
Mixed Use

Page 18-42

*Note: Refer to the Design Foundations and the Guidelines associated with the specific building typology.

FORM & CHARACTER - DEVELOPMENT PERMIT GUIDELINES

Consideration has been given to the following guidelines as identified in Chapter 18 of the City of Kelowna 2040 Official Community Plan:

RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE <i>(1 is least complying & 5 is highly complying)</i>	N/A	1	2	3	4	5
CHAPTER 4.0: LOW & MID-RISE RESIDENTIAL & MIXED USE						
4.1 Guidelines						
4.1.1 Relationship to the Street						
Lobby area and main building entrance is clearly visible from the fronting street and sidewalk.					✓	
Wherever possible, blank walls at grade are not encouraged.						✓
Enclosed parking garages are located away from street frontages or public open space.						✓
Ground oriented units with entries or glazing have been provided to avoid the blank/dead frontage along the street.						✓
When unavoidable, blank walls have been screened with landscaping or have been incorporated with a patio/café or special materials have been provided to make them visually interesting.	✓					
Commercial & Mixed-use Buildings						
Proposed built form has a continuous active and transparent retail frontage at grade and provides a visual connection between the public and private realm.	✓					
Buildings have been sited using a common 'build to' line at or near the front property line to maintain a continuous street frontage. Some variation (1-3 m maximum) can be accommodated in ground level set backs to support pedestrian and retail activity by, for example, incorporating a recessed entryway, small entry plaza, or sidewalk café.	✓					
Frequent entrances (every 15 m maximum) into commercial street frontages have been incorporated to create punctuation and rhythm along the street, visual interest, and support pedestrian activity.	✓					
Residential and Mixed-use Buildings						
Residential buildings at the ground floor have a set back between 3-5 m from the property line to create a semi-private entry or transition zone to individual units and to allow for an elevated front entryway or raised patio.						✓
A maximum 1.2 m desired height (e.g., 5-6 steps) for front entryways has been provided. Where the water table requires this to be higher, in these cases, larger patio has been provided and parking has been screened with ramps, stairs, and landscaping.						✓
Ground floor units accessible from the fronting street or public open spaces have been provided with individual entrances.						✓
Buildings are sited and oriented so that windows and balconies are overlooking public streets, parks, walkways, and shared amenity spaces while minimizing views into private residences.						✓

RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE <i>(1 is least complying & 5 is highly complying)</i>	N/A	1	2	3	4	5
4.1.2 Scale and Massing						
Proposed residential building façade has a length of 60 m (40 m length is preferred).		✓				
Buildings over 40 m in length are incorporating significant horizontal and vertical breaks in façade.			✓			
Commercial building facades are incorporating significant break at approximately 35 m intervals.	✓					
Proposed residential building has a maximum width of 24 m.						✓
Seven to Twelve Storey Buildings						
Proposed building is provided with a 2-3 storey podium at the base of the building.	✓					
Built form's upper storeys have a minimum 2 m stepback and more generous upper storey terraces facing south, and west are provided.	✓					
Minimum 30 m building separation between primary building facades is provided.	✓					
Courtyards and mid-block connections within building sideyards are 6 m wide (minimum).	✓					
4.1.3 Site Planning						
On sloping sites, building floor levels are following the natural grade and avoiding the blank wall situation.	✓					
Buildings are sited to be parallel to the street and have a distinct front-to-back orientation to public street and open spaces and to rear yards, parking, and/or interior courtyards.					✓	
Building sides that are interfacing with streets, mid-block connections, and other open spaces (building fronts) are positively framing and activating streets and open spaces and supporting pedestrian activity.			✓			
Larger buildings are broken up with mid-block connections which have public accessibility wherever possible.			✓			
Ground floors adjacent to mid block connections have entrances and windows facing the mid block connection.			✓			
4.1.4 Site Servicing, Access, and Parking						
Vehicular access is provided from the lane.	✓					
Where there is no lane, and where the re-introduction of a lane is difficult or not possible, access is provided from the street, provided: <ul style="list-style-type: none"> • Access is from a secondary street, where possible, or from the long face of the block; • Impacts on pedestrians and the streetscape is minimized; and, • There is no more than one curb cut per property. 		✓				
Above grade structure parking should only be provided in instances where the site or high water table does not allow for other parking forms.	✓					

RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE <i>(1 is least complying & 5 is highly complying)</i>	N/A	1	2	3	4	5
When parking cannot be located underground due to the high water table and is to be provided above ground, screen the parking structure from public view as follows: <ul style="list-style-type: none"> On portions of the building that front a retail or main street, line the above ground parking with active retail frontage; On portions of the building that front onto non-retail streets, line the above ground parking with an active residential frontage, such as ground oriented townhouse units; When active frontages are not able to be accommodated, screen parking structures by using architectural or landscaped screening elements; On corner sites, screen the parking structure from public view on both fronting streets using the appropriate strategy listed above. 			✓			
Buildings with ground floor residential may integrate half-storey underground parking to a maximum of 1.2 m above grade, with the following considerations: <ul style="list-style-type: none"> Semi-private spaces should be located above to soften the edge and be at a comfortable distance from street activity; and Where conditions such as the high water table do not allow for this condition, up to 2 m is permitted, provided that entryways, stairs, landscaped terraces, and patios are integrated and that blank walls and barriers to accessibility are minimized. 					✓	
4.1.5 Publicly Accessible and Private Open Spaces						
Publicly accessible private spaces (e.g., private courtyards accessible and available to the public) have been integrated with public open areas to create seamless, contiguous spaces.	✓					
Semi-private open spaces have been located to maximize sunlight penetration, minimize noise disruptions, and minimize 'overlook' from adjacent units.				✓		
Outdoor Amenity Areas: design plazas and parks to: <ul style="list-style-type: none"> Contain 'three edges' (e.g., building frontage on three sides) where possible and be sized to accommodate a variety of activities; Be animated with active uses at the ground level; and, Be located in sunny, south facing areas. 				✓		
Internal courtyard design provides: <ul style="list-style-type: none"> amenities such as play areas, barbecues, and outdoor seating where appropriate. a balance of hardscape and softscape areas to meet the specific needs of surrounding residents and/or users. 						✓
Mid-block connections design includes active frontages, seating, and landscaping.						✓

Rooftop Amenity Spaces						
Shared rooftop amenity spaces (such as outdoor recreation space and rooftop gardens on the top of a parkade) are designed to be accessible to residents and to ensure a balance of amenity and privacy by: <ul style="list-style-type: none"> Limiting sight lines from overlooking residential units to outdoor amenity space areas through the use of pergolas or covered areas where privacy is desired; and Controlling sight lines from the outdoor amenity space into adjacent or nearby residential units. 	✓					
Reduce the heat island effect by including plants or designing a green roof, with the following considerations: <ul style="list-style-type: none"> Secure trees and tall shrubs to the roof deck; and Ensure soil depths and types are appropriate for proposed plants and ensure drainage is accommodated. 		✓				
4.1.6 Building Articulation, Features & Materials						
Articulate building facades into intervals that are a maximum of 15 m wide for mixed-use buildings and 20m wide for residential buildings. Strategies for articulating buildings should consider the potential impacts on energy performance (see 2.2.1), and include: <ul style="list-style-type: none"> Façade Modulation – stepping back or extending forward a portion of the façade to create a series of intervals in the facade; Repeating window patterns at intervals that correspond to extensions and step backs (articulation) in the building facade; Providing a porch, patio, deck, or covered entry for each interval; Providing a bay window or balcony for each interval, while balancing the significant potential for heat loss through thermal bridge connections which could impact energy performance; Changing the roof line by alternating dormers, stepped roofs, gables, or other roof elements to reinforce the modulation or articulation interval; Changing the materials with the change in building plane; and Provide a lighting fixture, trellis, tree, or other landscape feature within each interval. 				✓		
Break up the building mass by incorporating elements that define a building’s base, middle and top.					✓	
Use an integrated, consistent range of materials and colors and provide variety by, for example, using accent colors.						✓
Articulate the facade using design elements that are inherent to the building as opposed to being decorative. For example, create depth in building facades by recessing window frames or partially recessing balconies to allow shadows to add detail and variety as a byproduct of massing.						✓
Incorporate distinct architectural treatments for corner sites and highly visible buildings such as varying the roofline (<i>See Figure 41</i>), articulating the facade, adding pedestrian space, increasing the number and size of windows, and adding awnings and canopies.					✓	

Weather Protection							
Provide weather protection (e.g. awnings, canopies, overhangs, etc.) along all commercial streets and plazas (<i>See Figure 42</i>), with particular attention to the following locations: <ul style="list-style-type: none"> • Primary building entrances, • Adjacent to bus zones and street corners where people wait for traffic lights; • Over store fronts and display windows; and • Any other areas where significant waiting or browsing by people occurs. 							✓
Architecturally-integrate awnings, canopies, and overhangs to the building and incorporate architectural design features of buildings from which they are supported.							✓
Place and locate awnings and canopies to reflect the building's architecture and fenestration pattern.							✓
Place awnings and canopies to balance weather protection with daylight penetration. Avoid continuous opaque canopies that run the full length							✓
Signage							
Provides attractive signage on commercial buildings that identifies uses and shops clearly but which is scaled to the pedestrian rather than the motorist. Some exceptions can be made for buildings located on highways and/or major arterials in alignment with the City's Sign Bylaw.	✓						
Avoid the following types of signage: <ul style="list-style-type: none"> • Internally lit plastic box signs; • Pylon (stand alone) signs; and • Rooftop signs. 	✓						
Uniquely branded or colored signs are encouraged to help establish a special character to different neighbourhoods.	✓						

CITY OF KELOWNA

MEMORANDUM

Date: September 22, 2022
File No.: DP21-0283
To: Urban Planning Management (KB)
From: Development Engineering Manager (NC)
Subject: 2175 Benvoulin Ct.

The Development Engineering Department has the following comments and requirements associated with this Development Permit for the form and character of a multiple dwelling housing. The Development Engineering Technologist for this project is Aaron Sangster.

1. General

- a) Where there is a possibility of a high-water table or surcharging of storm drains during major storm events, non-basement buildings may be required. This must be determined by the engineer and detailed on the Lot Grading Plan required in the drainage section.
- b) The following requirements are valid for two (2) years from the reference date of this memo, or until the application has been closed, whichever occurs first. The City of Kelowna reserves the rights to update/change some or all items in this memo once these time limits have been reached.
- c) The proposed development may require the installation of centralized mail delivery equipment. Please contact Delivery Planning Officer, Canada Post Corporation, 530 Gaston Avenue, Kelowna, BC, V1Y 2K0 (250-763-3558 ext. 2008) to obtain further information and to determine suitable location(s) within the development.
- d) These Development Engineering comments and requirements and are subject to review and or revision for approval by the Ministry of Transportation (MOTI) Infrastructure.

2. Domestic Water and Fire Protection

- a) 2175 Benvoulin Ct. is currently serviced with a 200mm water services. The developer's consulting mechanical engineer will determine the domestic, fire protection requirements of this proposed development and establish hydrant requirements and service needs. Only one service per property is permitted for this development. The applicant will arrange for the removal and disconnection of the existing services and the installation of one new larger service at the applicants cost, if required.
- b) A water meter is mandatory for this development and must be installed inside the building on the water service inlet as required by the City Plumbing Regulation and Water Regulation bylaws. The developer or building contractor must purchase the meter from the City at the time of application for a building permit from the Inspection Services Department and prepare the meter setter at his cost. Boulevard landscaping, complete with underground irrigation system, must be integrated with

the on-site irrigation system

2. **Sanitary Sewer**

Our records indicate that this property is currently serviced with two a 150mm and 200mm sanitary sewer services. The applicant's consulting mechanical engineer will determine the requirements of the proposed development and establish the service needs. Only one service will be permitted for this development. If required, the applicant will arrange for the removal and disconnection of the existing service and the installation of one new larger service at the applicants cost.

3. **Storm Drainage**

- a) The property is located within the City of Kelowna drainage service area. For on-site disposal of drainage water, a geotechnical report will be required complete with a design for the disposal method (i.e. trench drain / rock pit). The Lot Grading Plan must show the design and location of these systems.
- b) Provide the following drawings:
 - i. A detailed Lot Grading Plan (indicate on the Lot Grading Plan any slopes that are steeper than 30% and areas that have greater than 1.0 m of fill);
 - ii. A detailed Stormwater Management Plan for this subdivision; and,
 - iii. An Erosion and Sediment Control Plan is to be prepared by a Professional Engineer proficient in the field of erosion and sediment control. The plan is to be prepared as per section 3.14 of Schedule 4 of Bylaw 7900. If a line item for ESC is not included in the Engineer's cost estimate for off-site work, then an additional 3% will be added to the performance security based on the total off-site construction estimate.
- c) On-site detention systems are to be compliant with Bylaw 7900, Schedule 4, Section 3.11.1 Detention Storage.
- d) As per Bylaw 7900, Schedule 4, Section 3.1.3 Climate Change, the capacity of storm works will include an additional 15 percent (15%) upward adjustment, and applied to the rainfall intensity curve stage (IDF) in Section 3.7.2.
- e) Show details of dedications, rights-of-way, setbacks and non-disturbance areas on the lot Grading Plan.

4. **Road Improvements**

- a) Benvoulin Rd. must be upgraded to current standards along the full frontage of this proposed development, including curb and gutter, landscaped boulevard c/w irrigation, separated sidewalk, drainage system including catch basins, manholes and pavement removal and replacement and re-location or adjustment of utility appurtenances if required to accommodate the upgrading construction.
- b) Benvoulin Ct. must be upgraded to current standards along the full frontage of this proposed development, including curb and gutter, landscaped boulevard c/w irrigation, separated sidewalk, drainage system including catch basins, manholes and pavement removal and replacement and re-location or adjustment of utility appurtenances if required to accommodate the upgrading construction.

4. **Road Dedication and Subdivision Requirements**

- a) Grant Statutory Rights of Way if required for utility services.
- b) If any road dedication or closure affects lands encumbered by a Utility right-of-way (such as Hydro, TELUS, Gas, etc.) please obtain the approval of the utility. Any works required by the utility as a consequence of the road dedication or closure must be incorporated in the construction drawings submitted to the City's Development Manager.

5. **Development Permit and Site Related Issues**

- a) Mayer Rd connection from Benvoulin Ct to Benvoulin Rd must be designed and built to a modified SS-R4 urban collector along the south property line of this development including curb and gutter, sidewalk, street lights, landscaped & irrigated boulevard, drainage system including catch basins, and replacement and re-location or adjustment of utility appurtenances if required to accommodate the upgrading construction. Road-cross section to be used is from WATT Consulting Group design.
- b) A TIA will be required for this development. Additional requirement may come out of this process.
- c) Hwy 97N and Leckie Rd. cost recovery:
 - a. Residential - 187 units x 0.7 = 130.9 EDU
 - b. Total = 130.9 EDU @ \$1,000.00 = **\$130,900.00**
- d) An MSU standard size vehicle must be able to manoeuvre onto and off the site without requiring a reverse movement onto public roadways. If the development plan intends to accommodate larger vehicles movements should also be illustrated on the site plan.

6. **Electric Power and Telecommunication Services**

The electrical and telecommunication services to this building must be installed in an underground duct system, and the building must be connected by an underground service. It is the developer's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for these services, which would be at the applicant's cost.

7. **Design and Construction**

- a) Design, construction supervision and inspection of all off-site civil works and site servicing must be performed by a Consulting Civil Engineer and all such work is subject to the approval of the City Engineer. Drawings must conform to City standards and requirements.
- b) Engineering drawing submissions are to be in accordance with the City's "Engineering Drawing Submission Requirements" Policy. Please note the number of sets and drawings required for submissions.
- c) Quality Control and Assurance Plans must be provided in accordance with the Subdivision, Development & Servicing Bylaw No. 7900 (refer to Part 5 and Schedule 3).
- d) A "Consulting Engineering Confirmation Letter" (City document 'C') must be completed prior to submission of any designs.

- e) Before any construction related to the requirements of this subdivision application commences, design drawings prepared by a professional engineer must be submitted to the City's Works & Utilities Department. The design drawings must first be "Issued for Construction" by the City Engineer. On examination of design drawings, it may be determined that rights-of-way are required for current or future needs.

8. Servicing Agreement for Works and Services

- a) A Servicing Agreement is required for all works and services on City lands in accordance with the Subdivision, Development & Servicing Bylaw No. 7900. The applicant's Engineer, prior to preparation of Servicing Agreements, must provide adequate drawings and estimates for the required works. The Servicing Agreement must be in the form as described in Schedule 2 of the bylaw.
- b) Part 3, "Security for Works and Services", of the Bylaw, describes the Bonding and Insurance requirements of the Owner. The liability limit is not to be less than \$5,000,000 and the City is to be named on the insurance policy as an additional insured.

9. Survey, Monument and Iron Pins

If any legal survey monuments or property iron pins are removed or disturbed during construction, the developer will be invoiced a flat sum of \$1,200.00 per incident to cover the cost of replacement and legal registration. Security bonding will not be released until restitution is made.

10. Geotechnical Report

- a) Provide a comprehensive geotechnical report (3 copies), prepared by a Professional Engineer competent in the field of hydro-geotechnical engineering to address the items below: **NOTE: The City is relying on the Geotechnical Engineer's report to prevent any damage to property and/or injury to persons from occurring as a result of problems with soil slippage or soil instability related to this proposed subdivision.**

The Geotechnical reports must be submitted to the Planning and Development Services Department (Planning & Development Officer) for distribution to the Works & Utilities Department and Inspection Services Division prior to submission of Engineering drawings or application for subdivision approval.

- (i) Area ground water characteristics, including any springs and overland surface drainage courses traversing the property. Identify any monitoring required.
 - (ii) Site suitability for development.
 - (iii) Site soil characteristics (i.e. fill areas, sulphate content, unsuitable soils such as organic material, etc.).
 - (iv) Any special requirements for construction of roads, utilities and building structures.
 - (v) Site suitability for development.
 - (vi) Suitability of on-site disposal of storm water and sanitary waste, including effects upon adjoining lands.
- ii) Site soil characteristics (i.e. fill areas, sulphate content, unsuitable soils such as organic material, etc.).

- iii) Recommendations for items that should be included in a Restrictive Covenant.
- iv) Any special requirements for construction of roads, utilities, and building structures.
- v) Any items required in other sections of this document.
- vi) Recommendations for erosion and sedimentation controls for water and wind.
- vii) Recommendations for roof drains and perimeter drains.
- viii) Any items required in other sections of this document.

11. **Charges and Fees**

- a) Development Cost Charges (DCC's) are payable.
- b) Fees per the "Development Application Fees Bylaw" include:
 - i. Street/Traffic Sign Fees: at cost if required (to be determined after design).
 - ii. Survey Monument, Replacement Fee: \$1,200.00 (GST exempt) – only if disturbed.
- c) Engineering and Inspection Fee: 3.5% of construction value (plus GST).

Ryan O'Sullivan
Development Engineering Manager

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