

City of  
**Kelowna**

# Development Permit & Development Variance Permit DP21-0231 DVP21-0232

This permit relates to land in the City of Kelowna municipally known as

**2241 Springfield Rd**

and legally known as

**LOT B DISTRICT LOTS 128 AND 142 OSOYOOS DIVISION YALE DISTRICT PLAN KAP85660**

and permits the land to be used for the following development:

**Mixed-Use: Multiple Dwelling Housing and Commercial Uses**

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council Decision: August 23, 2022  
Decision By: COUNCIL  
Development Permit Area: Form and Character Development Permit Area  
Existing Zone: C4r - Urban Centre Commercial (Residential Rental Tenure Only)  
Future Land Use Designation: UC – Urban Centre

## **This is NOT a Building Permit.**

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

## **NOTICE**

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Ironclad Developments Mission Heights Holdings Inc., Inc.No. A0119488  
Applicant: Ironclad Developments Inc.  
Planner: K. Brunet

---

Terry Barton  
Community Planning Department Manager  
Planning & Development Services

---

Date

## 1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

## 2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.

AND THAT variances to the following section of Zoning Bylaw No. 8000 be granted:

**Section 14.4.6(e): C4 – Urban Centre Commercial Other Regulations**

To vary the required minimum amount of functional commercial space for the Springfield Rd frontage from 90 % required to 19.12 % proposed.

**This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.**

## 3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property owner of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) An Irrevocable Letter of Credit **OR** certified cheque in the amount of **\$784,187.25**

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

## 5. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.  
Security shall ONLY be returned to the signatory of the  
Landscape Agreement or their designates.**

DRAFT



## 2241 SPRINGFIELD ROAD

KELOWNA BC

JUNE 2022

### Zoning Summary

Special Planning Designation / Area Zoning Classification	Urban Core / Midtown Urban Centre		
	Existing	Proposed	
	C-4	C-4	<span style="color: green;">■</span> <span style="color: red;">■</span>

Lot Area Section 14.4.4	Standards	Proposed	
	Minimum	1300 m <sup>2</sup>	
F.A.R.	1.3 to 2.35	1.67	<span style="color: green;">■</span> <span style="color: red;">■</span>
Site Coverage	75% Maximum	30.8%	<span style="color: green;">■</span> <span style="color: red;">■</span>

Dimensional Standards Section 14.4.4 + 14.4.5	Standards	Proposed	
	Building Height	12 stories / 37 m	
Setbacks: front	0 m	4.6 m	<span style="color: green;">■</span> <span style="color: red;">■</span>
: rear	0 m	0 m	<span style="color: green;">■</span> <span style="color: red;">■</span>
: flanking side	0 m	7.6 m	<span style="color: green;">■</span> <span style="color: red;">■</span>
: internal side	2.0 m	4.6 m	<span style="color: green;">■</span> <span style="color: red;">■</span>
Private Open Space [m <sup>2</sup> ]	4828	5897	<span style="color: green;">■</span> <span style="color: red;">■</span>

Parking	Standards	Proposed	
	Vehicle Parking: residential : commercial [in Visitor Parking]	Table 8.3.1 432 Table 8.3.2 10	
Accessible Parking Spaces	Table 8.2.19 9	9	<span style="color: green;">■</span> <span style="color: red;">■</span>
Visitor Parking Spaces	Table 8.3.1 56	58	<span style="color: green;">■</span> <span style="color: red;">■</span>
Total stalls [residential + accessible + visitor]	488	390	<span style="color: green;">■</span> <span style="color: red;">■</span>
<b>Total Including 20% reduction [S.8.2.12]</b>	<b>8.2.12</b> <b>346</b>	<b>390</b>	<span style="color: green;">■</span> <span style="color: red;">■</span>
Small Car Stalls [resident parking stalls only]	Table 8.3.1 max 50%	0.3%	<span style="color: green;">■</span> <span style="color: red;">■</span>
Loading Spaces [commercial]	Table 8.4 0	0	<span style="color: green;">■</span> <span style="color: red;">■</span>
Bicycle Parking [short term]	Table 8.5 49	59	<span style="color: green;">■</span> <span style="color: red;">■</span>
Bicycle Parking [long term]	Table 8.5 312	314	<span style="color: green;">■</span> <span style="color: red;">■</span>

### Development Summary

Commercial Areas	Building 1	Building 2	Building 3	Building 4	Building 5	TOTAL
	Qty	Qty	Qty	Qty	Qty	SM
	679	0	0	0	0	679

Amenity Area Table 5.4	Building 1	Building 2	Building 3	Building 4	Building 5	TOTAL
	SM	SM	SM	SM	SM	SM
Indoor	135	0	0	0	625	761
Landscape	242	332	557	111	311	1554
Rooftop	0	0	251	167	244	662

Residential Suites	SF	M <sup>2</sup>	Building 1	Building 2	Building 3	Building 4	Building 5	TOTAL
			Qty	Qty	Qty	Qty	Qty	Qty
Studio : D1	422	39	27	0	0	6	10	43
One Bedroom: A1	645	60	23	42	48	47	0	160
Two Bedroom: B1	948	39	55	13	11	12	0	155
: B1.1	973	90	0	0	3	4	0	
: B1.2	966	90	10	12	12	8	0	
: B1.3	966	90	4	0	0	0	0	
: B1.4	947	85	0	0	0	0	11	
Three Bedroom: C1	1125	105	12	11	10	10	0	43
<b>TOTAL</b>			<b>131</b>	<b>78</b>	<b>84</b>	<b>87</b>	<b>21</b>	<b>401</b>

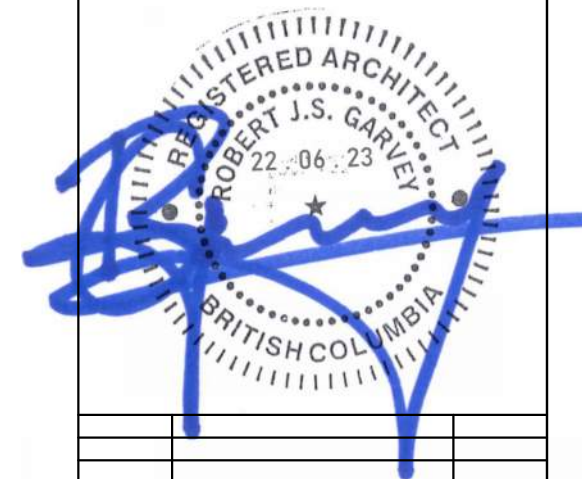
Residential Balconies	SF	M <sup>2</sup>	Building 1	Building 2	Building 3	Building 4	Building 5	TOTAL
			SM	SM	SM	SM	SM	SM
Studio : D1	60	6	150.5	0.0	0.0	33.4	55.7	240
One Bedroom: A1	100	9	213.7	390.2	445.9	436.6	0.0	1486
Two Bedroom: B1	125	8	306.6	72.5	61.3	66.9	0.0	955
: B1.1	75	7	0.0	0.0	20.9	27.9	0.0	
: B1.2	60	6	55.7	66.9	66.9	44.6	0.0	
: B1.3	100	9	37.2	0.0	0.0	0.0	0.0	
: B1.4	125	12	0.0	0.0	0.0	0.0	127.7	
Three Bedroom: C1	60	6	66.9	61.3	55.7	55.7	0.0	240
<b>TOTAL</b>			<b>2921</b>					

Floor Areas: F.A.R. ELIGIBLE	Building 1	Building 2	Building 3	Building 4	Building 5	TOTAL
	SM	SM	SM	SM	SM	SM
<b>TOTAL</b>	<b>1140</b>	<b>1212</b>	<b>1283</b>	<b>1312</b>	<b>537</b>	<b>5484</b>

### SCHEDULE A

This forms part of application  
# DP21-0231 DVP21-0232

Planner Initials **KB**



2241 SPRINGFIELD ROAD;  
Kelowna BC.

COVER PAGE

Project Number: 2102

04-30-2020 | Rev Date 06-23-2022

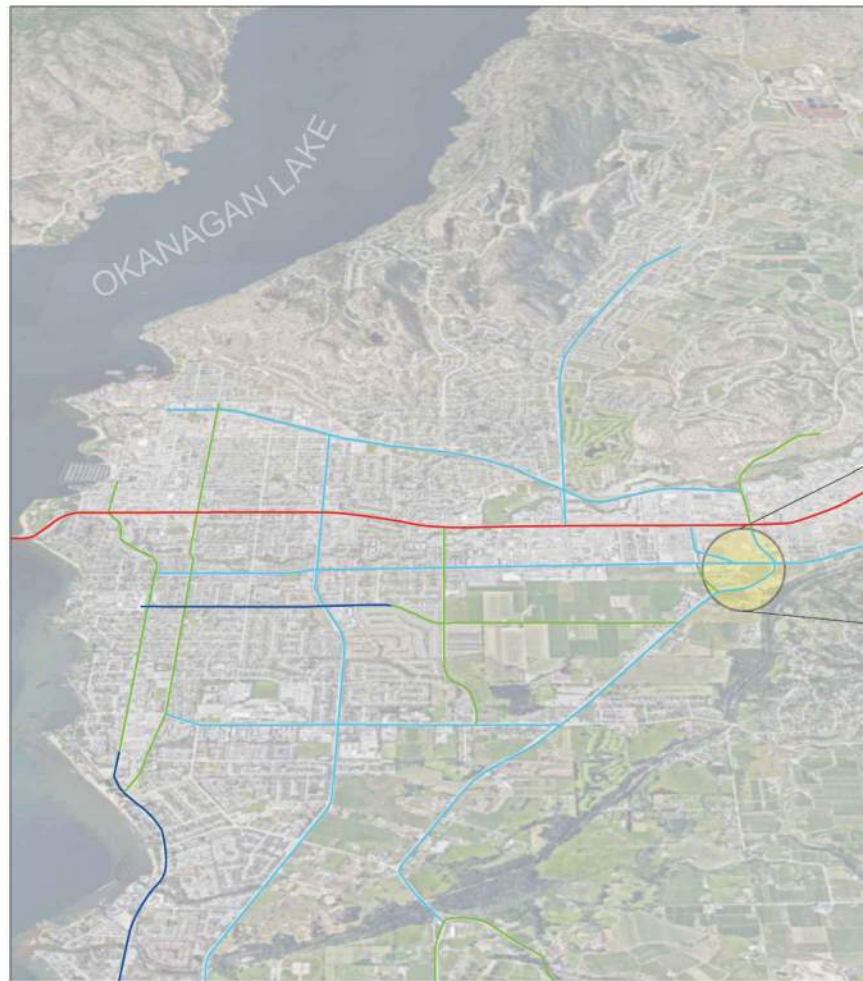
Drawn By T.THIMM

Designed By T.THIMM

Checked By R.GARVEY

# ESP-0.0

Scale



CITY OF KELOWNA



ARIAL VIEW OF EXISTING SITE & SURROUNDING CONTEXT

- MAJOR ROADWAYS
- 6 Lane Arterial (including HOV Lanes)
  - 4 Lane Arterial
  - 2 Lane Arterial
  - 2 Lane Arterial + Center Turn Lane



LEGAL SITE PLAN

**SCHEDULE A**

This forms part of application  
# DP21-0231 DVP21-0232

Planner Initials **KB**

City of **Kelowna**  
DEVELOPMENT PLANNING

**Ironclad Developments Inc.**



Project Management  
General Contracting  
Design/ Build

**101-57158**  
Symington Rd.  
Springfield, MB.  
R2J 4L6

PH:  
**204-777-1972**

info@icdev.ca

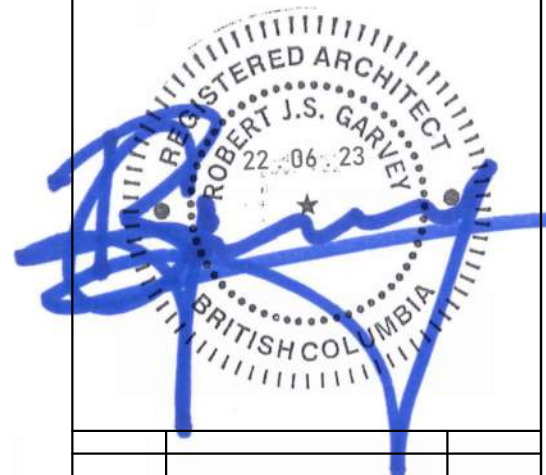
**IRONCLAD DEVELOPMENTS INC.**

Consultant



ROB J.S. GARVEY, ARCHITECT  
MAA, AIBC, LEED AP

201-57158 SYMINGTON RD 20E  
SPRINGFIELD, MB R2J 4L6  
T: 204.227.9274  
E: RGARVEY@A77.CA



REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;  
Kelowna BC.

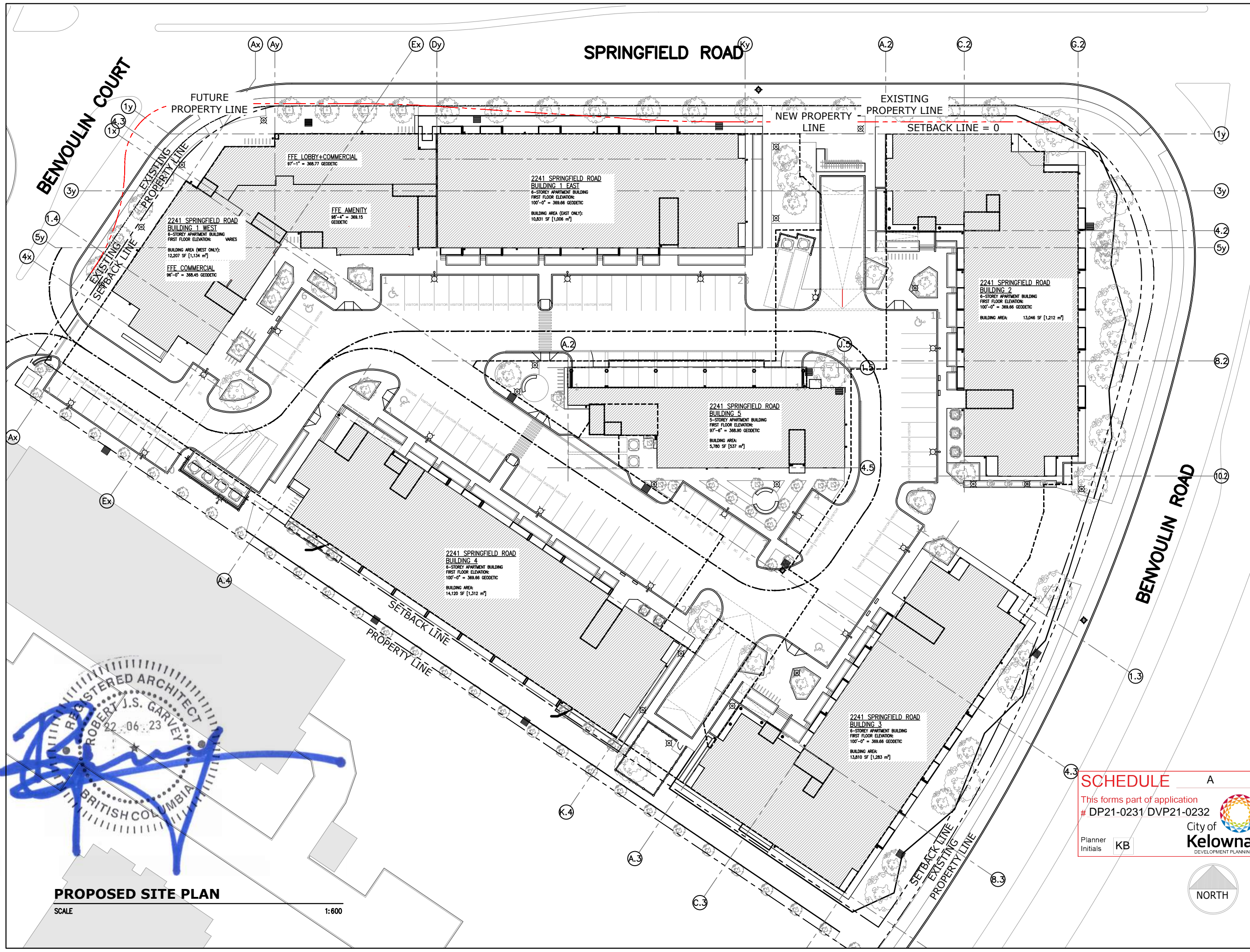
CONTEXT MAP & LEGAL  
SITE PLAN

Project Number: 2102	
04-30-2020	Rev Date 06-23-2022

Drawn By	T.THIMM
Designed By	T.THIMM
Checked By	R.GARVEY

**ESP-0.1**

Scale



REGISTERED ARCHITECT  
 ROBERT J.S. GARVEY  
 02 06 23  
 BRITISH COLUMBIA

**PROPOSED SITE PLAN**

SCALE 1:600

**SCHEDULE A**  
 This forms part of application # DP21-0231/DVP21-0232  
 City of Kelowna DEVELOPMENT PLANNING  
 Planner Initials KB



**Ironclad Developments Inc.**  
 Project Management  
 General Contracting  
 Design/ Build  
 101-57158  
 Symington Rd.  
 Springfield, MB  
 R2J 4L6  
 PH: 204-777-1972  
 info@icdev.ca

Consultant  
**RJSG ARCHITECT**  
 ROB J.S. GARVEY, ARCHITECT  
 MAA, AIBC, LEED AP  
 201-57158 SYMINGTON RD 20E  
 SPRINGFIELD, MB R2J 4L6  
 T: 204.227.9274  
 E: RGARVEY@A77.CA

**PROJECT DESCRIPTION**

LEGAL ADDRESS: 2241 SPRINGFIELD ROAD; Kelowna BC.

LOT AREA: 192,473 SF

RESIDENTIAL UNITS: 401 UNITS  
 STUDIO: 43 UNITS  
 1 BEDROOM: 160 UNITS  
 2 BEDROOM: 160 UNITS  
 3 BEDROOM: 38 UNITS

REQUIRED PARKING: 354 STALLS  
 [INCLUDING VISITOR STALLS AT 10% OF TOTAL VEHICLE PARKING]  
 [INCLUDING SMALL CAR STALLS]  
 RATIO: 1.5 PER UNIT

PROVIDED PARKING: 406 STALLS  
 [INCLUDING VISITOR STALLS AND RETAIL STALLS AT 5%]  
 SURFACE STALLS: 111  
 UNDERGROUND STALLS: 295

PROVIDED BICYCLE PARKING: 313 STALLS  
 [INCLUDING BICYCLE STALLS 1 PER 10 VEHICLE STALLS]

REV.	DESCRIPTION OF WORK REVISED	DATE

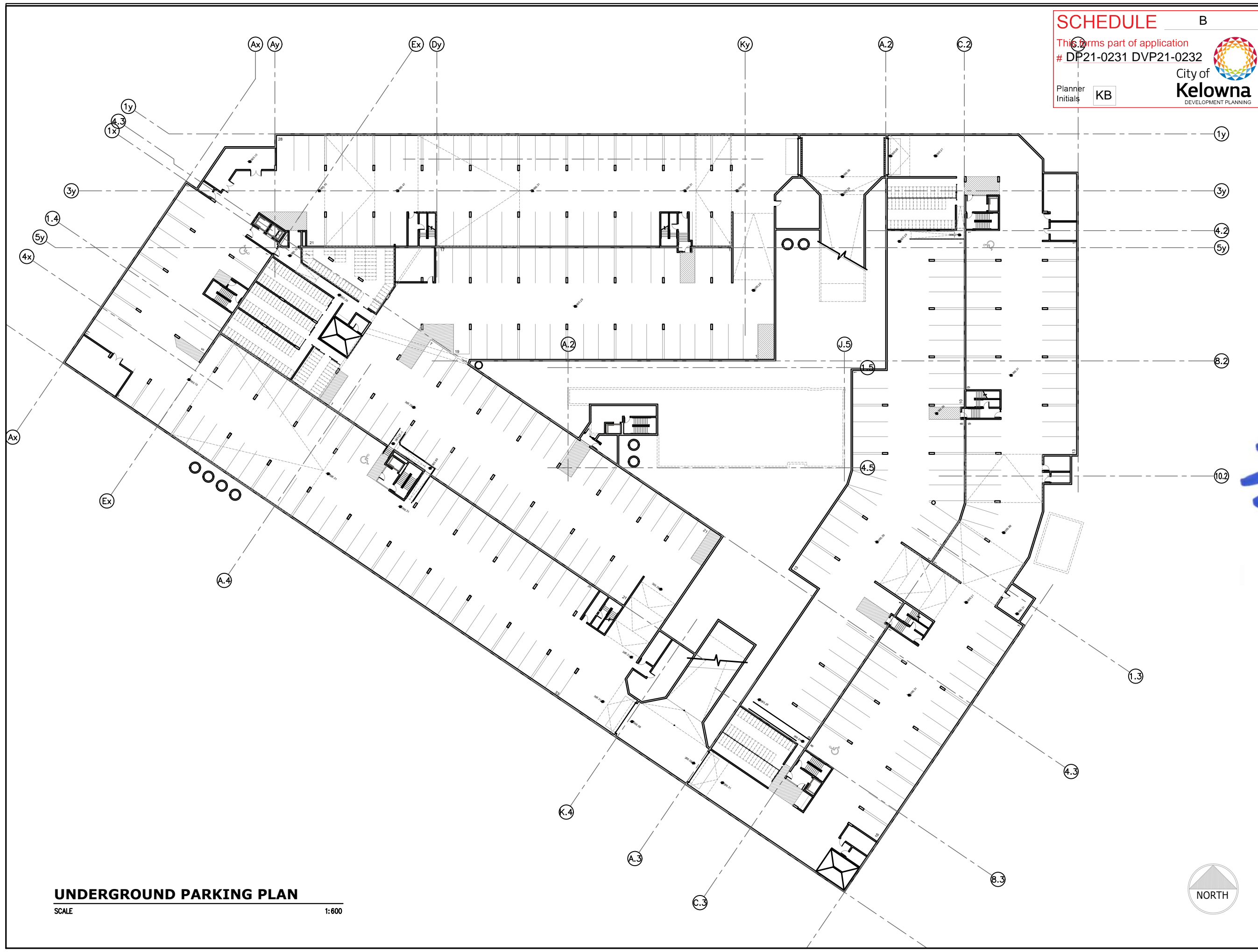
2241 SPRINGFIELD ROAD;  
 Kelowna BC.

PROPOSED SITE PLAN

Project Number: 2102  
 04-30-2020 Rev Date 06-06-2022  
 Drawn By T.THIMM  
 Designed By T.THIMM  
 Checked By R.GARVEY

**ESP-1.0**

Scale 1:600

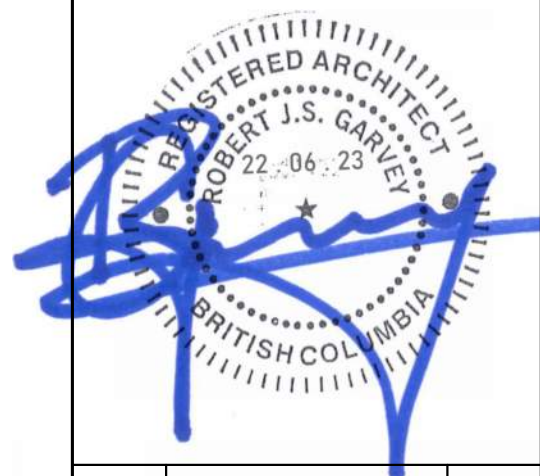


**UNDERGROUND PARKING PLAN**  
SCALE 1:600

**SCHEDULE B**  
This forms part of application # DP21-0231 DVP21-0232  
Planner Initials KB  
City of Kelowna DEVELOPMENT PLANNING

**Ironclad Developments Inc.**  
Project Management  
General Contracting  
Design/ Build  
101-57158  
Symington Rd.  
Springfield, MB.  
R2J 4L6  
PH: 204-777-1972  
info@icdev.ca

Consultant  
**RJSG ARCHITECT**  
ROB J.S. GARVEY, ARCHITECT  
MAA, AIBC, LEED AP  
201-57158 SYMINGTON RD 20E  
SPRINGFIELD, MB R2J 4L6  
T: 204.227.9274  
E: RGARVEY@A77.CA



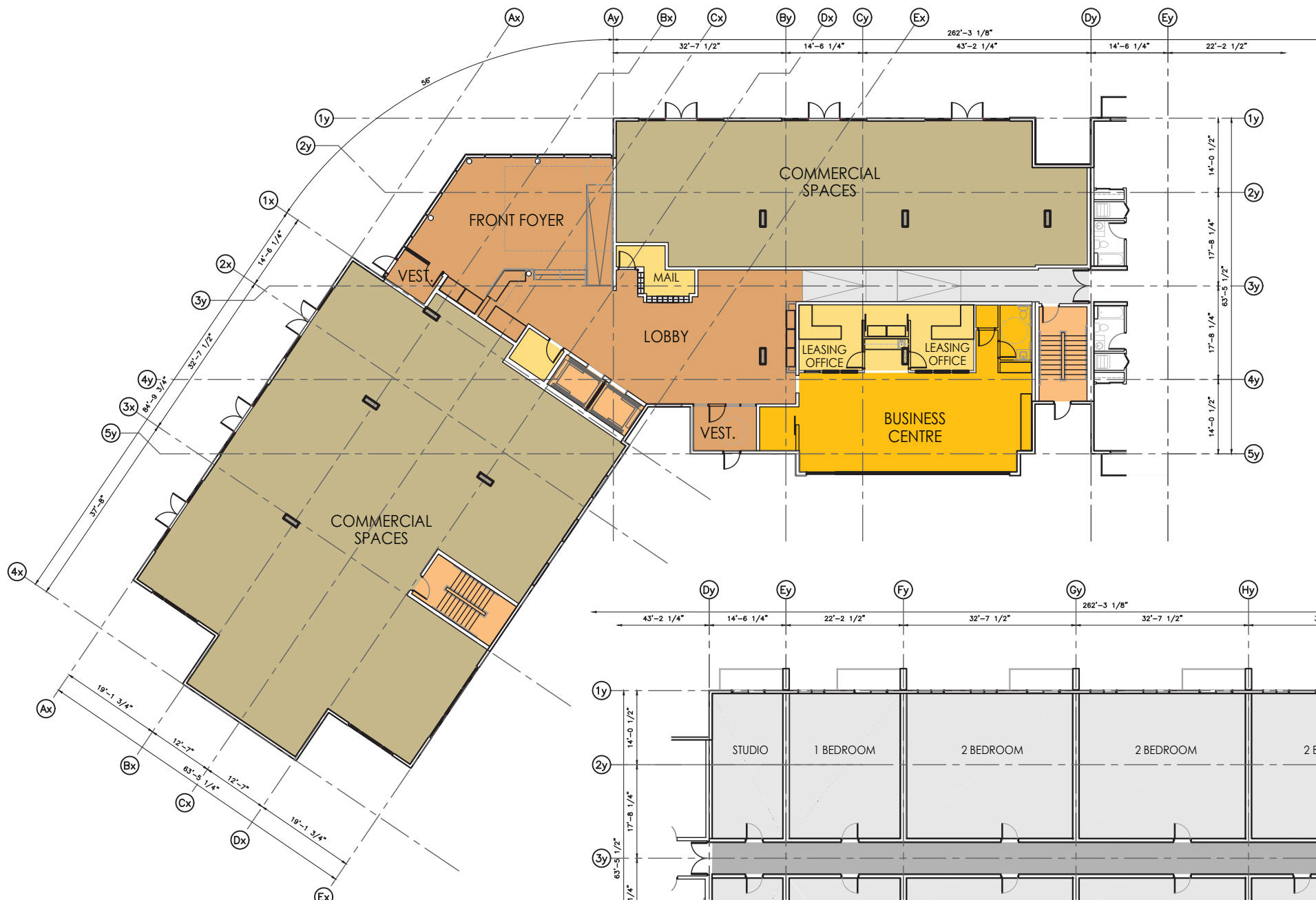
REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;  
Kelowna BC.  
  
UNDERGROUND PARKING  
PLAN

Project Number: 2102

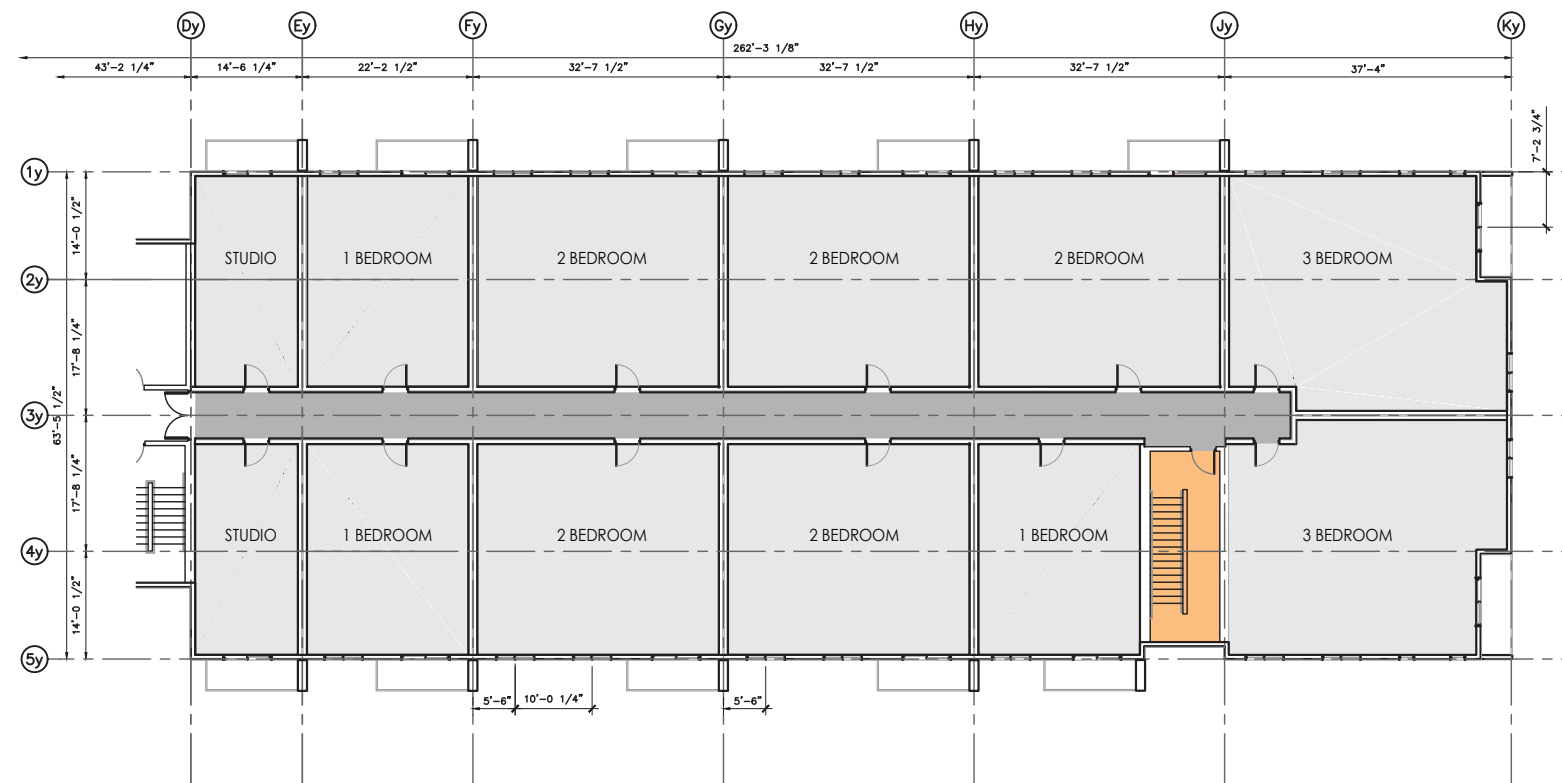
04-30-2020	Rev Date 06-06-2022
Drawn By T.THIMM	
Designed By T.THIMM	
Checked By R.GARVEY	

**ESP-2.0**  
Scale 1:600



**BUILDING 1 WEST MAIN FLOOR PLAN**

SCALE 1:300



**BUILDING 1 EAST MAIN FLOOR PLAN**

SCALE 1:300

**SCHEDULE B**

This forms part of application  
# DP21-0231 DVP21-0232

Planner Initials **KB**

City of **Kelowna**  
DEVELOPMENT PLANNING

**Ironclad Developments Inc.**

Project Management  
General Contracting  
Design/ Build

**101-57158**  
Symington Rd.  
Springfield, MB.  
R2J 4L6

PH:  
**204-777-1972**

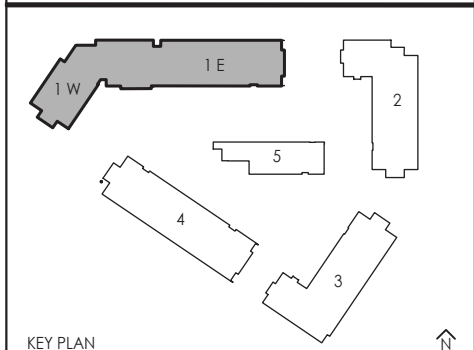
info@icdev.ca

**IRONCLAD DEVELOPMENTS INC.**

Consultant

ROB J.S. GARVEY, ARCHITECT  
MAA, AIBC, LEED AP

201-57158 SYMINGTON RD 20E  
SPRINGFIELD, MB R2J 4L6  
T: 204.227.9274  
E: RGARVEY@A77.CA



- AMENITIES
- ROOFTOP PATIOS
- COMMERCIAL
- SUPPORTING SPACES
- SUITES
- LOBBY/ENTRANCE AREA
- CORRIDOR
- VERTICAL COMMUNICATION

REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;  
Kelowna BC.

**BUILDING ONE  
MAIN FLOOR PLAN**

Project Number: 2102

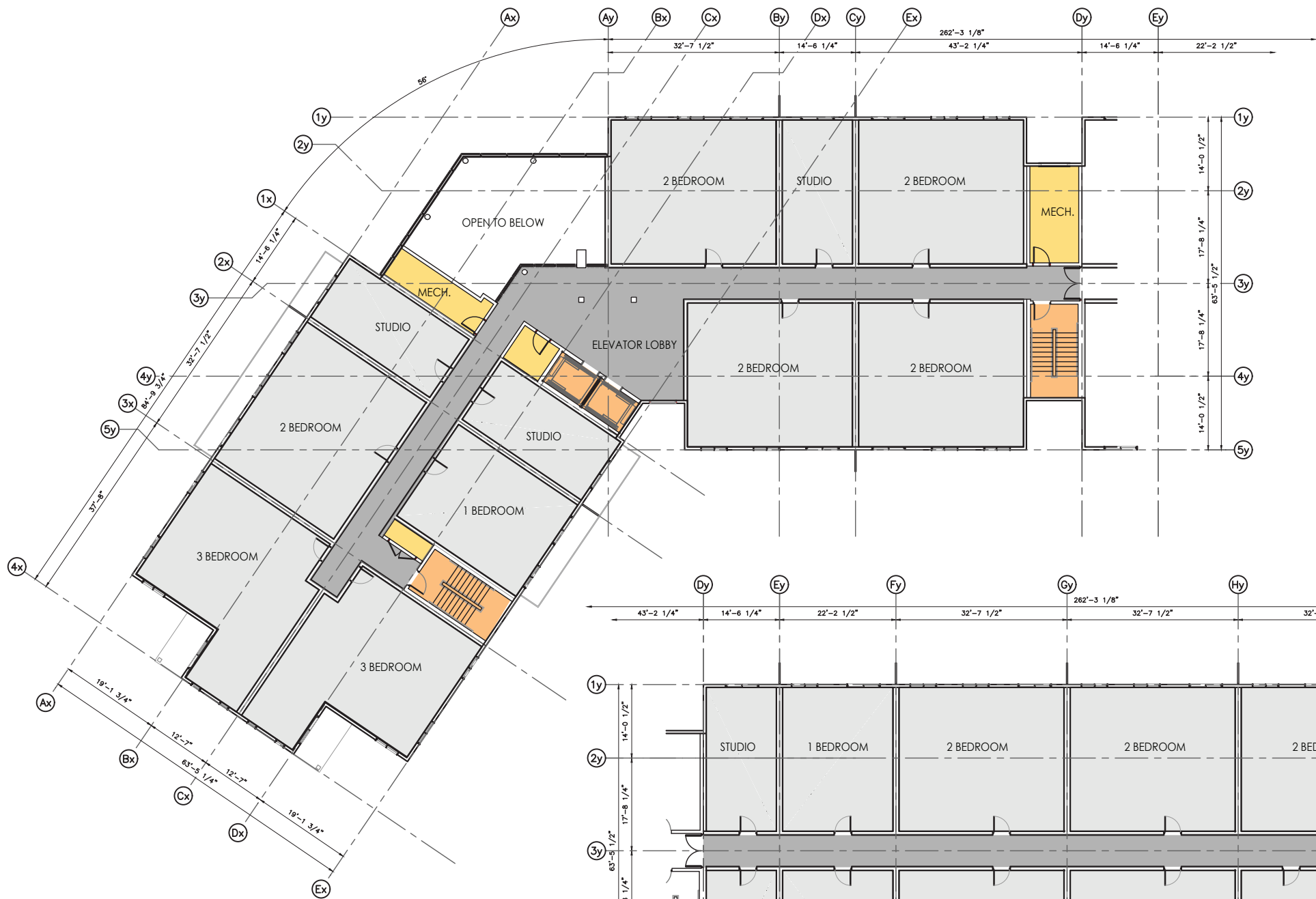
04-30-2020	Rev Date 06-06-2022
Drawn By T.THIMM	Designed By T.THIMM
Checked By R.GARVEY	

**ESP-3.10**

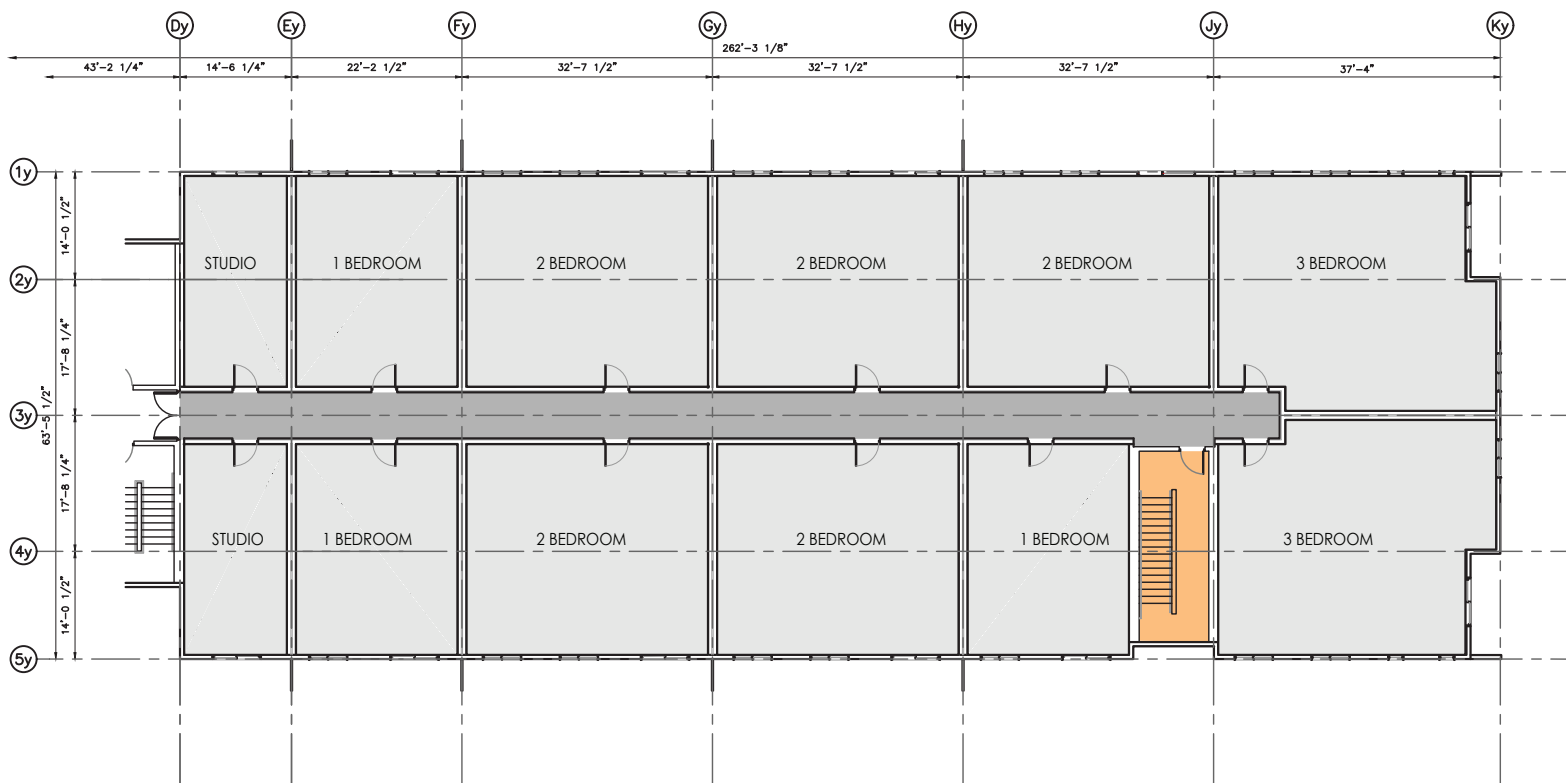
Scale 1:300







**BUILDING 1 WEST SECOND FLOOR PLAN**  
SCALE 1:300



**BUILDING 1 EAST SECOND FLOOR PLAN**  
SCALE 1:300

**SCHEDULE B**

This forms part of application  
# DP21-0231 DVP21-0232

Planner Initials **KB**

City of Kelowna  
DEVELOPMENT PLANNING

**Ironclad Developments Inc.**

Project Management  
General Contracting  
Design/ Build

101-57158  
Symington Rd.  
Springfield, MB.  
R2J 4L6

PH:  
204-777-1972

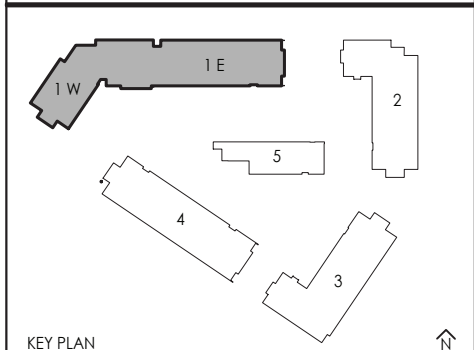
info@icdev.ca

**IRONCLAD DEVELOPMENTS INC.**

Consultant

ROB J.S. GARVEY, ARCHITECT  
MAA, AIBC, LEED AP

201-57158 SYMINGTON RD 20E  
SPRINGFIELD, MB R2J 4L6  
T: 204.227.9274  
E: RGARVEY@A77.CA



- AMENITIES
- ROOFTOP PATIOS
- COMMERCIAL
- SUPPORTING SPACES
- SUITES
- LOBBY/ENTRANCE AREA
- CORRIDOR
- VERTICAL COMMUNICATION

REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;  
Kelowna BC.

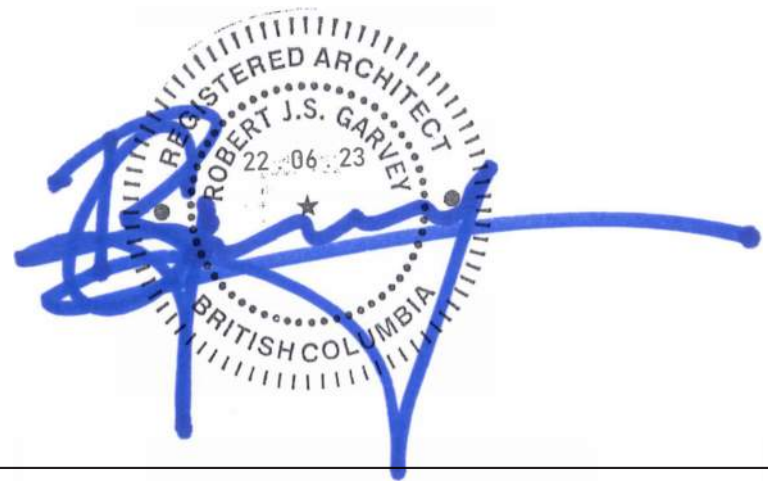
BUILDING ONE  
SECOND FLOOR PLAN

Project Number: 2102

04-30-2020	Rev Date 06-06-2022
Drawn By T.THIMM	Designed By T.THIMM
Checked By R.GARVEY	

**ESP-3.11**

Scale 1:300



**SCHEDULE B**

This forms part of application  
# DP21-0231 DVP21-0232

Planner Initials **KB**

City of **Kelowna**  
DEVELOPMENT PLANNING

**Ironclad Developments Inc.**



Project Management  
General Contracting  
Design/ Build

**101-57158**  
Symington Rd.  
Springfield, MB.  
R2J 4L6

PH:  
**204-777-1972**

**info@icdev.ca**

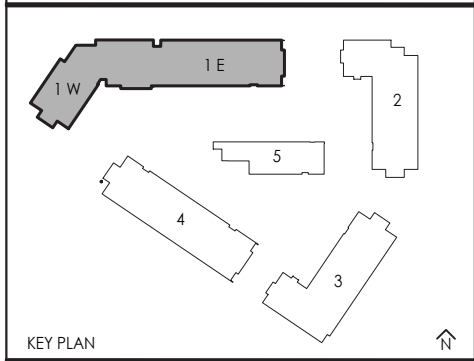
**IRONCLAD DEVELOPMENTS INC.**

Consultant



ROB J.S. GARVEY, ARCHITECT  
MAA, AIBC, LEED AP

201-57158 SYMINGTON RD 20E  
SPRINGFIELD, MB R2J 4L6  
T: 204.227.9274  
E: RGARVEY@A77.CA



- AMENITIES
- ROOFTOP PATIOS
- COMMERCIAL
- SUPPORTING SPACES
- SUITES
- LOBBY/ENTRANCE AREA
- CORRIDOR
- VERTICAL COMMUNICATION

REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;  
Kelowna BC.

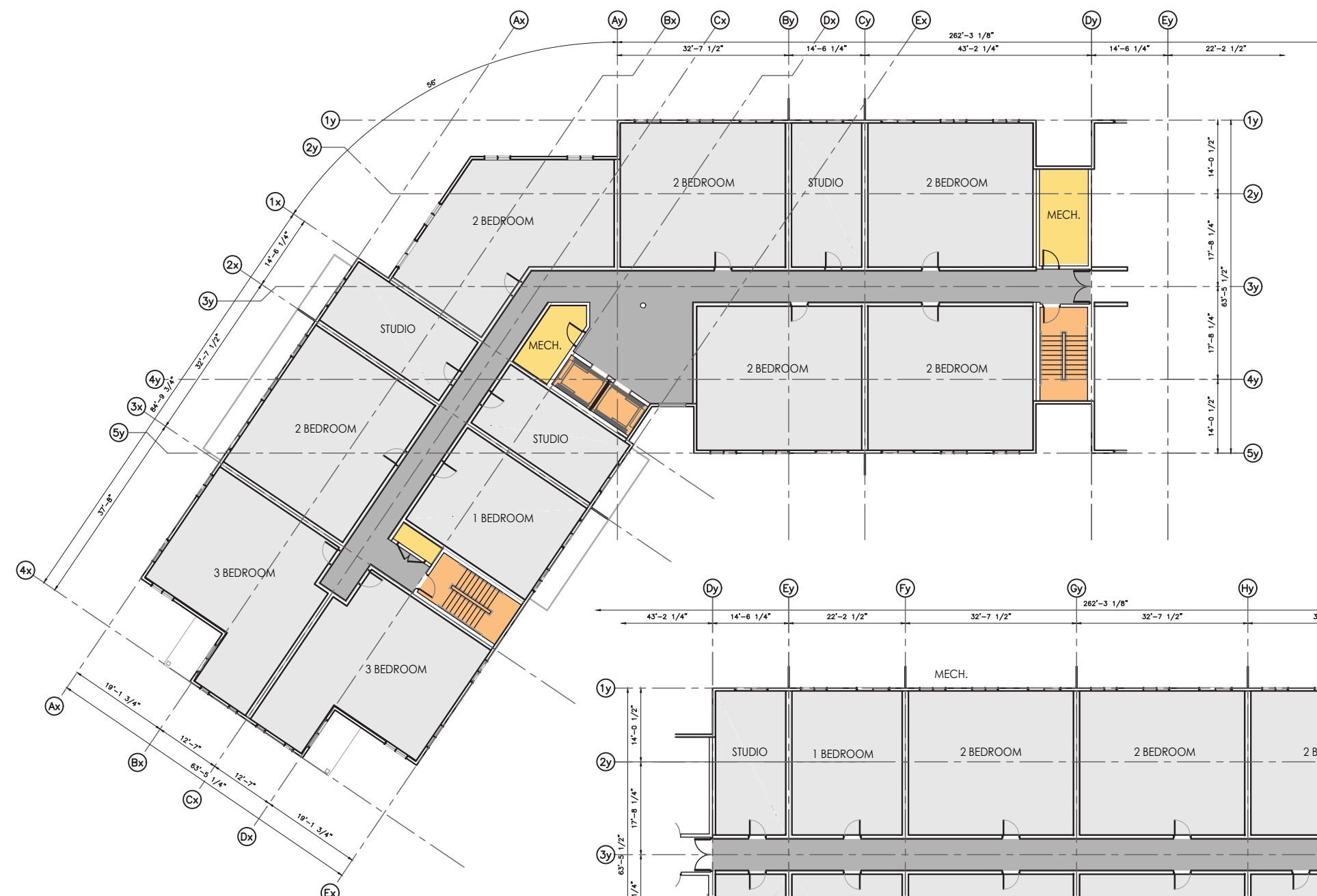
BUILDING ONE  
TYPICAL FLOOR PLAN (3-6)

Project Number: 2102

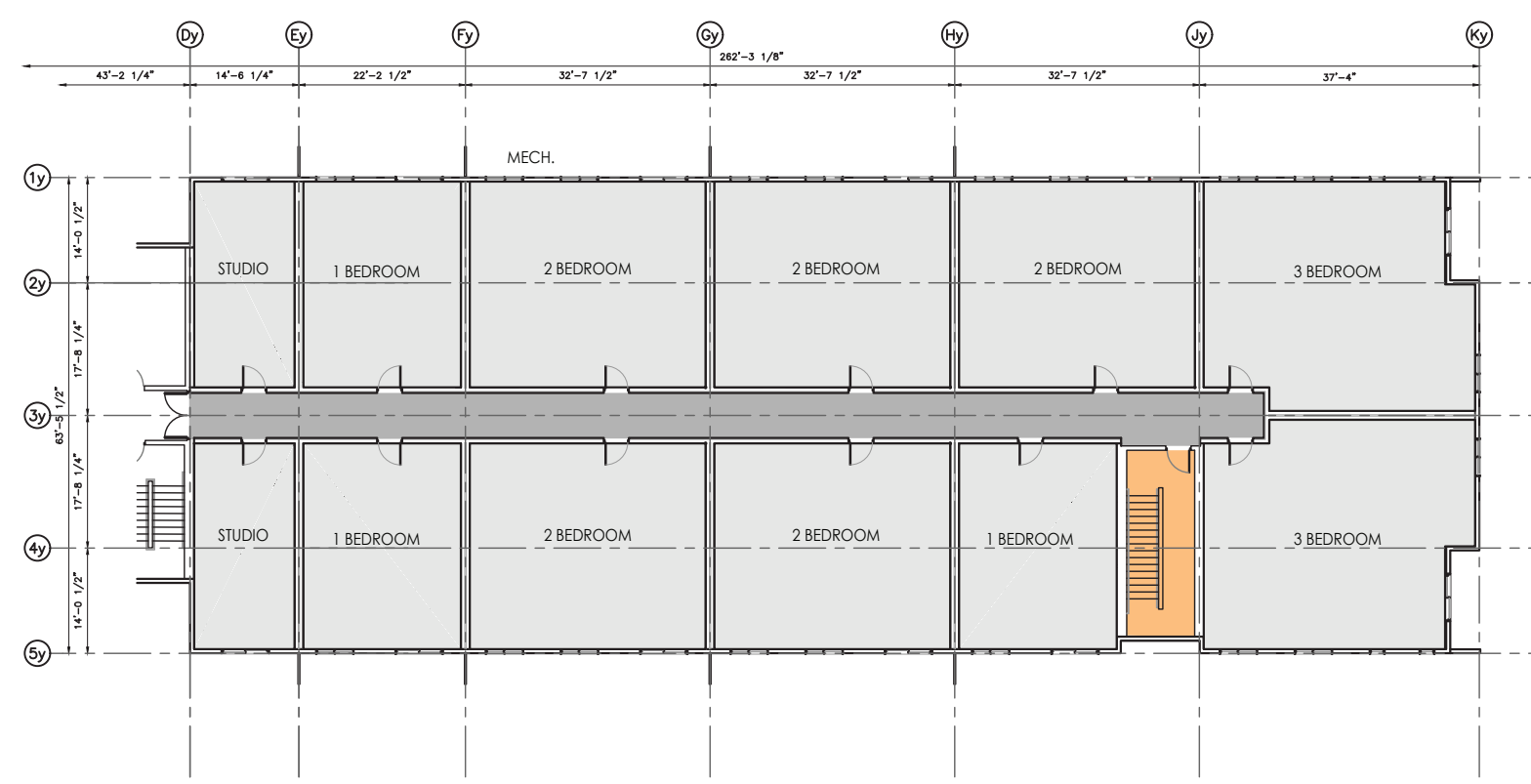
04-30-2020	Rev Date 06-06-2022
Drawn By T.THIMM	Designed By T.THIMM
Checked By R.GARVEY	

**ESP-3.12**

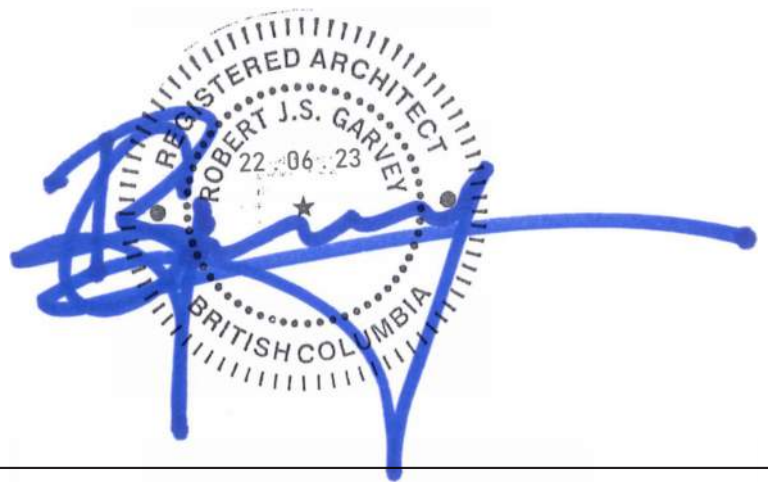
Scale 1:300

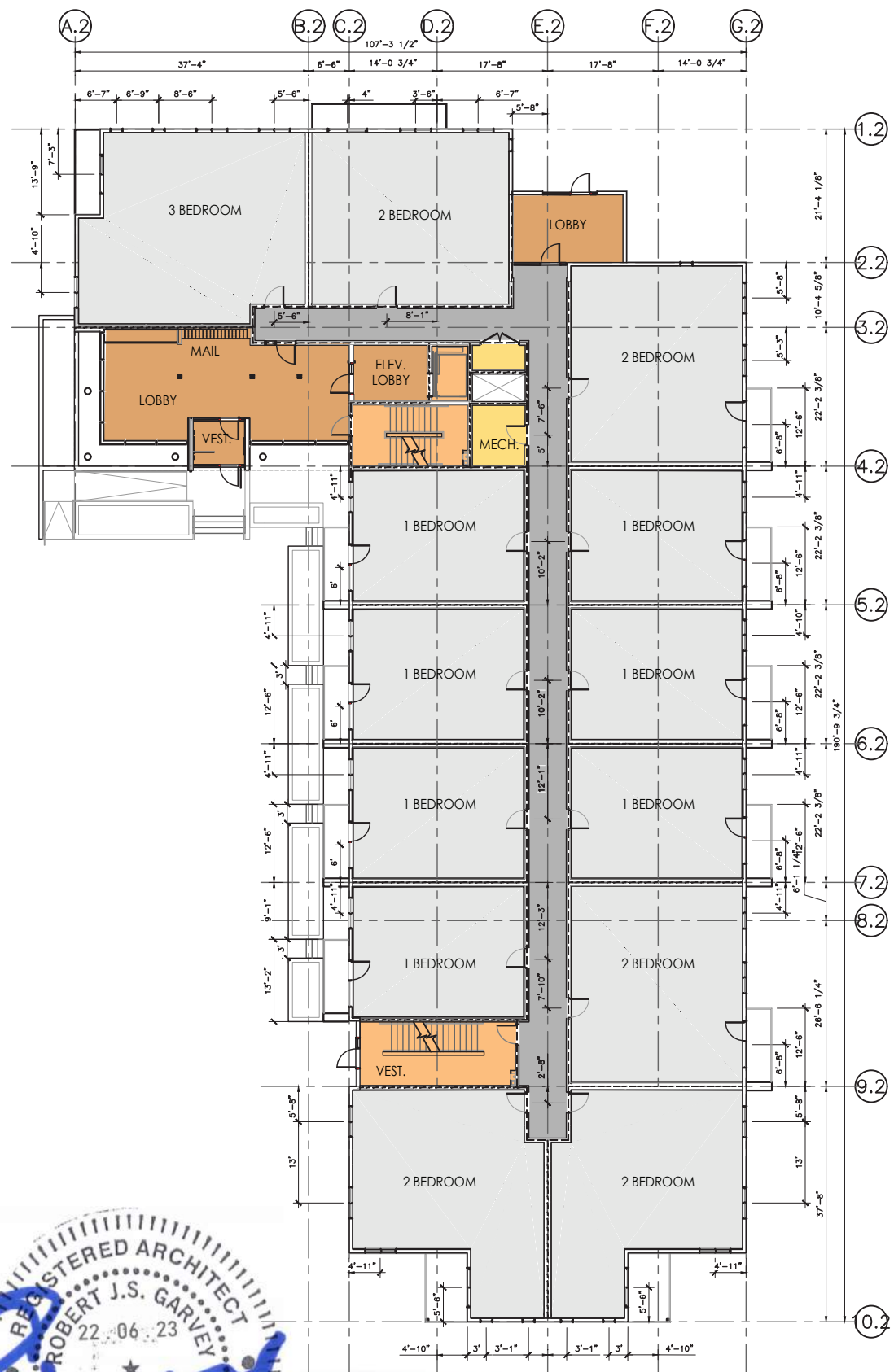


**BUILDING 1 WEST TYPICAL PLAN**  
SCALE 1:300



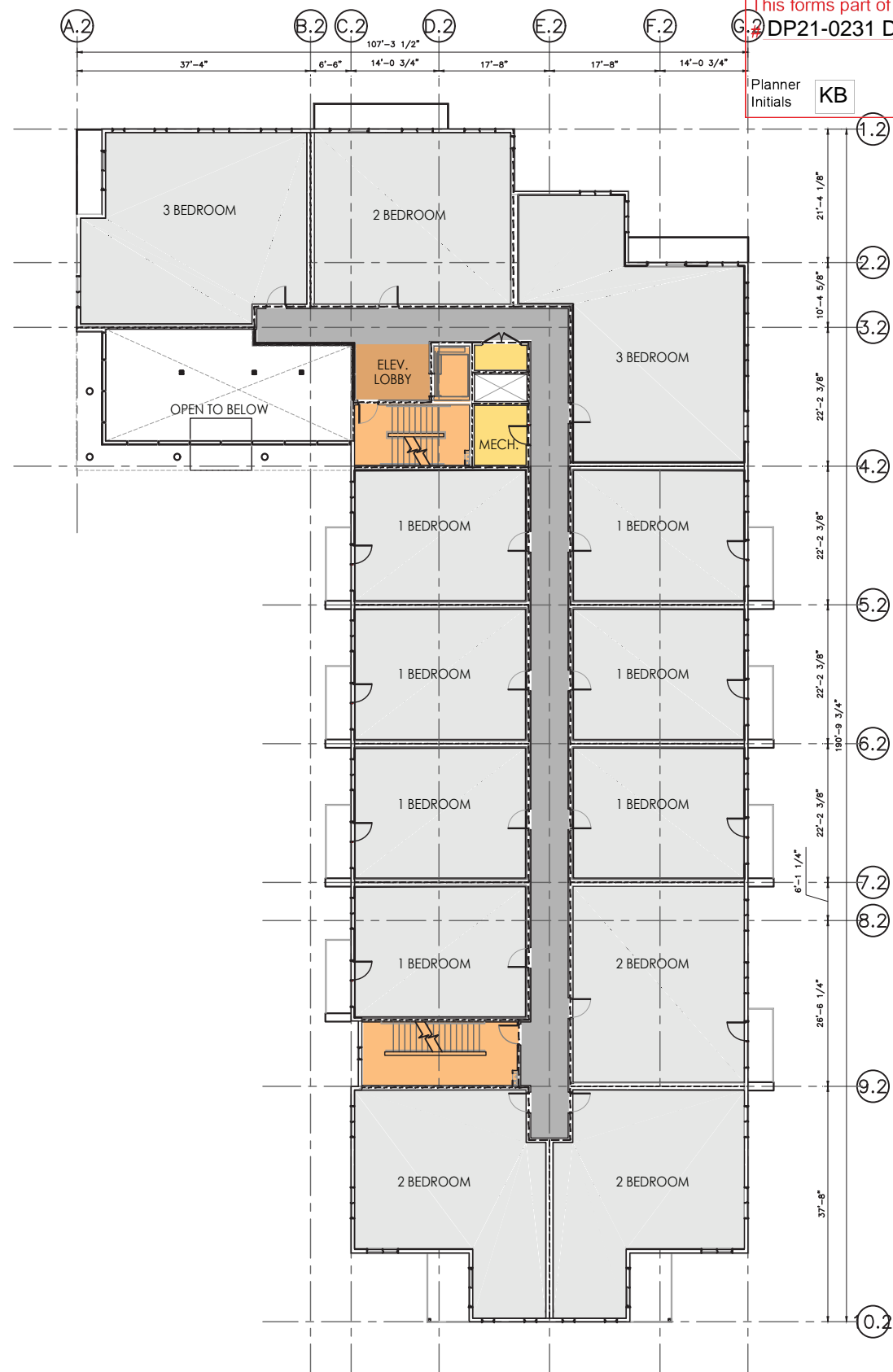
**BUILDING 1 EAST TYPICAL PLAN**  
SCALE 1:300





**BUILDING 2 MAIN FLOOR PLAN**

SCALE 1:300



**BUILDING 2 SECOND FLOOR PLAN**

SCALE 1:300

**SCHEDULE B**

This forms part of application  
 DP21-0231 DVP21-0232

Planner Initials KB



**Ironclad Developments Inc.**

Project Management  
 General Contracting  
 Design/ Build

**101-57158**  
 Symington Rd.  
 Springfield, MB.  
 R2J 4L6

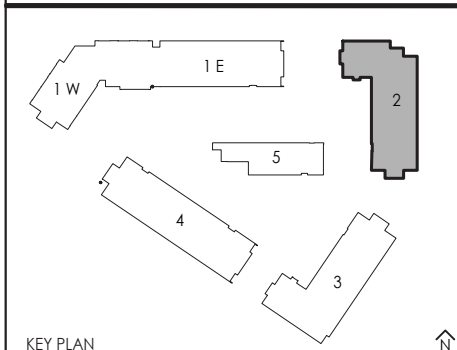
PH:  
 204-777-1972

info@icdev.ca

Consultant

ROB J.S. GARVEY, ARCHITECT  
 MAA, AIBC, LEED AP

201-57158 SYMINGTON RD 20E  
 SPRINGFIELD, MB R2J 4L6  
 T: 204.227.9274  
 E: RGARVEY@A77.CA



- KEY PLAN
- AMENITIES
  - ROOFTOP PATIOS
  - COMMERCIAL
  - SUPPORTING SPACES
  - SUITES
  - LOBBY/ENTRANCE AREA
  - CORRIDOR
  - VERTICAL COMMUNICATION

REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;  
 Kelowna BC.

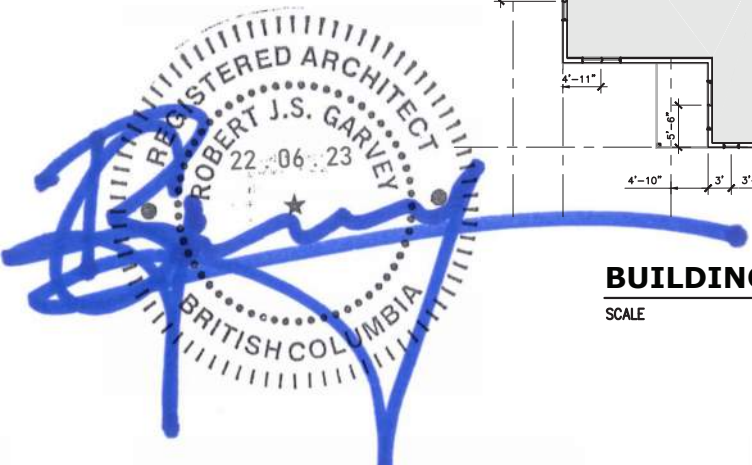
**BUILDING TWO  
 MAIN AND SECOND PLAN**

Project Number: 2102

04-30-2020	Rev Date 06-06-2022
Drawn By T.THIMM	Designed By T.THIMM
Checked By R.GARVEY	

**ESP-3.20**

Scale 1:300



**SCHEDULE B**

This forms part of application  
# DP21-0231 DVP21-0232

Planner Initials **KB**

City of **Kelowna**  
DEVELOPMENT PLANNING

**Ironclad Developments Inc.**



Project Management  
General Contracting  
Design/ Build

**101-57158**  
Symington Rd.  
Springfield, MB.  
R2J 4L6

PH:  
**204-777-1972**

info@icdev.ca

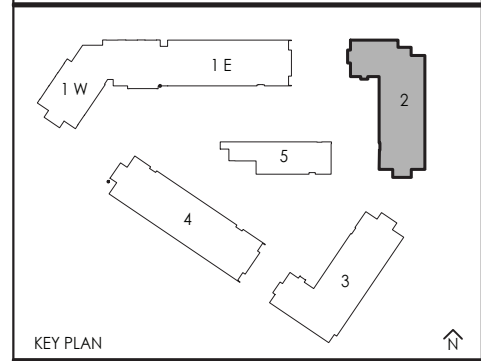
**IRONCLAD DEVELOPMENTS INC.**

Consultant



ROB J.S. GARVEY, ARCHITECT  
MAA, AIBC, LEED AP

201-57158 SYMINGTON RD 20E  
SPRINGFIELD, MB R2J 4L6  
T: 204.227.9274  
E: RGARVEY@A77.CA



- AMENITIES
- ROOFTOP PATIOS
- COMMERCIAL
- SUPPORTING SPACES
- SUITES
- LOBBY/ENTRANCE AREA
- CORRIDOR
- VERTICAL COMMUNICATION

REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;  
Kelowna BC.

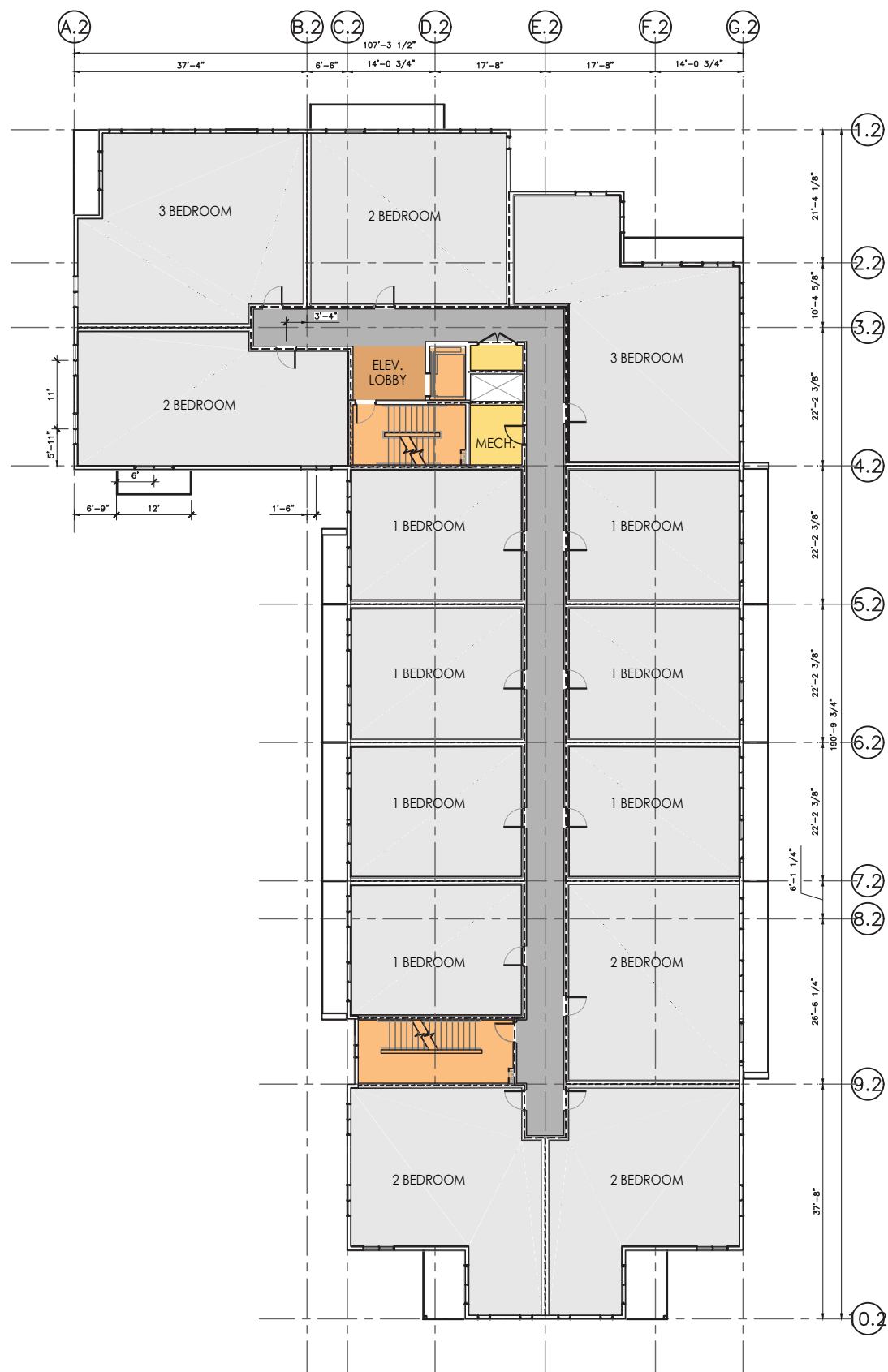
BUILDING TWO  
TYPICAL FLOOR PLAN (3-6)

Project Number: 2102

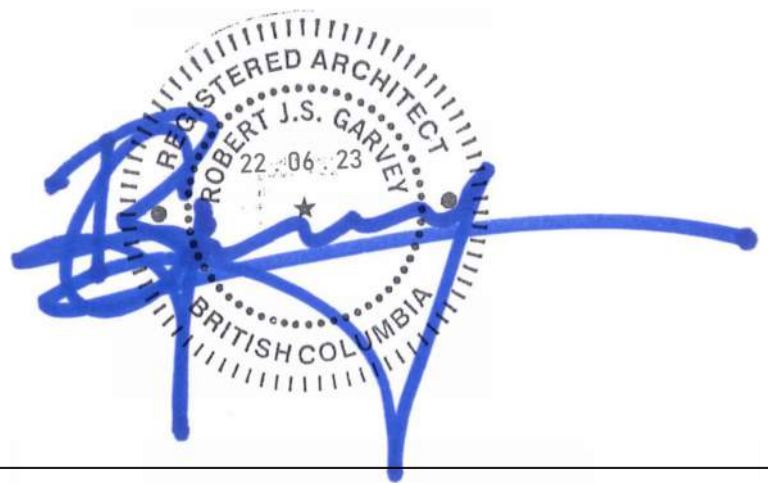
04-30-2020	Rev Date 06-06-2022
Drawn By T.THIMM	Designed By T.THIMM
Checked By R.GARVEY	

**ESP-3.21**

Scale 1:300



**BUILDING 2 TYPICAL FLOOR PLAN**  
SCALE 1:300





**SCHEDULE B**  
 This forms part of application  
 # DP21-0231 DVP21-0232  
 Planner Initials KB  
 City of Kelowna  
 DEVELOPMENT PLANNING

**Ironclad Developments Inc.**

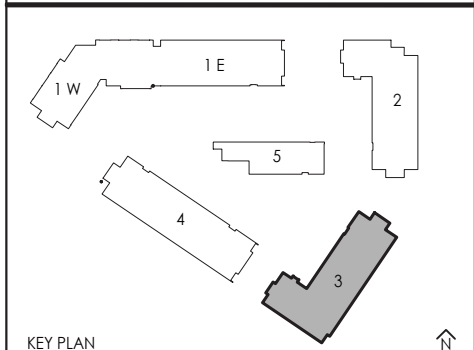
Project Management  
 General Contracting  
 Design/ Build

**101-57158**  
 Symington Rd.  
 Springfield, MB  
 R2J 4L6

PH:  
**204-777-1972**  
 info@icdev.ca

Consultant

ROB J.S. GARVEY, ARCHITECT  
 MAA, AIBC, LEED AP  
 201-57158 SYMINGTON RD 20E  
 SPRINGFIELD, MB R2J 4L6  
 T: 204.227.9274  
 E: RGARVEY@A77.CA



- AMENITIES
- ROOFTOP PATIOS
- COMMERCIAL
- SUPPORTING SPACES
- SUITES
- LOBBY/ENTRANCE AREA
- CORRIDOR
- VERTICAL COMMUNICATION

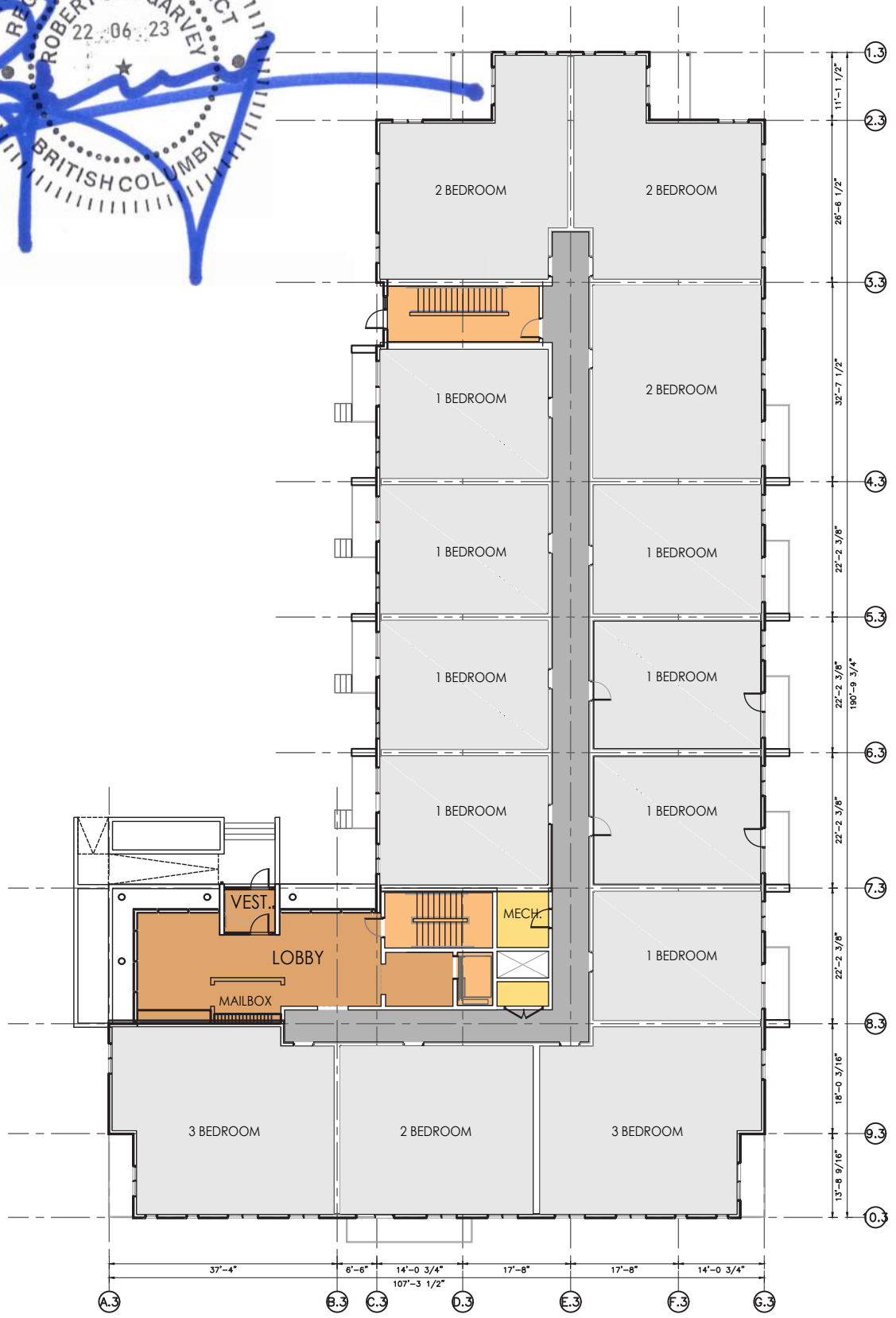
REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;  
 Kelowna BC.

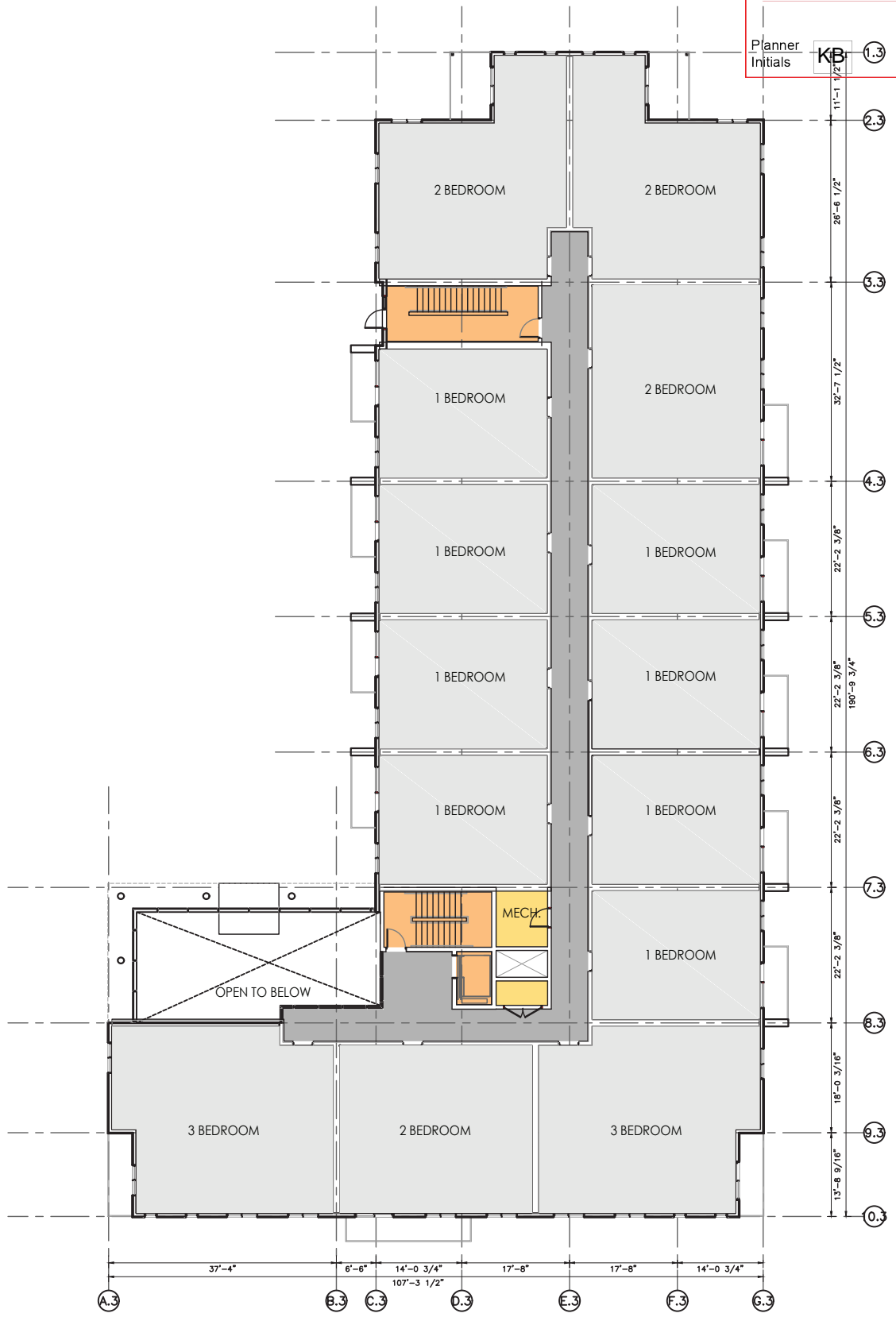
**BUILDING THREE  
 MAIN AND SECOND  
 FLOOR PLAN**

Project Number: 2102  
 04-30-2020 Rev Date 06-06-2022  
 Drawn By T.THIMM  
 Designed By T.THIMM  
 Checked By R.GARVEY

**ESP-3.30**  
 Scale 1:300



**BUILDING 3 MAIN FLOOR PLAN**  
 SCALE 1:300



**BUILDING 3 SECOND FLOOR PLAN**  
 SCALE 1:300



**SCHEDULE B**

This forms part of application  
# DP21-0231 DVP21-0232

Planner Initials **KB**

City of **Kelowna**  
DEVELOPMENT PLANNING

**Ironclad Developments Inc.**

Project Management  
General Contracting  
Design/ Build

**101-57158**  
Symington Rd.  
Springfield, MB  
R2J 4L6

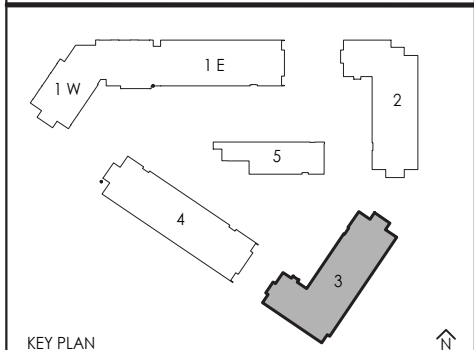
PH:  
**204-777-1972**  
info@icdev.ca

**IRONCLAD DEVELOPMENTS INC.**

Consultant

ROB J.S. GARVEY, ARCHITECT  
MAA, AIBC, LEED AP

201-57158 SYMINGTON RD 20E  
SPRINGFIELD, MB R2J 4L6  
T: 204.227.9274  
E: RGARVEY@A77.CA



- AMENITIES
- ROOFTOP PATIOS
- COMMERCIAL
- SUPPORTING SPACES
- SUITES
- LOBBY/ENTRANCE AREA
- CORRIDOR
- VERTICAL COMMUNICATION

REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;  
Kelowna BC.

BUILDING THREE  
TYPICAL (3-5) AND SIXTH  
FLOOR PLAN

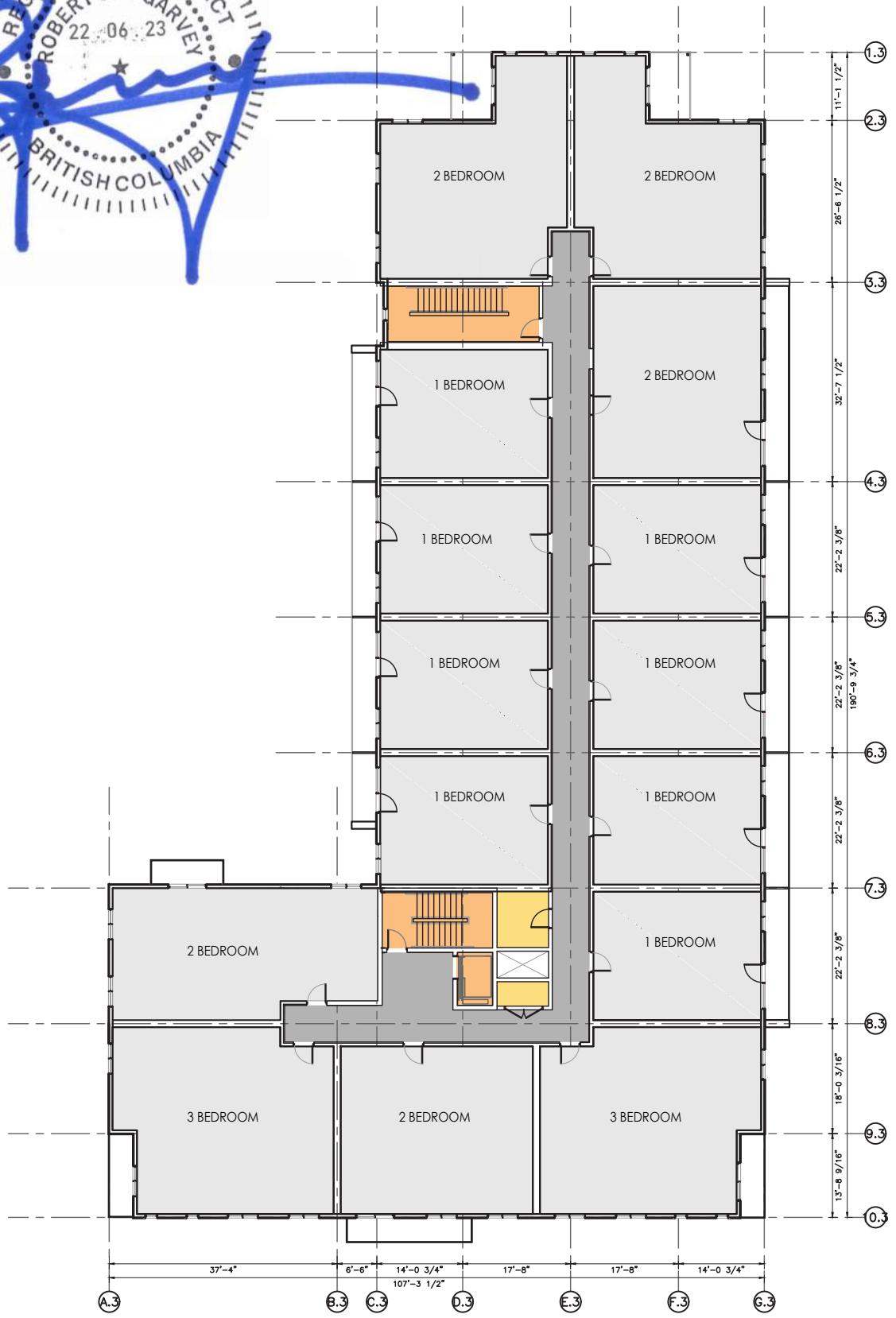
Project Number: 2102

04-30-2020	Rev Date 06-06-2022
------------	---------------------

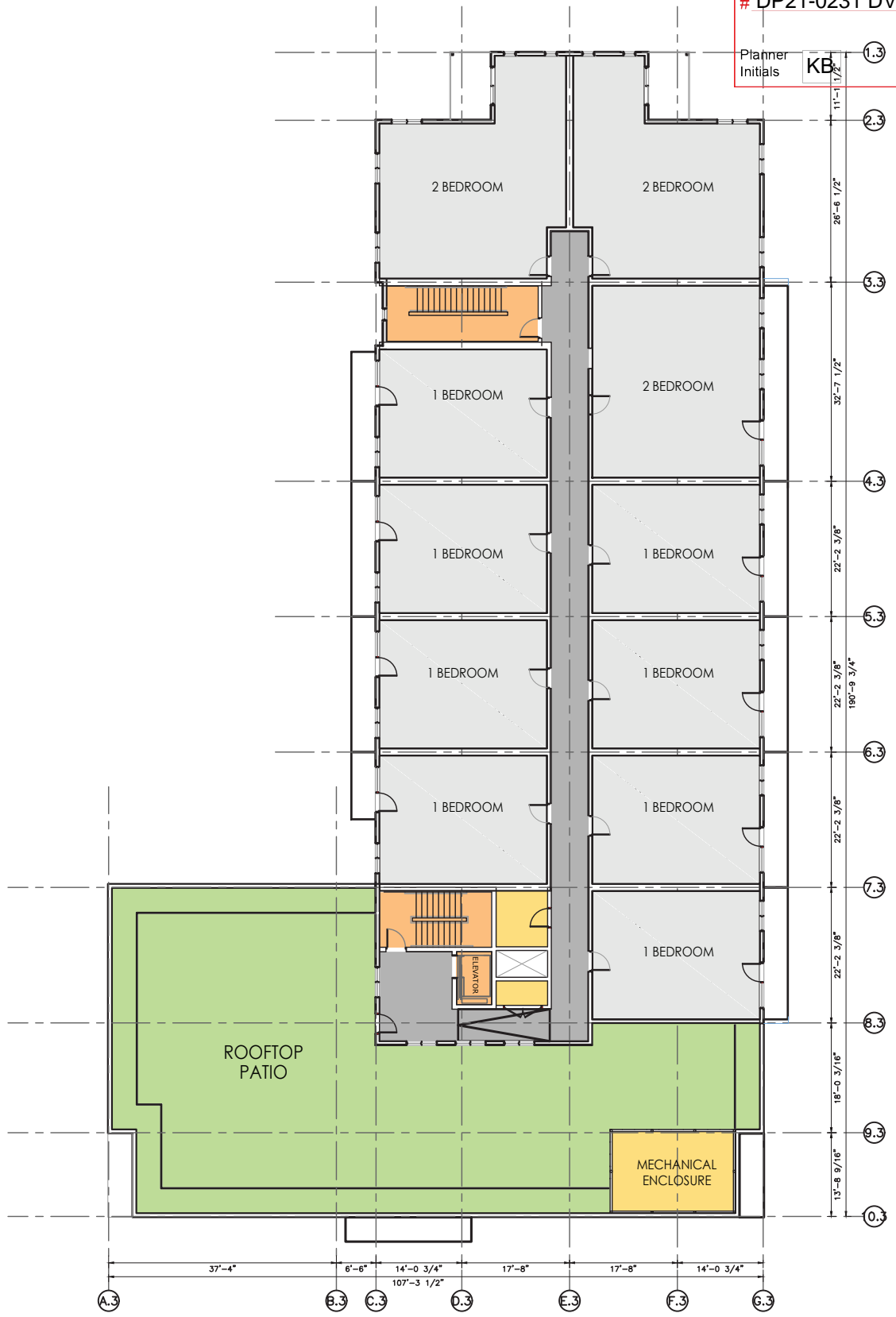
Drawn By T.THIMM  
Designed By T.THIMM  
Checked By R.GARVEY

**ESP-3.31**

Scale 1:300



**BUILDING 3 TYPICAL PLAN**  
SCALE 1:300



**BUILDING 3 SIXTH FLOOR PLAN**  
SCALE 1:300



**SCHEDULE B**

This forms part of application  
# DP21-0231 DVP21-0232

Planner Initials **KB**

City of **Kelowna**  
DEVELOPMENT PLANNING

**Ironclad Developments Inc.**



Project Management  
General Contracting  
Design/ Build

**101-57158**  
Symington Rd.  
Springfield, MB.  
R2J 4L6

PH:  
**204-777-1972**

**info@icdev.ca**

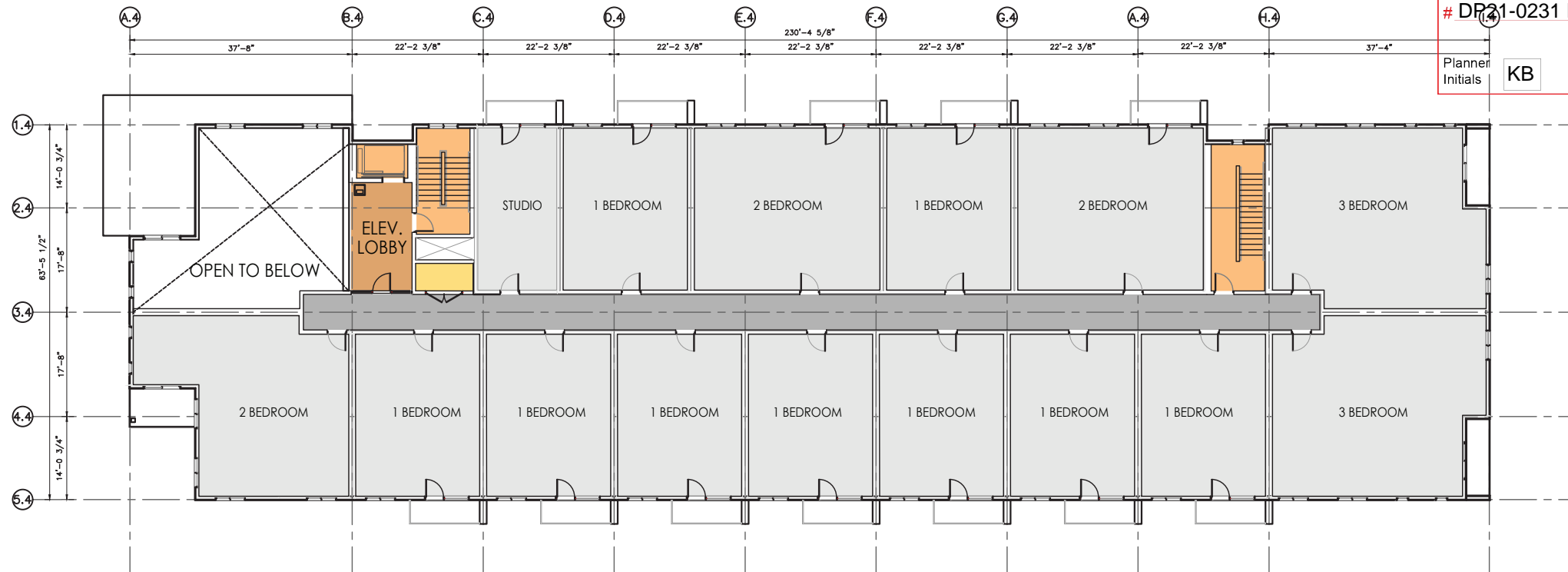
**IRONCLAD DEVELOPMENTS INC.**

Consultant

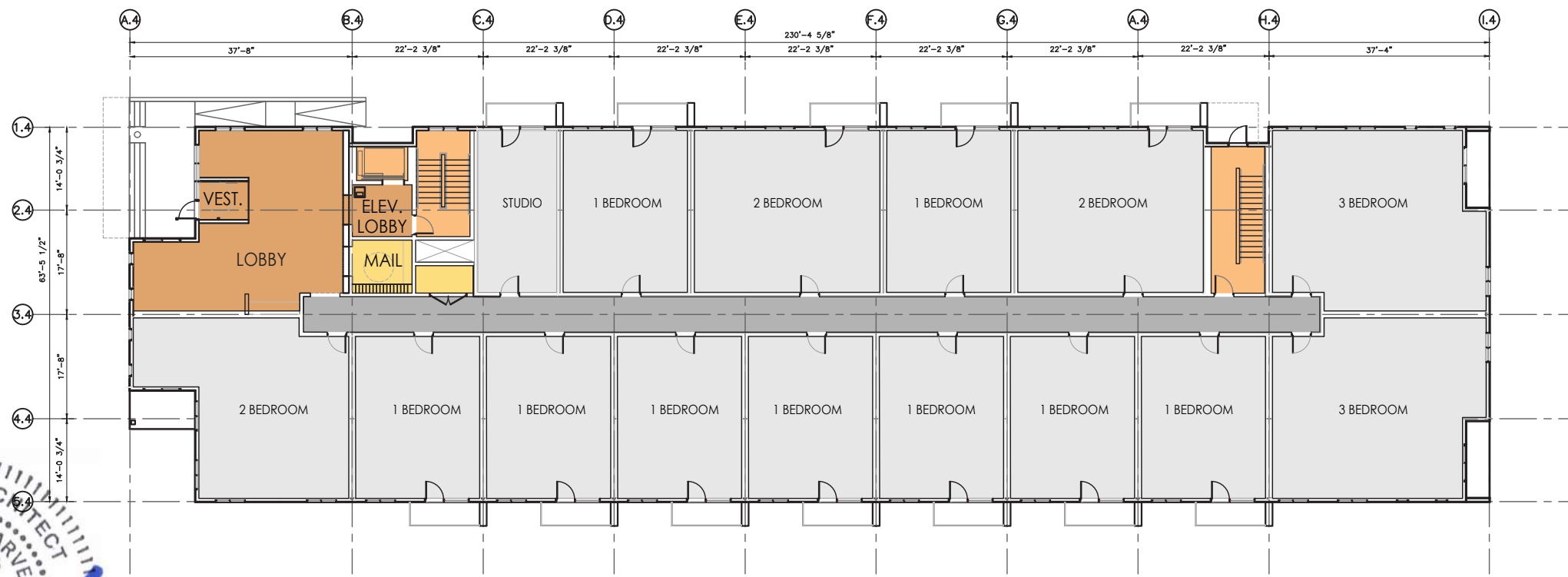


**ROB J.S. GARVEY, ARCHITECT**  
MAA, AIBC, LEED AP

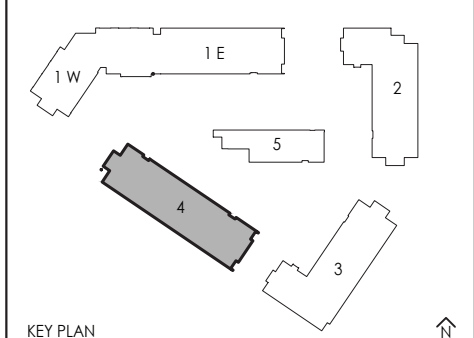
201-57158 SYMINGTON RD 20E  
SPRINGFIELD, MB R2J 4L6  
T: 204.227.9274  
E: RGARVEY@A77.CA



**BUILDING 4 SECOND FLOOR PLAN**  
SCALE 1:300



**BUILDING 4 MAIN FLOOR PLAN**  
SCALE 1:300



- AMENITIES
- ROOFTOP PATIOS
- COMMERCIAL
- SUPPORTING SPACES
- SUITES
- LOBBY/ENTRANCE AREA
- CORRIDOR
- VERTICAL COMMUNICATION

REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;  
Kelowna BC.

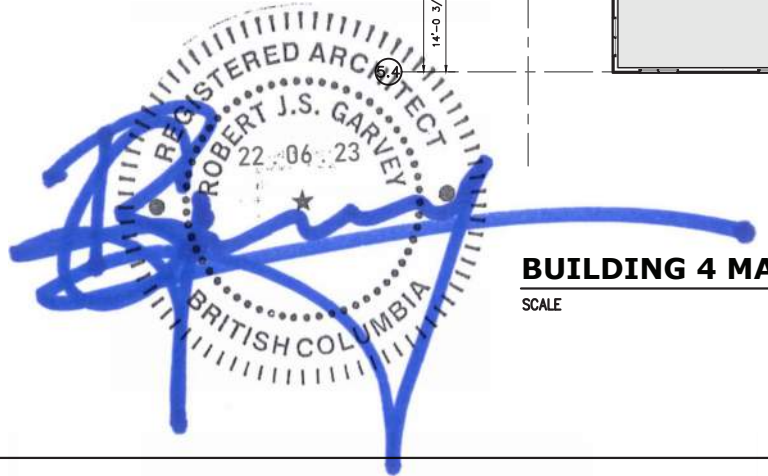
**BUILDING FOUR  
MAIN AND SECOND FLOOR  
PLAN**

Project Number: 2102

04-30-2020	Rev Date 06-06-2022
Drawn By T.THIMM	Designed By T.THIMM
Checked By R.GARVEY	

**ESP-3.40**

Scale 1:300



**SCHEDULE B**

This forms part of application  
 # DP21-0231 DVP21-0232

Planner Initials **KB**

City of Kelowna  
 DEVELOPMENT PLANNING

**Ironclad Developments Inc.**



Project Management  
 General Contracting  
 Design/ Build

**101-57158**  
 Symington Rd.  
 Springfield, MB.  
 R2J 4L6

PH:  
**204-777-1972**

**info@icdev.ca**

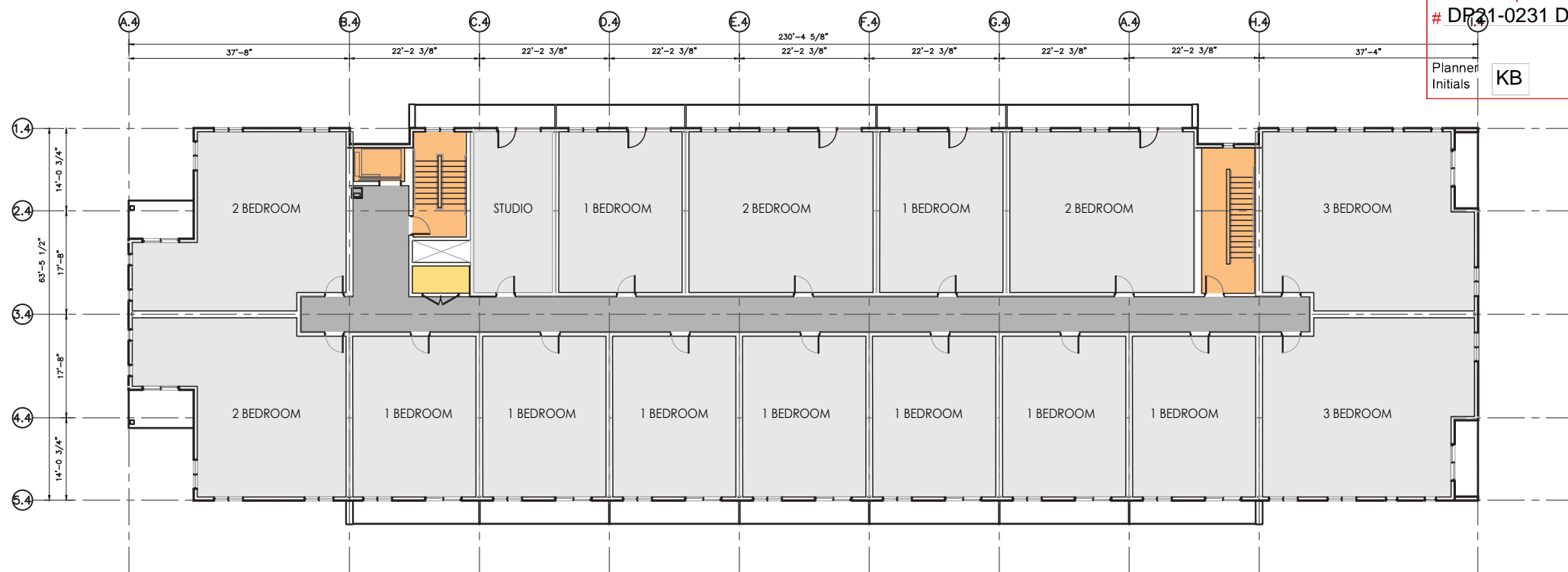
**IRONCLAD DEVELOPMENTS INC.**

Consultant

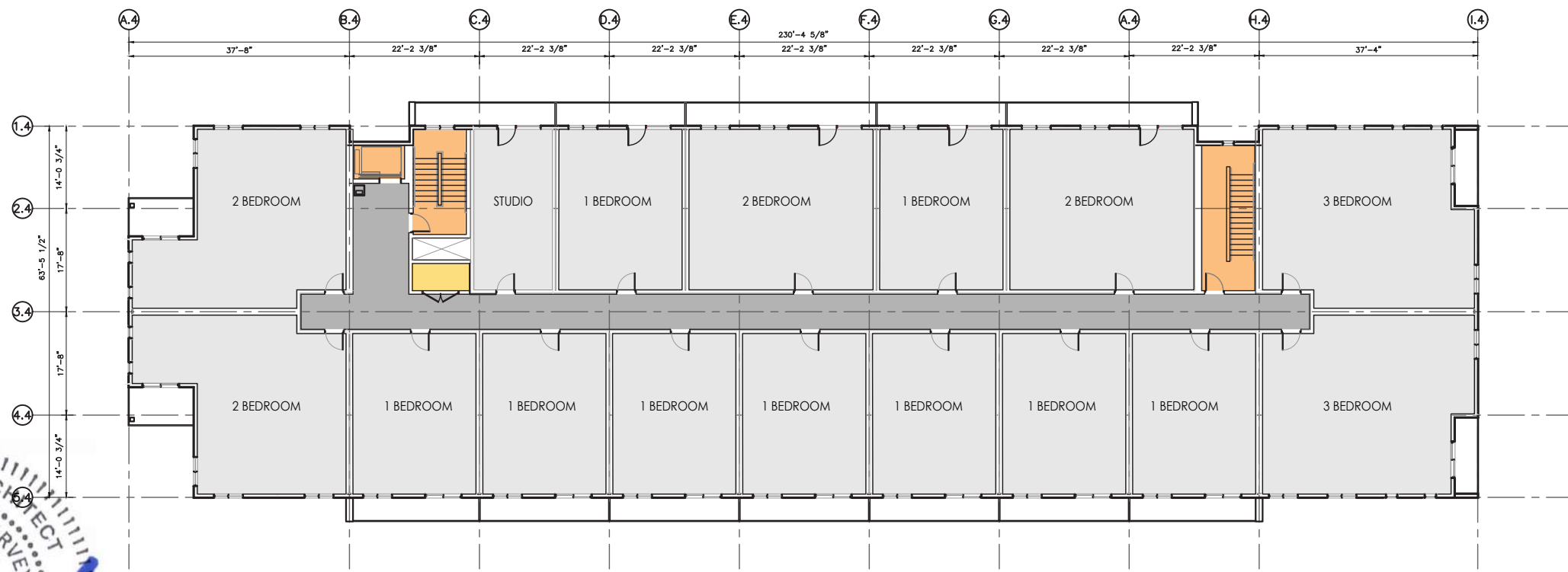


ROB J.S. GARVEY, ARCHITECT  
 MAA, AIBC, LEED AP

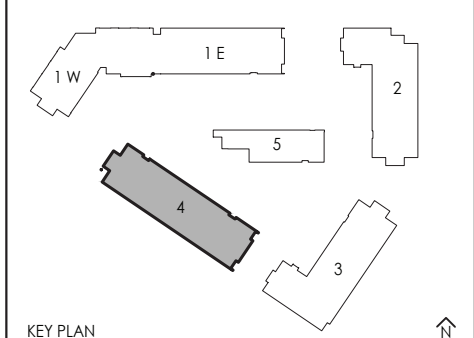
201-57158 SYMINGTON RD 20E  
 SPRINGFIELD, MB R2J 4L6  
 T: 204.227.9274  
 E: RGARVEY@A77.CA



**BUILDING 4 FIFTH FLOOR PLAN**  
 SCALE 1:300



**BUILDING 4 TYPICAL FLOOR PLAN**  
 SCALE 1:300



- AMENITIES
- ROOFTOP PATIOS
- COMMERCIAL
- SUPPORTING SPACES
- SUITES
- LOBBY/ENTRANCE AREA
- CORRIDOR
- VERTICAL COMMUNICATION

REV.	DESCRIPTION OF WORK REVISED	DATE

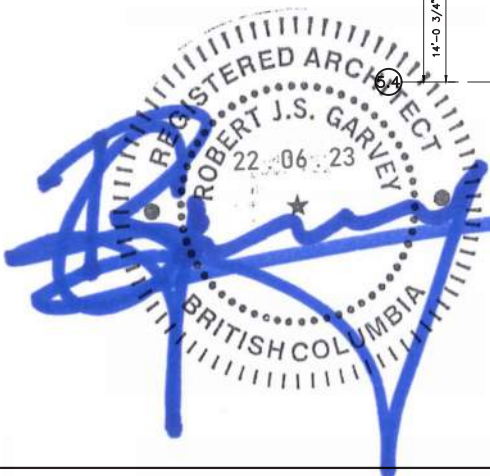
2241 SPRINGFIELD ROAD;  
 Kelowna BC.

**BUILDING FOUR**  
 TYPICAL (3-4) AND FIFTH  
 FLOOR PLAN

Project Number: 2004	06-06-2022
04-30-2020	Rev Date
Drawn By	T.THIMM
Designed By	T.THIMM
Checked By	R.GARVEY

**ESP-3.41**

Scale 1:300





**SCHEDULE B**

This forms part of application  
 # DP21-0231 DVP21-0232

Planner Initials **KB**

City of **Kelowna**  
 DEVELOPMENT PLANNING

**Ironclad Developments Inc.**



Project Management  
 General Contracting  
 Design/ Build

**101-57158**  
**Symington Rd.**  
**Springfield, MB.**  
**R2J 4L6**

**PH:**  
**204-777-1972**

**info@icdev.ca**

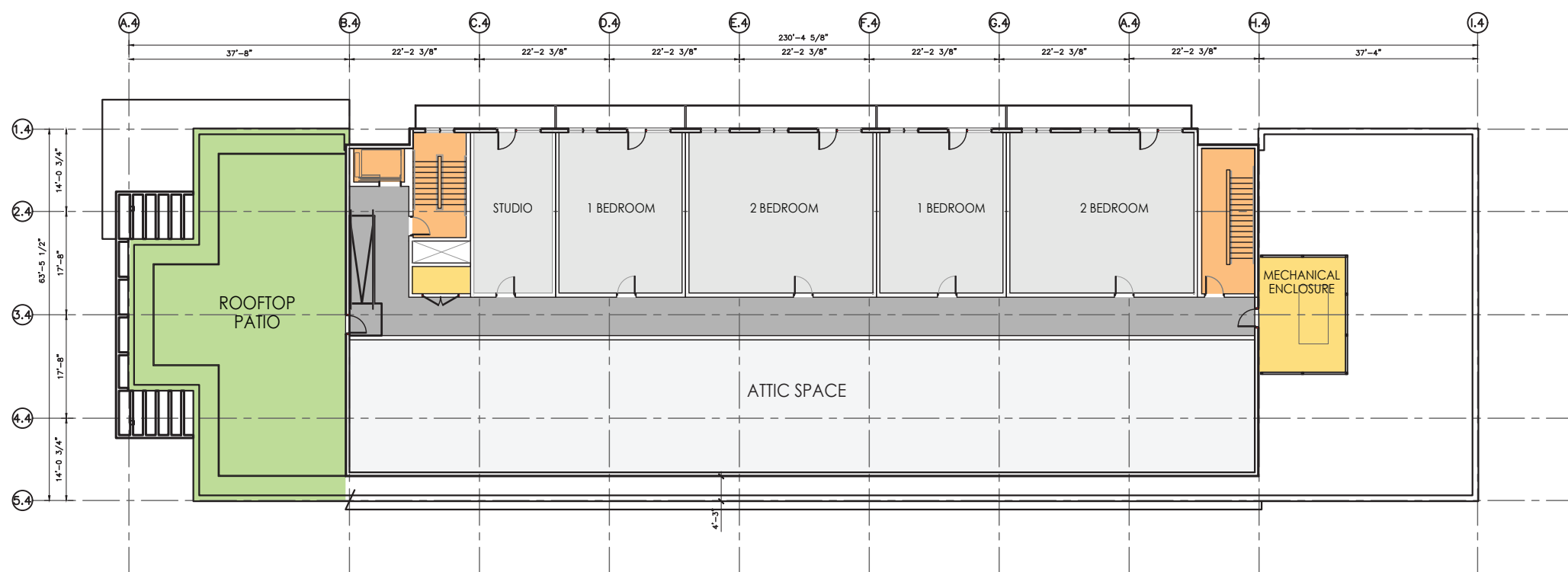
**IRONCLAD DEVELOPMENTS INC.**

Consultant



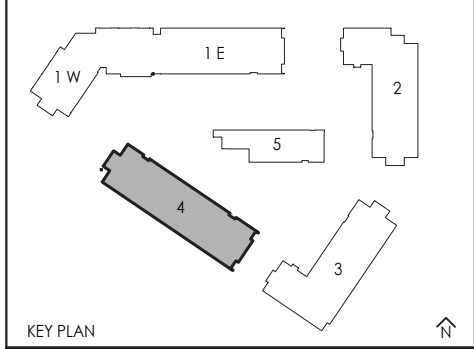
**ROB J.S. GARVEY, ARCHITECT**  
 MAA, AIBC, LEED AP

201-57158 SYMINGTON RD 20E  
 SPRINGFIELD, MB R2J 4L6  
 T: 204.227.9274  
 E: RGARVEY@A77.CA



**BUILDING 4 SIXTH FLOOR PLAN**

SCALE 1:300



- KEY PLAN
- AMENITIES
  - ROOFTOP PATIOS
  - COMMERCIAL
  - SUPPORTING SPACES
  - SUITES
  - LOBBY/ENTRANCE AREA
  - CORRIDOR
  - VERTICAL COMMUNICATION

REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;  
 Kelowna BC.

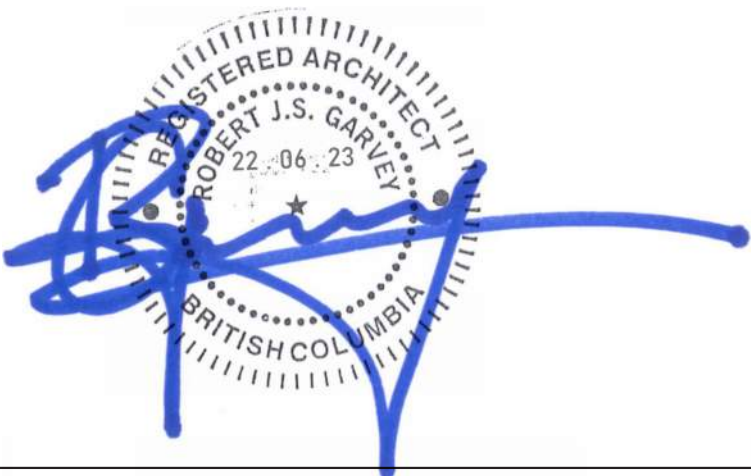
**BUILDING FOUR**  
**SIXTH**  
**FLOOR PLAN**

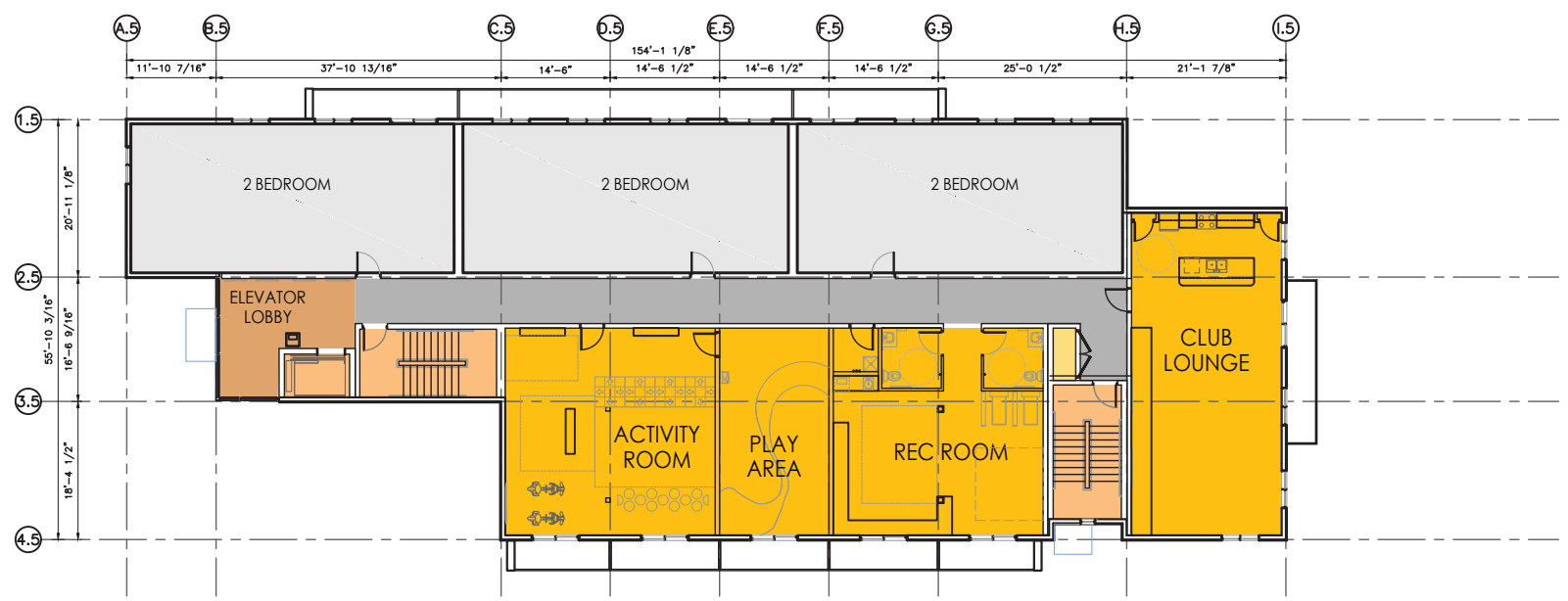
Project Number: 2102

04-30-2020	Rev Date 06-06-2022
Drawn By	T.THIMM
Designed By	T.THIMM
Checked By	R.GARVEY

**ESP-3.42**

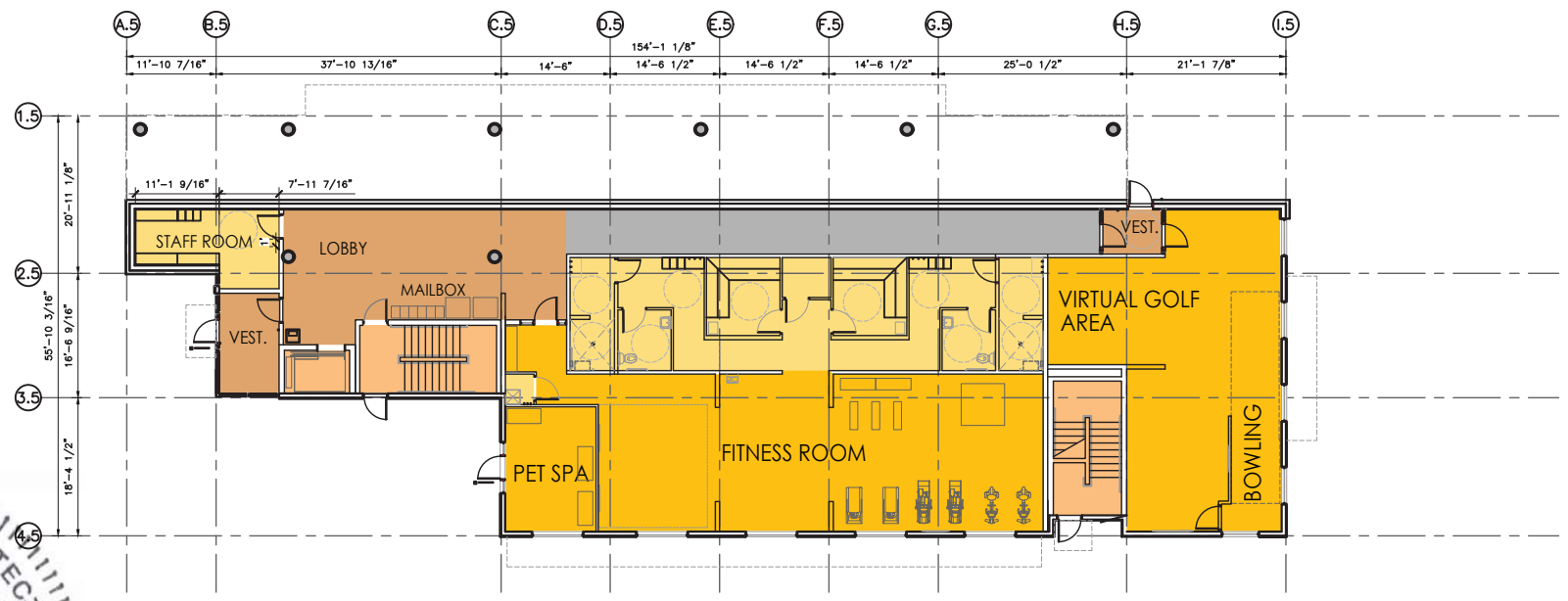
Scale 1:300





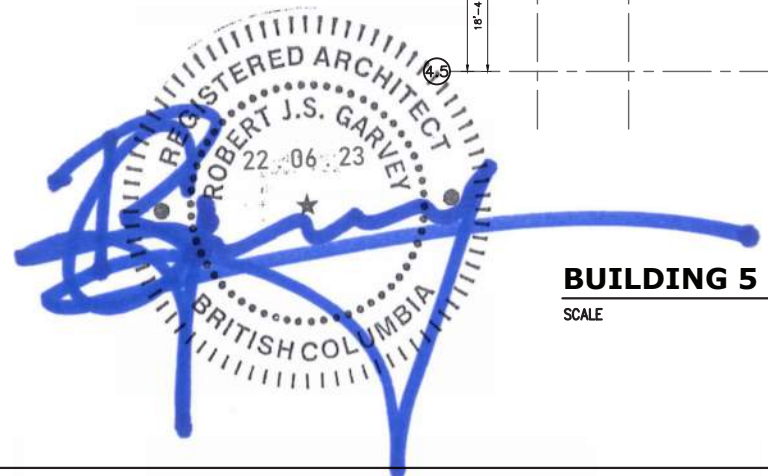
**BUILDING 5 SECOND FLOOR PLAN**

SCALE 1:300



**BUILDING 5 MAIN FLOOR PLAN**

SCALE 1:300



**SCHEDULE B**

This forms part of application  
# DP21-0231 DVP21-0232

Planner Initials **KB**

City of **Kelowna**  
DEVELOPMENT PLANNING

**Ironclad Developments Inc.**

Project Management  
General Contracting  
Design/ Build

**101-57158**  
Symington Rd.  
Springfield, MB  
R2J 4L6

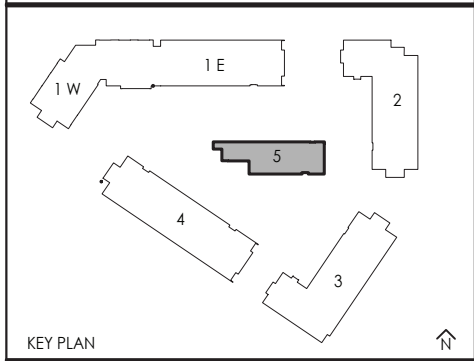
PH:  
**204-777-1972**

info@icdev.ca

Consultant

ROB J.S. GARVEY, ARCHITECT  
MAA, AIBC, LEED AP

201-57158 SYMINGTON RD 20E  
SPRINGFIELD, MB R2J 4L6  
T: 204.227.9274  
E: RGARVEY@A77.CA



	AMENITIES		ROOFTOP PATIOS
	COMMERCIAL		SUPPORTING SPACES
	SUITES		LOBBY/ENTRANCE AREA
	CORRIDOR		VERTICAL COMMUNICATION

REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;  
Kelowna BC.

BUILDING FIVE  
MAIN AND SECOND  
FLOOR PLAN

Project Number: 2102

04-30-2020	Rev Date 06-06-2022
Drawn By T.THIMM	Designed By T.THIMM
Checked By R.GARVEY	



**ESP-3.50**

Scale 1:300

**SCHEDULE B**

This forms part of application  
# DP21-0231 DVP21-0232

Planner Initials **KB**

City of **Kelowna**  
DEVELOPMENT PLANNING

**Ironclad Developments Inc.**



Project Management  
General Contracting  
Design/ Build

**101-57158**  
Symington Rd.  
Springfield, MB.  
R2J 4L6

PH:  
**204-777-1972**

info@icdev.ca

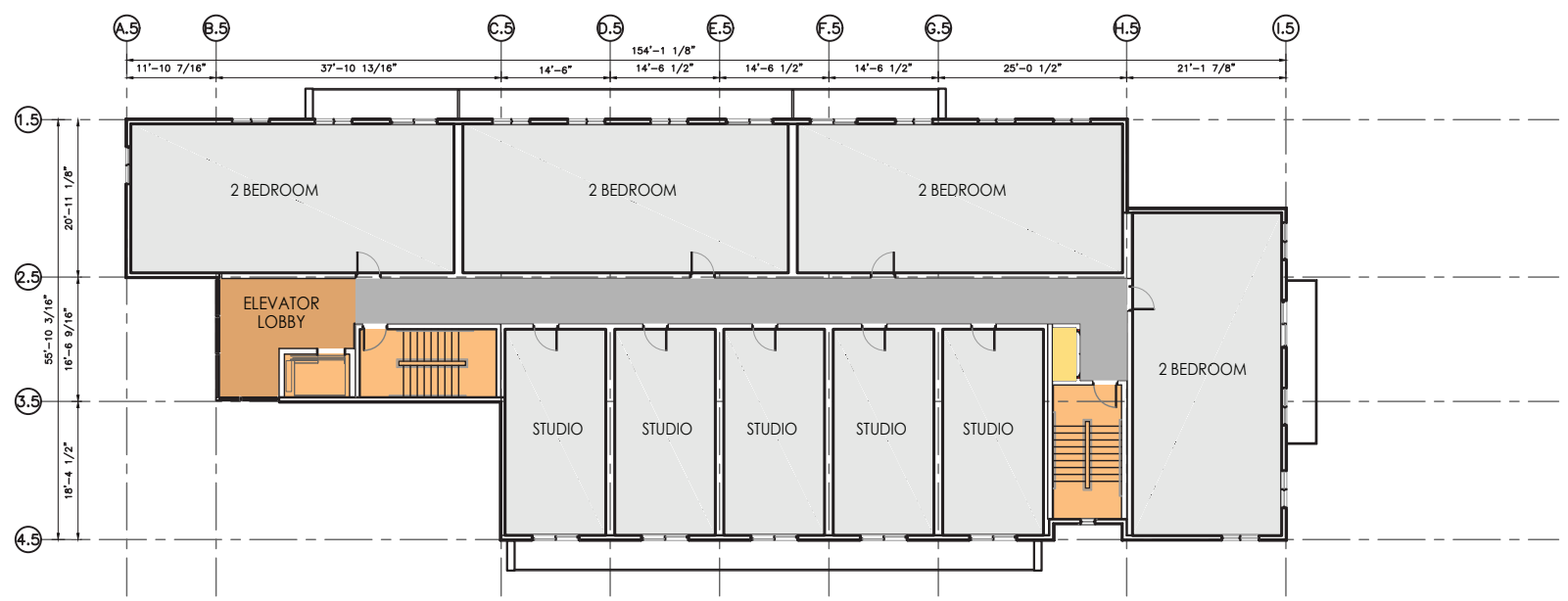
**IRONCLAD DEVELOPMENTS INC.**

Consultant

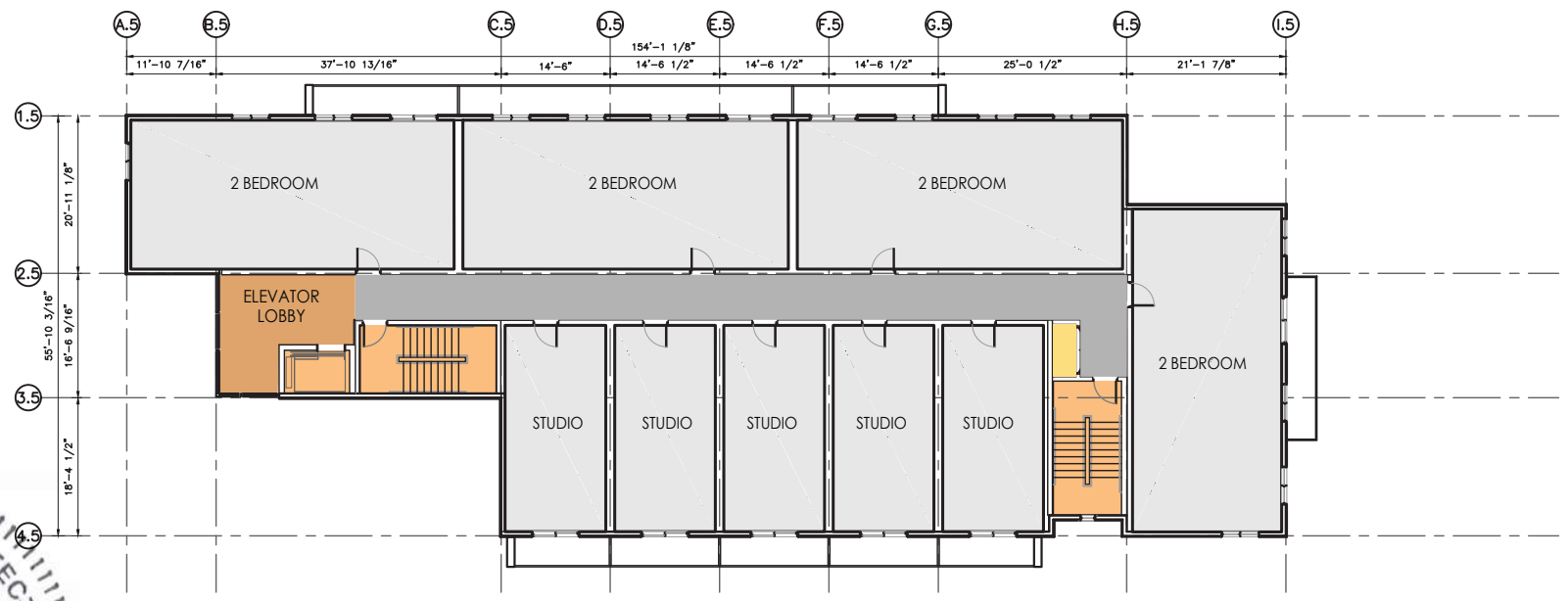


ROB J.S. GARVEY, ARCHITECT  
MAA, AIBC, LEED AP

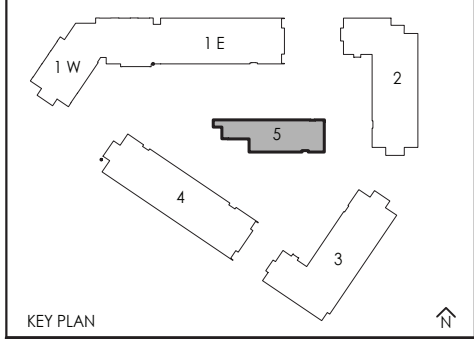
201-57158 SYMINGTON RD 20E  
SPRINGFIELD, MB R2J 4L6  
T: 204.227.9274  
E: RGARVEY@A77.CA



**BUILDING 5 FOURTH FLOOR PLAN**  
SCALE 1:300



**BUILDING 5 THIRD FLOOR PLAN**  
SCALE 1:300



- AMENITIES
- ROOFTOP PATIOS
- COMMERCIAL
- SUPPORTING SPACES
- SUITES
- LOBBY/ENTRANCE AREA
- CORRIDOR
- VERTICAL COMMUNICATION

REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;  
Kelowna BC.

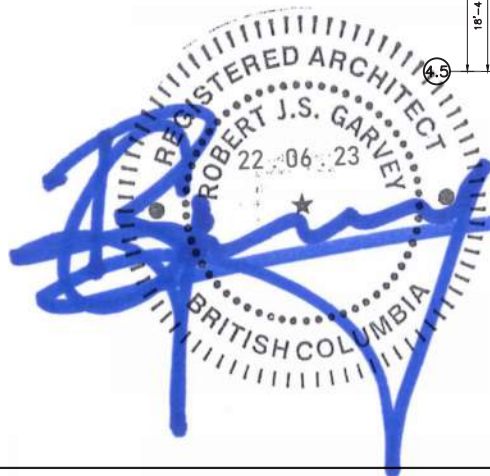
BUILDING FIVE  
THIRD AND FOURTH  
FLOOR PLAN

Project Number: 2102

04-30-2020	Rev Date 06-06-2022
Drawn By T.THIMM	Designed By T.THIMM
Checked By R.GARVEY	

**ESP-3.51**

Scale 1:300



**SCHEDULE B**

This forms part of application  
# DP21-0231 DVP21-0232

Planner Initials **KB**



**Ironclad Developments Inc.**



**Project Management**  
General Contracting  
Design/ Build

**101-57158**  
Symington Rd.  
Springfield, MB.  
R2J 4L6

**PH:**  
204-777-1972

**info@icdev.ca**

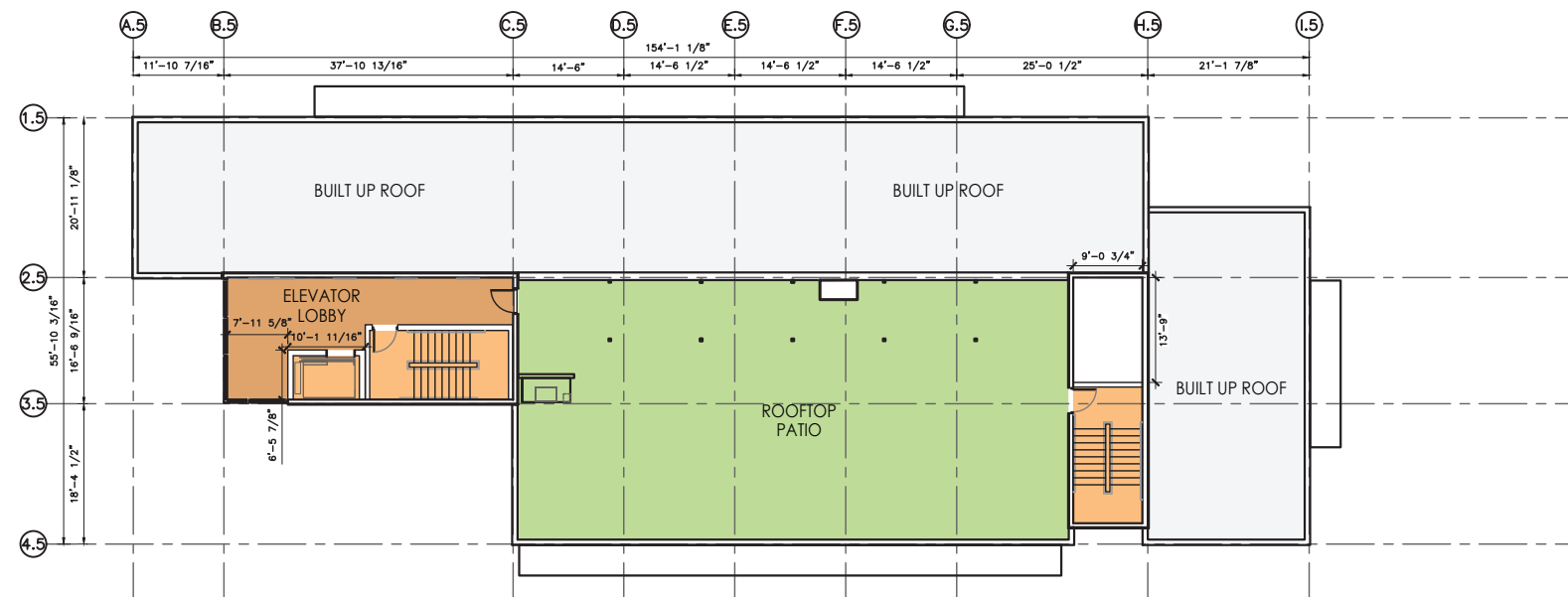
**IRONCLAD DEVELOPMENTS INC.**

Consultant



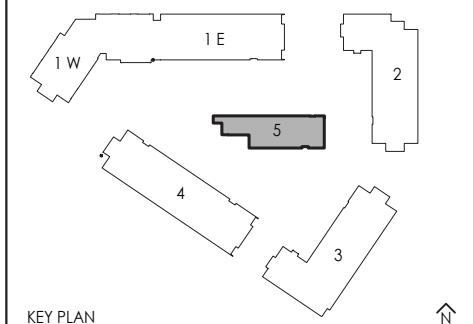
**ROB J.S. GARVEY, ARCHITECT**  
MAA, AIBC, LEED AP

201-57158 SYMINGTON RD 20E  
SPRINGFIELD, MB R2J 4L6  
T: 204.227.9274  
E: RGARVEY@A77.CA



**BUILDING 5 FIFTH FLOOR PLAN**

SCALE 1:300



KEY PLAN

	AMENITIES		ROOFTOP PATIOS
	COMMERCIAL		SUPPORTING SPACES
	SUITES		LOBBY/ENTRANCE AREA
	CORRIDOR		VERTICAL COMMUNICATION

REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;  
Kelowna BC.

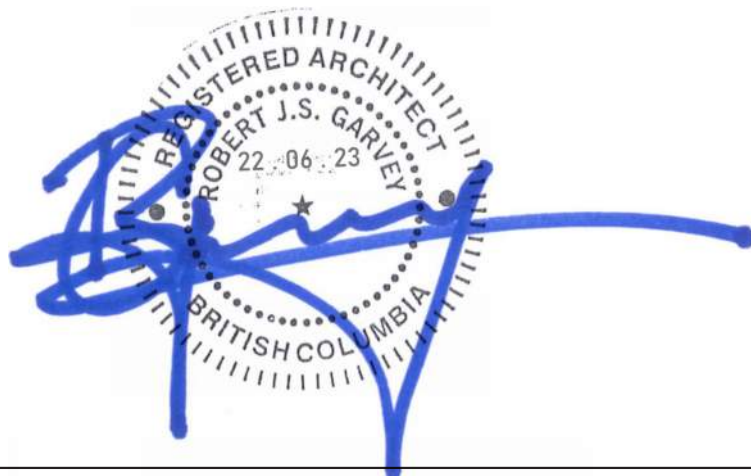
**BUILDING FIVE  
FIFTH FLOOR PLAN**

Project Number: 2102

04-30-2020	Rev Date 06-06-2022
Drawn By	T.THIMM
Designed By	T.THIMM
Checked By	R.GARVEY

**ESP-3.52**

Scale 1:300

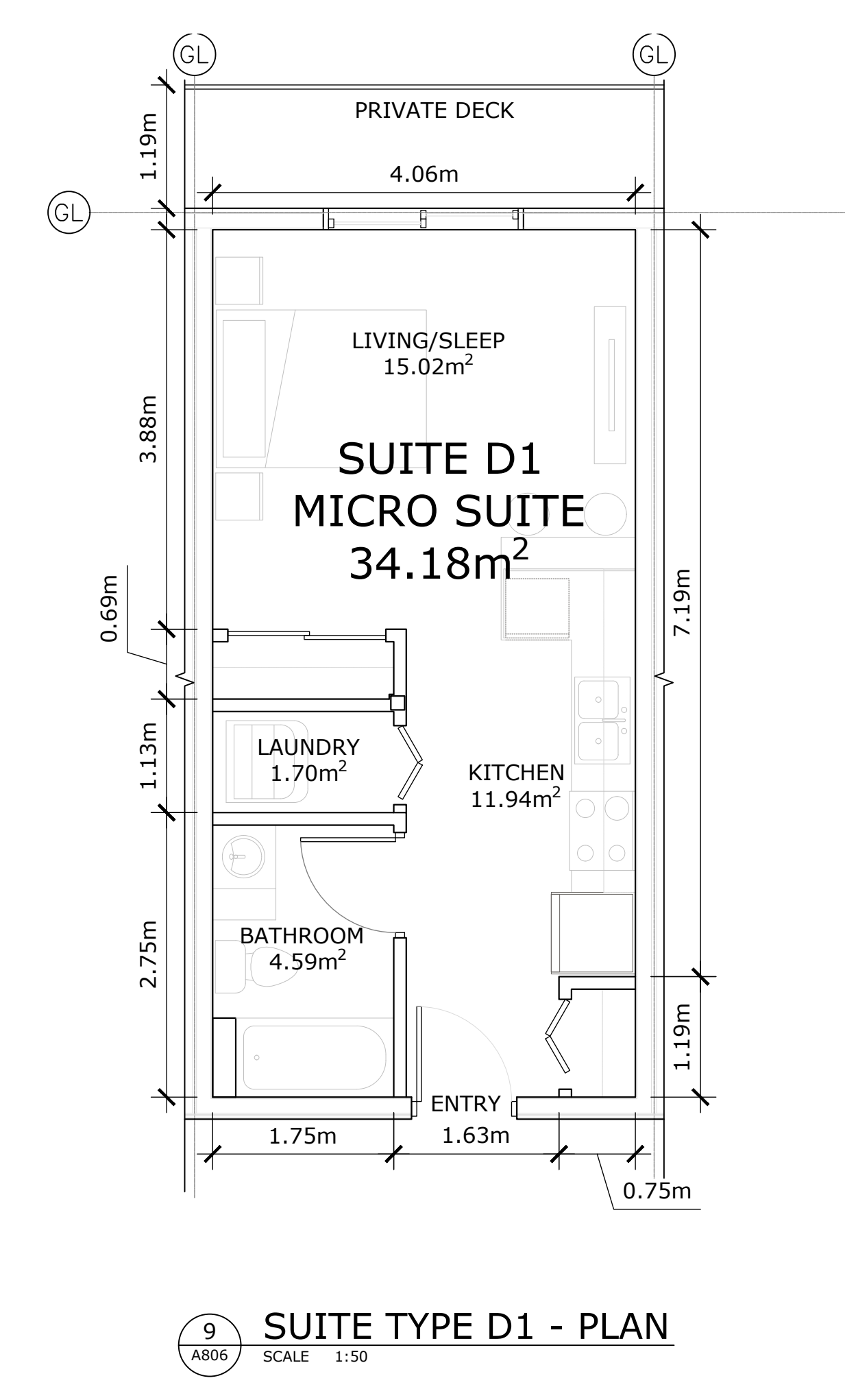
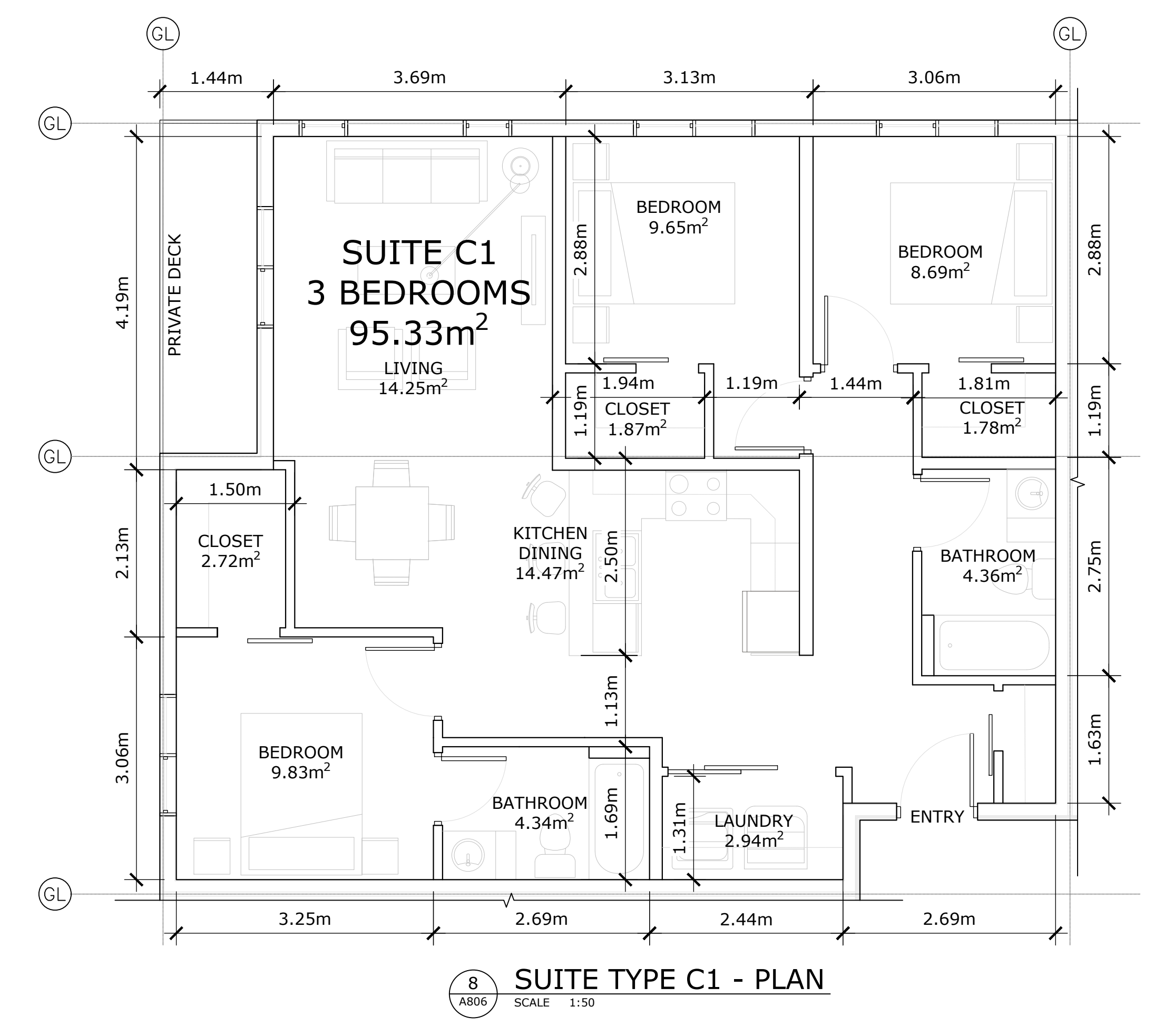
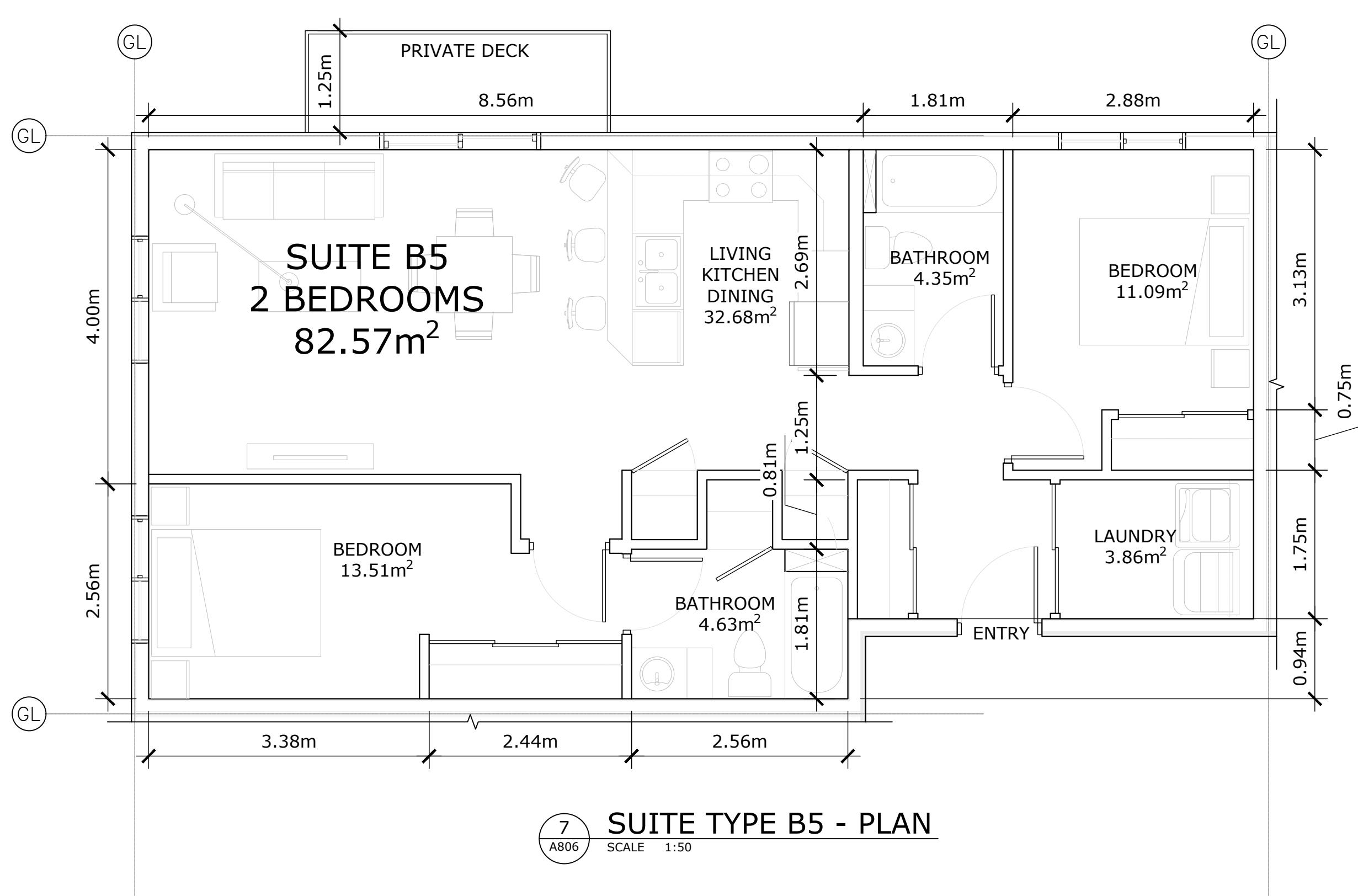
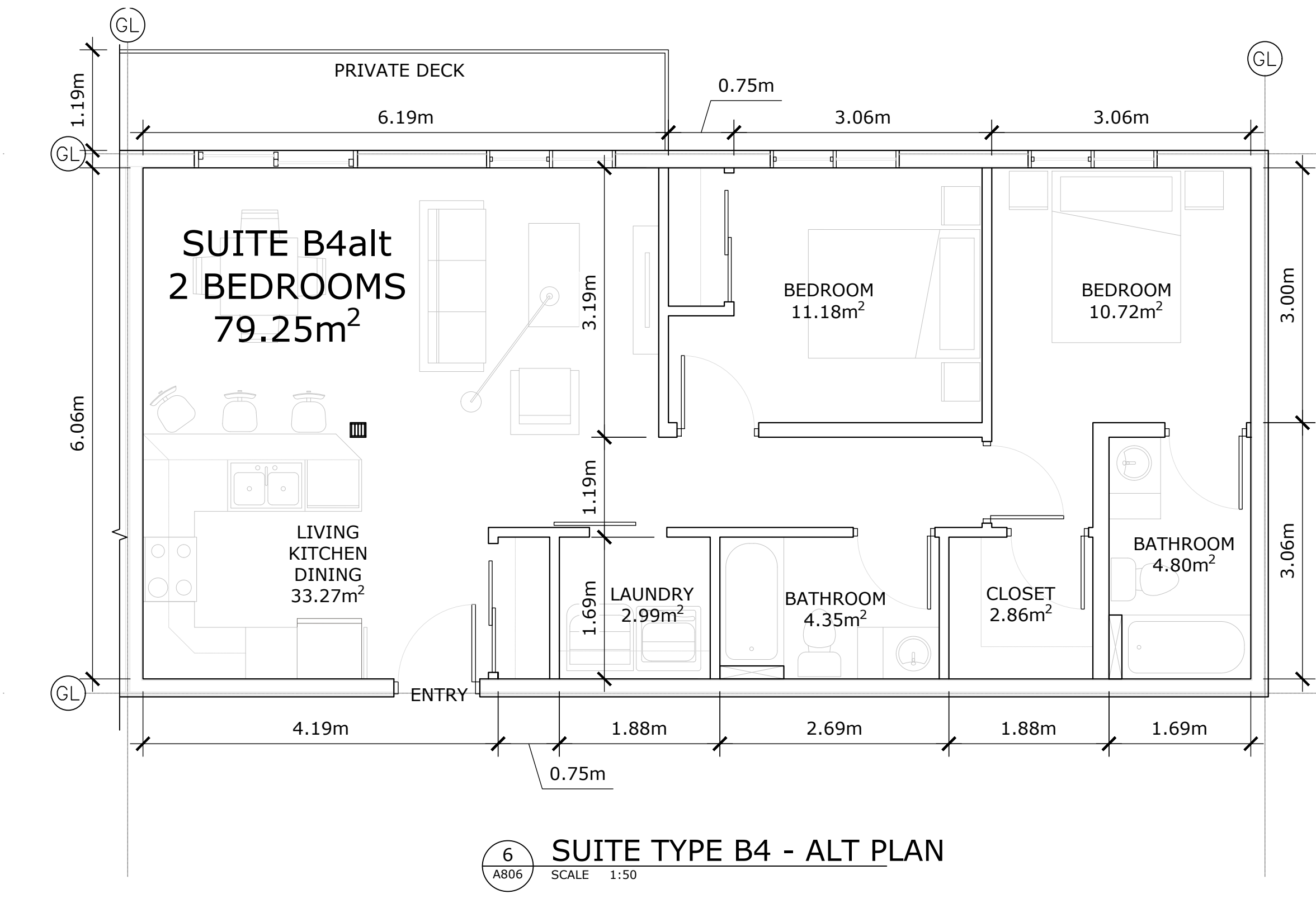
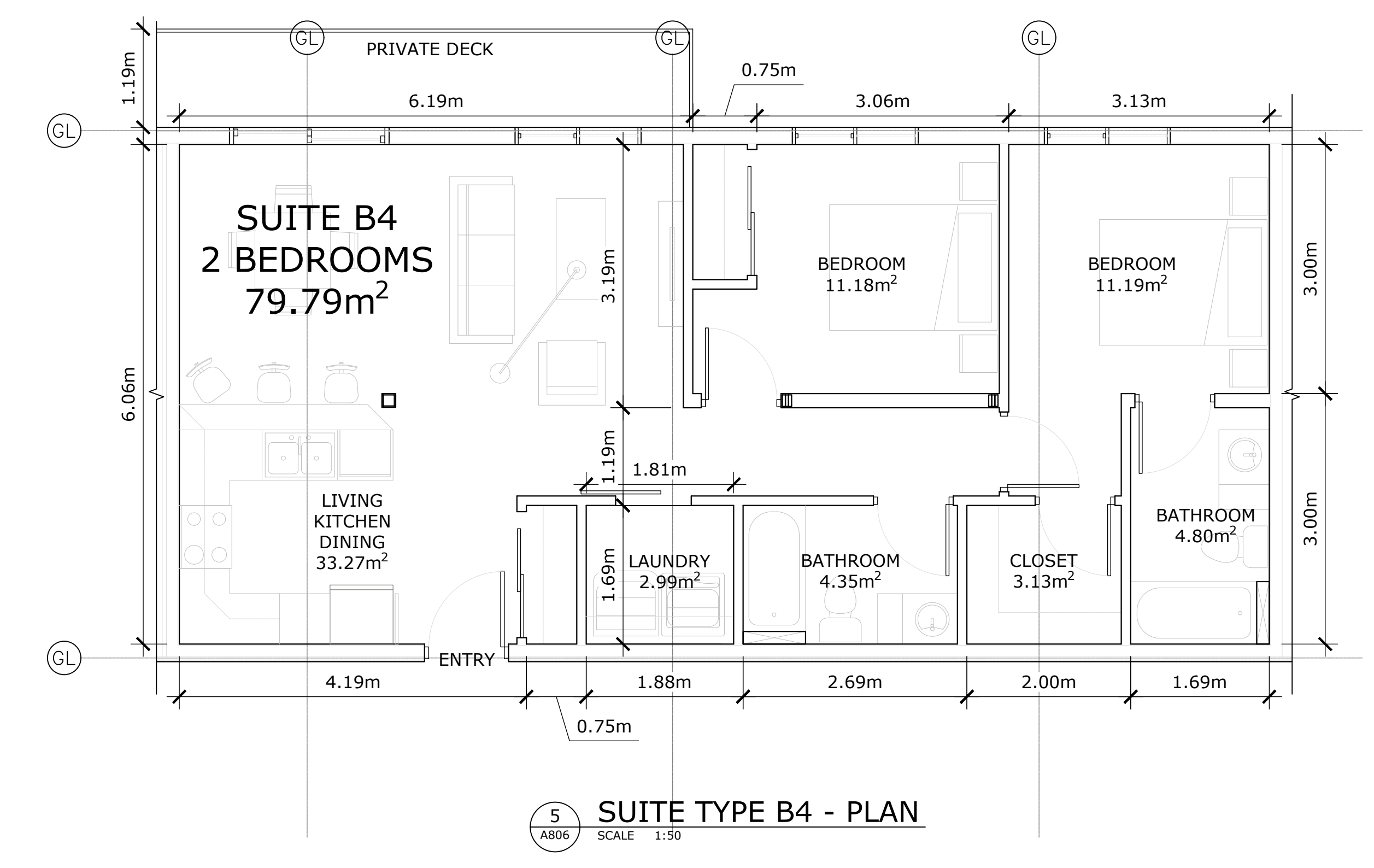
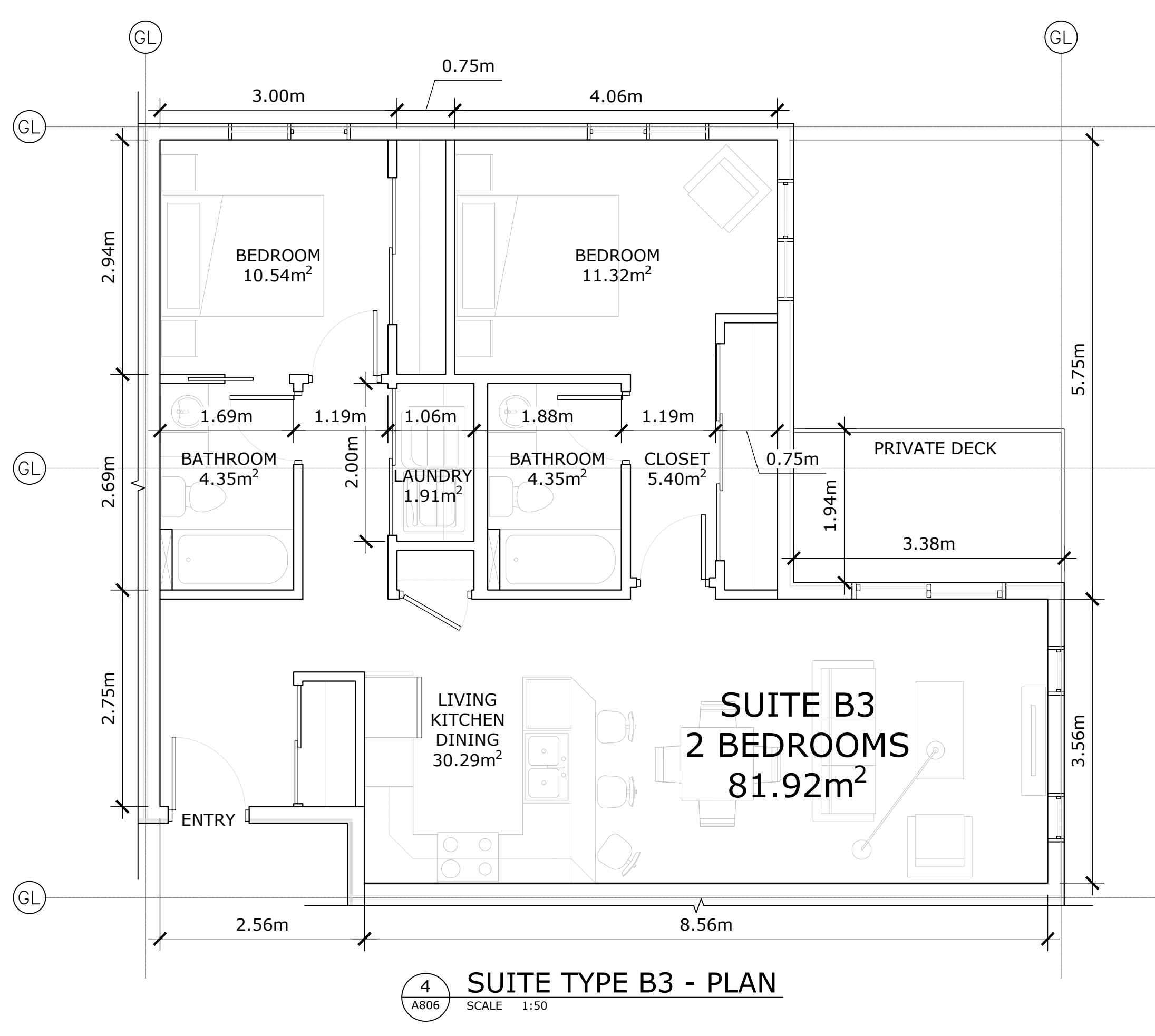
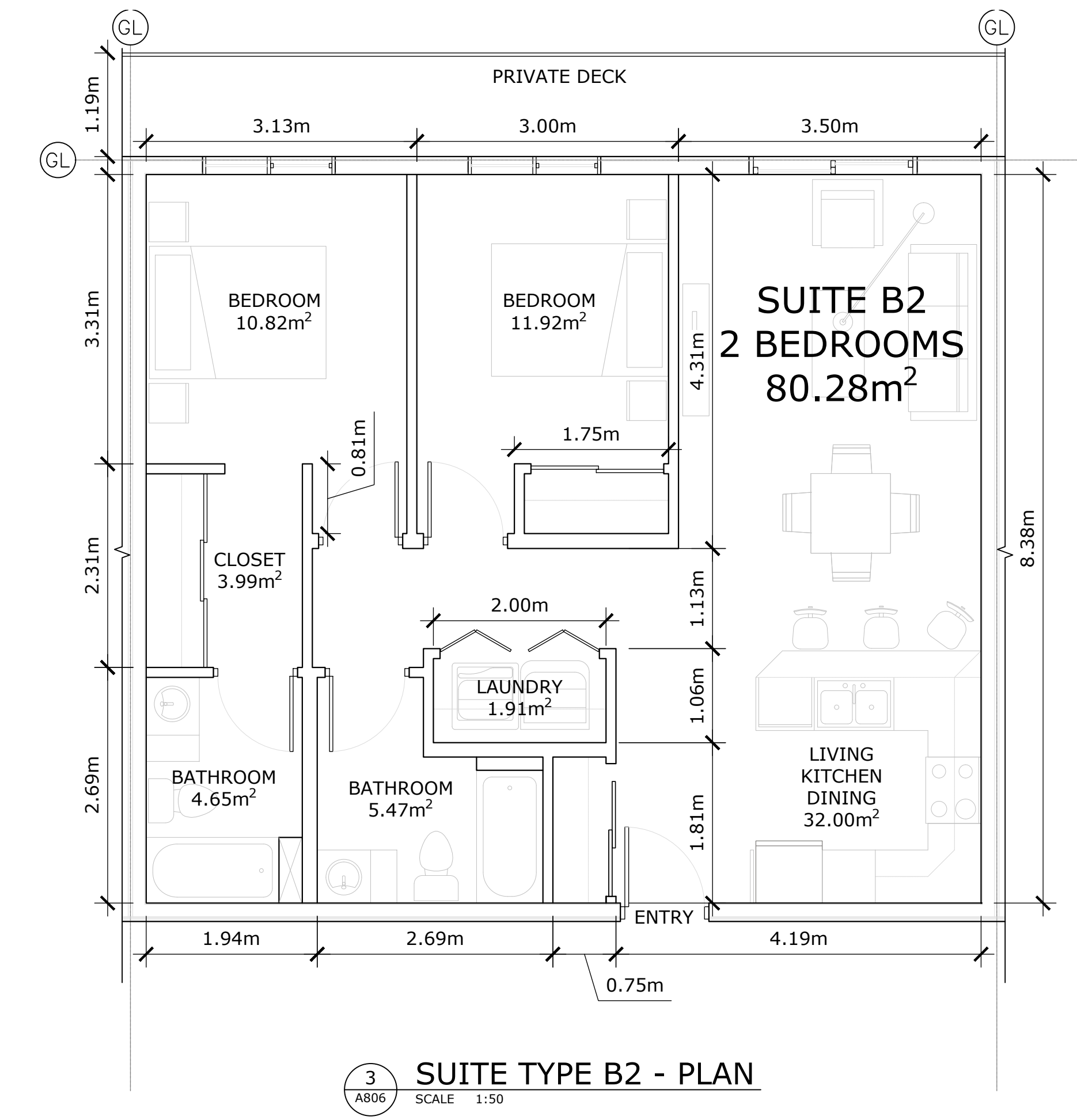
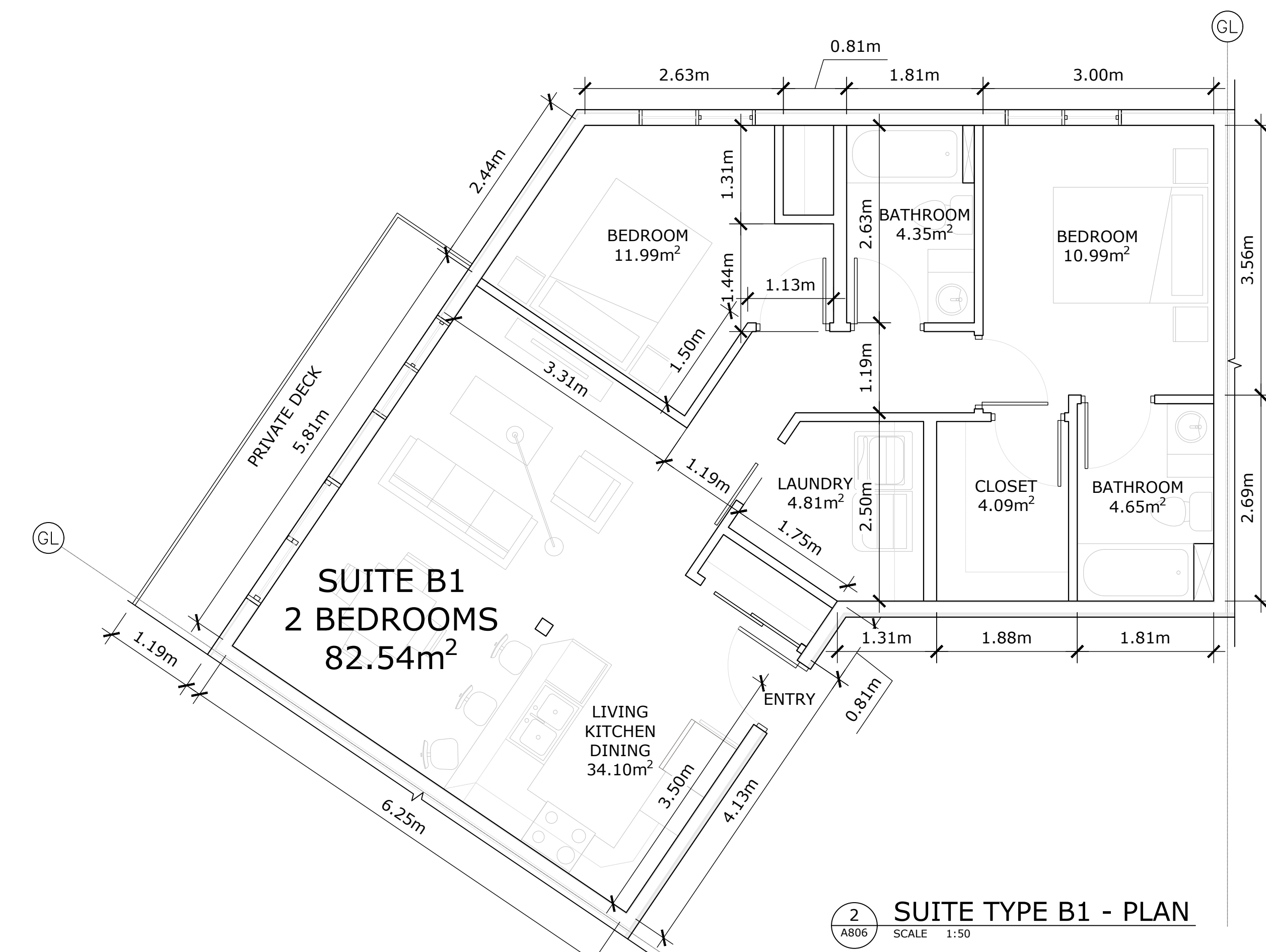
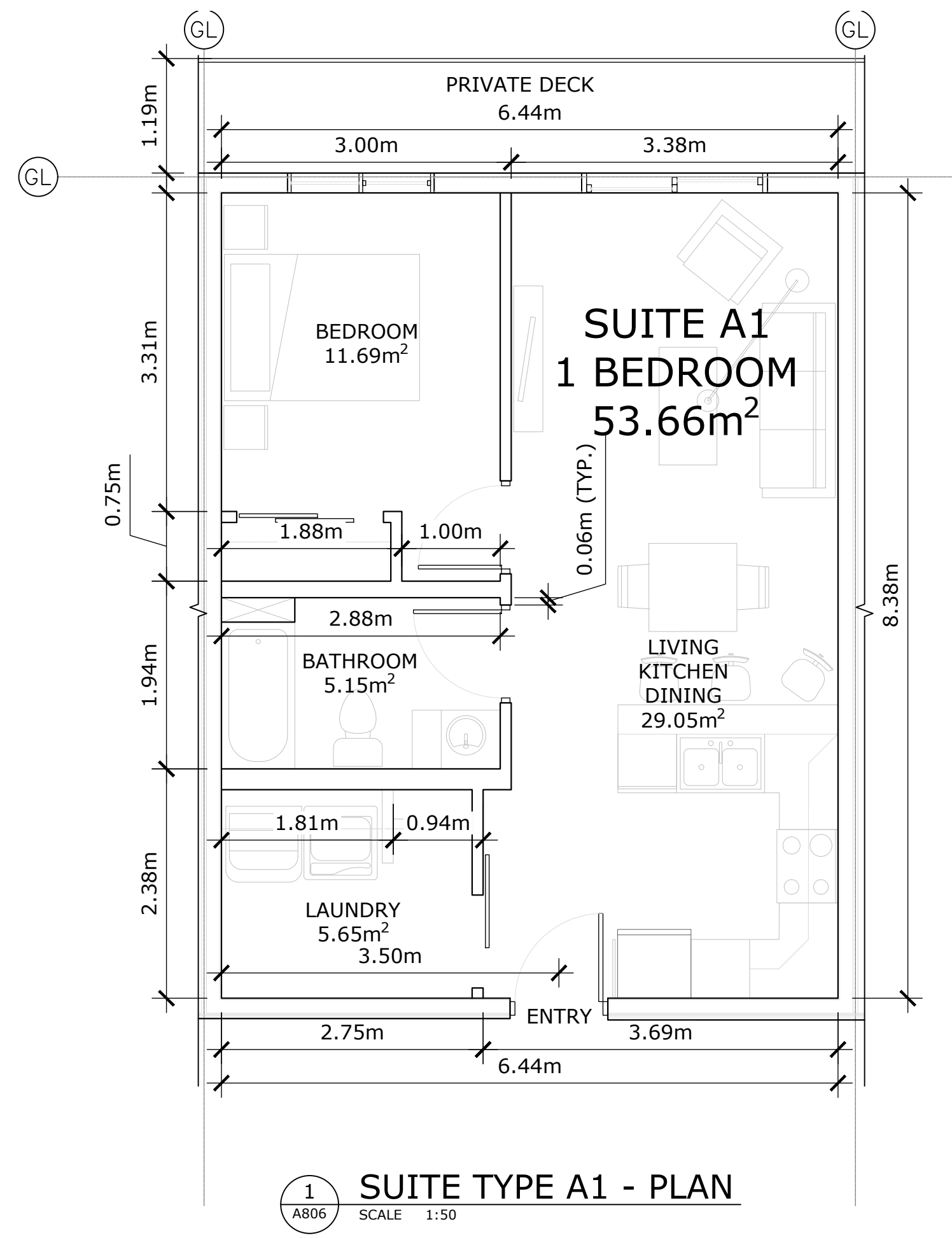


**SCHEDULE B**

This forms part of application  
 # DP21-0231 DVP21-0232

Planner Initials **KB**

City of **Kelowna**  
 DEVELOPMENT PLANNING



REV #	REVISION DESCRIPTION	DATE

Consultant

**ROB GARVEY ARCHITECTURE 77 INC.**  
 201-57158 SYMINGTON RD 20E  
 SPRINGFIELD, MB R2J 4L6  
 T: 204-227-8274  
 E: RGARVEY@A77.CA

All drawings and specifications are the property of Ironclad Developments Inc. and cannot be reproduced or used without the written consent of the Design Manager. The contractor shall verify all dimensions, datums and levels noted on the drawing with the conditions on site and shall be responsible for reporting any errors or omissions to Ironclad Developments Inc. for adjustments. This drawing shall not be scaled.

Stamp

**NOT FOR CONSTRUCTION**

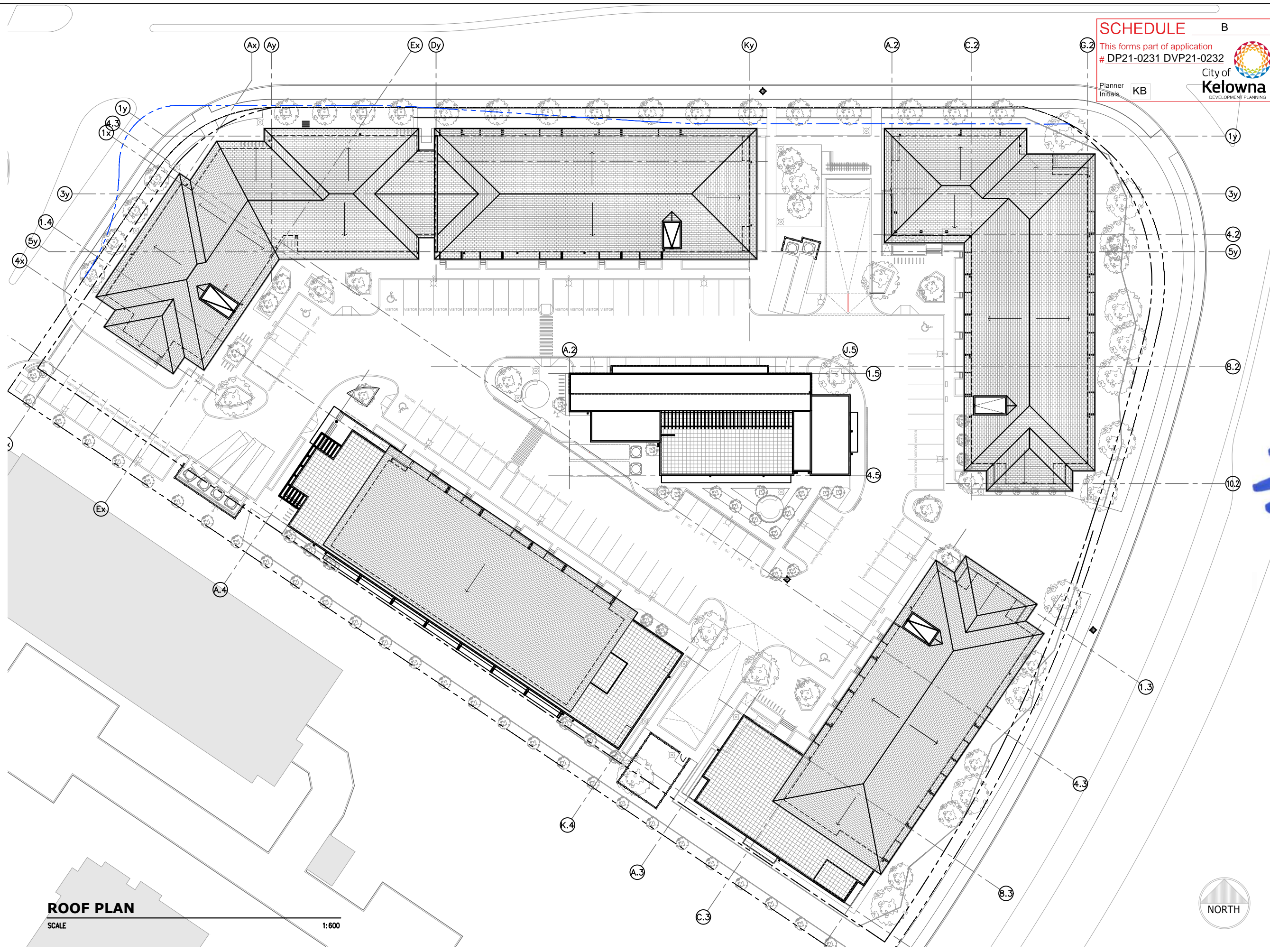
Project: **MISSION HEIGHTS**  
 2241 SPRINGFIELD ROAD  
 KELOWNA, BC

Drawing Title: **SUITE PLANS**

Project no. 2135  
 Drawn by JC/EB  
 Date JULY 22, 2022  
 Reference no.

Designed by xx  
 Reviewed by xx  
 Revision Date  
 Scale AS NOTED

Sheet no. **A806** Revision no.



**SCHEDULE B**  
 This forms part of application  
 # DP21-0231 DVP21-0232  
 City of Kelowna  
 DEVELOPMENT PLANNING  
 Planner Initials KB

**Ironclad Developments Inc.**



Project Management  
 General Contracting  
 Design/ Build

**101-57158**  
 Symington Rd.  
 Springfield, MB.  
 R2J 4L6

PH:  
 204-777-1972

info@icdev.ca

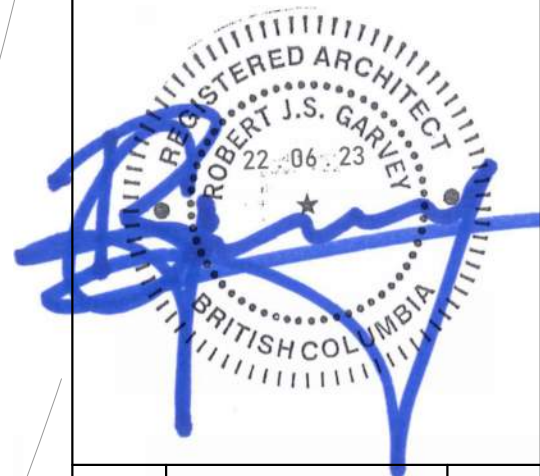
**IRONCLAD DEVELOPMENTS INC.**

Consultant



ROB J.S. GARVEY, ARCHITECT  
 MAA, AIBC, LEED AP

201-57158 SYMINGTON RD 20E  
 SPRINGFIELD, MB R2J 4L6  
 T: 204.227.9274  
 E: RGARVEY@A77.CA



REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;  
 Kelowna BC.

**PROPOSED ROOF PLAN**

Project Number: 2102	
04-30-2020	Rev Date 09-30-2020
Drawn By	T.THIMM
Designed By	T.THIMM
Checked By	R.GARVEY

**ESP-4.0**

Scale 1:600

**ROOF PLAN**

SCALE 1:600



WOODEN TRELLIS



METAL LAP SIDING - BLUE



METAL LAP SIDING - CREAM



CEDAR TONE - COMPOSITE



METAL LAP SIDING GREY



HARDIE - SMOOTH WHITE



HARDIE - SMOOTH GREY



BRICK VENEER



METAL SIDING - YELLOW



**LEGEND**

- (A) HARDIE - SMOOTH (GREY)
- (B) CEDAR TONE COMPOSITE MATERIAL
- (C) BRICK VENEER
- (D) HARDIE - SMOOTH (WHITE)
- (E) METAL LAP SIDING (CREAM)
- (F) METAL LAP SIDING (BLUE)
- (G) METAL LAP SIDING (GREY)
- (H) WOODEN TRELLIS
- (I) ALUMINUM STOREFRONT (BLACK)
- (J) METAL SIDING (YELLOW)
- (K) ALUMINUM RAILING C/W CLEAR TEMPERED GLASS (BLACK)
- (L) PVC FRAMED WINDOWS C/W CLEAR GLASS
- (M) ALUMINUM PICKET RAILING



ALUMINUM RAILING C/W CLEAR TEMPERED GLASS



PVC FRAMED WINDOWS C/W CLEAR GLASS



ALUMINUM PICKET RAILING



ALUMINUM STOREFRONT (BLACK)

**Ironclad Developments Inc.**



Project Management  
 General Contracting  
 Design/ Build

**101-57158**  
 Symington Rd.  
 Springfield, MB.  
 R2J 4L6

PH:  
**204-777-1972**

info@icdev.ca

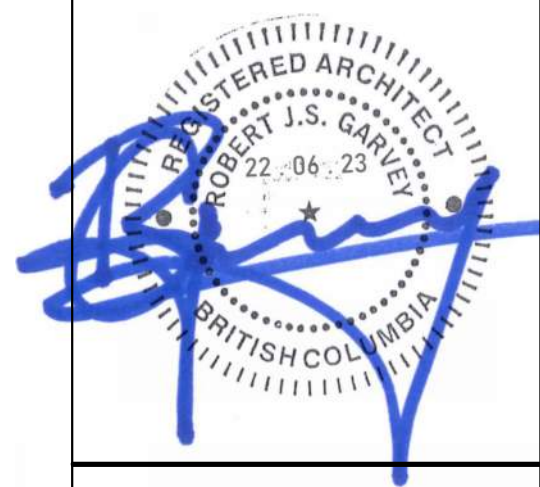
**IRONCLAD DEVELOPMENTS INC.**

Consultant



ROB J.S. GARVEY, ARCHITECT  
 MAA, AIBC, LEED AP

201-57158 SYMINGTON RD 20E  
 SPRINGFIELD, MB R2J 4L6  
 T: 204.227.9274  
 E: RGARVEY@A77.CA



REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;  
 Kelowna BC.

**MATERIAL PALLETTE**

Project Number: 2102

04-30-2020	Rev Date 06-06-2022
Drawn By	T.THIMM
Designed By	T.THIMM
Checked By	R.GARVEY

**ESP-5.0**

Scale NTS

**SCHEDULE B**  
 This forms part of application  
 # DP21-0231 DVP21-0232  
 City of Kelowna  
 DEVELOPMENT PLANNING  
 Initials KB

**Ironclad Developments Inc.**



Project Management  
 General Contracting  
 Design/ Build

**101-57158**  
**Symington Rd.**  
**Springfield, MB.**  
**R2J 4L6**

PH:  
**204-777-1972**  
 info@icdev.ca

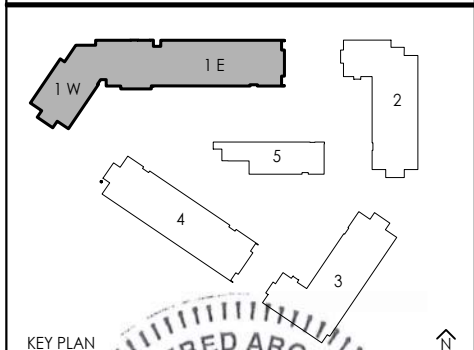
**IRONCLAD DEVELOPMENTS INC.**

Consultant



ROB J.S. GARVEY, ARCHITECT  
 MAA, AIBC, LEED AP

201-57158 SYMINGTON RD 20E  
 SPRINGFIELD, MB R2J 4L6  
 T: 204.227.9274  
 E: RGARVEY@A77.CA



REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;  
 Kelowna BC.

**BUILDING 1 NORTH ELEVATIONS**

Project Number: 2102

04-30-2020	Rev Date 06-06-2022
------------	---------------------

Drawn By T.THIMM  
 Designed By T.THIMM  
 Checked By R.GARVEY

**ESP-6.10**

Scale 1:300



**BUILDING 1 (EAST) NORTH ELEVATION**  
 SCALE 1:300

- LEGEND**
- (A) HARDIE - SMOOTH (GREY)
  - (B) CEDAR TONE COMPOSITE MATERIAL
  - (C) BRICK VENEER
  - (D) HARDIE - SMOOTH (WHITE)
  - (E) METAL LAP SIDING (CREAM)
  - (F) METAL LAP SIDING (BLUE)
  - (G) METAL LAP SIDING (GREY)
  - (H) WOODEN TRELLIS
  - (I) ALUMINUM STOREFRONT (BLACK)
  - (J) METAL SIDING (YELLOW)
  - (K) ALUMINUM RAILING C/W CLEAR TEMPERED GLASS (BLACK)
  - (L) PVC FRAMED WINDOWS C/W CLEAR GLASS
  - (M) ALUMINUM PICKET RAILING



**BUILDING 1 (WEST) NORTH ELEVATION**  
 SCALE 1:300





**BUILDING 1 (WEST) SOUTH ELEVATION**

SCALE 1:300



**BUILDING 1 (EAST) SOUTH ELEVATION**

SCALE 1:300

**SCHEDULE B**

This forms part of application # DP21-0231 DVP21-0232

Planner Initials KB



**LEGEND**

- Ⓐ HARDIE - SMOOTH (GREY)
- Ⓑ CEDAR TONE COMPOSITE MATERIAL
- Ⓒ BRICK VENEER
- Ⓓ HARDIE - SMOOTH (WHITE)
- Ⓔ METAL LAP SIDING (CREAM)
- Ⓕ METAL LAP SIDING (BLUE)
- Ⓖ METAL LAP SIDING (GREY)
- Ⓗ WOODEN TRELLIS
- Ⓘ ALUMINUM STOREFRONT (BLACK)
- Ⓢ METAL SIDING (YELLOW)
- Ⓚ ALUMINUM RAILING C/W CLEAR TEMPERED GLASS (BLACK)
- Ⓛ PVC FRAMED WINDOWS C/W CLEAR GLASS
- Ⓜ ALUMINUM PICKET RAILING

**Ironclad Developments Inc.**



Project Management  
General Contracting  
Design/ Build

**101-57158**  
Symington Rd.  
Springfield, MB.  
R2J 4L6

PH:  
**204-777-1972**

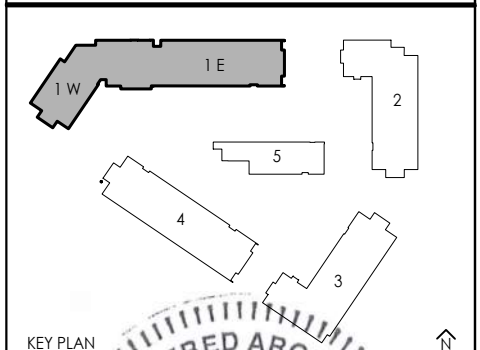
info@icdev.ca

Consultant



ROB J.S. GARVEY, ARCHITECT  
MAA, AIBC, LEED AP

201-57158 SYMINGTON RD 20E  
SPRINGFIELD, MB R2J 4L6  
T: 204.227.9274  
E: RGARVEY@A77.CA



REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;  
Kelowna BC.

BUILDING 1 SOUTH  
ELEVATIONS

Project Number: 2102
04-30-2020      Rev Date 06-06-2022
Drawn By T.THIMM
Designed By T.THIMM
Checked By R.GARVEY

**ESP-6.11**

Scale 1:300

**SCHEDULE B**

This forms part of application  
# DP21-0231 DVP21-0232

Planner Initials **KB**

City of **Kelowna**  
DEVELOPMENT PLANNING

**Ironclad Developments Inc.**



Project Management  
General Contracting  
Design/ Build

**101-57158**  
**Symington Rd.**  
**Springfield, MB.**  
**R2J 4L6**

PH:  
**204-777-1972**

info@icdev.ca

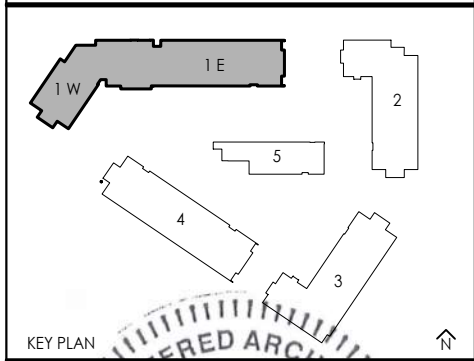
**IRONCLAD DEVELOPMENTS INC.**

Consultant



ROB J.S. GARVEY, ARCHITECT  
MAA, AIBC, LEED AP

201-57158 SYMINGTON RD 20E  
SPRINGFIELD, MB R2J 4L6  
T: 204.227.9274  
E: RGARVEY@A77.CA



REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;  
Kelowna BC.

**BUILDING 1 ELEVATIONS**

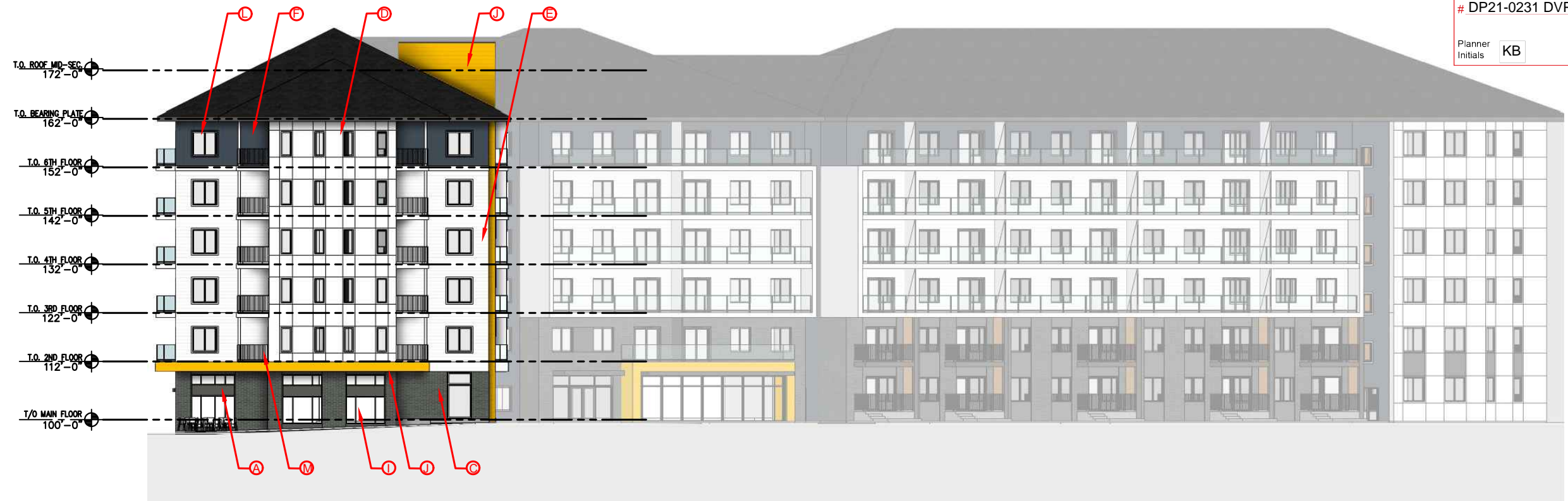
Project Number: 2102

04-30-2020	Rev Date 06-06-2022
------------	---------------------

Drawn By T.THIMM  
Designed By T.THIMM  
Checked By R.GARVEY

**ESP-6.12**

Scale 1:300



**BUILDING 1 WEST ELEVATION**

SCALE 1:300

- LEGEND**
- (A) HARDIE - SMOOTH (GREY)
  - (B) CEDAR TONE COMPOSITE MATERIAL
  - (C) BRICK VENEER
  - (D) HARDIE - SMOOTH (WHITE)
  - (E) METAL LAP SIDING (CREAM)
  - (F) METAL LAP SIDING (BLUE)
  - (G) METAL LAP SIDING (GREY)
  - (H) WOODEN TRELLIS
  - (I) ALUMINUM STOREFRONT (BLACK)
  - (J) METAL SIDING (YELLOW)
  - (K) ALUMINUM RAILING C/W CLEAR TEMPERED GLASS (BLACK)
  - (L) PVC FRAMED WINDOWS C/W CLEAR GLASS
  - (M) ALUMINUM PICKET RAILING




**BUILDING 1 EAST ELEVATION**

SCALE 1:300

**SCHEDULE B**

This forms part of application  
# DP21-0231 DVP21-0232

Planner Initials **KB**



- LEGEND**
- Ⓐ HARDIE - SMOOTH (GREY)
  - Ⓑ CEDAR TONE COMPOSITE MATERIAL
  - Ⓒ BRICK VENEER
  - Ⓓ HARDIE - SMOOTH (WHITE)
  - Ⓔ METAL LAP SIDING (CREAM)
  - Ⓕ METAL LAP SIDING (BLUE)
  - Ⓖ METAL LAP SIDING (GREY)
  - Ⓗ WOODEN TRELLIS
  - Ⓘ ALUMINUM STOREFRONT (BLACK)
  - Ⓢ METAL SIDING (YELLOW)
  - Ⓚ ALUMINUM RAILING C/W CLEAR TEMPERED GLASS (BLACK)
  - Ⓛ PVC FRAMED WINDOWS C/W CLEAR GLASS
  - Ⓜ ALUMINUM PICKET RAILING

**Ironclad Developments Inc.**




Project Management  
General Contracting  
Design/ Build

**101-57158**  
Symington Rd.  
Springfield, MB.  
R2J 4L6

PH:  
**204-777-1972**  
info@icdev.ca

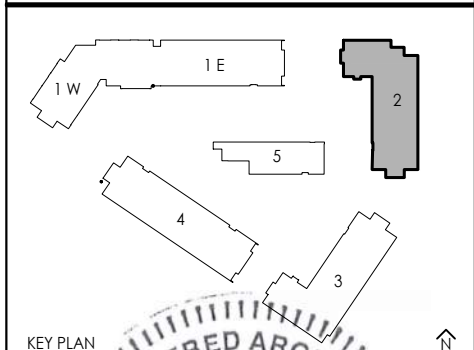
**IRONCLAD DEVELOPMENTS INC.**

Consultant



ROB J.S. GARVEY, ARCHITECT  
MAA, AIBC, LEED AP

201-57158 SYMINGTON RD 20E  
SPRINGFIELD, MB R2J 4L6  
T: 204.227.9274  
E: RGARVEY@A77.CA



REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;  
Kelowna BC.

**BUILDING 2 ELEVATIONS**

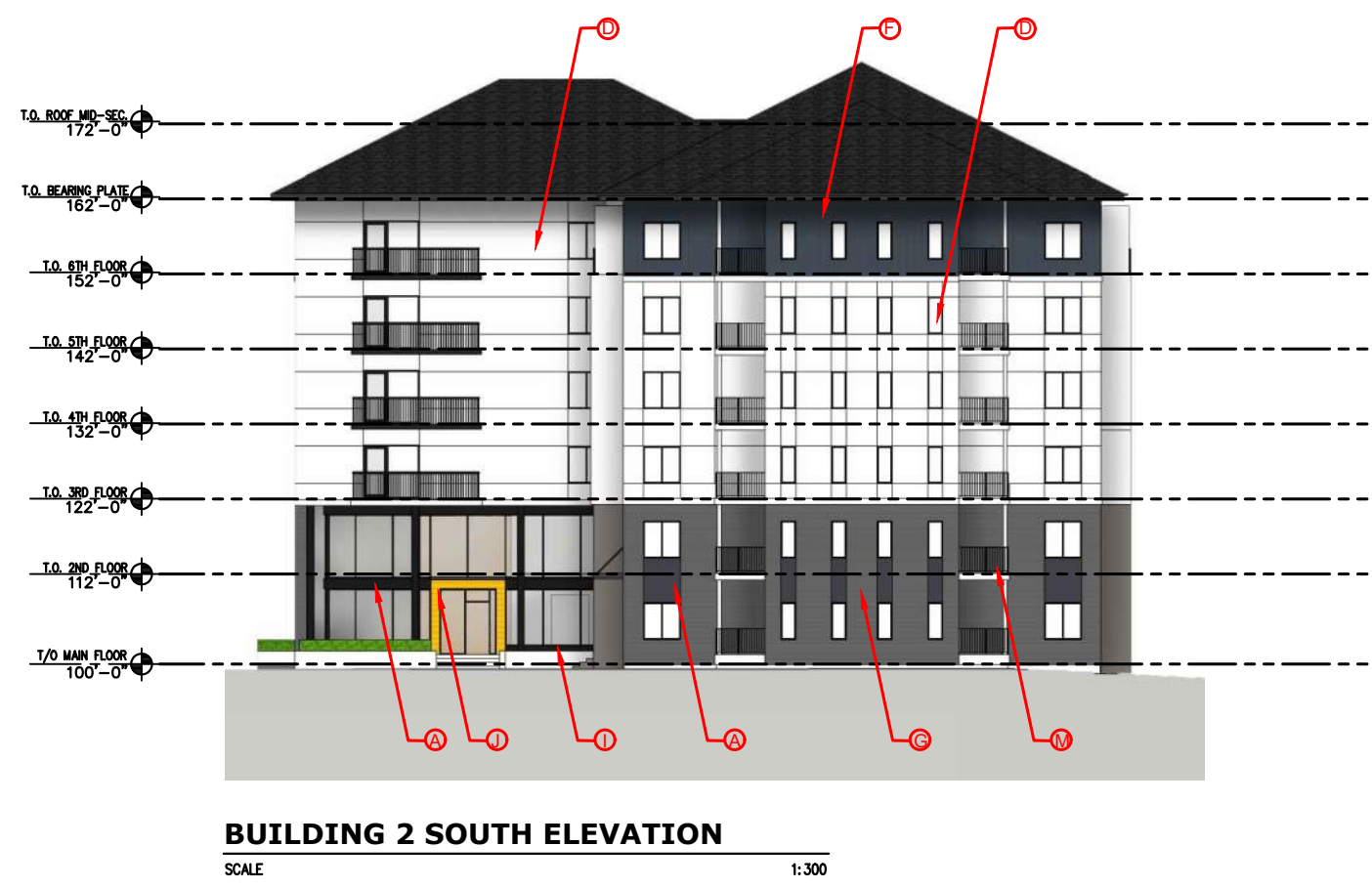
Project Number: 2102

04-30-2020	Rev Date 06-06-2022
------------	---------------------

Drawn By T.THIMM  
Designed By T.THIMM  
Checked By R.GARVEY

**ESP-6.20**

Scale 1:300





**BUILDING 2 EAST ELEVATION**

SCALE 1:300



**BUILDING 2 WEST ELEVATION**

SCALE 1:300

**LEGEND**

- Ⓐ HARDIE - SMOOTH (GREY)
- Ⓑ CEDAR TONE COMPOSITE MATERIAL
- Ⓒ BRICK VENEER
- Ⓓ HARDIE - SMOOTH (WHITE)
- Ⓔ METAL LAP SIDING (CREAM)
- Ⓕ METAL LAP SIDING (BLUE)
- Ⓖ METAL LAP SIDING (GREY)
- Ⓗ WOODEN TRELLIS
- Ⓘ ALUMINUM STOREFRONT (BLACK)
- Ⓢ METAL SIDING (YELLOW)
- Ⓚ ALUMINUM RAILING C/W CLEAR TEMPERED GLASS (BLACK)
- Ⓛ PVC FRAMED WINDOWS C/W CLEAR GLASS
- Ⓜ ALUMINUM PICKET RAILING

**SCHEDULE B**

This forms part of application # DP21-0231 DVP21-0232  
 City of Kelowna DEVELOPMENT PLANNING  
 Planner Initials KB

**Ironclad Developments Inc.**




Project Management  
 General Contracting  
 Design/ Build

101-57158  
 Symington Rd.  
 Springfield, MB.  
 R2J 4L6

PH:  
 204-777-1972

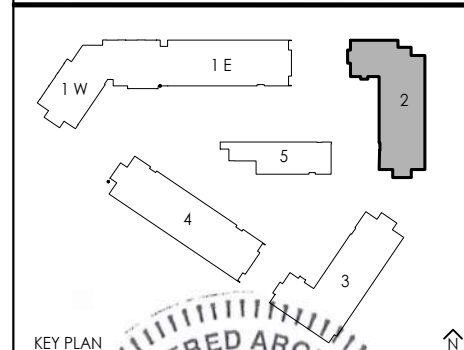
info@icdev.ca

Consultant



ROB J.S. GARVEY, ARCHITECT  
 MAA, AIBC, LEED AP

201-57158 SYMINGTON RD 20E  
 SPRINGFIELD, MB R2J 4L6  
 T: 204.227.9274  
 E: RGARVEY@A77.CA



REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;  
 Kelowna BC.

**BUILDING 2 ELEVATIONS**

Project Number: 2102

04-30-2020	Rev Date 06-06-2022
------------	---------------------

Drawn By T.THIMM  
 Designed By T.THIMM  
 Checked By R.GARVEY

**ESP-6.21**

Scale 1:300



**BUILDING 3 NORTH ELEVATION**

SCALE

1:300



**BUILDING 3 SOUTH ELEVATION**

SCALE

1:300

**SCHEDULE B**

This forms part of application  
# DP21-0231 DVP21-0232

Planner Initials **KB**

City of **Kelowna**  
DEVELOPMENT PLANNING

**LEGEND**

- Ⓐ HARDIE - SMOOTH (GREY)
- Ⓑ CEDAR TONE COMPOSITE MATERIAL
- Ⓒ BRICK VENEER
- Ⓓ HARDIE - SMOOTH (WHITE)
- Ⓔ METAL LAP SIDING (CREAM)
- Ⓕ METAL LAP SIDING (BLUE)
- Ⓖ METAL LAP SIDING (GREY)
- Ⓗ WOODEN TRELLIS
- Ⓘ ALUMINUM STOREFRONT (BLACK)
- ⓵ METAL SIDING (YELLOW)
- Ⓚ ALUMINUM RAILING C/W CLEAR TEMPERED GLASS (BLACK)
- Ⓛ PVC FRAMED WINDOWS C/W CLEAR GLASS
- Ⓜ ALUMINUM PICKET RAILING

**Ironclad Developments Inc.**



Project Management  
General Contracting  
Design/ Build


**101-57158**  
Symington Rd.  
Springfield, MB.  
R2J 4L6

PH:  
**204-777-1972**

info@icdev.ca

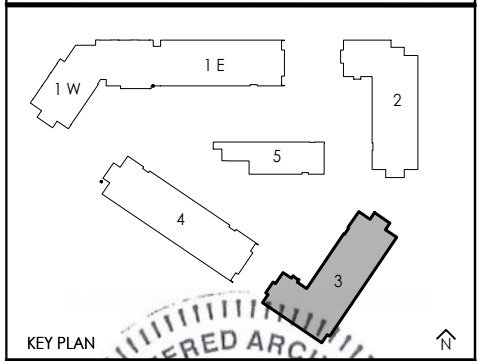
**IRONCLAD DEVELOPMENTS INC.**

Consultant



ROB J.S. GARVEY, ARCHITECT  
MAA, AIBC, LEED AP

201-57158 SYMINGTON RD 20E  
SPRINGFIELD, MB R2J 4L6  
T: 204.227.9274  
E: RGARVEY@A77.CA



REGISTERED ARCHITECT  
ROBERT J.S. GARVEY  
22-06-23  
BRITISH COLUMBIA

REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;  
Kelowna BC.

**BUILDING 3 ELEVATIONS**

Project Number: 2102

04-30-2020	Rev Date 06-06-2022
------------	---------------------

Drawn By T.THIMM  
Designed By T.THIMM  
Checked By R.GARVEY

**ESP-6.30**

Scale 1:300



**BUILDING 3 EAST ELEVATION**  
SCALE 1:300



**BUILDING 3 WEST ELEVATION**  
SCALE 1:300

**LEGEND**

- Ⓐ HARDIE - SMOOTH (GREY)
- Ⓑ CEDAR TONE COMPOSITE MATERIAL
- Ⓒ BRICK VENEER
- Ⓓ HARDIE - SMOOTH (WHITE)
- Ⓔ METAL LAP SIDING (CREAM)
- Ⓕ METAL LAP SIDING (BLUE)
- Ⓖ METAL LAP SIDING (GREY)
- Ⓗ WOODEN TRELLIS
- Ⓘ ALUMINUM STOREFRONT (BLACK)
- Ⓢ METAL SIDING (YELLOW)
- Ⓚ ALUMINUM RAILING C/W CLEAR TEMPERED GLASS (BLACK)
- Ⓛ PVC FRAMED WINDOWS C/W CLEAR GLASS
- Ⓜ ALUMINUM PICKET RAILING

**SCHEDULE B**

This forms part of application # DP21-0231 DVP21-0232

Planner Initials **KB**

City of **Kelowna**  
DEVELOPMENT PLANNING

**Ironclad Developments Inc.**



Project Management  
General Contracting  
Design/ Build

**101-57158**  
Symington Rd.  
Springfield, MB.  
R2J 4L6

PH:  
**204-777-1972**

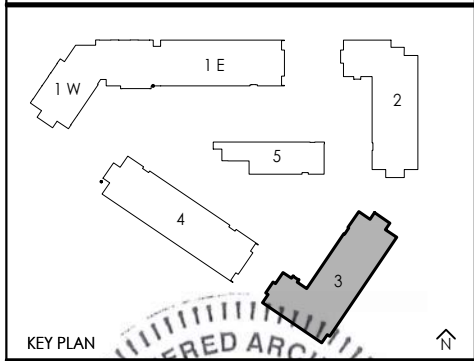
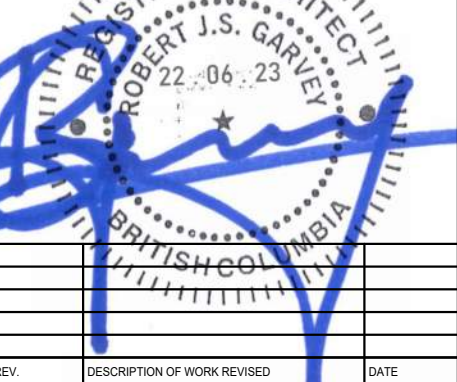
info@icdev.ca

Consultant



ROB J.S. GARVEY, ARCHITECT  
MAA, AIBC, LEED AP

201-57158 SYMINGTON RD 20E  
SPRINGFIELD, MB R2J 4L6  
T: 204.227.9274  
E: RGARVEY@A77.CA

REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;  
Kelowna BC.

**BUILDING 3 ELEVATIONS**

Project Number: 2102

04-30-2020	Rev Date 06-06-2022
------------	---------------------

Drawn By T.THIMM  
Designed By T.THIMM  
Checked By R.GARVEY

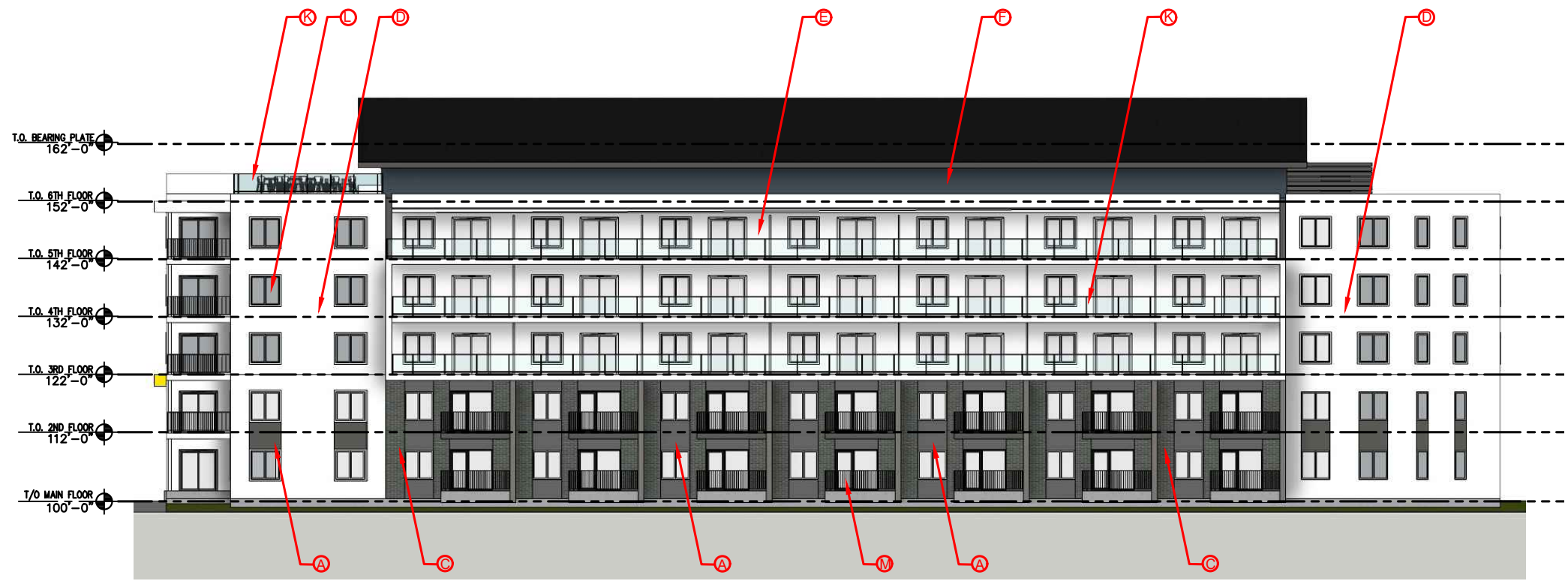
**ESP-6.31**

Scale 1:300



**BUILDING 4 NORTH ELEVATION**

SCALE 1:300



**BUILDING 4 SOUTH ELEVATION**

SCALE 1:300

**LEGEND**

- Ⓐ HARDIE - SMOOTH (GREY)
- Ⓑ CEDAR TONE COMPOSITE MATERIAL
- Ⓒ BRICK VENEER
- Ⓓ HARDIE - SMOOTH (WHITE)
- Ⓔ METAL LAP SIDING (CREAM)
- Ⓕ METAL LAP SIDING (BLUE)
- Ⓖ METAL LAP SIDING (GREY)
- Ⓗ WOODEN TRELLIS
- Ⓘ ALUMINUM STOREFRONT (BLACK)
- Ⓢ METAL SIDING (YELLOW)
- Ⓚ ALUMINUM RAILING C/W CLEAR TEMPERED GLASS (BLACK)
- Ⓛ PVC FRAMED WINDOWS C/W CLEAR GLASS
- Ⓜ ALUMINUM PICKET RAILING

**SCHEDULE B**

This forms part of application # DP21-0231 DVP21-0232

Planner Initials KB

**Ironclad Developments Inc.**

Project Management  
General Contracting  
Design/ Build

101-57158  
Symington Rd.  
Springfield, MB.  
R2J 4L6

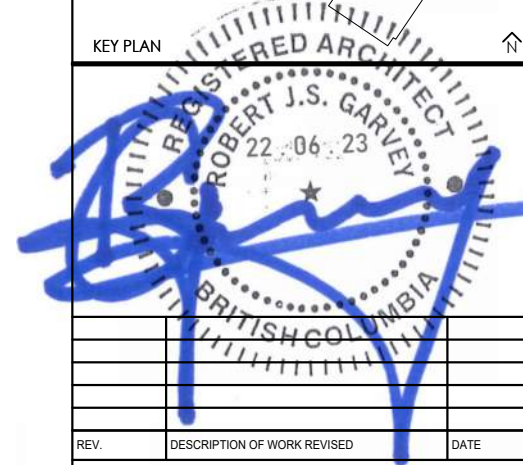
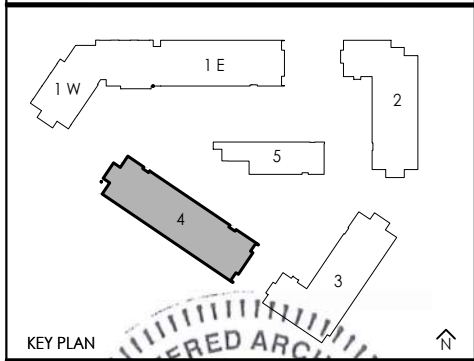
PH:  
204-777-1972

info@icdev.ca

Consultant

ROB J.S. GARVEY, ARCHITECT  
MAA, AIBC, LEED AP

201-57158 SYMINGTON RD 20E  
SPRINGFIELD, MB R2J 4L6  
T: 204.227.9274  
E: RGARVEY@A77.CA



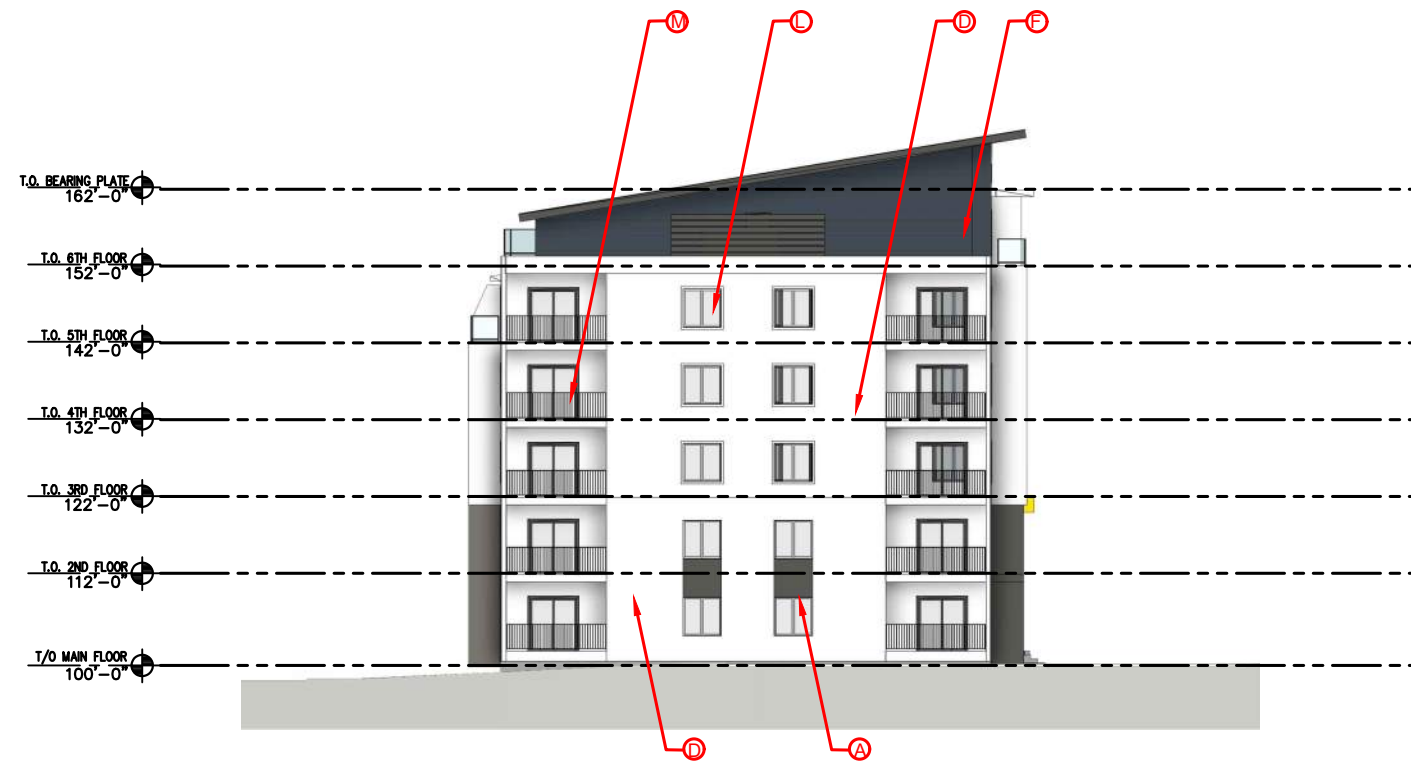
2241 SPRINGFIELD ROAD;  
Kelowna BC.

BUILDING 4 ELEVATIONS

Project Number: 2102	
04-30-2020	Rev Date 06-06-2022
Drawn By	T.THIMM
Designed By	T.THIMM
Checked By	R.GARVEY

**ESP-6.40**

Scale 1:300



**BUILDING 4 EAST ELEVATION**

SCALE 1:300



**BUILDING 4 WEST ELEVATION**

SCALE 1:300

**SCHEDULE B**  
 This forms part of application  
 # DP21-0231 DVP21-0232  
 Planner Initials **KB**  
 City of Kelowna  
 DEVELOPMENT PLANNING

**LEGEND**

- (A) HARDIE - SMOOTH (GREY)
- (B) CEDAR TONE COMPOSITE MATERIAL
- (C) BRICK VENEER
- (D) HARDIE - SMOOTH (WHITE)
- (E) METAL LAP SIDING (CREAM)
- (F) METAL LAP SIDING (BLUE)
- (G) METAL LAP SIDING (GREY)
- (H) WOODEN TRELLIS
- (I) ALUMINUM STOREFRONT (BLACK)
- (J) METAL SIDING (YELLOW)
- (K) ALUMINUM RAILING C/W CLEAR TEMPERED GLASS (BLACK)
- (L) PVC FRAMED WINDOWS C/W CLEAR GLASS
- (M) ALUMINUM PICKET RAILING

**Ironclad Developments Inc.**

Project Management  
 General Contracting  
 Design/ Build

**101-57158**  
**Symington Rd.**  
**Springfield, MB.**  
**R2J 4L6**

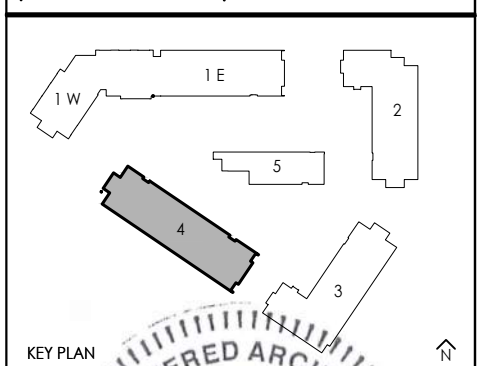
**PH:**  
**204-777-1972**  
**info@icdev.ca**

**IRONCLAD DEVELOPMENTS INC.**

Consultant

ROB J.S. GARVEY, ARCHITECT  
 MAA, AIBC, LEED AP

201-57158 SYMINGTON RD 20E  
 SPRINGFIELD, MB R2J 4L6  
 T: 204.227.9274  
 E: RGARVEY@A77.CA



REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;  
 Kelowna BC.

**BUILDING 4 ELEVATIONS**

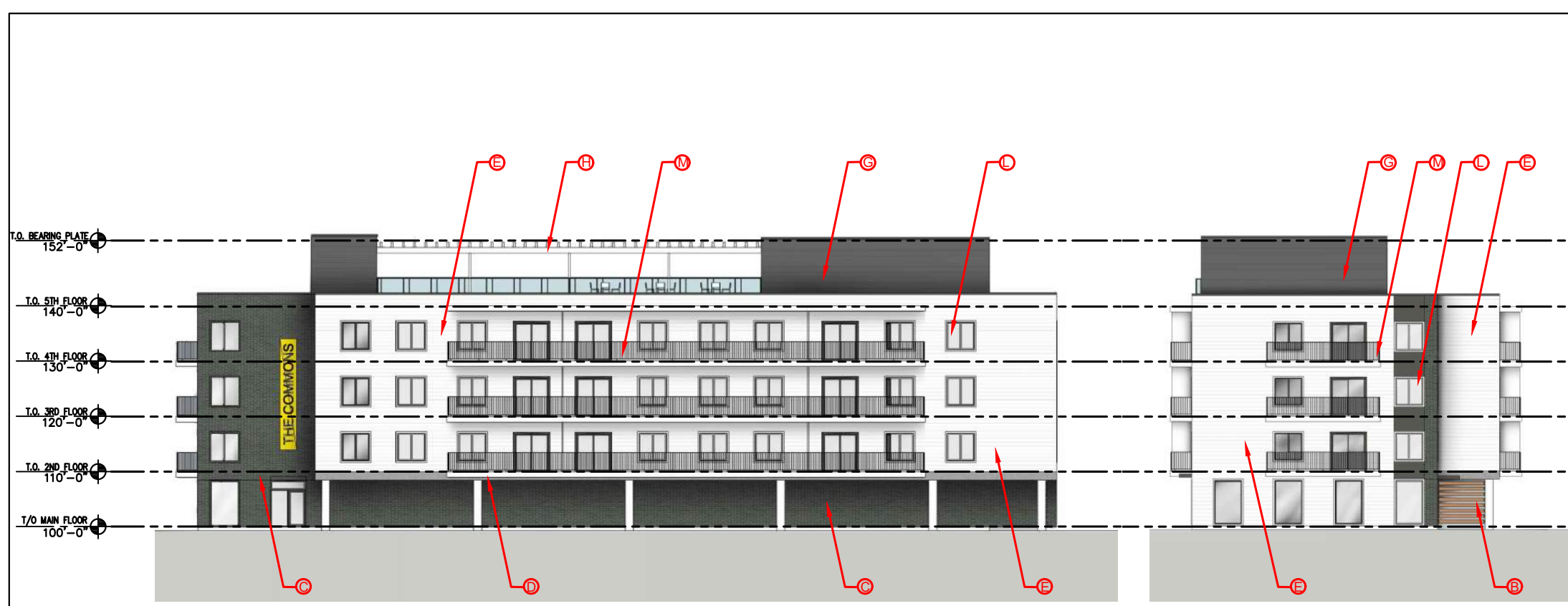
Project Number: 2102

04-30-2020	Rev Date 06-06-2022
Drawn By T.THIMM	
Designed By T.THIMM	
Checked By R.GARVEY	

**ESP-6.41**

Scale 1:300





**BUILDING 5 NORTH ELEVATION**

SCALE 1:300

**BUILDING 5 EAST ELEVATION**

SCALE 1:300

**LEGEND**

- Ⓐ HARDIE - SMOOTH (GREY)
- Ⓑ CEDAR TONE COMPOSITE MATERIAL
- Ⓒ BRICK VENEER
- Ⓓ HARDIE - SMOOTH (WHITE)
- Ⓔ METAL LAP SIDING (CREAM)
- Ⓕ METAL LAP SIDING (BLUE)
- Ⓖ METAL LAP SIDING (GREY)
- Ⓗ WOODEN TRELLIS
- Ⓘ ALUMINUM STOREFRONT (BLACK)
- Ⓢ METAL SIDING (YELLOW)
- Ⓚ ALUMINUM RAILING C/W CLEAR TEMPERED GLASS (BLACK)
- Ⓛ PVC FRAMED WINDOWS C/W CLEAR GLASS
- Ⓜ ALUMINUM PICKET RAILING

**SCHEDULE B**

This forms part of application # DP21-0231 DVP21-0232

Planner Initials **KB**

City of Kelowna  
DEVELOPMENT PLANNING

**Ironclad Developments Inc.**

Project Management  
General Contracting  
Design/ Build

**101-57158**  
Symington Rd.  
Springfield, MB.  
R2J 4L6

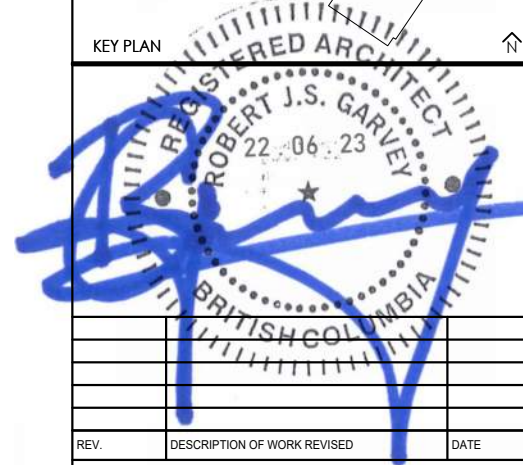
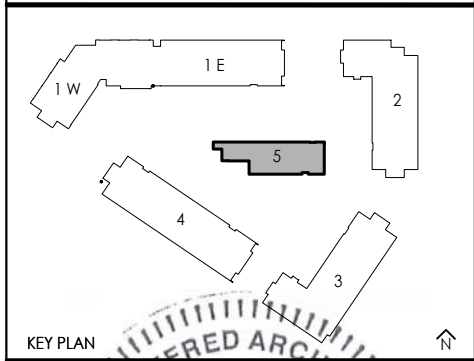
PH:  
**204-777-1972**

info@icdev.ca

Consultant

ROB J.S. GARVEY, ARCHITECT  
MAA, AIBC, LEED AP

201-57158 SYMINGTON RD 20E  
SPRINGFIELD, MB R2J 4L6  
T: 204.227.9274  
E: RGARVEY@A77.CA



**BUILDING 5 SOUTH ELEVATION**

SCALE 1:300

**BUILDING 5 WEST ELEVATION**

SCALE 1:300

2241 SPRINGFIELD ROAD;  
Kelowna BC.

**BUILDING 5 ELEVATIONS**

Project Number: 2102	04-30-2020	Rev Date 06-06-2022
Drawn By	T.THIMM	
Designed By	T.THIMM	
Checked By	R.GARVEY	

**ESP-6.50**

Scale 1:300



**WEST ARIAL VIEW**

SCALE

1:NTS



**NORTH ARIAL VIEW**

SCALE

1:NTS



**EAST ARIAL VIEW**

SCALE

1:NTS



**SOUTH ARIAL VIEW**

SCALE

1:NTS

**Ironclad Developments Inc.**



Project Management  
General Contracting  
Design/ Build

**101-57158**  
Symington Rd.  
Springfield, MB.  
R2J 4L6

PH:  
**204-777-1972**

**info@icdev.ca**

**IRONCLAD DEVELOPMENTS INC.**

Consultant




ROB J.S. GARVEY, ARCHITECT  
MAA, AIBC, LEED AP

201-57158 SYMINGTON RD 20E  
SPRINGFIELD, MB R2J 4L6  
T: 204.227.9274  
E: RGARVEY@A77.CA

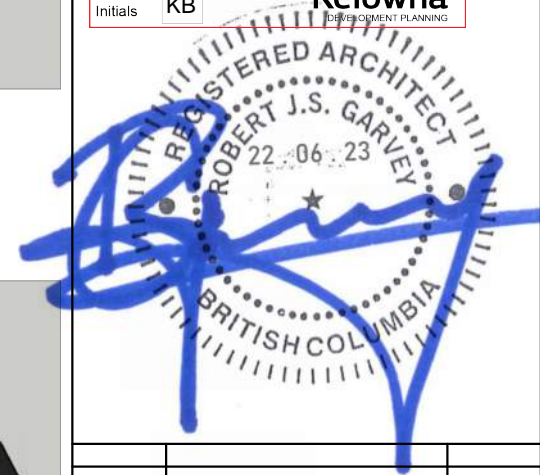
**SCHEDULE B**

This forms part of application  
# DP21-0231 DVP21-0232



City of  
**Kelowna**  
DEVELOPMENT PLANNING

Planner Initials **KB**



REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;  
Kelowna BC.

3D RENDERINGS

Project Number: 2102

04-30-2020	Rev Date 06-06-2022
Drawn By	T.THIMM
Designed By	T.THIMM
Checked By	R.GARVEY

**ESP-7.0**

Scale NTS



**PARKING ENTRANCE VIEW**

SCALE \_\_\_\_\_ NTS



**BUILDING 3 ROOFTOP PATIO VIEW**

SCALE \_\_\_\_\_ NTS



**BUILDING 5 ROOFTOP PATIO VIEW**

SCALE \_\_\_\_\_ NTS



**BUILDING 1 PARKING VIEW**

SCALE \_\_\_\_\_ NTS



**BUILDING 1 STREET VIEW**

SCALE \_\_\_\_\_ NTS



**BUILDING 3 AND 5 VIEW**

SCALE \_\_\_\_\_ NTS

**Ironclad Developments Inc.**



Project Management  
General Contracting  
Design/ Build

**101-57158**  
Symington Rd.  
Springfield, MB.  
R2J 4L6

PH:  
**204-777-1972**

info@icdev.ca

**IRONCLAD DEVELOPMENTS INC.**

Consultant



ROB J.S. GARVEY, ARCHITECT  
MAA, AIBC, LEED AP

201-57158 SYMINGTON RD 20E  
SPRINGFIELD, MB R2J 4L6  
T: 204.227.9274  
E: RGARVEY@A77.CA

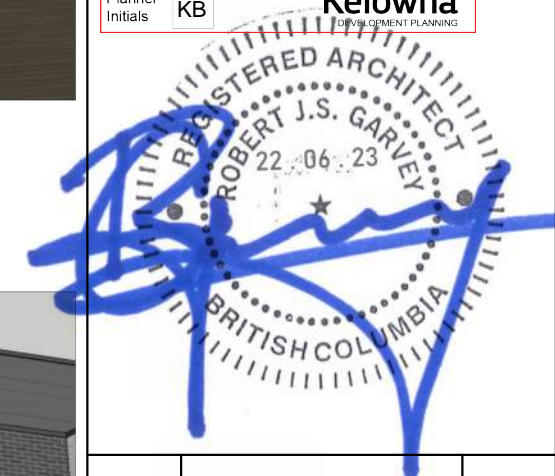
**SCHEDULE B**

This forms part of application  
# DP21-0231 DVP21-0232

Planner Initials **KB**



City of  
**Kelowna**  
DEVELOPMENT PLANNING



REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;  
Kelowna BC.

3D RENDERINGS

Project Number: 2102

04-30-2020	Rev Date 06-06-2022
Drawn By	T.THIMM
Designed By	T.THIMM
Checked By	R.GARVEY

**ESP-7.1**

Scale \_\_\_\_\_ NTS



Springfield Road, Kelowna BC. - Shadow Study  
GMT - 0700 20th March - 9 am



Springfield Road, Kelowna BC. - Shadow Study  
GMT - 0700 21st June - 9 am



Springfield Road, Kelowna BC. - Shadow Study  
GMT - 0700 20th March - 12 pm



Springfield Road, Kelowna BC. - Shadow Study  
GMT - 0700 21st June - 12 pm



Springfield Road, Kelowna BC. - Shadow Study  
GMT - 0700 20th March - 3 pm



Springfield Road, Kelowna BC. - Shadow Study  
GMT - 0700 21st June - 3 pm

SPRING EQUINOX

SUMMER SOLTICE

SHADOW 

**SCHEDULE** B

This forms part of application  
# DP21-0231 DVP21-0232

Planner Initials **KB**

City of **Kelowna**  
DEVELOPMENT PLANNING

**Ironclad Developments Inc.**



Project Management  
General Contracting  
Design/ Build

101-57158  
Symington Rd.  
Springfield, MB.  
R2J 4L6

PH:  
204-777-1972

info@icdev.ca

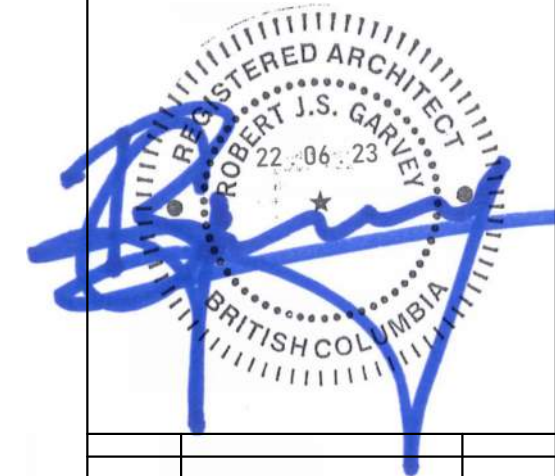
**IRONCLAD**  
DEVELOPMENTS INC.

Consultant



ROB J.S. GARVEY, ARCHITECT  
MAA, AIBC, LEED AP

201-57158 SYMINGTON RD 20E  
SPRINGFIELD, MB R2J 4L6  
T: 204.227.9274  
E: RGARVEY@A77.CA



REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;  
Kelowna BC.

SHADOW STUDIES

Project Number: 2102

04-30-2020	Rev Date 06-06-2022
Drawn By	T.THIMM
Designed By	T.THIMM
Checked By	R.GARVEY

**ESP-8.0**

Scale NTS



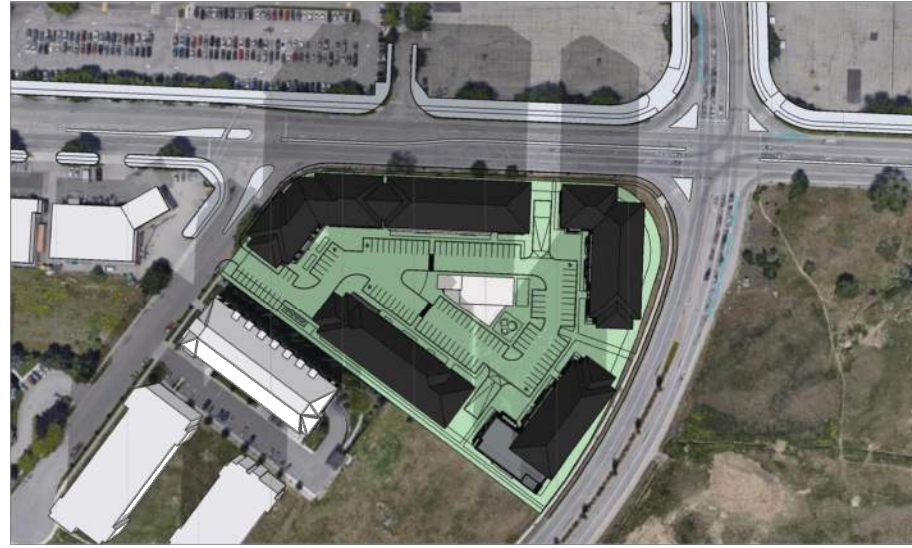
Springfield Road, Kelowna BC. - Shadow Study  
GMT - 0700 22nd September - 9 am



Springfield Road, Kelowna BC. - Shadow Study  
GMT - 0700 21st December - 9 am



Springfield Road, Kelowna BC. - Shadow Study  
GMT - 0700 22nd September - 12 pm



Springfield Road, Kelowna BC. - Shadow Study  
GMT - 0700 21st December - 12 pm



Springfield Road, Kelowna BC. - Shadow Study  
GMT - 0700 22nd September - 3 pm



Springfield Road, Kelowna BC. - Shadow Study  
GMT - 0700 21st December - 3 pm

FALL EQUINOX

WINTER SOLTICE

SHADOW 

**SCHEDULE B**

This forms part of application  
# DP21-0231 DVP21-0232

Planner Initials **KB**



**Ironclad Developments Inc.**



Project Management  
General Contracting  
Design/ Build

101-57158  
Symington Rd.  
Springfield, MB.  
R2J 4L6

PH:  
204-777-1972

info@icdev.ca

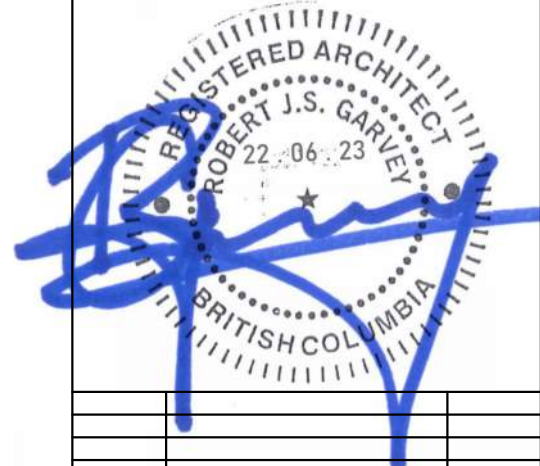
**IRONCLAD DEVELOPMENTS INC.**

Consultant



ROB J.S. GARVEY, ARCHITECT  
MAA, AIBC, LEED AP

201-57158 SYMINGTON RD 20E  
SPRINGFIELD, MB R2J 4L6  
T: 204.227.9274  
E: RGARVEY@A77.CA



REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;  
Kelowna BC.

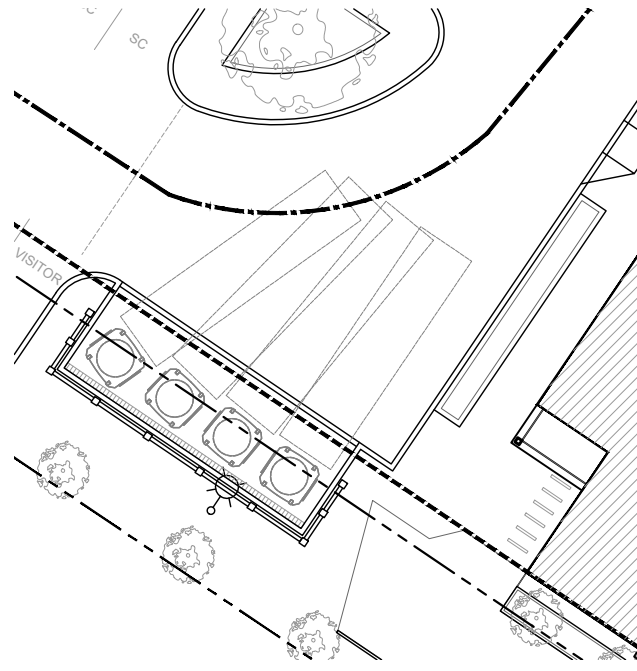
SHADOW STUDIES

Project Number: 2102

04-30-2020	Rev Date 06-06-2022
Drawn By	T.THIMM
Designed By	T.THIMM
Checked By	R.GARVEY

**ESP-8.1**

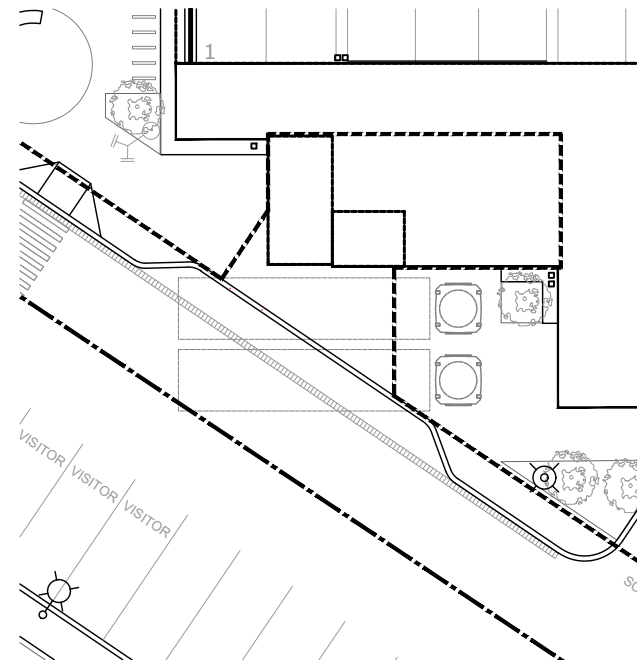
Scale NTS



**EAST REFUSE PLAN**

SCALE

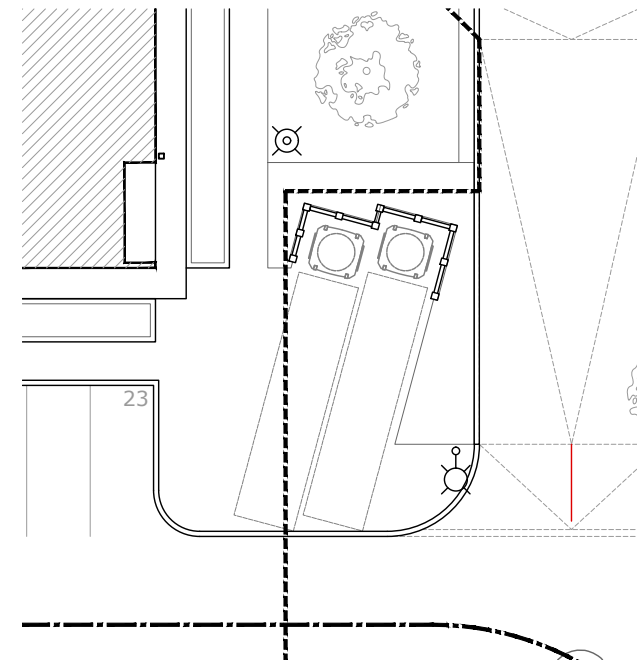
1:300



**CENTER REFUSE PLAN**

SCALE

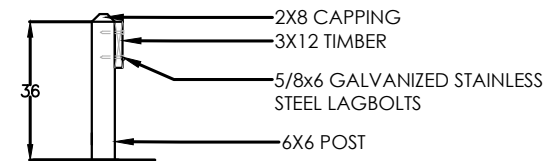
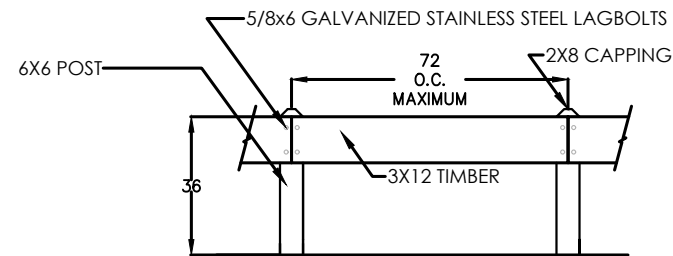
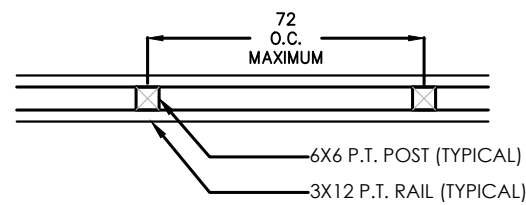
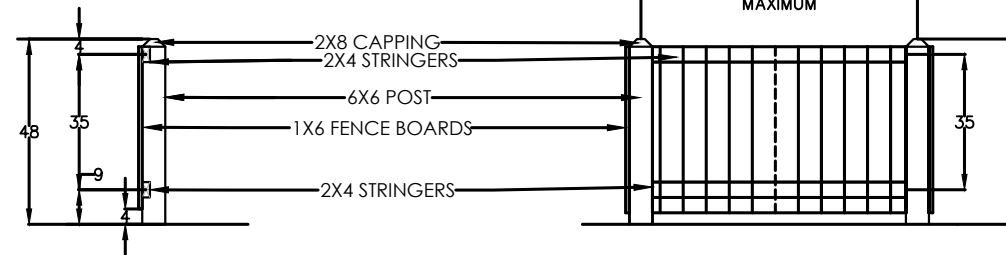
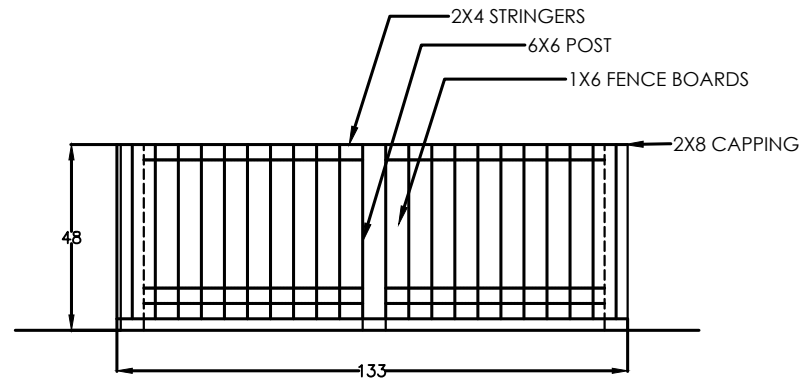
1:300



**NORTH REFUSE PLAN**

SCALE

1:300



**FENCE DETAILS**

SCALE

1:50

**Ironclad Developments Inc.**



Project Management  
General Contracting  
Design/ Build

**101-57158**  
Symington Rd.  
Springfield, MB.  
R2J 4L6

PH:  
**204-777-1972**

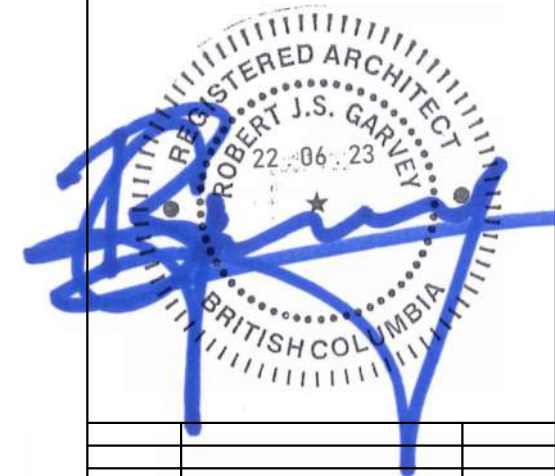
info@icdev.ca

Consultant



ROB J.S. GARVEY, ARCHITECT  
MAA, AIBC, LEED AP

201-57158 SYMINGTON RD 20E  
SPRINGFIELD, MB R2J 4L6  
T: 204.227.9274  
E: RGARVEY@A77.CA



REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;  
Kelowna BC.

**REFUSE AND FENCE DETAIL**

Project Number: 2102

04-30-2020	Rev Date 06-06-2022
Drawn By	T.THIMM
Designed By	T.THIMM
Checked By	R.GARVEY

**ESP-9.0**

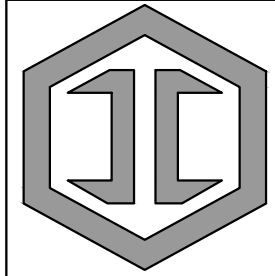
Scale AS NOTED

**SCHEDULE C**

This forms part of application  
# DP21-0231 DVP21-0232



Planner Initials **KB**



**IRONCLAD**  
DEVELOPMENTS INC.

Consultant

**RJSG**  
ARCHITECT

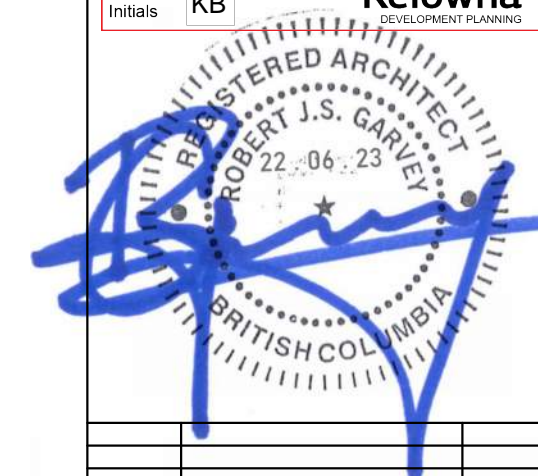
ROB J.S. GARVEY, ARCHITECT  
MAA, AIBC, LEED AP

201-57158 SYMINGTON RD 20E  
SPRINGFIELD, MB R2J 4L6  
T: 204.227.9274  
E: RGARVEY@A77.CA

**SCHEDULE C**

This forms part of application  
# DP21-0231 DVP21-0232

Planner  
Initials KB



REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;  
Kelowna BC.

EARTH BIN DETAIL

Project Number: 2102

04-30-2020 Rev Date 06-06-2022

Drawn By T.THIMM

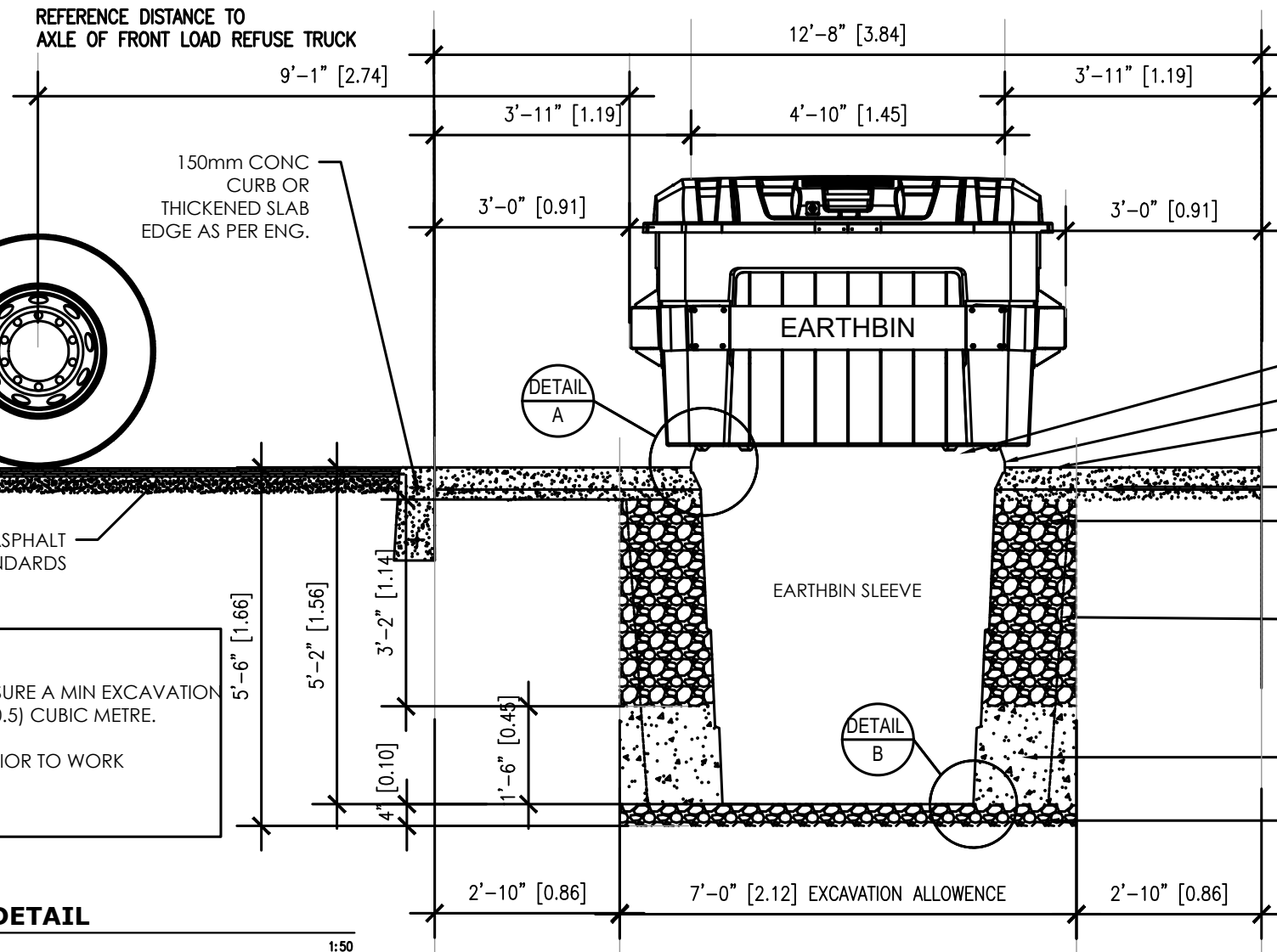
Designed By T.THIMM

Checked By R.GARVEY

**ESP-9.1**

Scale AS NOTED

**NOTE:**  
CONTRACTOR TO ENSURE  
ADEQUATE SPACE TO PHYSICAL  
BARRIER OR OBSTRUCTION TO  
ALLOW BIN TO BE PICKED UP.



**NOTE:**  
CONTRACTOR TO ENSURE A MIN EXCAVATION OF ONE HALF OF A (0.5) CUBIC METRE. EXCAVATION DEPTH TO BE CONFIRMED PRIOR TO WORK COMMENCING.

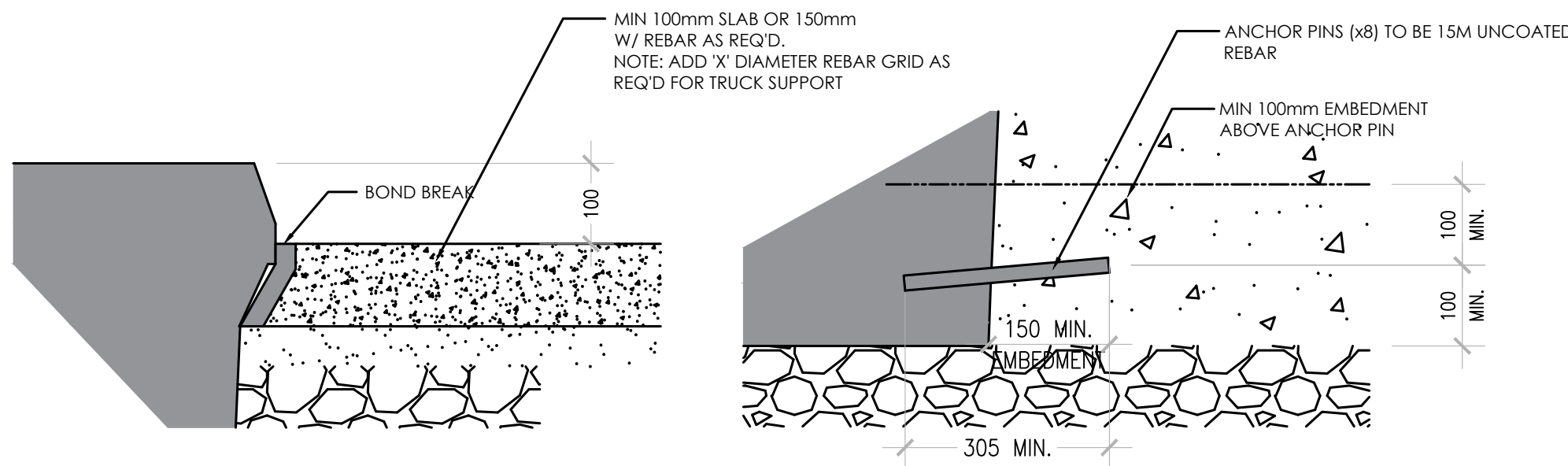
**EARTH BIN DETAIL**

SCALE 1:50

**ANCHOR PIN NOTE:**  
PLACE ANCHOR PINS (X8) IN HOLES AROUND GROUND SLEEVE PRIOR TO POURING CONCRETE. ENSURE THERE IS A MIN 150mm EMBEDMENT FOR ANCHOR PINS. ANCHOR PINS ARE TO HAVE A MIN 100mm OF COVERAGE ABOVE AND BELOW.

**NOTE:**  
DRAWINGS AND SPECS COPIED FROM WEB SITE EARTH-BIN.

**NOTE:**  
THE USE OF SHIMS TO SET SLEEVE PRIOR TO POURING CONCRETE IS ALLOWED.



**DETAIL A**

SCALE 1:10

**DETAIL B**

SCALE 1:10



### LEGEND

- PROPERTY LINES
- UNDERGROUND PARKADE
- BRUSH FINISH CONCRETE WALKWAYS - REFER TO CIVIL ENGR DWGS
- DECORATIVE PAVING AREAS BRICK UNIT PAVING, EXPOSED AGGREGATE OR STAMPED CONCRETE FINISH - TBD
- DRAIN ROCK c/w 2" x 4" PTW EDGER 200 MM DEPTH MIN TYP. LOCALLY AVAILABLE 3"-6" DIA. WASHED ROUND RIVER ROCK ON APPROVED FILTER FABRIC.
- LAWN = SOD ON 150 MM MIN DEPTH APPROVED GROWING MEDIUM
- PLANTING BED c/w 60 MM OF 3/4" WASHED ROCK GROUND COVER (TYP) ON FILTER FABRIC ON AN APPROVED GROWING MEDIUM. 450 MM MIN DEPTH FOR SHRUBS 700 MM MIN FOR TREES
- 2 METER (6.5') HT. PRESSURE TREATED WOOD PRIVACY FENCE
- 1.5 METER (5') HT. BLACK CHAIN LINK FENCE (DOG RUN)
- 1.2 METER (4') HT. BLACK METAL PICKET FENCE
- PRESSURE TREATED WOOD EDGER LAWN / PLANTING / ROCK SEPARATIONS
- NATURAL ACCENT BOULDERS
- SKYLINE PARK BENCH BY WISHBONE (CURVED & STRAIGHT)
- SINGLE AND MULTI SPACE BIKE RACKS SECURED TO CONCRETE WALKWAY
- BEAR PROOF GARBAGE BIN
- PRESSURE TREATED WOOD PLANTERS WITH OPEN BOTTOM c/w 60 MM DEPTH MULCH ON APPROVED FILTER FABRIC ON 400 mm - 700 mm DEPTH GROWING MEDIUM.
- PRECAST CONCRETE (BLOCK OR CIP) RAISED PLANTER OPEN BOTTOM c/w 60 MM DEPTH MULCH ON APPROVED FILTER FABRIC ON 400 mm - 700 mm DEPTH GROWING MEDIUM.

### PROJECT PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	COUNT	SIZE
<b>TREES</b>				
Am	<i>Amenchier x grandiflora</i>	Autumn Brilliance Serviceberry (multistem)	5	50mm Cal
Am	<i>Acer glabrum</i>	Amur Maple	11	50mm Cal
Aq	<i>Acer arbusculum</i>	Paperbark Maple	17	50mm Cal
Fr	<i>Fraxinus sylvatica</i>	Green Ash	10	60mm Cal
Pr	<i>Prunus pennsylvanica</i>	Black Cherry	1	2m
PrH	<i>Prunus pennsylvanica</i>	Hooplog Blue Spruce	22	2m
Pr	<i>Prunella americana</i>	Common Blackberry	44	60mm Cal
PrA	<i>Prunus americana</i>	Amanogawa Cherry Tree	48	50mm Cal
Th	<i>Thuja occidentalis</i>	Harvest Gold Linden	18	60mm Cal
BE	<i>Betula americana</i>	Brandon Elm	10	60mm Cal
<b>SHRUBS</b>				
ABN	<i>Abies balsamea</i>	Dwarf Balsam Fir	175	#2pot
CaK	<i>Cornus sericea</i>	Dwarf Kalm's Dogwood	301	#2pot
CaS	<i>Caragana arborescens</i>	Southland Caragana	25	#2pot
C	<i>Cotoneaster lucidus</i>	Cotoneaster Hedge	197	#2pot
CC	<i>Caryopteris x clandonensis</i>	Blue Mist Spirea	32	#2pot
HA	<i>Hydrangea arborescens</i>	Arborescens Hydrangea	40	#2pot
HR	<i>Rosa rugosa</i>	Henry Hudson Rose (White)	55	#2pot
JH	<i>Juniperus horizontalis</i>	Anderson Juniper	3	#2pot
JH	<i>Juniperus horizontalis</i>	Blue Prince Juniper	22	#2pot
JH	<i>Juniperus communis</i>	Horizontal Native Juniper	31	#2pot
pr	<i>Philadelphus x virginicus</i>	Dwarf Snowflake	42	#2pot
Sp	<i>Spiraea x bumalda</i>	Goldflame Spirea	195	#2pot
Sh	<i>Samolus carolinensis</i>	Snowberry	5	#2pot
Y	<i>Yucca filamentosa</i>	Golden Sword Yucca	73	#1pot
Y	<i>Yucca aloecoides</i>	Sword Yucca	67	#1pot
<b>ORNAMENTAL GRASSES</b>				
Ck	<i>Calamagrostis x acutifolia</i>	Feather Reed Grass	436	#1pot
Dc	<i>Deschampsia cespitosa</i>	Tufted Hairgrass	374	#1pot
H	<i>Helictotrichon sempervirens</i>	Blue Oak Grass	45	#1pot
Sh	<i>Sporobolus heterolepis</i>	Prairie Dropseed	132	#1pot
ka	<i>Koeleria glauca</i>	Blue Hair Grass	60	#1pot
<b>PERENNIALS/GROUNDCOVERS</b>				
A	<i>Allium cepa</i>	Nodding Onion	48	#1pot
C	<i>Clematis jackmani</i>	Jackmani Clematis	7	#1pot
K	<i>Arctostaphylos uva-ursi</i>	Kinnikinnick	17	100mm pot
DS	<i>Desmodium illinoense</i>	Dwarf Russian Sage	36	#1pot
E	<i>Echinacea purpurea</i>	Purple Coneflower	28	#1pot
N	<i>Nepeta x faassenii</i>	Drosera Catmint	42	#1pot
Y	<i>Yucca filamentosa</i>	Golden Sword Yucca	67	#1pot

NOTE: ALL WORK AND MATERIALS SHALL BE TO CANADIAN LANDSCAPE STANDARDS



### SCHEDULE C

This forms part of application # DP21-0231 DVP21-0232

Planner Initials **KB**

**IRONCLAD DEVELOPMENTS INC.**

Project Management  
General Contracting  
Design Build

101-57158  
Springfield Rd.  
Springfield, MB.  
R2J 4L6

Ph: 204-777-1972  
info@icdev.ca

Date	Revisions	By
Sept 9-21	Progress Review	SD
Sept 13-21	Progress Review	SD
Jun 20 22	Progress Review	SD/LS

**LAZZARIN SVISDAHL**  
LANDSCAPE ARCHITECTS

203-1300 1st Avenue, Prince George B.C. V2L 2Y3  
250-563-6158 www.isla-landarch.com

Project  
2241 SPRINGFIELD ROAD  
KELOWNA, BC

Sheet Title  
Landscape Plan

Date  
July 05, 2021

Scale  
1:350 METERS

Drawn By  
SD/LS

Project No.

Copyright reserved. This drawing and the design are, and at all times remain the exclusive property of Lazzarin Svisdahl Landscape Architects and cannot be used without the Landscape Architect's written consent.

Drawing No.

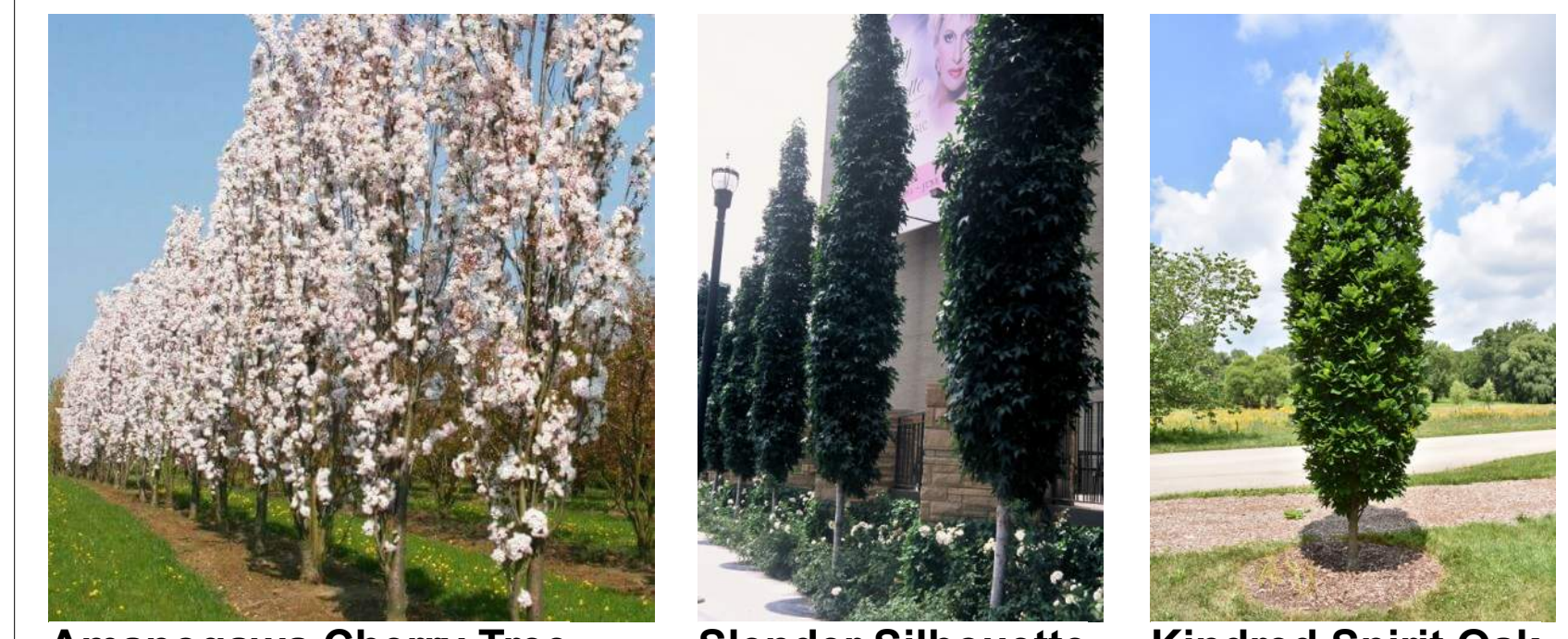
# L1

### PROPOSED PROJECT TREES



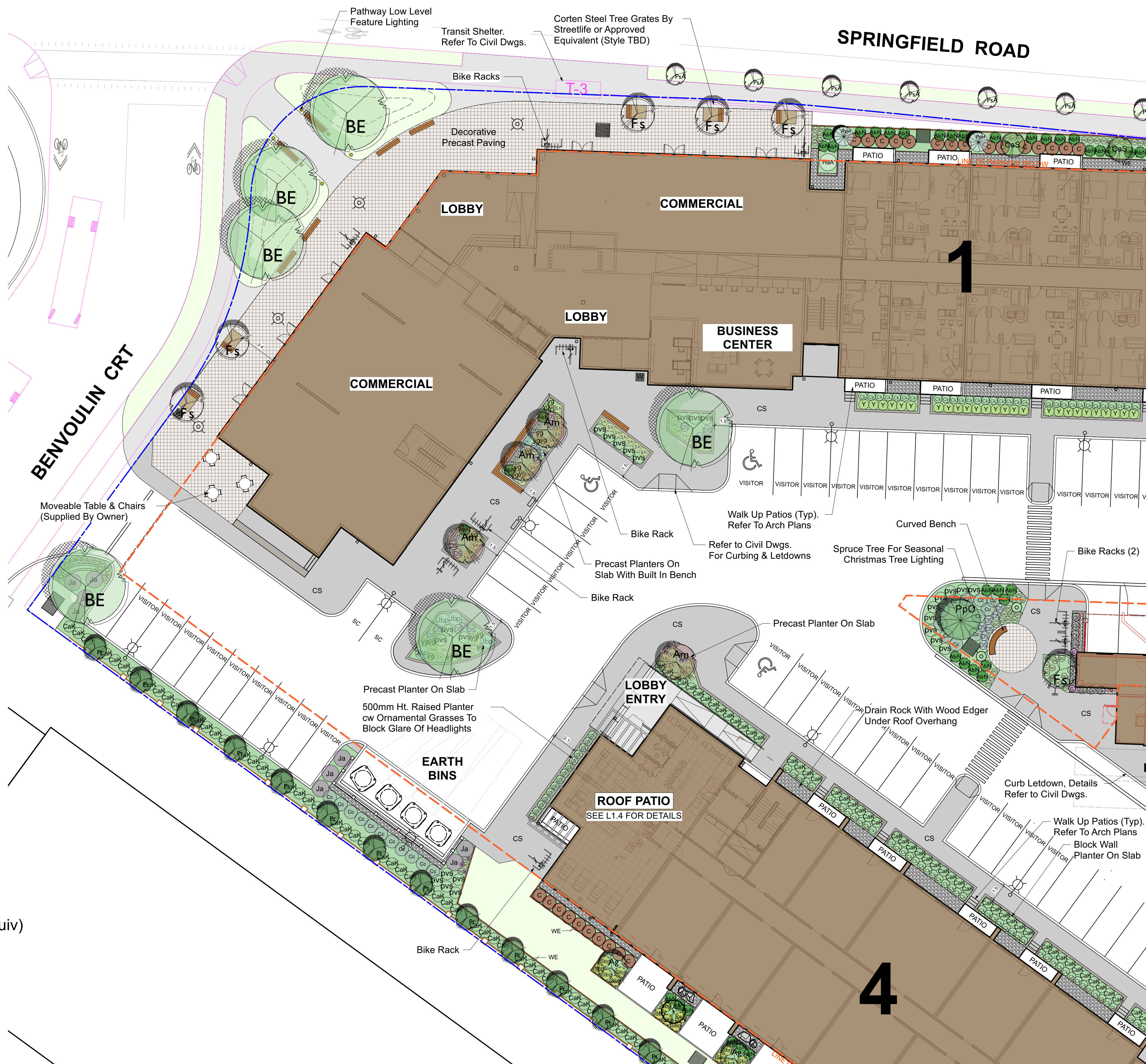
Harvest Gold Linden (Summer & Fall) Dawyck Gold Beech Paper Bark Maple Brandon Elm Amur Maple Autumn Brilliance Serviceberry Colorado Blue Spruce Amanogawa Cherry Tree Slender Silhouette Sweetgum Kindred Spirit Oak

### POTENTIAL BOULEVARD STREETSCAPE TREE OPTIONS



Amanogawa Cherry Tree Slender Silhouette Sweetgum Kindred Spirit Oak





**LEGEND**

- PROPERTY LINES
- UNDERGROUND PARKADE
- BRUSH FINISH CONCRETE WALKWAYS - REFER TO CIVIL DWGS
- DECORATIVE PAVING AREAS: BRICK UNIT PAVING, EXPOSED AGGREGATE OR STAMPED CONCRETE FINISH - TBD
- DRAIN ROCK CW 2" x 4" PTW EDGER 200 MM DEPTH MIN TYP. LOCALLY AVAILABLE 3'-4" DIA. WASHED ROUND RIVER ROCK ON APPROVED FILTER FABRIC.
- LAWN = SOD ON 150 MM MIN DEPTH APPROVED GROWING MEDIUM
- PLANTING BED CW 60 MM OF 3/4" WASHED ROCK GROUNDCOVER (TYP) ON FILTER FABRIC ON AN APPROVED GROWING MEDIUM. 450 MM MIN DEPTH FOR SHRUBS 700 MM MIN FOR TREES
- 2 METER (6.5') HT. PRESSURE TREATED WOOD PRIVACY FENCE
- 1.5 METER (5) HT. BLACK CHAIN LINK FENCE (DOG RUN)
- 1.2 METER (4') HT. BLACK METAL PICKET FENCE
- PRESSURE TREATED WOOD EDGER LAWN / PLANTING / ROCK SEPARATIONS
- NATURAL ACCENT BOULDERS
- SKYLINE PARK BENCH BY WISHBONE (CURVED & STRAIGHT)
- SINGLE AND MULTI SPACE BIKE RACKS SECURED TO CONCRETE WALKWAY
- BEAR PROOF GARBAGE BIN
- PRESSURE TREATED WOOD PLANTERS WITH OPEN BOTTOM CW 60 MM DEPTH MULCH ON APPROVED FILTER FABRIC ON 400 mm - 700 mm DEPTH GROWING MEDIUM.
- PRECAST CONCRETE (BLOCK OR CIP) RAISED PLANTER OPEN BOTTOM CW 60 MM DEPTH MULCH ON APPROVED FILTER FABRIC ON 400 mm - 700 mm DEPTH GROWING MEDIUM.

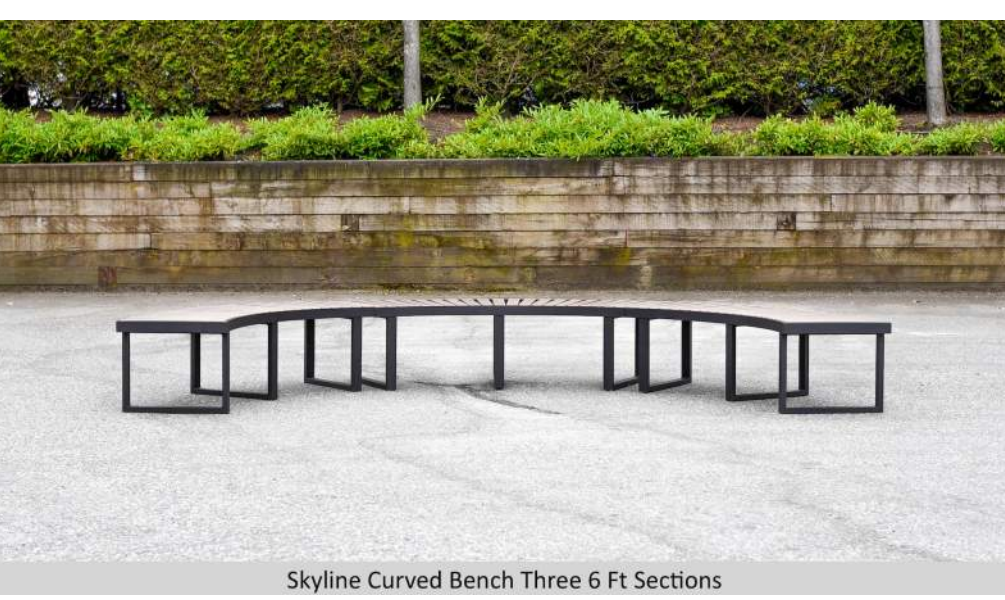
**IRONCLAD DEVELOPMENTS INC.**  
 Project Management  
 General Contracting  
 Design/Build  
 101-57158  
 Symington Rd.  
 Springfield, MB.  
 R2J 4L6  
 Ph: 204-777-1972  
 info@icdev.ca

Date	Revisions	By
Jun 20 22	Progress Review	SD/LS



**TREE GRATE WITH BENCH**  
 PRECEDENT IMAGE FOR TREE GRATE BENCH LAYOUT  
 (SEE PROJECT BENCH NOTED BELOW FOR PROPOSED PRODUCT)

**PROJECT BENCHES**



**Skyline Curved Park Bench**  
 Model Number: SLCB-11  
 Wishbone Site Furnishings Ltd. (or approved equiv)

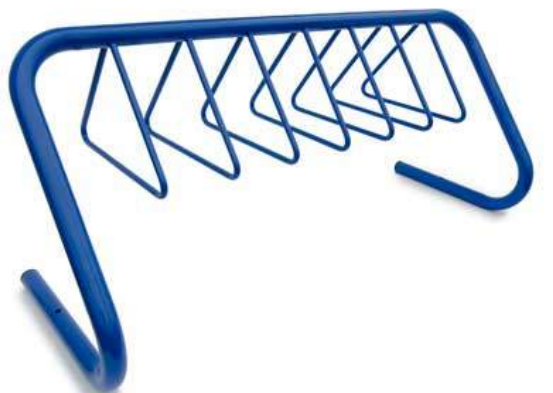


**Skyline Park Bench**  
 Model Number: SLB-6  
 Wishbone Site Furnishings Ltd. (or approved equiv)

Powder Coated Black Metal Base and Arm Rests  
 Walnut Colour Plastic Lumbar Seat Boards  
 Surface Mount To Concrete Walkway with  
 Manufacture Supplied Hardware



**PRECAST BLOCK PLANTER**  
 Allan Block Splittaced Planters On Slab  
 (or Approved Equivalent)



**Bike Rack**  
 Cora Bike Rack (or Approved Equivalent)  
 Powder Coated Aluminium (Colour To Be Determined)

**LAZZARIN SVISDAHL**  
 LANDSCAPE ARCHITECTS  
 203-1300 1st Avenue, Prince George B.C. V2L 2Y3  
 250-563-6158 www.lsla-landarch.com

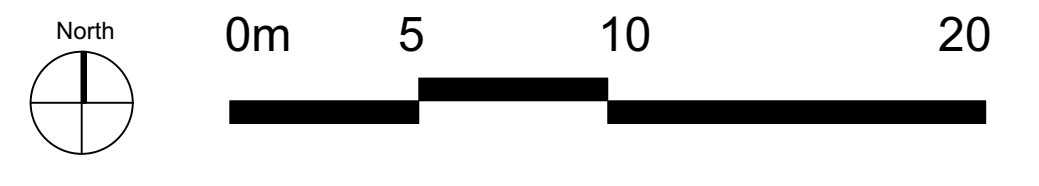
Project  
 2241 SPRINGFIELD ROAD  
 KELOWNA, BC

Sheet Title  
**Landscape Plan  
 Enlargement 1**

Date July 05, 2021  
 Scale 1:200 METERS  
 Drawn By SD/LS  
 Project No.

Copyright reserved. This drawing and the design are, and at all times remain the exclusive property of Lazzarin Svisdahl Landscape Architects and cannot be used without the Landscape Architect's written consent.

Drawing No.  
**L 1.1**



NOTE: ALL WORK AND MATERIALS SHALL BE TO CANADIAN LANDSCAPE STANDARDS



**Play Berm with Climbing Features & Fall Surface Artificial Turf**

A soft, cushioned play surface with fall zones safety-rated to 16 feet.



**PLAY BERM PRECEDENT**

**LEGEND**

- PROPERTY LINES
- UNDERGROUND PARKADE
- BRUSH FINISH CONCRETE WALKWAYS - REFER TO CIVIL ENG DWGS
- DECORATIVE PAVING AREAS BRICK UNIT PAVING, EXPOSED AGGREGATE OR STAMPED CONCRETE FINISH - TBD
- DRAIN ROCK CW 2" x 4" PTW EDGER 200 MM DEPTH MIN TYP. LOCALLY AVAILABLE 3"-6" DIA. WASHED ROUND RIVER ROCK ON APPROVED FILTER FABRIC.
- LAWN = SOD ON 150 MM MIN DEPTH APPROVED GROWING MEDIUM
- PLANTING BED CW 60 MM OF 3/4" WASHED ROCK GROUND COVER (TYP) ON FILTER FABRIC ON AN APPROVED GROWING MEDIUM. 450 MM MIN DEPTH FOR SHRUBS 700 MM MIN FOR TREES
- 2 METER (6.5') HT. PRESSURE TREATED WOOD PRIVACY FENCE
- 1.5 METER (5') HT. BLACK CHAIN LINK FENCE (DOG RUN)
- 1.2 METER (4') HT. BLACK METAL PICKET FENCE
- PRESSURE TREATED WOOD EDGER / PLANTING / ROCK SEPARATIONS
- NATURAL ACCENT BOULDERS
- SKYLINE PARK BENCH BY WISHBONE (CURVED & STRAIGHT)
- SINGLE AND MULTI SPACE BIKE RACKS SECURED TO CONCRETE WALKWAY
- BEAR PROOF GARBAGE BIN
- PRESSURE TREATED WOOD PLANTERS WITH OPEN BOTTOM CW 60 MM DEPTH MULCH ON APPROVED FILTER FABRIC ON 400 mm - 700 mm DEPTH GROWING MEDIUM.
- PRECAST CONCRETE (BLOCK OR CIP) RAISED PLANTER OPEN BOTTOM CW 60 MM DEPTH MULCH ON APPROVED FILTER FABRIC ON 400 mm - 700 mm DEPTH GROWING MEDIUM.

**SCHEDULE C**

This forms part of application # DP21-0231 DVP21-0232

City of Kelowna DEVELOPMENT PLANNING

Planner Initials KB

**PROJECT BENCHES**

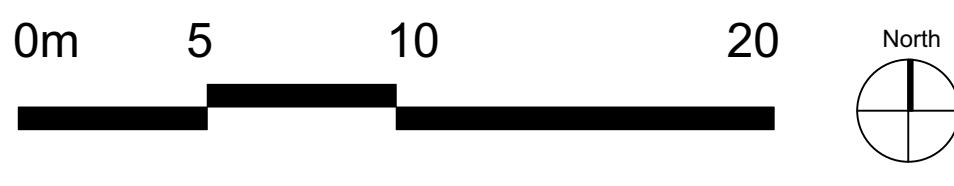


**Skyline Curved Park Bench**  
Model Number: SLCB-11  
Wishbone Site Furnishings Ltd.(or approved equiv)



**Skyline Park Bench**  
Model Number: SLB-6  
Wishbone Site Furnishings Ltd.(or approved equiv)

Powder Coated Black Metal Base and Arm Rests  
Walnut Colour Plastic Lumbar Seat Boards  
Surface Mount To Concrete Walkway with Manufacture Supplied Hardware



NOTE: ALL WORK AND MATERIALS SHALL BE TO CANADIAN LANDSCAPE STANDARDS



**PRECAST BLOCK PLANTER**  
Allan Block Splitfaced Planters On Slab (or Approved Equivalent)



**Bike Rack**  
Cora Bike Rack (or Approved Equivalent)  
Powder Coated Aluminum (Colour To Be Determined)

**Courtyard**  
Courtyard Seating & Planting



**IRONCLAD DEVELOPMENTS INC.**

Project Management  
General Contracting  
Design/ Build

101-57158  
Symington Rd.  
Springfield, MB.  
R2J 4L6

Ph: 204-777-1972  
info@icdev.ca

Date	Revisions	By
Jun 20 22	Progress Review	SD/LS

**LAZZARIN SVISDAHL**  
LANDSCAPE ARCHITECTS

203-1300 1st Avenue, Prince George B.C. V2L 2Y3  
250-563-6158 www.lsla-landarch.com

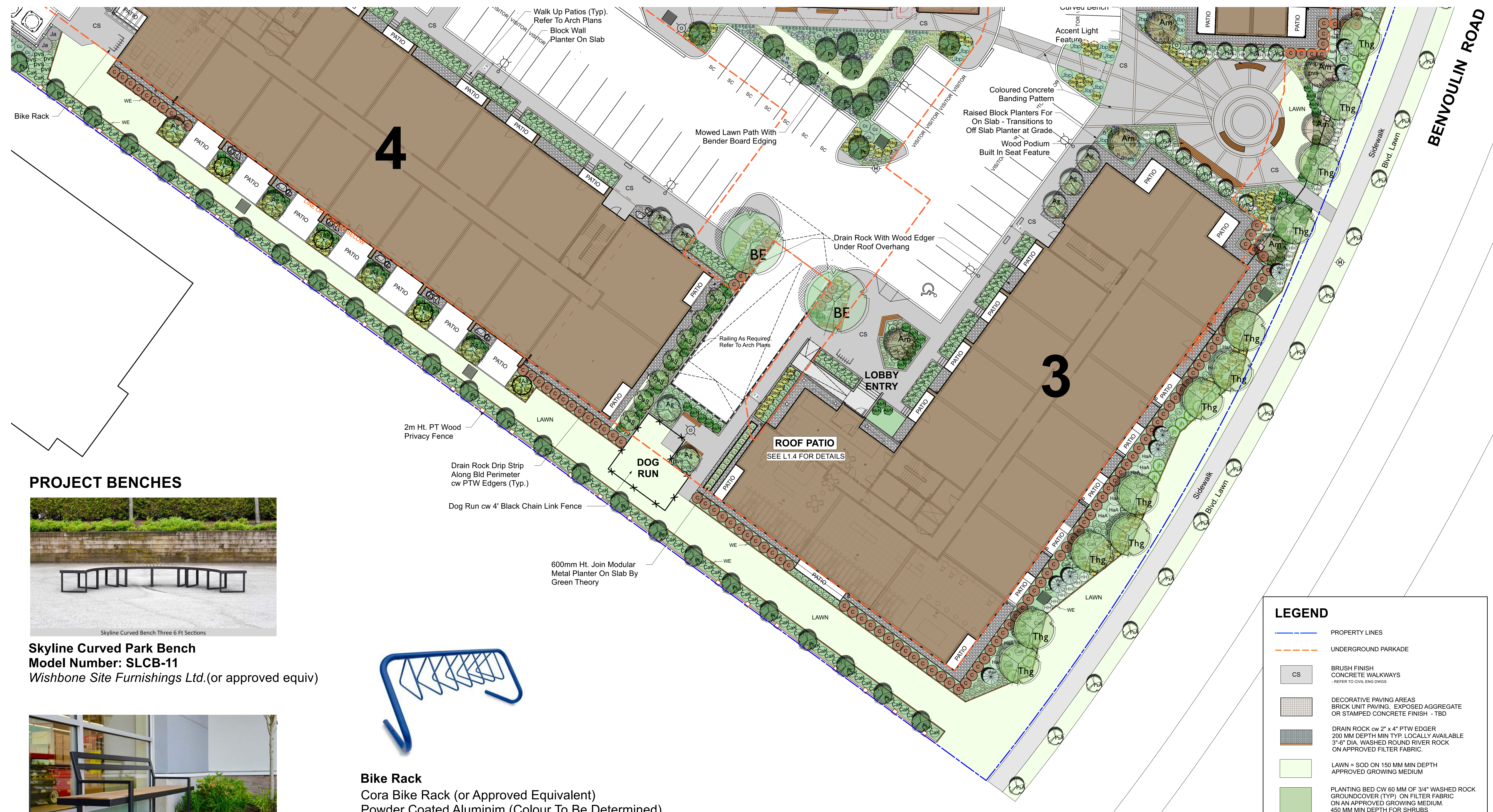
Project  
2241 SPRINGFIELD ROAD  
KELOWNA, BC

Sheet Title  
**Landscape Plan  
Enlargement 2**

Date July 05, 2021  
Scale 1:200 METERS  
Drawn By SD/LS  
Project No.

Copyright reserved. This drawing and the design are, and at all times remain the exclusive property of Lazzarin Svisdahl Landscape Architects and cannot be used without the Landscape Architect's written consent.

Drawing No.  
**L 1.2**



**PROJECT BENCHES**



**Skyline Curved Park Bench**  
**Model Number: SLCB-11**  
 Wishbone Site Furnishings Ltd.(or approved equiv)



**Skyline Park Bench**  
**Model Number: SLB-6**  
 Wishbone Site Furnishings Ltd.(or approved equiv)

Powder Coated Black Metal Base and Arm Rests  
 Walnut Colour Plastic Lumbar Seat Boards  
 Surface Mount To Concrete Walkway with  
 Manufacture Supplied Hardware



**Bike Rack**  
 Cora Bike Rack (or Approved Equivalent)  
 Powder Coated Aluminium (Colour To Be Determined)



**PRECAST BLOCK PLANTER**  
 Allan Block Splitfaced Planters On Slab  
 (or Approved Equivalent)

**IRONCLAD DEVELOPMENTS INC.**  
 Project Management  
 General Contracting  
 Design/ Build  
 101-57158  
 Symington Rd.  
 Springfield, MB.  
 R2J 4L6  
 Ph: 204-777-1972  
 info@icdev.ca

Date	Revisions	By
Jun 20 22	Progress Review	SD/LS

**LAZZARIN SVISDAHL**  
 LANDSCAPE ARCHITECTS  
 203-1300 1st Avenue, Prince George B.C. V2L 2Y3  
 250-563-6158 www.lsla-landarch.com

Project  
 2241 SPRINGFIELD ROAD  
 KELOWNA, BC

Sheet Title  
**Landscape Plan  
 Enlargement 3**

Date July 05, 2021  
 Scale 1:200 METERS  
 Drawn By SD/LS  
 Project No.

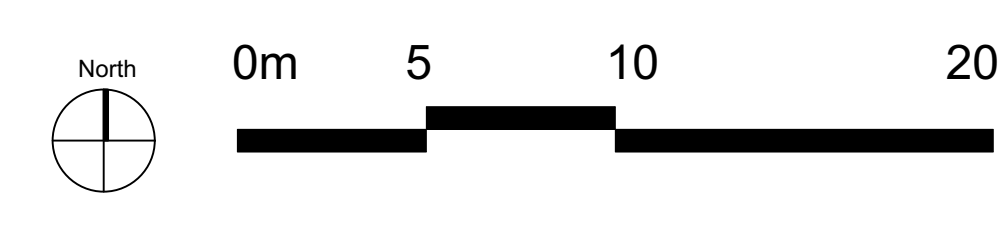
Copyright reserved. This drawing and the design are, and at all times remain the exclusive property of Lazzarin Svidahl Landscape Architects and cannot be used without the Landscape Architect's written consent.

Drawing No.  
**L 1.3**

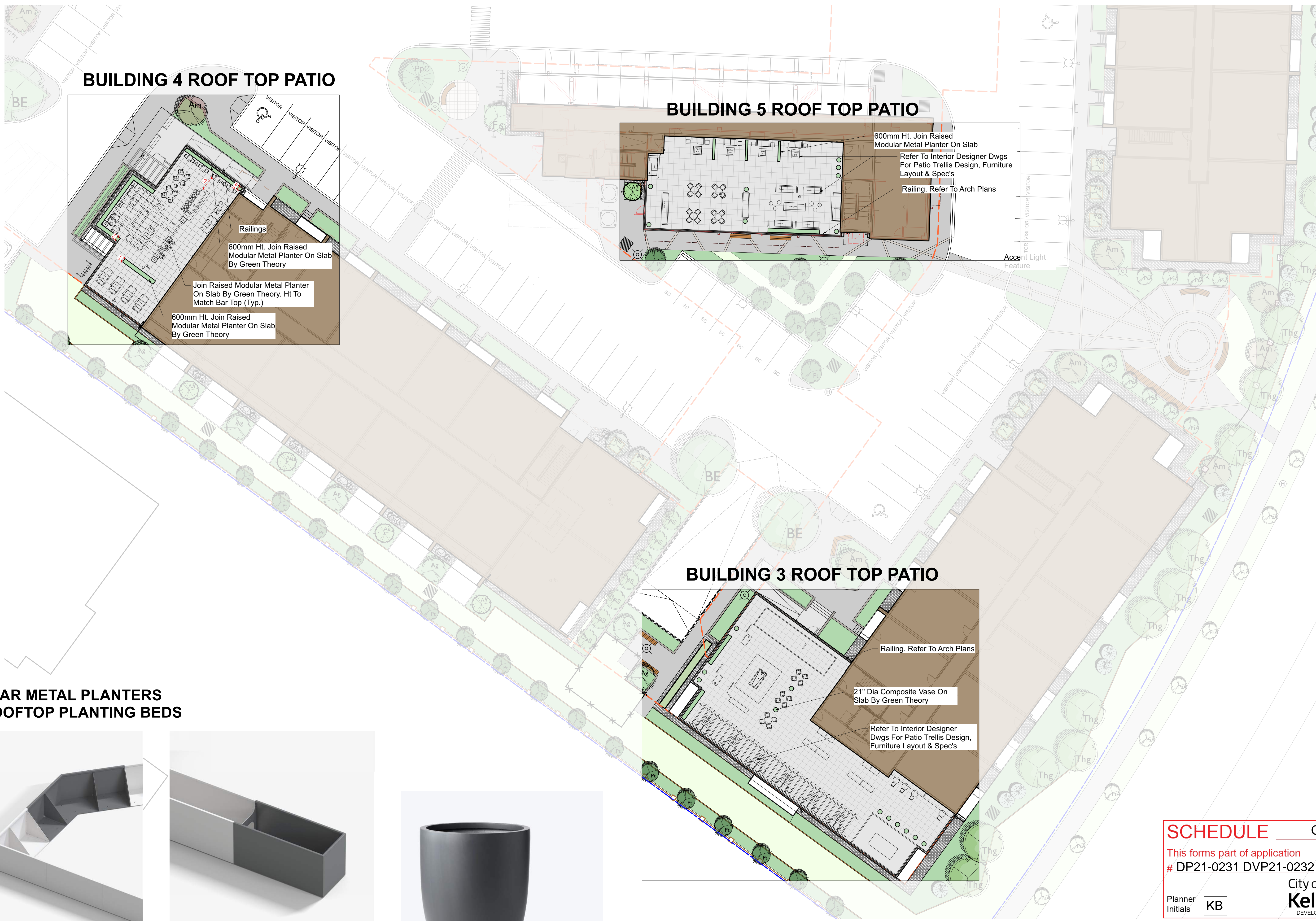
**LEGEND**

- PROPERTY LINES
- UNDERGROUND PARKADE
- BRUSH FINISH CONCRETE WALKWAYS - REFER TO CIVIL ENG DWGS
- DECORATIVE PAVING AREAS BRICK UNIT PAVING, EXPOSED AGGREGATE OR STAMPED CONCRETE FINISH - TBD
- DRAIN ROCK CW 2' x 4" PTW EDGER 200 MM DEPTH MIN TYP. LOCALLY AVAILABLE 3'-6" DIA. WASHED ROUND RIVER ROCK ON APPROVED FILTER FABRIC.
- LAWN = SOD ON 150 MM MIN DEPTH APPROVED GROWING MEDIUM
- PLANTING BED CW 60 MM OF 3/4" WASHED ROCK GROUNDCOVER (TYP) ON FILTER FABRIC ON AN APPROVED GROWING MEDIUM. 450 MM MIN DEPTH FOR SHRUBS 700 MM MIN FOR TREES
- 2 METER (6.5') HT. PRESSURE TREATED WOOD PRIVACY FENCE
- 1.5 METER (5') HT. BLACK CHAIN LINK FENCE (DOG RUN)
- 1.2 METER (4') HT. BLACK METAL PICKET FENCE
- PRESSURE TREATED WOOD EDGER LAWN / PLANTING / ROCK SEPARATIONS
- NATURAL ACCENT BOULDERS
- SKYLINE PARK BENCH BY WISHBONE (CURVED & STRAIGHT)
- SINGLE AND MULTI SPACE BIKE RACKS SECURED TO CONCRETE WALKWAY
- BEAR PROOF GARBAGE BIN
- PRESSURE TREATED WOOD PLANTERS WITH OPEN BOTTOM CW 60 MM DEPTH MULCH ON APPROVED FILTER FABRIC ON 400 mm - 700 mm DEPTH GROWING MEDIUM.
- PRECAST CONCRETE (BLOCK OR CIP) RAISED PLANTER OPEN BOTTOM CW 60 MM DEPTH MULCH ON APPROVED FILTER FABRIC ON 400 mm - 700 mm DEPTH GROWING MEDIUM.

**SCHEDULE C**  
 This forms part of application  
 # DP21-0231 DVP21-0232  
 Planner Initials KB  
 City of Kelowna DEVELOPMENT PLANNING



NOTE: ALL WORK AND MATERIALS SHALL BE TO CANADIAN LANDSCAPE STANDARDS



**IRONCLAD DEVELOPMENTS INC.**

Project Management  
General Contracting  
Design/ Build

101-57158  
Symington Rd.  
Springfield, MB.  
R2J 4L6

Ph: 204-777-1972  
info@icdev.ca

Date	Revisions	By
Jun 20 22	Progress Review	SD/LS

**LAZZARIN SVISDAHL**  
LANDSCAPE ARCHITECTS

203-1300 1st Avenue, Prince George B.C. V2L 2Y3  
250-563-6158 www.isla-landarch.com

Project  
2241 SPRINGFIELD ROAD  
KELOWNA, BC

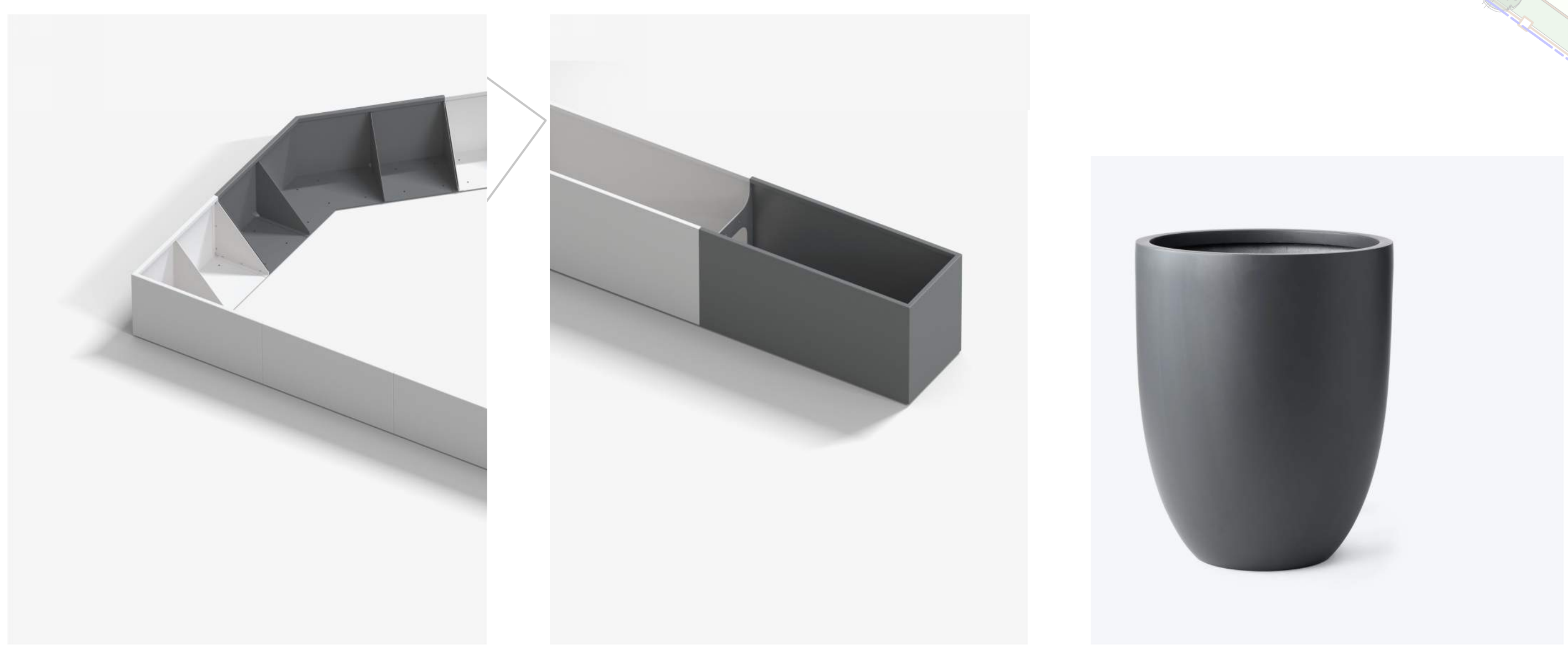
Sheet Title  
**Landscape Plan  
Roof Terrace**

Date July 05, 2021  
Scale 1:200 METERS  
Drawn By SD/LS  
Project No.

Copyright reserved. This drawing and the design are, and at all times remain the exclusive property of Lazzarin Svisdahl Landscape Architects and cannot be used without the Landscape Architect's written consent.

Drawing No.  
**L 1.4**

**MODULAR METAL PLANTERS FOR ROOFTOP PLANTING BEDS**



**Join Edging Planter. Colour T.B.D.**  
By Green Theory (or approved equiv)

**Join Modular Planter. Colour T.B.D.**  
By Green Theory (or approved equiv)

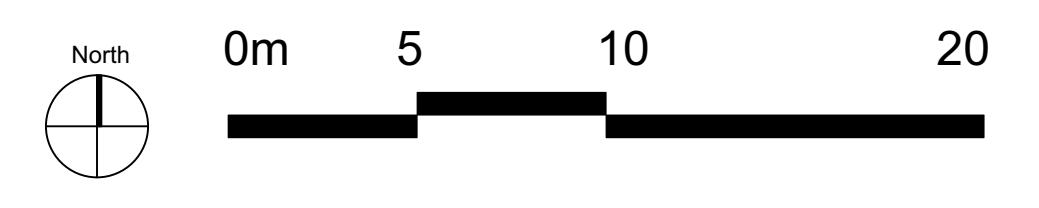
**Composite Vase Planter  
21" Dia x 26" Ht.**  
By Green Theory (or approved equiv)

**SCHEDULE C**

This forms part of application  
# DP21-0231 DVP21-0232

Planner Initials **KB**

City of Kelowna  
DEVELOPMENT PLANNING



NOTE: ALL WORK AND MATERIALS SHALL BE TO CANADIAN LANDSCAPE STANDARDS



## FORM & CHARACTER – DEVELOPMENT PERMIT GUIDELINES

**Chapter 2 - The Design Foundations:** apply to all projects and provide the overarching principles for supporting creativity, innovation and design excellence in Kelowna.

- Facilitate Active Mobility
- Use Placemaking to Strengthen Neighbourhood Identity
- Create Lively and Attractive Streets & Public Spaces
- Design Buildings to the Human Scale
- Strive for Design Excellence

**The General Residential and Mixed Use Guidelines:** provide the key guidelines that all residential and mixed use projects should strive to achieve to support the Design Foundations.

- The General Guidelines are supplement by typology-specific guidelines (e.g., Townhouses & Infill on page 18-19, High-Rise Residential and Mixed-Use on page 18-42), which provide additional guidance about form and character.

### Chapter 2 - Design Foundations

Apply To All Projects

Page 18-8

#### Section 2.1 - General Residential and Mixed Use Design Guidelines

Page 18-9

#### Section 2.2 - Achieving High Performance

Page 18-17

Chapter 3  
Townhouses & Infill

Page 18-19

Chapter 4  
Low & Mid-Rise  
Residential &  
Mixed Use

Page 18-34

Chapter 5  
High-Rise  
Residential &  
Mixed Use

Page 18-42

\*Note: Refer to the Design Foundations and the Guidelines associated with the specific building typology.

**FORM & CHARACTER - DEVELOPMENT PERMIT GUIDELINES**

Consideration has been given to the following guidelines as identified in Chapter 18 of the City of Kelowna 2040 Official Community Plan:

RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE <i>(1 is least complying &amp; 5 is highly complying)</i>	N/A	1	2	3	4	5
<b>CHAPTER 4.0: LOW &amp; MID-RISE RESIDENTIAL &amp; MIXED USE</b>						
<b>4.1 Guidelines</b>						
<b>4.1.1 Relationship to the Street</b>						
Lobby area and main building entrance is clearly visible from the fronting street and sidewalk.				✓		
Wherever possible, blank walls at grade are not encouraged.						✓
Enclosed parking garages are located away from street frontages or public open space.						✓
Ground oriented units with entries or glazing have been provided to avoid the blank/dead frontage along the street.						✓
When unavoidable, blank walls have been screened with landscaping or have been incorporated with a patio/café or special materials have been provided to make them visually interesting.						
<b>Commercial &amp; Mixed-use Buildings</b>						
Proposed built form has a continuous active and transparent retail frontage at grade and provides a visual connection between the public and private realm.					✓	
Buildings have been sited using a common 'build to' line at or near the front property line to maintain a continuous street frontage. Some variation (1-3 m maximum) can be accommodated in ground level set backs to support pedestrian and retail activity by, for example, incorporating a recessed entryway, small entry plaza, or sidewalk café.						✓
Frequent entrances (every 15 m maximum) into commercial street frontages have been incorporated to create punctuation and rhythm along the street, visual interest, and support pedestrian activity.				✓		
<b>Residential and Mixed-use Buildings</b>						
Residential buildings at the ground floor have a set back between 3-5 m from the property line to create a semi-private entry or transition zone to individual units and to allow for an elevated front entryway or raised patio.					✓	
A maximum 1.2 m desired height (e.g., 5-6 steps) for front entryways has been provided. Where the water table requires this to be higher, in these cases, larger patio has been provided and parking has been screened with ramps, stairs, and landscaping.						✓
Ground floor units accessible from the fronting street or public open spaces have been provided with individual entrances.		✓				
Buildings are sited and oriented so that windows and balconies are overlooking public streets, parks, walkways, and shared amenity spaces while minimizing views into private residences.						✓

<b>RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE</b> <i>(1 is least complying &amp; 5 is highly complying)</i>	<b>N/A</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>
<b>4.1.2 Scale and Massing</b>						
Proposed residential building façade has a length of 60 m (40 m length is preferred).		✓				
Buildings over 40 m in length are incorporating significant horizontal and vertical breaks in façade.				✓		
Commercial building facades are incorporating significant break at approximately 35 m intervals.					✓	
Proposed residential building has a maximum width of 24 m.					✓	
<b>4.1.3 Site Planning</b>						
On sloping sites, building floor levels are following the natural grade and avoiding the blank wall situation.	✓					
Buildings are sited to be parallel to the street and have a distinct front-to-back orientation to public street and open spaces and to rear yards, parking, and/or interior courtyards.						✓
Building sides that are interfacing with streets, mid-block connections, and other open spaces (building fronts) are positively framing and activating streets and open spaces and supporting pedestrian activity.					✓	
Larger buildings are broken up with mid-block connections which have public accessibility wherever possible.					✓	
Ground floors adjacent to mid block connections have entrances and windows facing the mid block connection.			✓			
<b>4.1.4 Site Servicing, Access, and Parking</b>						
Vehicular access is provided from the lane.	✓					
Where there is no lane, and where the re-introduction of a lane is difficult or not possible, access is provided from the street, provided: <ul style="list-style-type: none"> <li>• Access is from a secondary street, where possible, or from the long face of the block;</li> <li>• Impacts on pedestrians and the streetscape is minimized; and,</li> <li>• There is no more than one curb cut per property.</li> </ul>						✓
Above grade structure parking should only be provided in instances where the site or high water table does not allow for other parking forms.	✓					

<b>RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE</b> <i>(1 is least complying &amp; 5 is highly complying)</i>	N/A	1	2	3	4	5
When parking cannot be located underground due to the high water table and is to be provided above ground, screen the parking structure from public view as follows: <ul style="list-style-type: none"> <li>On portions of the building that front a retail or main street, line the above ground parking with active retail frontage;</li> <li>On portions of the building that front onto non-retail streets, line the above ground parking with an active residential frontage, such as ground oriented townhouse units;</li> <li>When active frontages are not able to be accommodated, screen parking structures by using architectural or landscaped screening elements;</li> <li>On corner sites, screen the parking structure from public view on both fronting streets using the appropriate strategy listed above.</li> </ul>						✓
Buildings with ground floor residential may integrate half-storey underground parking to a maximum of 1.2 m above grade, with the following considerations: <ul style="list-style-type: none"> <li>Semi-private spaces should be located above to soften the edge and be at a comfortable distance from street activity; and</li> <li>Where conditions such as the high water table do not allow for this condition, up to 2 m is permitted, provided that entryways, stairs, landscaped terraces, and patios are integrated and that blank walls and barriers to accessibility are minimized.</li> </ul>	✓					
<b>4.1.5 Publicly Accessible and Private Open Spaces</b>						
Publicly accessible private spaces (e.g., private courtyards accessible and available to the public) have been integrated with public open areas to create seamless, contiguous spaces.		✓				
Semi-private open spaces have been located to maximize sunlight penetration, minimize noise disruptions, and minimize 'overlook' from adjacent units.				✓		
Outdoor Amenity Areas: design plazas and parks to: <ul style="list-style-type: none"> <li>Contain 'three edges' (e.g., building frontage on three sides) where possible and be sized to accommodate a variety of activities;</li> <li>Be animated with active uses at the ground level; and,</li> <li>Be located in sunny, south facing areas.</li> </ul>				✓		
Internal courtyard design provides: <ul style="list-style-type: none"> <li>amenities such as play areas, barbecues, and outdoor seating where appropriate.</li> <li>a balance of hardscape and softscape areas to meet the specific needs of surrounding residents and/or users.</li> </ul>					✓	
Mid-block connections design includes active frontages, seating, and landscaping.					✓	



<b>RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE</b> <i>(1 is least complying &amp; 5 is highly complying)</i>	N/A	1	2	3	4	5
<b>Rooftop Amenity Spaces</b>						
Shared rooftop amenity spaces (such as outdoor recreation space and rooftop gardens on the top of a parkade) are designed to be accessible to residents and to ensure a balance of amenity and privacy by: <ul style="list-style-type: none"> <li>Limiting sight lines from overlooking residential units to outdoor amenity space areas through the use of pergolas or covered areas where privacy is desired; and</li> <li>Controlling sight lines from the outdoor amenity space into adjacent or nearby residential units.</li> </ul>					✓	
Reduce the heat island effect by including plants or designing a green roof, with the following considerations: <ul style="list-style-type: none"> <li>Secure trees and tall shrubs to the roof deck; and</li> <li>Ensure soil depths and types are appropriate for proposed plants and ensure drainage is accommodated.</li> </ul>		✓				
<b>4.1.6 Building Articulation, Features &amp; Materials</b>						
Articulate building facades into intervals that are a maximum of 15 m wide for mixed-use buildings and 20m wide for residential buildings. Strategies for articulating buildings should consider the potential impacts on energy performance (see 2.2.1), and include: <ul style="list-style-type: none"> <li>Façade Modulation – stepping back or extending forward a portion of the façade to create a series of intervals in the facade;</li> <li>Repeating window patterns at intervals that correspond to extensions and step backs (articulation) in the building facade;</li> <li>Providing a porch, patio, deck, or covered entry for each interval;</li> <li>Providing a bay window or balcony for each interval, while balancing the significant potential for heat loss through thermal bridge connections which could impact energy performance;</li> <li>Changing the roof line by alternating dormers, stepped roofs, gables, or other roof elements to reinforce the modulation or articulation interval;</li> <li>Changing the materials with the change in building plane; and</li> <li>Provide a lighting fixture, trellis, tree, or other landscape feature within each interval.</li> </ul>			✓			
Break up the building mass by incorporating elements that define a building's base, middle and top.						✓
Use an integrated, consistent range of materials and colors and provide variety by, for example, using accent colors.						✓
Articulate the facade using design elements that are inherent to the building as opposed to being decorative. For example, create depth in building facades by recessing window frames or partially recessing balconies to allow shadows to add detail and variety as a byproduct of massing.			✓			
Incorporate distinct architectural treatments for corner sites and highly visible buildings such as varying the roofline ( <i>See Figure 41</i> ), articulating the facade, adding pedestrian space, increasing the number and size of windows, and adding awnings and canopies.			✓			

RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE (1 is least complying & 5 is highly complying)	N/A	1	2	3	4	5
<b>Weather Protection</b>						
Provide weather protection (e.g. awnings, canopies, overhangs, etc.) along all commercial streets and plazas (See Figure 4.2), with particular attention to the following locations: <ul style="list-style-type: none"> <li>• Primary building entrances,</li> <li>• Adjacent to bus zones and street corners where people wait for traffic lights;</li> <li>• Over store fronts and display windows; and</li> <li>• Any other areas where significant waiting or browsing by people occurs.</li> </ul>						✓
Architecturally-integrate awnings, canopies, and overhangs to the building and incorporate architectural design features of buildings from which they are supported.					✓	
Place and locate awnings and canopies to reflect the building's architecture and fenestration pattern.					✓	
Place awnings and canopies to balance weather protection with daylight penetration. Avoid continuous opaque canopies that run the full length					✓	
<b>Signage</b>						
Provides attractive signage on commercial buildings that identifies uses and shops clearly but which is scaled to the pedestrian rather than the motorist. Some exceptions can be made for buildings located on highways and/or major arterials in alignment with the City's Sign Bylaw.					✓	
Avoid the following types of signage: <ul style="list-style-type: none"> <li>• Internally lit plastic box signs;</li> <li>• Pylon (stand alone) signs; and</li> <li>• Rooftop signs.</li> </ul>	✓					
Uniquely branded or colored signs are encouraged to help establish a special character to different neighbourhoods.	✓					