

NOTE SCALE: 3/32" = 1'

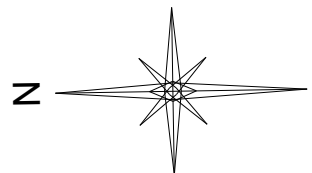
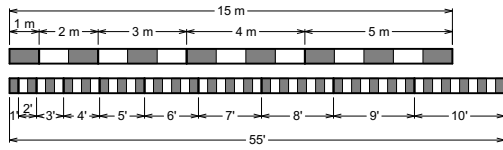
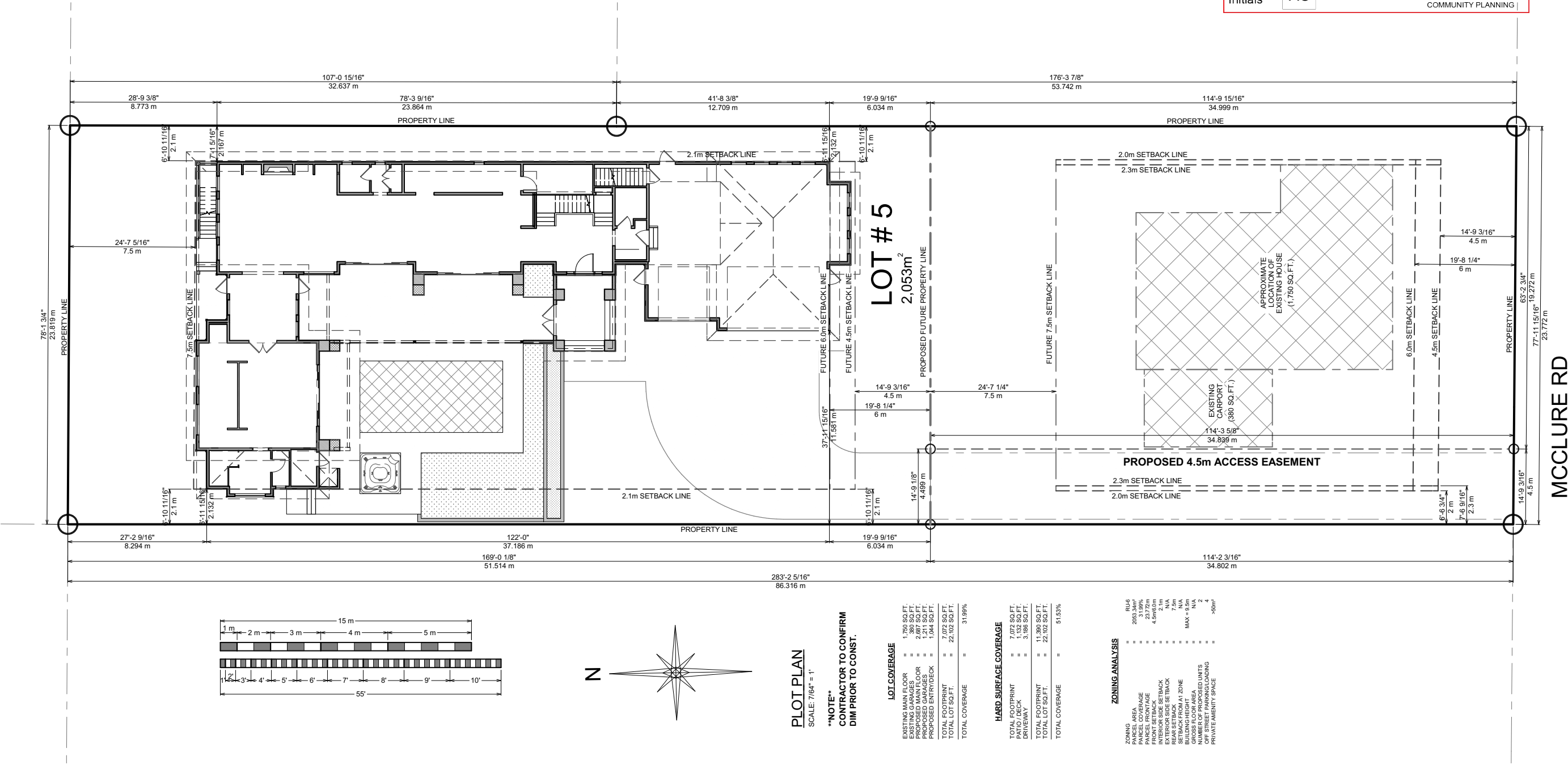
ATTACHMENT A

This forms part of application
Z22-0037

Planner Initials AC

City of Kelowna

COMMUNITY PLANNING



PLOT PLAN

SCALE: 7/64" = 1'

NOTE
CONTRACTOR TO CONFIRM
DIM PRIOR TO CONST.

LOT COVERAGE	
EXISTING MAIN FLOOR	= 1,750 SQ. FT.
EXISTING GARAGES	= 380 SQ. FT.
PROPOSED MAIN FLOOR	= 2,897 SQ. FT.
PROPOSED GARAGES	= 1,544 SQ. FT.
PROPOSED ENTRY/DECK	= 1,544 SQ. FT.
TOTAL LOT SQ. FT.	= 7,072 SQ. FT.
TOTAL COVERAGE	= 31.99%

HARD SURFACE COVERAGE	
TOTAL FOOTPRINT	= 7,072 SQ. FT.
DRIVEWAY	= 1,544 SQ. FT.
TOTAL LOT SQ. FT.	= 11,392 SQ. FT.
TOTAL COVERAGE	= 51.33%

ZONING ANALYSIS	
ZONING	= R14
PARCEL AREA	= 208,346 SQ. FT.
PARCEL FRONTAGE	= 237.72m
FRONT SETBACK	= 4.5m
EXTERIOR SIDE SETBACK	= N/A
REAR SETBACK	= N/A
SETBACK FROM A ZONE	= N/A
BUILDING HEIGHT	= MAX = 8.5m
NUMBER OF PROPOSED UNITS	= 2
OFF STREET PARKING/LOADING	= N/A
PRIVATEMENT SPACE	= >500'

MULLINS

DESIGN GROUP

UNIT 203 - 1889 SPALL RD.
Kelowna BC V1Y 4R2
Bus: (250) 717-3415
Cell: (250) 258-7819
E-mail: mullinsdrafting@shaw.ca

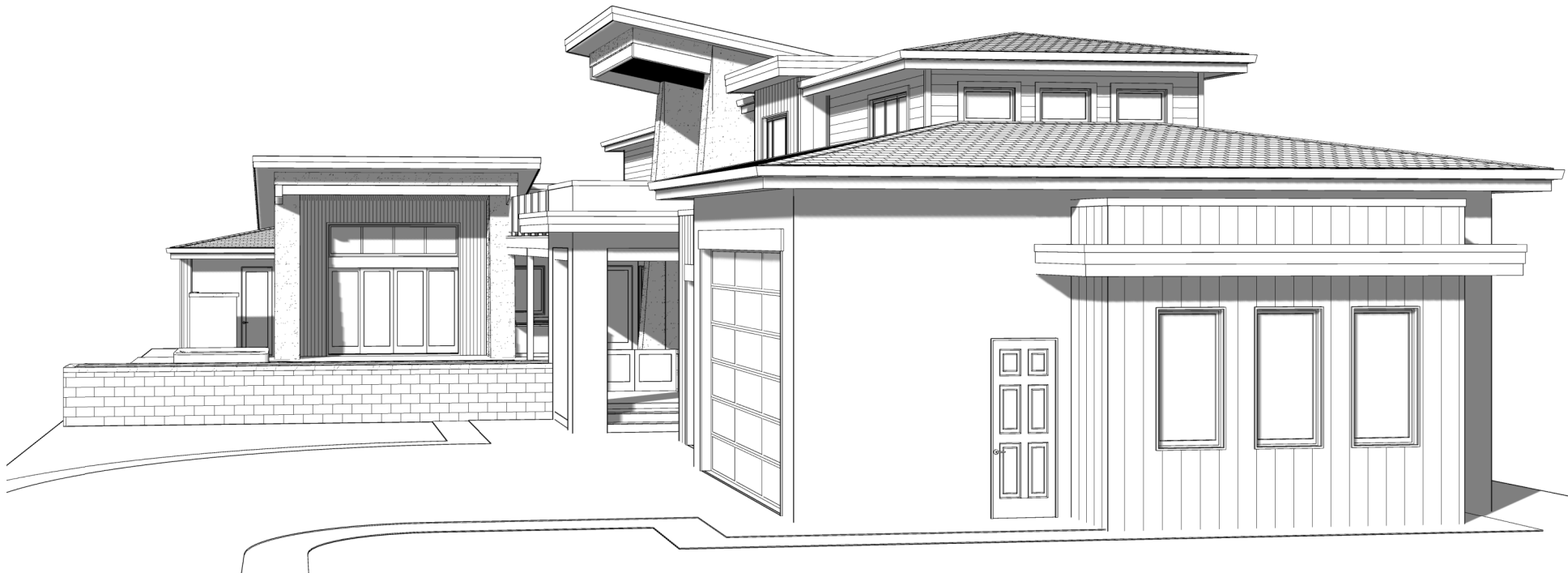
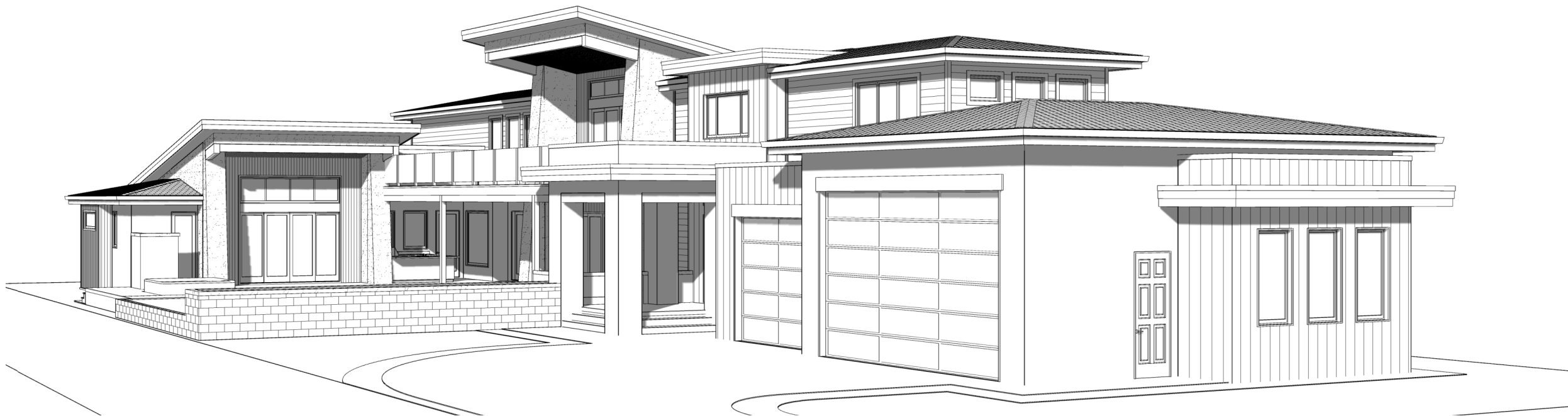
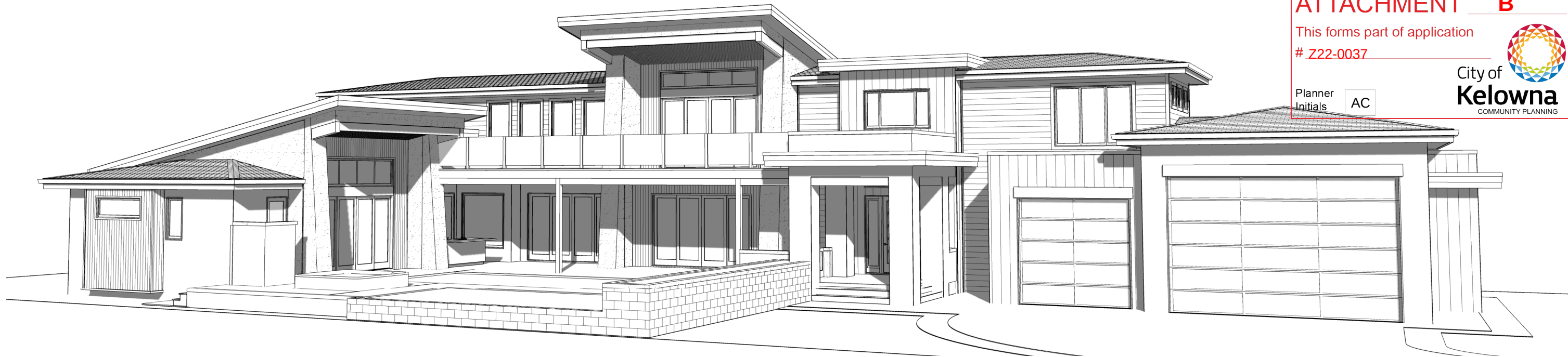
PROPOSED PROJECT FOR
764 MCCLURE RD
KELOWNA, BC



SHEET NUMBER
5/8

SCALE: 3/32" = 1'

DATE : SEPT-26-2022



SPECIFICATIONS

ROOF TORCH-ON ROOFING (FLAT) LAMINATE SHINGLES (2.5/12) PLYWOOD ROOF SHEATHING ENGINEERED ROOF TRUSSES R-50 INSULATION 6 MIL UV POLY 5/8" DRYWALL	INT. WALL 2x4 STUDS 16" o/c 1/2" DRYWALL BOTH SIDES FLOOR SYSTEM 3/4" T&G SHEETING ENG. I JOIST DECK CONSTRUCTION 8" CONC. PEIRS 2x10 JOISTS @16" o/c VINYL DECKING POSTS & BEAMS AS REQ. STAIR CONSTRUCTION PRE MANUFACTURED STAIR SYSTEM 2X6 @ 16" o/c LANDINGS	FOUNDATION 8" CONC. FOUNDATION 10MM REBAR R12 STYROFOAM INSULATION 8"x16" CONC. FOOTING CONC. SLAB 4" CONC. SLAB 6 MIL UV POLY 6" DRAINAGE ROCK DRAINAGE TILE 4" DRAIN TILE MINIMUM 6" DRAIN ROCK DRY SHEETING PAPER
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ATTACHMENT **B**

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Z22-0037

Planner
Initials AC

City of
Kelowna
COMMUNITY PLANNING

GENERAL NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE B.C. BUILDING CODE AND ALL LOCAL LAWS AND BYLAWS.
- BEFORE CONSTRUCTION COMMENCES IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK ALL DETAILS AND DIMENSIONS TO CONFIRM ACCURACY AND TO ASSURE THERE ARE NO DISCREPANCIES.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR FOR THE CORRECT SITING OF THE BUILDING TO CONFORM WITH NECESSARY SETBACKS.
- ALTHOUGH EVERY EFFORT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE DRAWINGS WE CANNOT ELIMINATE THE POSSIBILITY OF HUMAN ERROR, THEREFORE MULLINS DRAFTING & DESIGN WILL NOT BE LIABLE FOR ANY ERRORS OR OMISSIONS.

- **NOTE****
INCLUDE FOR RAIN SCREEN AT AREAS OF NO ROOF OVERHANG
- **NOTE****
WINDOW SPEC'S TO BE CONFIRMED BY OWNER/ CONTRACTOR PRIOR TO ORDERING TO ENSURE PROPER VENTING AND EGRESS.
- **NOTE****
PROVIDE PROPER SLOPE TO ALLOW DRAINAGE AWAY FROM RESIDENCE.
- **NOTE****
CONTRACTOR TO CONFIRM DIM PRIOR TO CONST.

SHEET NUMBER
1/8

SCALE: 1/4" = 1'

DATE : SEPT-26-2022

PROPOSED PROJECT FOR
764 MCCLURE RD
KELOWNA, BC

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