



Provincial Agricultural Land Commission - Applicant Submission

Application ID: 64834

Application Status: Under LG Review

Applicant:

Agent: Carl Withler

Local Government: City of Kelowna

Local Government Date of Receipt: 02/10/2022

ALC Date of Receipt: This application has not been submitted to ALC yet.

Proposal Type: Non-Adhering Residential Use - Additional Residence for Farm Use

Proposal: House 60 TFW for cherry production.

Agent Information

Agent: Carl Withler

Mailing Address:

2612 Woodland Cres

Kelowna, BC

V1W 2R4

Canada

Primary Phone: (250) 870-2137

Email: withler@shaw.ca

Parcel Information

Parcel(s) Under Application

1. **Ownership Type:** Fee Simple

Parcel Identifier: 030-944-988

Legal Description: EPP95434

Parcel Area: 10 ha

Civic Address: 1989 Ward Road, Kelowna, B.C.

Date of Purchase: 12/01/2021

Farm Classification: Yes

Owners

1. **Name:**

Address:

Phone:

Email:

Applicant:

Ownership or Interest in Other Lands Within This Community

1. **Ownership Type:** Fee Simple
Parcel Identifier: 004-320-921
Owner with Parcel Interest:
Parcel Area: 4.3 ha
Land Use Type: Agricultural/Farm
Interest Type: Full Ownership
-

Current Use of Parcels Under Application

1. **Quantify and describe in detail all agriculture that currently takes place on the parcel(s).**
Entire orchard planted to high quality cherry and apple production.
2. **Quantify and describe in detail all agricultural improvements made to the parcel(s).**
Equipment shed on site for storage of farm equipment.
3. **Quantify and describe all non-agricultural uses that currently take place on the parcel(s).**
None.

Adjacent Land Uses

North

Land Use Type: Agricultural/Farm
Specify Activity: apple production

East

Land Use Type: Agricultural/Farm
Specify Activity: apple production.

South

Land Use Type: Agricultural/Farm
Specify Activity: apple production

West

Land Use Type: Agricultural/Farm
Specify Activity: cherry production

Proposal

1. **What is the purpose of the proposal?**
House 60 TFW for cherry production.
2. **Describe the necessity for an additional residence for farm use and how it will support agriculture in the short or long term.**
The Gill family now has 40 acres in producing cherries. Labour is needed to plant, prune and pick the crop.

Applicant:

3. Describe the size, type and number, as well as occupancy of all residential structures currently located on the property.

None

4. What is the total floor area of the proposed additional residence in square metres?

200 m²

5. Describe the rationale for the proposed location of the additional residence.

Housing for TFW is a requirement of the SAWP program.

6. What is the total area of infrastructure necessary to support the additional residence?

2000 m as required by City of Kelowna.

7. Do you need to import any fill to construct the additional residence or infrastructure?

No

Applicant Attachments

- Agent Agreement-Carl Withler
- Proposal Sketch-64834
- Certificate of Title-030-944-988

ATTACHMENT A

This forms part of application
A22-0004

Planner Initials MT


City of Kelowna
COMMUNITY PLANNING

ALC Attachments

None.

Decisions

None.

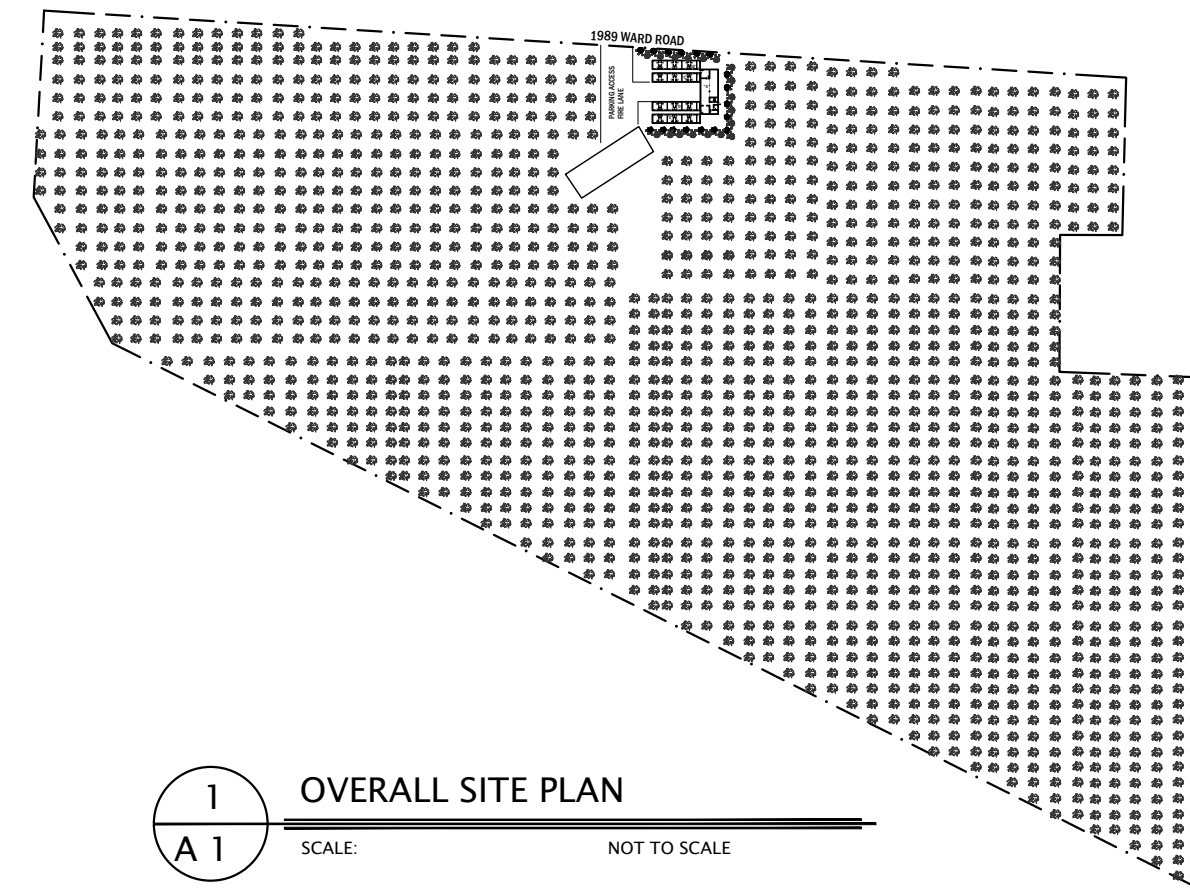
Applicant:

ATTACHMENT B

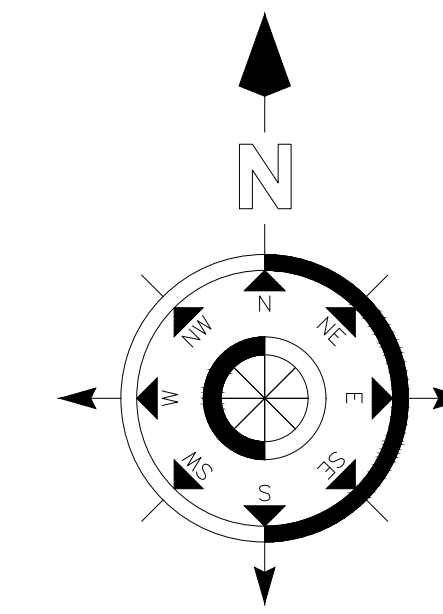
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A22-0004

Planner Initials **MT**



1 OVERALL SITE PLAN
A 1 SCALE: NOT TO SCALE



MUNICIPAL ADDRESS
1989 WARD ROAD
KELOWNA, B.C.
V1W-4B1

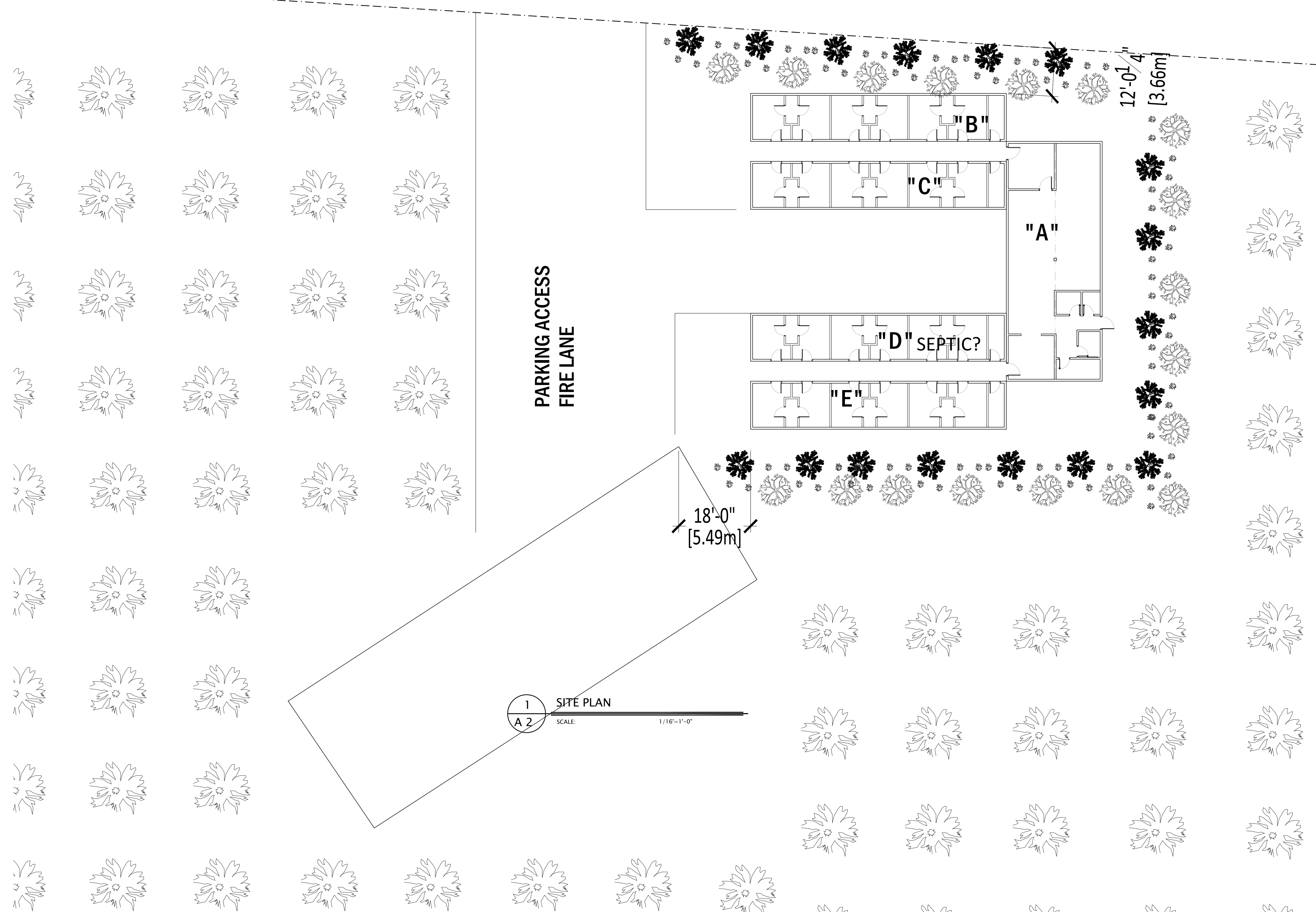
LEGAL ADDRESS
LOT 1 BLOCK
PLAN EPP95434
KID 855120
PID 030-944-988

ZONE A1
WATER CITY

FIRE

22.907 Acres / 9.27 Ha.

1989 WARD ROAD



1 SITE PLAN
A 2 SCALE: 1/16"=1'-0"

- A KITCHEN / DINING 24' x 60'
- B SLEEPING UNITS 12' x 64'
- C SLEEPING UNITS 12' x 64'
- D SLEEPING UNITS 12' x 64'
- E SLEEPING UNITS 12' x 64'
- G SEPTIC FIELD

DATE	NO.	BY	REVISION
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PROJECT M. GILL 1989 WARD ROAD KELOWNA, B.C.			
SHEET TITLE SITE PLAN & NOTATION			
DRAWN	RAH		SHEET NO.
CHECKED			A 1
SCALE	1/32"=1'-0"		Rev. 0
DATE	14-Jun-22		

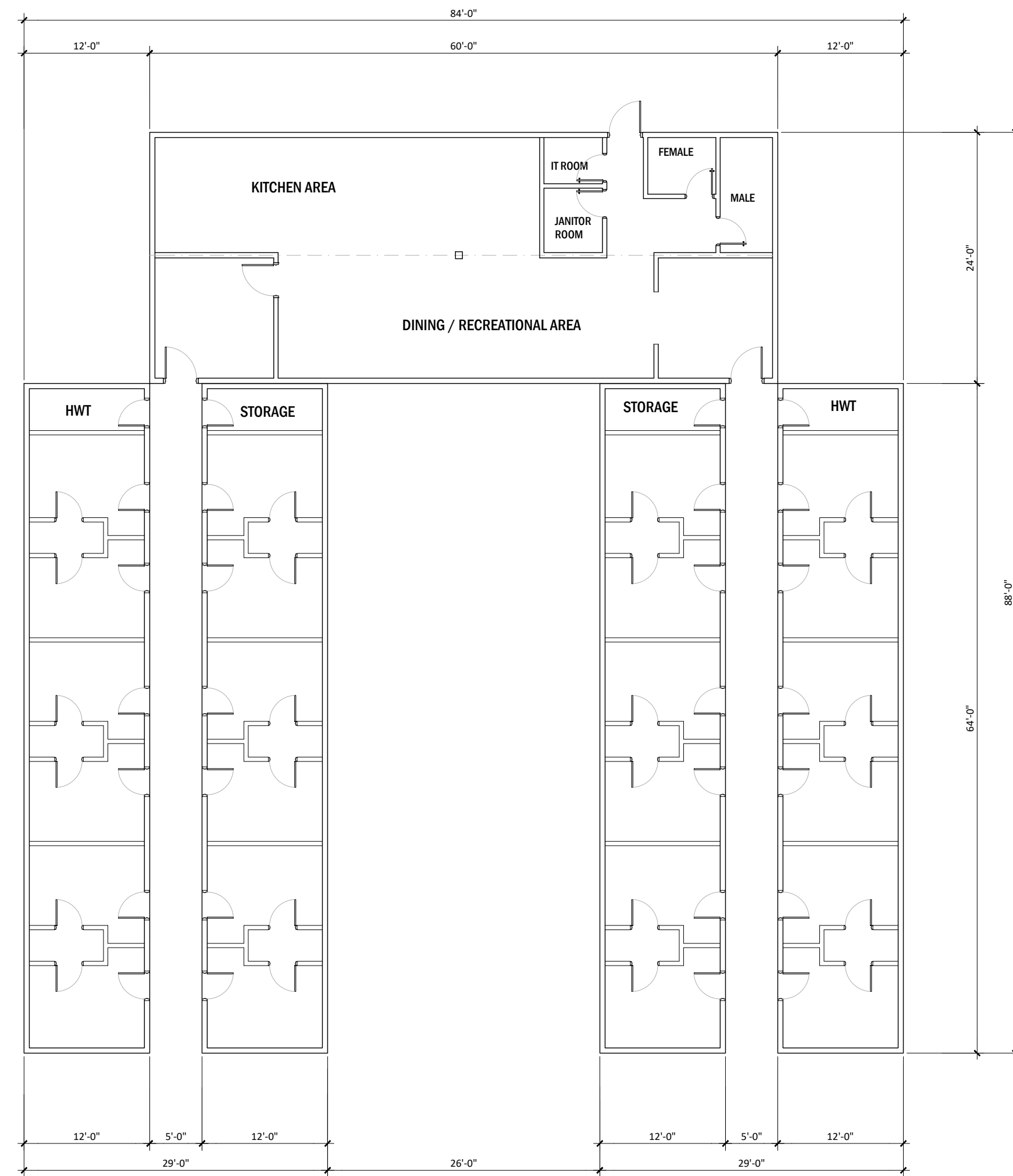
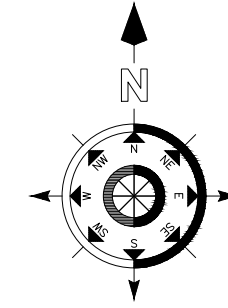
ATTACHMENT B

This forms part of application
A22-0004



City of
Kelowna
COMMUNITY PLANNING

Planner Initials **MT**



1 TRAILER LAYOUT
A 2 SCALE: 3/32"=1'-0"

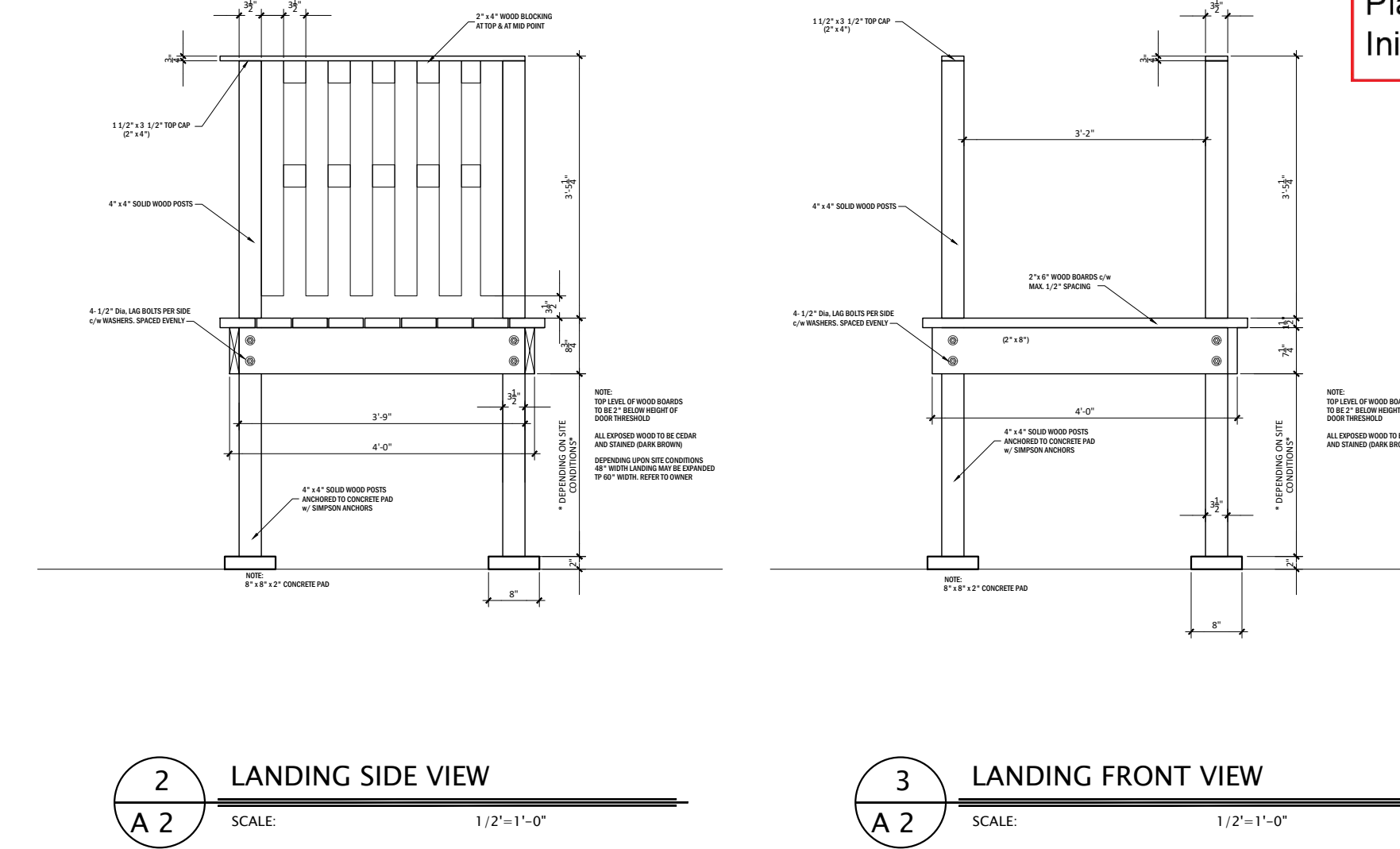
SLEEPING UNIT SCHEDULE (x4)

BED (48" x 78")	24
NIGHT STAND	24
SMALL DESK	24

TYPICAL CONSTRUCTION NOTES:

- refer to specifications
- fire
 - fire extinguisher supplied one per exit
 - one per laundry room
- plumbing
 - shut off valves 1 per fixture
 - all vents in wall structure / where possible
- electrical
 - electrical heat / 1 per bedroom
 - receptacles as per specifications
- telephone
 - one per
 - jacks as per spec
- emergency exit
 - running man symbol to be installed at all exits
- bedroom doors to have
 - 20 min. FRR
 - door closer or door closer hinges
- mechanical doors to have
 - 20 min. FRR
 - door closer or door closer hinges

DORMITORY COMPLEX REGULATIONS	
LIVE LOAD	75 PSF
ROOF LOAD	44 PSF
CEILING HEIGHT STRUC.	8'-0 1/4"
CEILING HEIGHT FINISH	8'-0 1/4"



TYPICAL CONSTRUCTION NOTES:

- BLOCKING**
 - treated 6" x 6" bottom core
 - untreated 6" x 6" top blocks
 - 24" x 24" x 1 1/2" concrete pad
- SKIRTING**
 - to a maximum height of 25 1/2"
 - 2" x 4" spruce as required
 - screened vents 6 only 14" x 8"
 - clad access hatch 1 only 36" x 18"
- STAIRS & LANDINGS**
 - total max. rise allowed
 - all stairs / landings to be c/w handrail
 - spruce construction / 2 coats of solid stain to match exterior
 - non slip surface on treads & decking
- PREFABRICATED TRAILER UNITS**
 - to be confirmed by manufacturer
- FLOORS**
 - 3/8" plywood glued/screwed
 - 2" x 10" @ 16" o.c. joists
 - R28 friction fit batt insulation
 - 5/8" t&g plywood glued / screwed / sanded
- EXTERIOR WALLS**
 - 30 gauge exterior steel
 - 3/8" plywood
 - 2" x 6" @ 16" o.c. spruce
 - R20 friction fit batt insulation
- PARTITIONS**
 - 3/8" plywood
 - 2" x 4" @ 16" o.c. spruce
 - R12 friction fit batt insulation

- ROOF**
 - EPDM
 - 1/2" spruce plywood
 - 2" x 8" @ 16" o.c. tapered
 - R28 batt insulation
 - 1/2" type 'x' g.w.b.

DATE	NO.	BY	REVISION

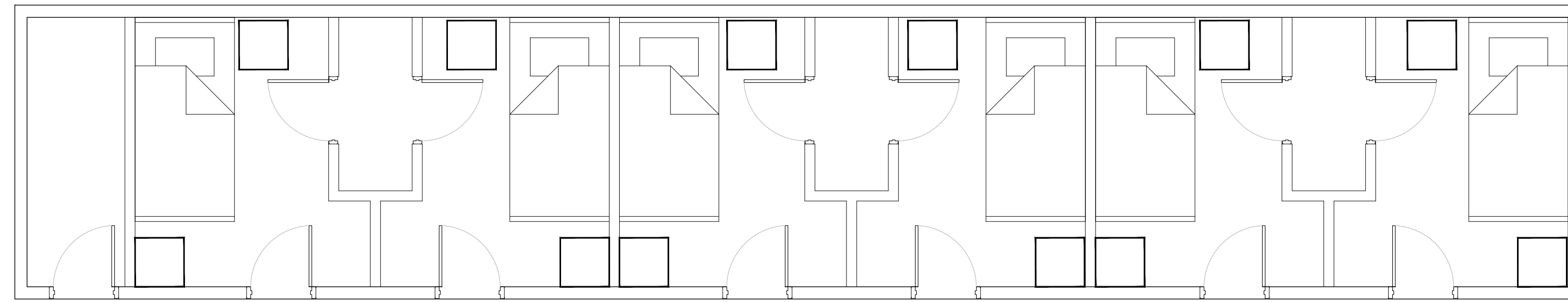
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PROJECT: M. GILL
1989 WARD ROAD
KELOWNA, B.C.

SHEET TITLE: TRAILER LAYOUT

DRAWN: RAH	SHEET NO. A 2
CHECKED: []	Rev. 0
SCALE: 3/32"=1'-0"	
DATE: 14-Jun-22	



SLEEPING UNIT SCHEDULE (x4)

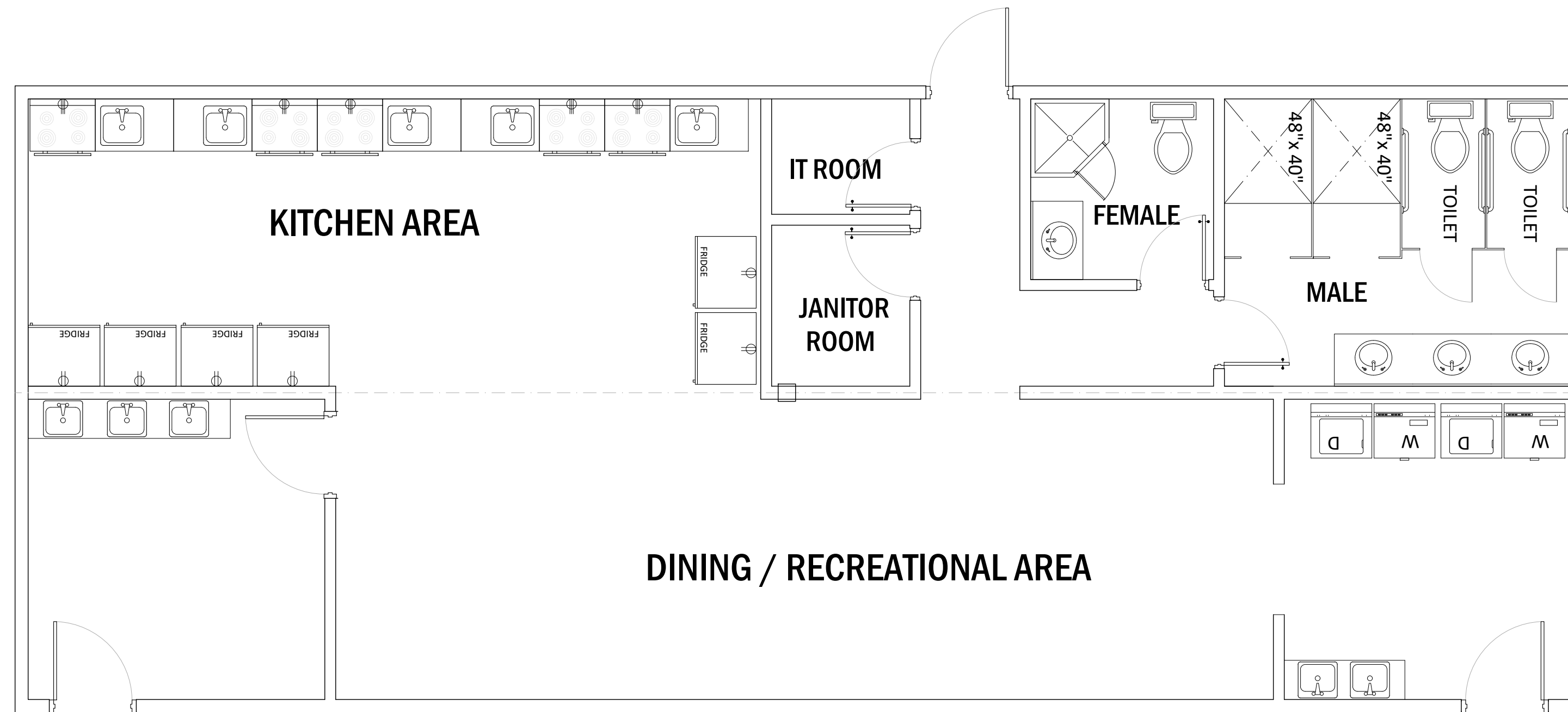
BED (48" x 78")	24
NIGHT STAND	24
SMALL DESK	24

- BATHROOMS**
- VANITY
 - 18"x24" high FRAMELESS MIRROR CENTRED OVER VANITY
 - TOILET
 - DOUBLE PAPER TOILET DISPENSER
 - SHOWER (SIZE)
 - 48"x 78" WHITE VINYL CURTAIN c/w ROD
 - ROBE HOOK

- LAUNDRY**
- SHELF ABOVE LAUNDRY MACHINES
 - MAYTAG HEAVY DUTY RESIDENTIAL TYPE WASHERS
 - MAYTAG HEAVY DUTY RESIDENTIAL TYPE DRYERS
 - ROBE HOOK

- MILLWORK:**
- ALL CLOSETS, NIGHT TABLES AND DESKS TO BE BIRCH CONSTRUCTION c/w DOORS, ADJUSTABLE AND/OR FIXED SHELVING
 - COUNTERTOPS SHALL BE "EBONY FUSION" POST FORMED PLASTIC LAMINATE
 - ALL VANITIES SHALL BE 30" x 32" A.F.F. FULL CABINET c/w 4" BACKSPASH AND BIRCH DOOR.
 - ALL DOOR / DRAWER PULLS SHALL BE 'C' PULL TYPE ALUMINUM
 - ALL HINGES SHALL BE RECESSED EUROPEAN

1 SLEEPING TRAILER
A 3 SCALE: 1/4"=1'-0"



FIXTURE & APPLIANCE SCHEDULE

KITCHENS

STOVE	5
SINK	5
FRIDGE	6

BATHROOM

SINKS	9
TOILETS	3
SHOWER	3

LAUNDRY

WASHER	2
DRYER	2

ATTACHMENT B

This forms part of application # A22-0004

Planner Initials **MT**

2 KITCHEN / BATHROOM TRAILER
A 3 SCALE: 1/4"=1'-0"

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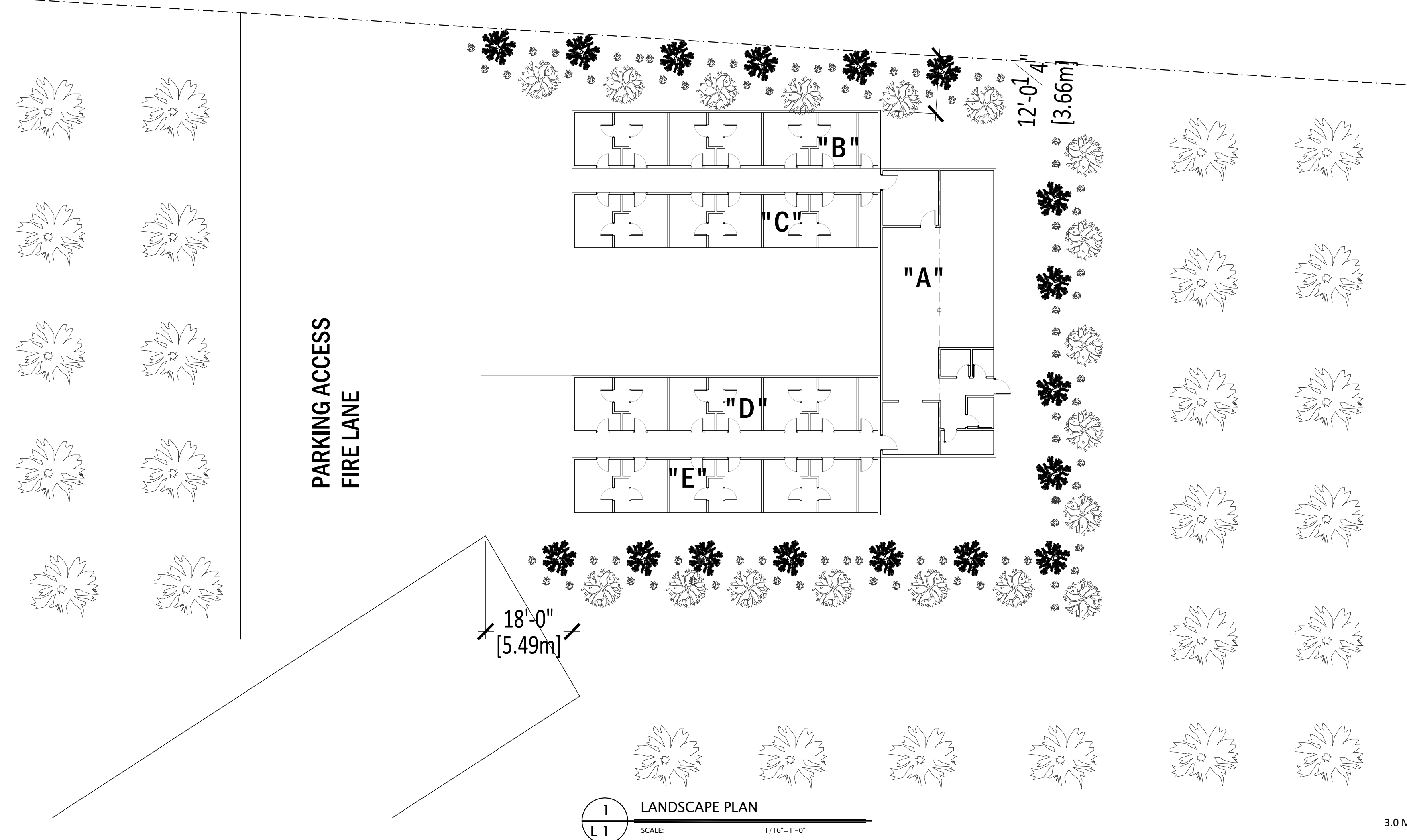
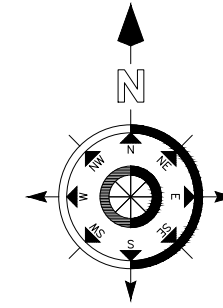
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Phone: 250.868.0962
Fax: 250.868.0962
Email: h.holden@shaw.ca

PROJECT: M. GILL
1989 WARD ROAD
KELOWNA, B.C.

SHEET TITLE: TRAILER & KITCHEN BATHROOM LAYOUT

DRAWN: RAH	SHEET NO. A 3
CHECKED:	Rev. 0
SCALE: 1/4"=1'-0"	
DATE: 14-Jun-22	

1989 WARD ROAD



1 LANDSCAPE PLAN
SCALE: 1/16"=1'-0"

D.1: Solid Wood Fence
All posts and rails shall be rough sawn of "No. 1 Structural" grade, pressure treated with a wood preservative non-toxic to surrounding plant material, in accordance with CSA Standard 080.2 and compatible with staining requirements below. Stain to match fence boards.

All fence boards and planks shall be rough sawn of "Quality Fencing" grade, finished with penetrating stain with preservative, conforming to CGSB Standards 1-GP145M and 204M, applied to all surfaces prior to installation and on any cuts thereafter.

Line posts shall be minimum 8.0 ft. in length and at least (standard) 4"x 4".

Corner posts shall be minimum 8.0 ft. in length and at least (standard) 6"x 6".

Fence rails (min. 3) shall be maximum 7.5 ft. in length and at least (standard) 2"x 4".

Cap rails shall be at least (standard) 2"x 6". Cant to drain.

The finished height of opaque fencing shall be at least 6.0 ft.

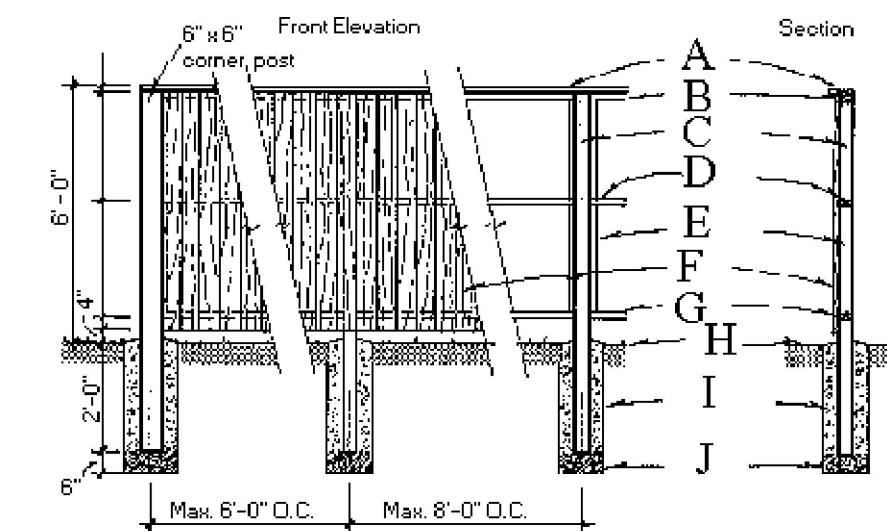
All nails used in fence construction shall meet the following specifications:

- 8.1 Minimum gauge of nails used - #9, common in post/rail connections
- 8.2 Minimum gauge of nails used - #11.5, common in rail/fence board connections
- 8.3 Galvanized - CSA G164

Line posts shall be placed no more than 8.0 ft. o.c. and be firmly anchored in the soil to a depth of not less than 2.0 ft.

The fence shall be constructed in accordance with these specifications and details, which forms part of these specification.

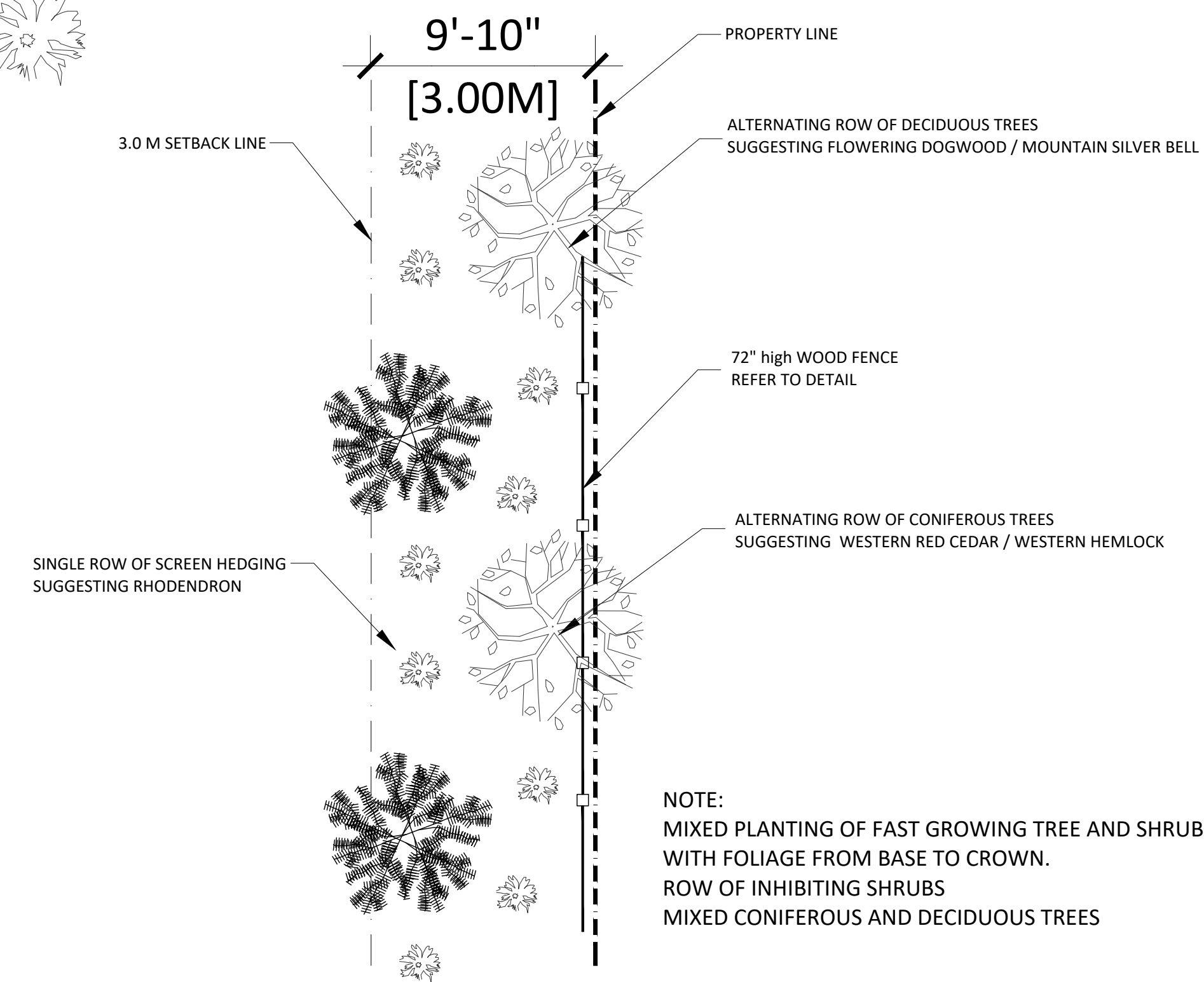
- A - 2" x 6" cap rail
- B - 2" x 4" top rail
- C - 4" x 4" post
- D - 2" x 4" middle rail
- E - 2" x 4" side support
- F - 1" x 6" fence boards
- G - 2" x 4" bottom rail
- H - finished grade
- I - compacted fill
- J - drain rock



ATTACHMENT B

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A22-0004

Planner Initials MT



2 LANDSCAPE PLANTING LAYOUT
SCALE: 3/16"=1'-0"

NOTE:
MIXED PLANTING OF FAST GROWING TREE AND SHRUB SPECIES WITH FOLIAGE FROM BASE TO CROWN.
ROW OF INHIBITING SHRUBS
MIXED CONIFEROUS AND DECIDUOUS TREES

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PROJECT M. GILL 1989 WARD ROAD KELOWNA, B.C.			
SHEET TITLE LANDSCAPE PLAN			
DRAWN RAH	SHEET NO. L 1		
CHECKED	SCALE 1/16"=1'-0"		
DATE 14-Jun-22	Rev. 0		