

# Development Permit DP21-0183

**ATTACHMENT**      **A**

This forms part of application  
# DP21-0183

Planner Initials



City of Kelowna  
**Kelowna**

This permit relates to land in the City of Kelowna municipally known as

**3773-3795 Lakeshore Road, Kelowna, BC**

and legally known as

**Lot 1, DL 134, ODYD, Plan EPP41204 Except Plan EPP112300**

and permits the land to be used for the following development:

## Multiple Dwelling Housing

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council Decision                      September 19<sup>th</sup> 2022

Decision By:                                      COUNCIL

Development Permit Area:                  Form and Character

Existing Zone:                                      CD24

Future Land Use Designation:                VC - Village Centre

## **This is NOT a Building Permit.**

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

## **NOTICE**

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner:                      Westcorp on the Lake Inc. Inc. No. A75763

Applicant:                  Westcorp Development Management Inc.

Planner:                    Alex Kondor – Planner Specialist

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Terry Barton  
Community Planning Department Manager  
Planning & Development Services

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Date

This forms part of application

# DP21-0183


 City of  
**Kelowna**  
 DEVELOPMENT PLANNING

## 1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

## 2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.

**This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.**

## 3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property owner of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) An Irrevocable Letter of Credit **OR** certified cheque in the amount of \$ \$942,468.75

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

## 5. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.  
 Security shall ONLY be returned to the signatory of the  
 Landscape Agreement or their designates.**

# SCHEDULE A & B

This forms part of application  
# DP21-0183

Planner Initials **AK**



HDR Pentiction Studio  
210 Hastings Ave  
Penticton, BC, V2A 2V6



CD24 LAKESHORE DEVELOPMENT  
DP2



**Project Manager** A. Buxby  
**Project Designer** Robert Cosak  
**Project Architect** WSP  
**Structural Engineer** Gábor Simpson  
**Landscaping Architect** WSP  
**Civil Engineer** Aplin Martin Consultants  
**Structural Engineer** Gábor Simpson  
**Mechanical Engineer** TBD  
**Electrical Engineer** TBD  
**Plumbing Engineer** TBD  
**Geotechnical Engineer** Geo Pacific Engineering Inc.  
**Envelope Consultant** TBD  
**Code Consultant** GHJ Consultants Ltd.  
**Sheet Reviewer** NP

MARK	DATE	DESCRIPTION
1	2021-06-25	ISSUED FOR DEVELOPMENT PERMIT
2	2022-01-26	ISSUED FOR DEVELOPMENT PERMIT RESPONSE PACKAGE
3	2022-05-11	ISSUED FOR DEVELOPMENT PERMIT RESPONSE PACKAGE

Project Number 10268137  
Original Issue 250621

Sheet Name  
**COVER SHEET**

Scale  
1:10  
Sheet Number

**A-000**

Project Status  
SCHEMATIC DESIGN



\*Architectural concept renderings - number of building stories has been reduced from 18 to 17 stories (scale, proportion and height are unchanged)

## CD24 LAKESHORE RD DEVELOPMENT

3787-3795 LAKESHORE RD KELOWNA, B.C. CANADA  
LEGAL DESCRIPTION: PLAN # EPP41204 LOT# 1  
ISSUE FOR: DEVELOPMENT PERMIT - JUNE 25, 2021 **ISSUED FOR DEVELOPMENT PERMIT RESPONSE PACKAGE - May 11, 2022**

### PROJECT DIRECTORY

CLIENT / OWNER	ARCHITECTURAL	STRUCTURAL ENGINEERING
 <b>WESTCORP DEVELOPMENT MANAGEMENT INC.</b> CONTACT: GAIL TEMPLE #200 1460 PANDOSY STREET KELOWNA, BC V1Y 1P3	 <b>HDR ARCHITECTURE ASSOCIATES INC.</b> CONTACT: ROB CESNIK 210 HASTINGS AVENUE PENTICTON, BC V2A 2V6	 <b>GLOTMAN SIMPSON CONSULTING ENGINEERS</b> CONTACT: NICK MAERKL 1661 WEST 5th AVENUE, VANCOUVER, BC V6J 1N5
CIVIL ENGINEERING	LANDSCAPE ARCHITECTURE	CODE CONSULTANTS
 <b>APLIN &amp; MARTIN CONSULTANTS LTD</b> CONTACT: JOSH GRAFF 1258 ELLIS STREET KELOWNA, BC V1Y 1Z4	 <b>WSP</b> CONTACT: ADRIAN SHURA 1631 DICKSON AVENUE, SUITE 700 LANDMARK 6 KELOWNA, BC V1Y 0B5	 <b>GHL CONSULTANTS LTD</b> Building Codes & Fire Science CONTACT: RAPHAEL KLENSCH 950 - 409 GRANVILLE STREET VANCOUVER, BC V6C 1T1

### DP2 Architectural Drawing List

A-000	COVER SHEET	A-001	TOWER 1 - ELEVATION
A-001	CONTEXT	A-002	TOWER 1 - PERSPECTIVE
A-002	CONTEXT	A-003	TOWER 1 - PLAN - LEVEL 1 & 2
A-004	SITE STATISTICS	A-004	TOWER 1 - PLAN - LEVEL 3 & 4 - TYPICAL
A-005	SUSTAINABILITY ANALYSIS - STRATEGIES	A-005	TOWER 1 - ELEVATION
A-006	SITE - PLAN - PARKING	A-006	TOWER 1 - PERSPECTIVE
A-104	SITE - PARKING SECTION	A-007	TOWER 1 - PLAN - LEVEL 01 & 02
A-106	SITE - PARKING SECTION	A-008	TOWER 1 - PERSPECTIVE
A-110	SITE - PLAN - LEVEL 01	A-009	TOWER 1 - PLAN - LEVEL 03 & 04
A-112	SITE - PLAN - LEVEL 02	A-010	TOWER 1 - PLAN - LEVEL 05 - TYPICAL
A-114	SITE - PLAN - LEVEL 03	A-011	TOWER 1 - ELEVATION
A-116	SITE - PLAN - LEVEL 04	A-012	TOWER 1 - PLAN - LEVEL 05-06
A-118	SITE - PLAN - LEVEL 05	A-013	TOWER 1 - PLAN - LEVEL 06 - TYPICAL
A-120	SITE - PLAN - LEVEL 07 - TYPICAL	A-014	TOWER 1 - ELEVATION
A-122	SITE - ELEVATIONS	A-015	TOWNHOMES - PERSPECTIVE
A-124	SITE - ELEVATIONS	A-016	TOWNHOMES - CONTEXT
A-126	SITE - SECTIONS	A-017	TOWNHOMES - GENERAL PLANS
A-210	PARKADE - LEVEL 01 PLAN	A-018	TOWNHOMES - GENERAL PLANS
A-212	PARKADE - LEVEL 02 PLAN	A-019	TOWNHOMES - ENLARGED PLANS - TYPICAL
A-214	PARKADE - LEVEL 03 PLAN	A-020	TOWNHOMES - ENLARGED ELEVATION & SECTION - TYPICAL
A-216	PARKADE - LEVEL 04 PLAN	A-021	PERSPECTIVE
A-300	ORIENTATION - PERSPECTIVE	A-022	PERSPECTIVE
A-302	ORIENTATION - PLAN - LEVEL 0	A-023	PERSPECTIVE
A-304	ORIENTATION - PLAN - LEVEL 1	A-024	PERSPECTIVE
A-306	ORIENTATION - PLAN - LEVEL 2	A-025	PERSPECTIVE
A-308	ORIENTATION - PLAN - LEVEL 3	A-026	PERSPECTIVE
A-310	ORIENTATION - PLAN - LEVEL 4	A-027	PERSPECTIVE
A-312	ORIENTATION - PLAN - LEVEL 5	A-028	PERSPECTIVE
A-314	ORIENTATION - PLAN - LEVEL 6	A-029	PERSPECTIVE
A-316	ORIENTATION - PLAN - LEVEL 7	A-030	PERSPECTIVE
A-318	ORIENTATION - ELEVATION	A-031	PERSPECTIVE
A-320	ORIENTATION - ELEVATION	A-032	PERSPECTIVE
A-400	TOWER 3 - PERSPECTIVE	A-033	PERSPECTIVE
A-402	TOWER 3 - PLAN - LEVEL 14	A-034	PERSPECTIVE
A-404	TOWER 3 - PLAN - LEVEL 15 - TYPICAL	A-035	PERSPECTIVE
A-406	TOWER 3 - ELEVATION	A-036	PERSPECTIVE
A-408	TOWER 3 - ELEVATION	A-037	PERSPECTIVE
A-410	TOWER 3 - ELEVATION	A-038	PERSPECTIVE
A-412	TOWER 3 - ELEVATION	A-039	PERSPECTIVE
A-414	TOWER 3 - ELEVATION	A-040	PERSPECTIVE
A-416	TOWER 3 - ELEVATION	A-041	PERSPECTIVE
A-418	TOWER 3 - ELEVATION	A-042	PERSPECTIVE
A-420	TOWER 3 - ELEVATION	A-043	PERSPECTIVE
A-422	TOWER 3 - ELEVATION	A-044	PERSPECTIVE
A-424	TOWER 3 - ELEVATION	A-045	PERSPECTIVE
A-426	TOWER 3 - ELEVATION	A-046	PERSPECTIVE
A-428	TOWER 3 - ELEVATION	A-047	PERSPECTIVE
A-430	TOWER 3 - ELEVATION	A-048	PERSPECTIVE
A-432	TOWER 3 - ELEVATION	A-049	PERSPECTIVE
A-434	TOWER 3 - ELEVATION	A-050	PERSPECTIVE
A-436	TOWER 3 - ELEVATION	A-051	PERSPECTIVE
A-438	TOWER 3 - ELEVATION	A-052	PERSPECTIVE
A-440	TOWER 3 - ELEVATION	A-053	PERSPECTIVE
A-442	TOWER 3 - ELEVATION	A-054	PERSPECTIVE
A-444	TOWER 3 - ELEVATION	A-055	PERSPECTIVE
A-446	TOWER 3 - ELEVATION	A-056	PERSPECTIVE
A-448	TOWER 3 - ELEVATION	A-057	PERSPECTIVE
A-450	TOWER 3 - ELEVATION	A-058	PERSPECTIVE
A-452	TOWER 3 - ELEVATION	A-059	PERSPECTIVE
A-454	TOWER 3 - ELEVATION	A-060	PERSPECTIVE
A-456	TOWER 3 - ELEVATION	A-061	PERSPECTIVE
A-458	TOWER 3 - ELEVATION	A-062	PERSPECTIVE
A-460	TOWER 3 - ELEVATION	A-063	PERSPECTIVE
A-462	TOWER 3 - ELEVATION	A-064	PERSPECTIVE
A-464	TOWER 3 - ELEVATION	A-065	PERSPECTIVE
A-466	TOWER 3 - ELEVATION	A-066	PERSPECTIVE
A-468	TOWER 3 - ELEVATION	A-067	PERSPECTIVE
A-470	TOWER 3 - ELEVATION	A-068	PERSPECTIVE
A-472	TOWER 3 - ELEVATION	A-069	PERSPECTIVE
A-474	TOWER 3 - ELEVATION	A-070	PERSPECTIVE
A-476	TOWER 3 - ELEVATION	A-071	PERSPECTIVE
A-478	TOWER 3 - ELEVATION	A-072	PERSPECTIVE
A-480	TOWER 3 - ELEVATION	A-073	PERSPECTIVE
A-482	TOWER 3 - ELEVATION	A-074	PERSPECTIVE
A-484	TOWER 3 - ELEVATION	A-075	PERSPECTIVE
A-486	TOWER 3 - ELEVATION	A-076	PERSPECTIVE
A-488	TOWER 3 - ELEVATION	A-077	PERSPECTIVE
A-490	TOWER 3 - ELEVATION	A-078	PERSPECTIVE
A-492	TOWER 3 - ELEVATION	A-079	PERSPECTIVE
A-494	TOWER 3 - ELEVATION	A-080	PERSPECTIVE
A-496	TOWER 3 - ELEVATION	A-081	PERSPECTIVE
A-498	TOWER 3 - ELEVATION	A-082	PERSPECTIVE
A-500	TOWER 3 - ELEVATION	A-083	PERSPECTIVE
A-502	TOWER 3 - ELEVATION	A-084	PERSPECTIVE
A-504	TOWER 3 - ELEVATION	A-085	PERSPECTIVE
A-506	TOWER 3 - ELEVATION	A-086	PERSPECTIVE
A-508	TOWER 3 - ELEVATION	A-087	PERSPECTIVE
A-510	TOWER 3 - ELEVATION	A-088	PERSPECTIVE
A-512	TOWER 3 - ELEVATION	A-089	PERSPECTIVE
A-514	TOWER 3 - ELEVATION	A-090	PERSPECTIVE
A-516	TOWER 3 - ELEVATION	A-091	PERSPECTIVE
A-518	TOWER 3 - ELEVATION	A-092	PERSPECTIVE
A-520	TOWER 3 - ELEVATION	A-093	PERSPECTIVE
A-522	TOWER 3 - ELEVATION	A-094	PERSPECTIVE
A-524	TOWER 3 - ELEVATION	A-095	PERSPECTIVE
A-526	TOWER 3 - ELEVATION	A-096	PERSPECTIVE
A-528	TOWER 3 - ELEVATION	A-097	PERSPECTIVE
A-530	TOWER 3 - ELEVATION	A-098	PERSPECTIVE
A-532	TOWER 3 - ELEVATION	A-099	PERSPECTIVE
A-534	TOWER 3 - ELEVATION	A-100	PERSPECTIVE
A-536	TOWER 3 - ELEVATION	A-101	PERSPECTIVE
A-538	TOWER 3 - ELEVATION	A-102	PERSPECTIVE
A-540	TOWER 3 - ELEVATION	A-103	PERSPECTIVE
A-542	TOWER 3 - ELEVATION	A-104	PERSPECTIVE
A-544	TOWER 3 - ELEVATION	A-105	PERSPECTIVE
A-546	TOWER 3 - ELEVATION	A-106	PERSPECTIVE
A-548	TOWER 3 - ELEVATION	A-107	PERSPECTIVE
A-550	TOWER 3 - ELEVATION	A-108	PERSPECTIVE
A-552	TOWER 3 - ELEVATION	A-109	PERSPECTIVE
A-554	TOWER 3 - ELEVATION	A-110	PERSPECTIVE
A-556	TOWER 3 - ELEVATION	A-111	PERSPECTIVE
A-558	TOWER 3 - ELEVATION	A-112	PERSPECTIVE
A-560	TOWER 3 - ELEVATION	A-113	PERSPECTIVE
A-562	TOWER 3 - ELEVATION	A-114	PERSPECTIVE
A-564	TOWER 3 - ELEVATION	A-115	PERSPECTIVE
A-566	TOWER 3 - ELEVATION	A-116	PERSPECTIVE
A-568	TOWER 3 - ELEVATION	A-117	PERSPECTIVE
A-570	TOWER 3 - ELEVATION	A-118	PERSPECTIVE
A-572	TOWER 3 - ELEVATION	A-119	PERSPECTIVE
A-574	TOWER 3 - ELEVATION	A-120	PERSPECTIVE
A-576	TOWER 3 - ELEVATION	A-121	PERSPECTIVE
A-578	TOWER 3 - ELEVATION	A-122	PERSPECTIVE
A-580	TOWER 3 - ELEVATION	A-123	PERSPECTIVE
A-582	TOWER 3 - ELEVATION	A-124	PERSPECTIVE
A-584	TOWER 3 - ELEVATION	A-125	PERSPECTIVE
A-586	TOWER 3 - ELEVATION	A-126	PERSPECTIVE
A-588	TOWER 3 - ELEVATION	A-127	PERSPECTIVE
A-590	TOWER 3 - ELEVATION	A-128	PERSPECTIVE
A-592	TOWER 3 - ELEVATION	A-129	PERSPECTIVE
A-594	TOWER 3 - ELEVATION	A-130	PERSPECTIVE
A-596	TOWER 3 - ELEVATION	A-131	PERSPECTIVE
A-598	TOWER 3 - ELEVATION	A-132	PERSPECTIVE
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A-602	TOWER 3 - ELEVATION	A-134	PERSPECTIVE
A-604	TOWER 3 - ELEVATION	A-135	PERSPECTIVE
A-606	TOWER 3 - ELEVATION	A-136	PERSPECTIVE
A-608	TOWER 3 - ELEVATION	A-137	PERSPECTIVE
A-610	TOWER 3 - ELEVATION	A-138	PERSPECTIVE
A-612	TOWER 3 - ELEVATION	A-139	PERSPECTIVE
A-614	TOWER 3 - ELEVATION	A-140	PERSPECTIVE
A-616	TOWER 3 - ELEVATION	A-141	PERSPECTIVE
A-618	TOWER 3 - ELEVATION	A-142	PERSPECTIVE
A-620	TOWER 3 - ELEVATION	A-143	PERSPECTIVE
A-622	TOWER 3 - ELEVATION	A-144	PERSPECTIVE
A-624	TOWER 3 - ELEVATION	A-145	PERSPECTIVE
A-626	TOWER 3 - ELEVATION	A-146	PERSPECTIVE
A-628	TOWER 3 - ELEVATION	A-147	PERSPECTIVE
A-630	TOWER 3 - ELEVATION	A-148	PERSPECTIVE
A-632	TOWER 3 - ELEVATION	A-149	PERSPECTIVE
A-634	TOWER 3 - ELEVATION	A-150	PERSPECTIVE
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A-638	TOWER 3 - ELEVATION	A-152	PERSPECTIVE
A-640	TOWER 3 - ELEVATION	A-153	PERSPECTIVE
A-642	TOWER 3 - ELEVATION	A-154	PERSPECTIVE
A-644	TOWER 3 - ELEVATION	A-155	PERSPECTIVE
A-646	TOWER 3 - ELEVATION	A-156	PERSPECTIVE
A-648	TOWER 3 - ELEVATION	A-157	PERSPECTIVE
A-650	TOWER 3 - ELEVATION	A-158	PERSPECTIVE
A-652	TOWER 3 - ELEVATION	A-159	PERSPECTIVE
A-654	TOWER 3 - ELEVATION	A-160	PERSPECTIVE
A-656	TOWER 3 - ELEVATION	A-161	PERSPECTIVE
A-658	TOWER 3 - ELEVATION	A-162	PERSPECTIVE
A-660	TOWER 3 - ELEVATION	A-163	PERSPECTIVE
A-662	TOWER 3 - ELEVATION	A-164	PERSPECTIVE
A-664	TOWER 3 - ELEVATION	A-165	PERSPECTIVE
A-666	TOWER 3 - ELEVATION	A-166	PERSPECTIVE
A-668	TOWER 3 - ELEVATION	A-167	PERSPECTIVE
A-670	TOWER 3 - ELEVATION	A-168	PERSPECTIVE
A-672	TOWER 3 - ELEVATION	A-169	PERSPECTIVE
A-674	TOWER 3 - ELEVATION	A-170	PERSPECTIVE
A-676	TOWER 3 - ELEVATION	A-171	PERSPECTIVE
A-678	TOWER 3 - ELEVATION	A-172	PERSPECTIVE
A-680	TOWER 3 - ELEVATION	A-173	PERSPECTIVE
A-682	TOWER 3 - ELEVATION	A-174	PERSPECTIVE
A-684	TOWER 3 - ELEVATION	A-175	PERSPECTIVE
A-686	TOWER 3 - ELEVATION	A-176	PERSPECTIVE
A-688	TOWER 3 - ELEVATION	A-177	PERSPECTIVE
A-690	TOWER 3 - ELEVATION	A-178	PERSPECTIVE
A-692	TOWER 3 - ELEVATION	A-179	PERSPECTIVE
A-694	TOWER 3 - ELEVATION	A-180	PERSPECTIVE
A-696	TOWER 3 - ELEVATION	A-181	PERSPECTIVE
A-698	TOWER 3 - ELEVATION	A-182	PERSPECTIVE
A-700	TOWER 3 - ELEVATION	A-183	PERSPECTIVE
A-702	TOWER 3 - ELEVATION	A-184	PERSPECTIVE
A-704	TOWER 3 - ELEVATION	A-185	PERSPECTIVE
A-706	TOWER 3 - ELEVATION	A-186	PERSPECTIVE
A-708	TOWER 3 - ELEVATION	A-187	PERSPECTIVE
A-710	TOWER 3 - ELEVATION	A-188	PERSPECTIVE
A-712	TOWER 3 - ELEVATION	A-189	PERSPECTIVE
A-714	TOWER 3 - ELEVATION	A-190	PERSPECTIVE
A-716	TOWER 3 - ELEVATION	A-191	PERSPECTIVE
A-718	TOWER 3 - ELEVATION	A-192	PERSPECTIVE
A-720	TOWER 3 - ELEVATION	A-193	PERSPECTIVE
A-722	TOWER 3 - ELEVATION	A-194	PERSPECTIVE
A-724	TOWER 3 - ELEVATION	A-195	PERSPECTIVE
A-726	TOWER 3 - ELEVATION	A-196	PERSPECTIVE
A-728	TOWER 3 - ELEVATION	A-197	PERSPECTIVE
A-730	TOWER 3 - ELEVATION	A-198	PERSPECTIVE
A-732	TOWER 3 - ELEVATION	A-199	PERSPECTIVE
A-734	TOWER 3 - ELEVATION	A-200	PERSPECTIVE
A-736	TOWER 3 - ELEVATION	A-201	PERSPECTIVE
A-738	TOWER 3 - ELEVATION	A-202	PERSPECTIVE
A-740	TOWER 3 - ELEVATION	A-203	PERSPECTIVE
A-742	TOWER 3 - ELEVATION	A-204	PERSPECTIVE
A-744	TOWER 3 - ELEVATION	A-205	PERSPECTIVE
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A-748	TOWER 3 - ELEVATION	A-207	PERSPECTIVE
A-750	TOWER 3 - ELEVATION	A-208	PERSPECTIVE
A-752	TOWER 3 - ELEVATION	A-209	PERSPECTIVE
A-754	TOWER 3 - ELEVATION	A-210	PERSPECTIVE
A-756	TOWER 3 - ELEVATION	A-211	PERSPECTIVE
A-758	TOWER 3 - ELEVATION	A-212	PERSPECTIVE
A-760	TOWER 3 - ELEVATION	A-213	PERSPECTIVE
A-762	TOWER 3 - ELEVATION	A-214	PERSPECTIVE
A-764	TOWER 3 - ELEVATION	A-215	PERSPECTIVE
A-766	TOWER 3 - ELEVATION	A-216	PERSPECTIVE
A-768	TOWER 3 - ELEVATION	A-217	PERSPECTIVE
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A-772	TOWER 3 - ELEVATION	A-219	PERSPECTIVE
A-774	TOWER 3 - ELEVATION	A-220	PERSPECTIVE
A-776	TOWER 3 - ELEVATION	A-221	PERSPECTIVE
A-778	TOWER 3 - ELEVATION	A-222	PERSPECTIVE
A-780	TOWER 3 - ELEVATION	A-223	PERSPECTIVE
A-782	TOWER 3 - ELEVATION	A-224	PERSPECTIVE
A-784	TOWER 3 - ELEVATION	A-225	PERSPECTIVE
A-786	TOWER 3 - ELEVATION	A-226	PERSPECTIVE
A-788	TOWER 3 - ELEVATION	A-227	PERSPECTIVE
A-790	TOWER 3 - ELEVATION	A-228	PERSPECTIVE
A-792	TOWER 3 - ELEVATION	A-229	PERSPECTIVE
A-794	TOWER 3 - ELEVATION	A-230	PERSPECTIVE
A-796	TOWER 3 - ELEVATION	A-231	PERSPECTIVE
A-798	TOWER 3 - ELEVATION	A-232	PERSPECTIVE
A-800	TOWER 3 - ELEVATION	A-233	PERSPECTIVE
A-802	TOWER 3 - ELEVATION	A-234	PERSPECTIVE
A-804	TOWER 3 - ELEVATION	A-235	PERSPECTIVE
A-806			

# SCHEDULE

A & B

This forms part of application

# DP21-0183

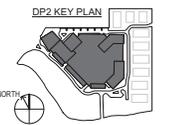
Planner  
Initials AK



HDR Penticton Studio  
210 Hastings Ave  
Penticton, BC, V2A 2V6



CD24  
LAKESHORE DEVELOPMENT  
DP2



**Project Manager** Al Buchby  
**Project Designer** Robert Coscik  
**Project Architect** Robert Coscik  
**Landscaping Architect** WSP  
**Civil Engineer** Aplin Martin Consultants  
**Structural Engineer** Clifton Simpson  
**Mechanical Engineer** TBD  
**Electrical Engineer** TBD  
**Plumbing Engineer** TBD  
**Geotechnical Engineer** Geo Pacific Engineering Inc.  
**Envelope Consultant** TBD  
**Code Consultant** GHJ Consultants Ltd.

**Sheet Reviewer** RP

MARK	DATE	DESCRIPTION
1	2021-06-25	ISSUED FOR DEVELOPMENT PERMIT

**Project Number** 10288137  
**Original Issue** 250621

Sheet Name  
**CONTEXT**

Scale  
Sheet Number  
**A-001**

Project Status  
SCHEMATIC DESIGN



1. VIEW FROM LAKESHORE RD. - NORTH



2. VIEW FROM LAKESHORE RD. - SOUTH



3. VIEW FROM SPRINGROSE WAY - WEST

6/23/2021 1:51:08 PM BIM 360://10288137\_2020/19\_Schematic/Views/2021/02/08/17\_Viewset\_DP2\_Planetalk\_CONTEXT/A4

# SCHEDULE

# A & B

This forms part of application

# DP21-0183

Planner  
Initials

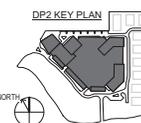
AK



HDR Penticton Studio  
210 Hastings Ave  
Penticton, BC, V2A 2V6



CD24  
LAKESHORE DEVELOPMENT  
DP2



Project Manager: Al Buhby  
 Project Designer: Robert Cosiak  
 Project Architect: Robert Cosiak  
 Landscape Architect: WSP  
 Civil Engineer: Aplin Martin Consultants  
 Structural Engineer: Clifton Simpson  
 Mechanical Engineer: TBD  
 Electrical Engineer: TBD  
 Plumbing Engineer: TBD  
 Geotechnical Engineer: Geo Pacific Engineering Inc.  
 Envelope Consultant: TBD  
 Code Consultant: GH Consultants Ltd.

Sheet Reviewer: RP

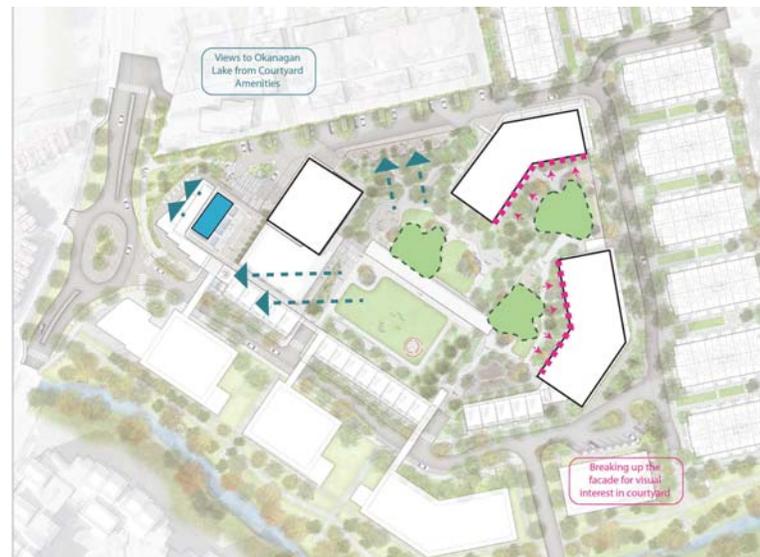
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1	2021-06-25	ISSUED FOR DEVELOPMENT PERMIT

Project Number: 10288157  
Original Issue: 062521

Sheet Name  
**CONTEXT**

Scale  
Sheet Number  
**A-002**

Project Status  
SCHEMATIC DESIGN





This forms part of application # DP21-0183

Planner Initials **AK**



HDR Penikton Studio  
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CD24 LAKESHORE DEVELOPMENT  
DP2

**Project Manager** Al Buxby  
**Project Designer** Robert Coskoff  
**Project Architect** Robert Coskoff  
**WSP**  
**Civil Engineer** Apin Martin Consultants  
**Structural Engineer** Claiton Simpson  
**Mechanical Engineer** TBD  
**Electrical Engineer** TBD  
**Plumbing Engineer** TBD  
**Geotechnical Engineer** Geo Pacific Engineering Inc.  
**Envelope Consultant** TBD  
**Code Consultant** GHJ Consultants Ltd.

Sheet Reviewer | AB

MARK	DATE	DESCRIPTION
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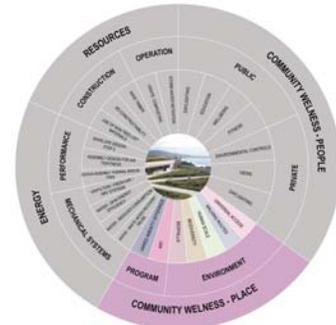
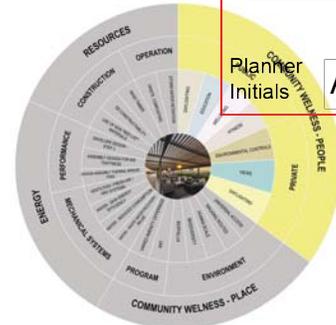
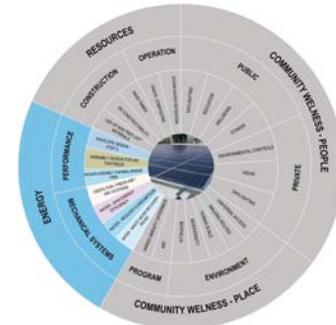
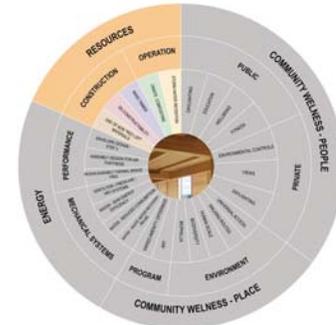
Project Number 10268137  
Original Issue 25/06/21

**SUSTAINABILITY ANALYSIS + STRATEGIES**

Scale 1:10  
Sheet Number

**A-005**

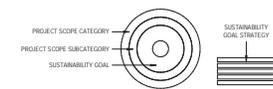
Project Status SCHEMATIC DESIGN



- OPERATION
  - DATE SHEET WITH MATERIALS SPECIFICATION
  - COLLECTION OF COMPOSITE SLAB FOR REUSE ON SITE
  - USE OF OLD AND SLEAZED AT POOL DECK LEVEL
  - BUILDING AN INTERNAL RAIN PAVEMENT DESIGN FOR PROJECT
  - REVIEW I.D.C. RECYCLE LIST FOR MATERIAL PALETTE SELECTION
- MECHANICAL SYSTEMS
  - HIGH EFFICIENCY HEAT PUMPS + HEAT RECOVERY VENTILATION SYSTEM
  - HIGH EFFICIENCY CHILL BUILDERS
  - LOW FLOOR FIXTURES + SEPARATORS
  - GREY WATER FILTRATION FOR IRRIGATION

- PUBLIC
  - NATURAL LIGHTING IN ACTIVITY AREAS
  - WEBSITE TRAVEL ORIENTED PROGRAMMING
  - ACCESS TO VARIOUS AMENITIES
  - OWN YOUR POOL
- PRIVATE
  - BATES WITH HEATING + COOLING + LIGHTING CONTROLS
  - LARGE OPEN/COVERED GREEN SPACES LAKE + SUNSET + PRIVATE
  - BIOPHILIC
  - BIOPHILIC LARGE WINDOWS + FORMAL SHADING

- PROGRAM
  - IMPLEMENTS AVAILABLE FOR FULL RANGE OF TRAVEL CONVENIENCE
  - A 5-MINUTE WALK TO BE ACCOMMODATED INTO THE DESIGN
- ENVIRONMENT
  - NATURAL LANDSCAPE FORMS + CONSERVE PLANTING TO CONNECT PEOPLE TO PLACE
  - PLANNING AND DESIGN TO MAINTAIN SPEED OF WATER QUALITY + BIOPHILIC
  - ENVIRONMENT THAT IS WELCOMING + LEGIBLE
  - PERMEABLE + AMENITY PARK + SET BACKS + CONNECTION TO GREEN PAUL
  - UNIVERSALLY ACCESSIBLE DESIGN THROUGHOUT + JOYOUS + CONSIDERABLE BLEND ETC.



**SUSTAINABILITY STRATEGY NARRATIVE**

As part of a comprehensive review of sustainable building Reference materials and in conjunction with certified green building design professionals, a strategy for the development has been identified which includes approaches and methods from the following resources.



From these resources the project team is pursuing the following selected targets/methodologies to bring the development in line with best sustainable practices that are synergistic for this typology of development:

- Well Building Standards – Air, Water, Nourishment, Light, Fitness, Comfort, Mind
- Living Community Challenge – Place, Water, Energy, Health + Happiness, Materials, Equity, Beauty
- Passive House – Solar Gain, Thermally insulated assemblies + Thermal Comfort, Thermal Bridge free design, Air Tightness, Low Energy Use/Demand, Onsite energy Generation

**1. WELL BUILDING Opportunities:**

- Optimize Air Quality – Filtrations + Efficient mechanical systems, Operable windows.
- Optimize Water Quality – Filtration, (Mech input Req)
- Light + Access to natural Light throughout all occupiable spaces + artificial lighting controls to task appropriate levels Operable windows and automated lighting controls – Skylights in TH + Amenity Roof daylighting, Mitigate Solar Gain – Overhangs – Visual Connections.
- Fitness – Design to facilitate exercise and to accommodate fitness regimes - Usable Stairs for common area access.
- Comfort – Thermal and acoustic design strategies for pleasant environments.
- Mind – Controllability of environment, environmental feedback/monitors, dedicated relaxation spaces, (Fitness) Green Space at LE – use LA site plan, (Mech Strategy) Amenity offerings – piece of mind – calm and engagement. Program lends itself to this. Biophilia, Wildlife friendly design? Natural environments.

**SUSTAINABILITY STRATEGY NARRATIVE**

**2. LIVING COMMUNITY CHALLENGE Opportunities:**

- Health and Happiness – Civilized environment – Car + Bike Sharing Programs, Transit information Centre, Community Tool sharing, Community Book Library, Recreation programs for various demographics, Community Hub for information sharing and events/meetings.
- Health and Happiness – Healthy Neighborhood design – Walking trails, Passive recreation – squares, plazas etc. Active recreation – gym, pool etc. A health and wellness education plan on a website.
- Health + Happiness – Biophilic Environment – Environmental features including natural shapes and forms, link to local climate and plants, direct connections to natural elements.
- Materials – Avoid use of red listed materials, select responsible manufacturers as suppliers, and use locally sourced materials
- Equity – Human Scale + Humane Places – Surface Coverage, signage, Tree/Planting Density, Human powered vehicle and walking routes located regularly
- Equity – Universal Access to Community Services – Places to shop, Congregate, Work + Learn.
- Beauty – Art installation for every 500 residents, and minor art installation for every 100 residents.



**SUSTAINABILITY STRATEGY NARRATIVE**

**3. PASSIVE HOUSE Opportunities:**

- Solar Gain – Design and set orientation of buildings to capitalize on solar gains in winter months – and provide adequate shading elements in summer to mitigate excess solar gain in summer.
- Thermally insulated assemblies + Thermal Comfort – Design wall, roof + floor assemblies with adequate insulation to provide thermal comfort year-round. Select high performance Glazing products to maintain thermal comfort year-round. (Note DP1 of this development selected BC STEP Code level 3 Energy Code performance requirements. Energy modeling has been undertaken to guide this target.)
- Thermal Bridge Free Design – Envelope to be designed to mitigate thermal bridging through structural connections, penetrations and assembly design. (Energy Modeling required pre-design and energy re-modelling/tested post assembly design)
- Air Tightness – Design membrane details to maintain integrity of the air barrier throughout entire envelope. Detail penetrations to incl. proper air barrier integrally. Incorporate blower door testing to ensure air tightness both during and post construction. (DP1 selected STEP CODE 3 performance targets include requirements for blower door testing – note no minimum threshold required for CoQ at present)
- Low energy Use/Demand – Integrate the use of both air + waste water Heat recovery systems and High efficiency Air source Heat Pumps into the building ventilation/DHW systems design to reduce energy requirements. (Note DP1 choose to meet BC STEP Code level 3 Energy Code performance requirements (not as stringent as Passive House). Energy modeling required.)
- Onsite energy Generation –
  - Wall or Roof mounted PV panels – Cost payback period to be determined (10-15years dependent on areas available for installation – Energy Model Required). Design opportunities exist on roof tops, south and west facing building facades. Current design Shadow studies will inform most effective distribution.
  - Wall or Roof mounted Solar DHW system heating – Cost payback period to be determined (10-15years dependent on areas available for installation – Energy Model Required). Design opportunities exist on roof tops. Current design Shadow studies will inform most effective distribution.
  - Locally distributed wind generation through vertical turbines – Cost payback period dependent on system selection/technology type. Viability to be determined through wind studies (WS dominated localized wind rose – Energy Model Required) of current design massing.
  - Ground Source Heat Pump – To be determined with Mechanical + Civil Consultants for viability onsite.



**SUSTAINABILITY STRATEGY NARRATIVE**

**4. OTHER Sustainable Design Opportunities:**

- MASS Timber Structure at Pool Pavilion – Carbon sequestration and material reuse at end of lifecycle
- High albedo roof membranes to offset urban heat island effect – Light color finishes including white, light grey or tan roofing materials.
- Green Roof designs and Storm water retention to supplement irrigation requirements for site – Storm Water retention System's, Bio-swales at grade, permeable paving for onsite streets, and durable drought tolerant planting through-out.
- Innovative heat delivery/climate controls with an electrically based systems approach.
- Efficient fixtures for plumbing; waterless/low flow fixtures.
- Lighting fixtures selected to be low energy LED linked to daylight sensors

4525/0011/054/144 BR/06/0026/017\_2020/019\_BCI/Harsh/Corvus\_2020/10/06/0171/Manish\_DPT\_06/04/2021/04





# SCHEDULE

A & B

This forms part of application

# DP21-0183

Planner Initials **AK**



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210 Hastings Ave  
Pentiction, BC, V2A 2V6



CD24  
LAKESHORE DEVELOPMENT  
DP2

Project Manager: Al Buchby  
Project Designer: Robert Cosarik  
Project Architect: WSP  
Landscape Architect: WSP  
Civil Engineer: Aglin Martin Consultants  
Structural Engineer: Clifton Simpson  
Mechanical Engineer: TBD  
Electrical Engineer: TBD  
Plumbing Engineer: TBD  
Geotechnical Engineer: Geo Pacific Engineering Inc.  
Envelope Consultant: TBD  
Code Consultant: GHJ Consultants Ltd.

Sheet Reviewer: RP

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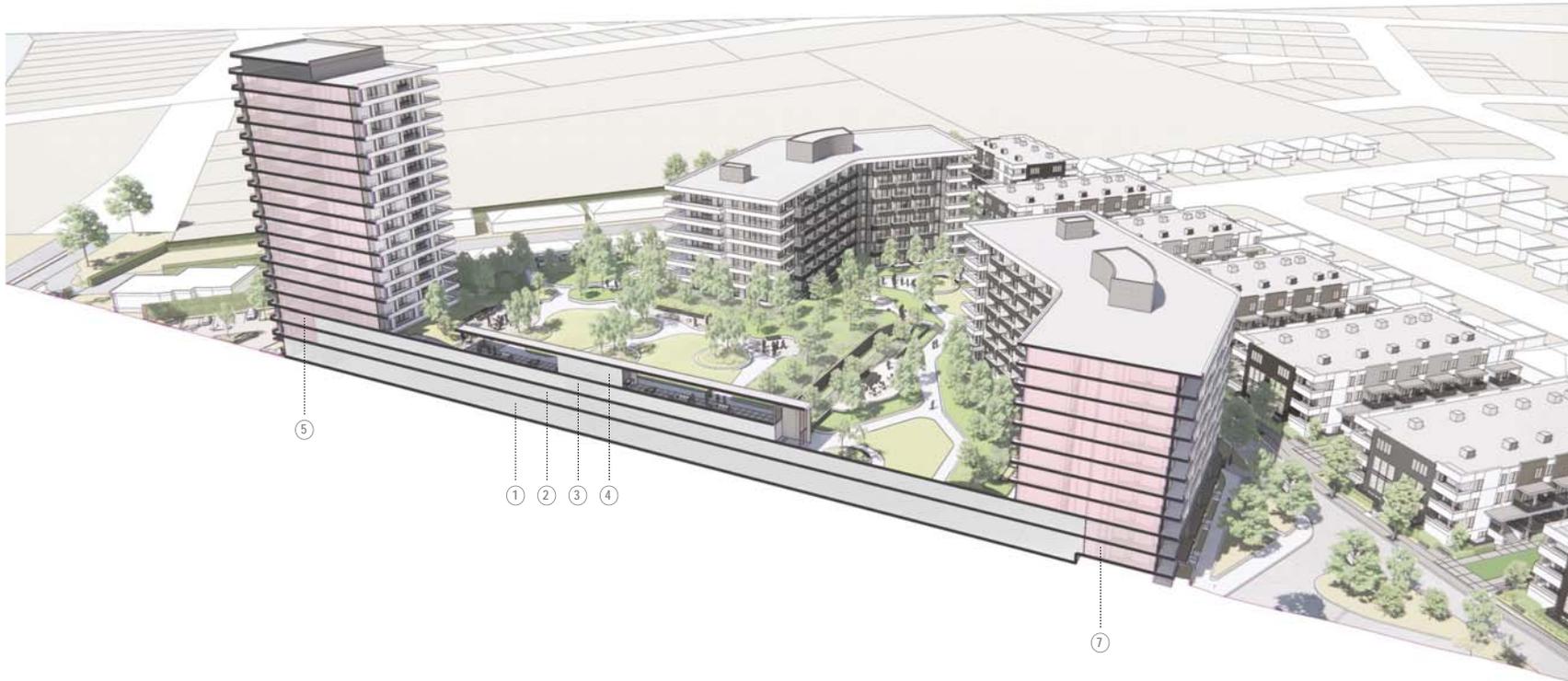
Project Number: 10288157  
Original Issue: 062521

Sheet Name  
**SITE - AXONO SECTION**

Scale  
Sheet Number  
**A-110A**

Project Status  
SCHEMATIC DESIGN

\*Architectural concept renderings - number of building stories has been reduced from 18 to 17 stories (scale, proportion and height are unchanged)



**LEGEND:**

- 1. Parking Level 1
- 2. Parking Level 2
- 3. Parking Level 3
- 4. Landscape Roof Entry via Parkade
- 5. Tower 3
- 6. Tower 6

**1** SITE - AXONO SECTION 1

# SCHEDULE

A & B

This forms part of application

# DP21-0183

Planner  
Initials

AK



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CD24  
LAKESHORE DEVELOPMENT  
DP2

Project Manager: Al Buchby  
Project Designer: Robert Cosarik  
Project Architect: WSP  
Landscape Architect: Aglin Martin Consultants  
Structural Engineer: Clifton Simpson  
Mechanical Engineer: TBD  
Electrical Engineer: TBD  
Plumbing Engineer: TBD  
Geotechnical Engineer: Geo Pacific Engineering Inc.  
Envelope Consultant: TBD  
Code Consultant: GHJ Consultants Ltd.

Sheet Reviewer: RP

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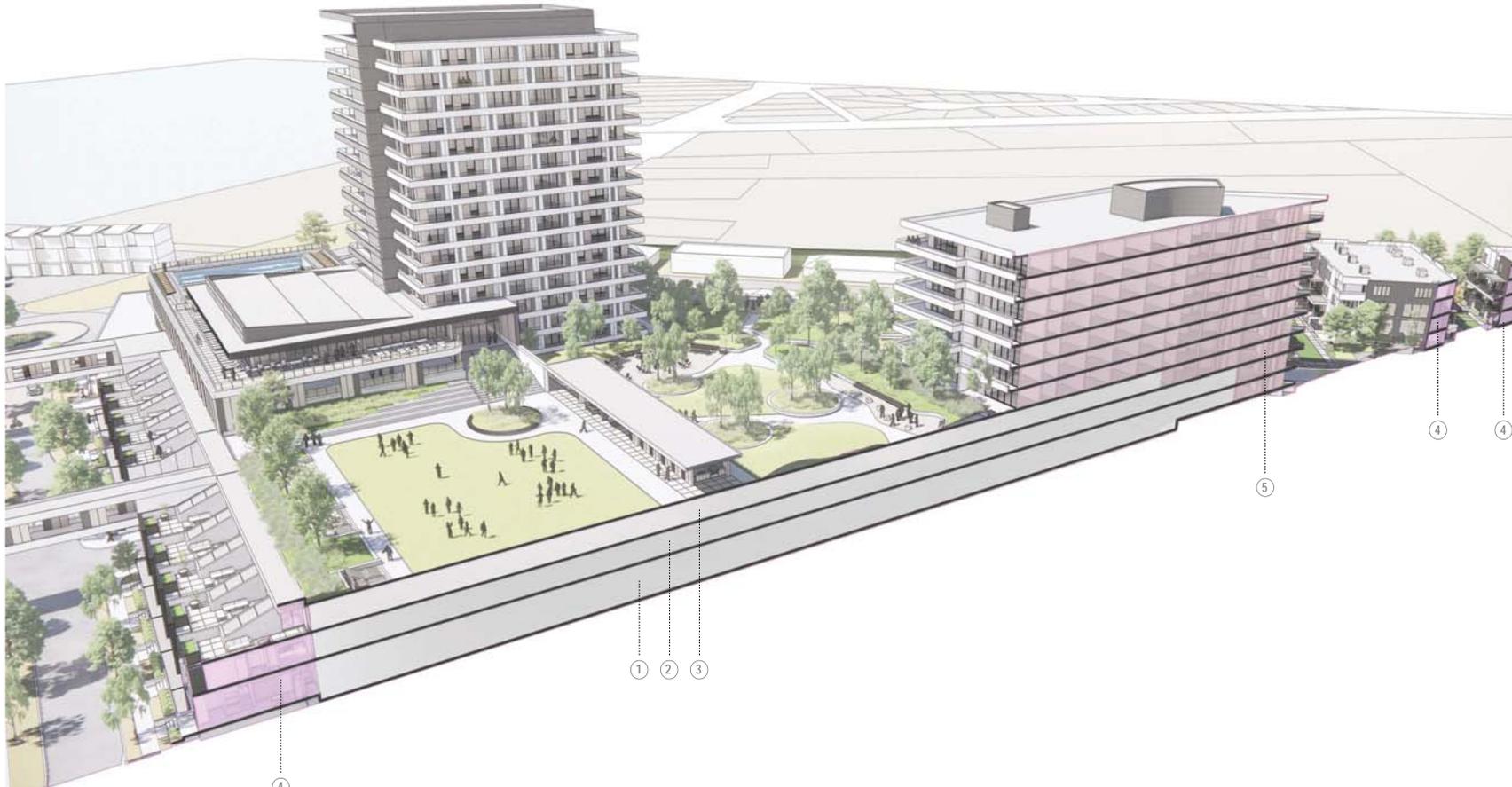
Project Number: 10288137  
Original Issue: 062521

Sheet Name  
**SITE - AXONO SECTION**

Scale  
Sheet Number  
**A-110B**

Project Status  
SCHEMATIC DESIGN

\*Architectural concept renderings - number of building stories has been reduced from 18 to 17 stories (scale, proportion and height are unchanged)



2 SITE - AXONO SECTION 2

**LEGEND:**

- 1. Parking Level 1
- 2. Parking Level 2
- 3. Parking Level 3
- 4. Townhomes
- 5. Tower 7
- 6. DP1 Townhomes







# SCHEDULE

A & B

This forms part of application

# DP21-0183

Planner  
Initials

AK

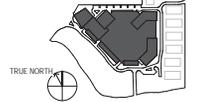


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Pentlcton, BC, V2A 2V6



CD24  
LAKESHORE DEVELOPMENT  
DP2

DP2 KEY PLAN



Project Manager	Al Buchby
Project Designer	Robert Cosiak
Project Architect	Robert Cosiak
Landscape Architect	WSP
Civil Engineer	Aplin Martin Consultants
Structural Engineer	Clintson Simpson
Mechanical Engineer	TBD
Electrical Engineer	TBD
Plumbing Engineer	TBD
Geotechnical Engineer	Geo Pacific Engineering Inc.
Envelope Consultant	TBD
Code Consultant	GHL Consultants Ltd.

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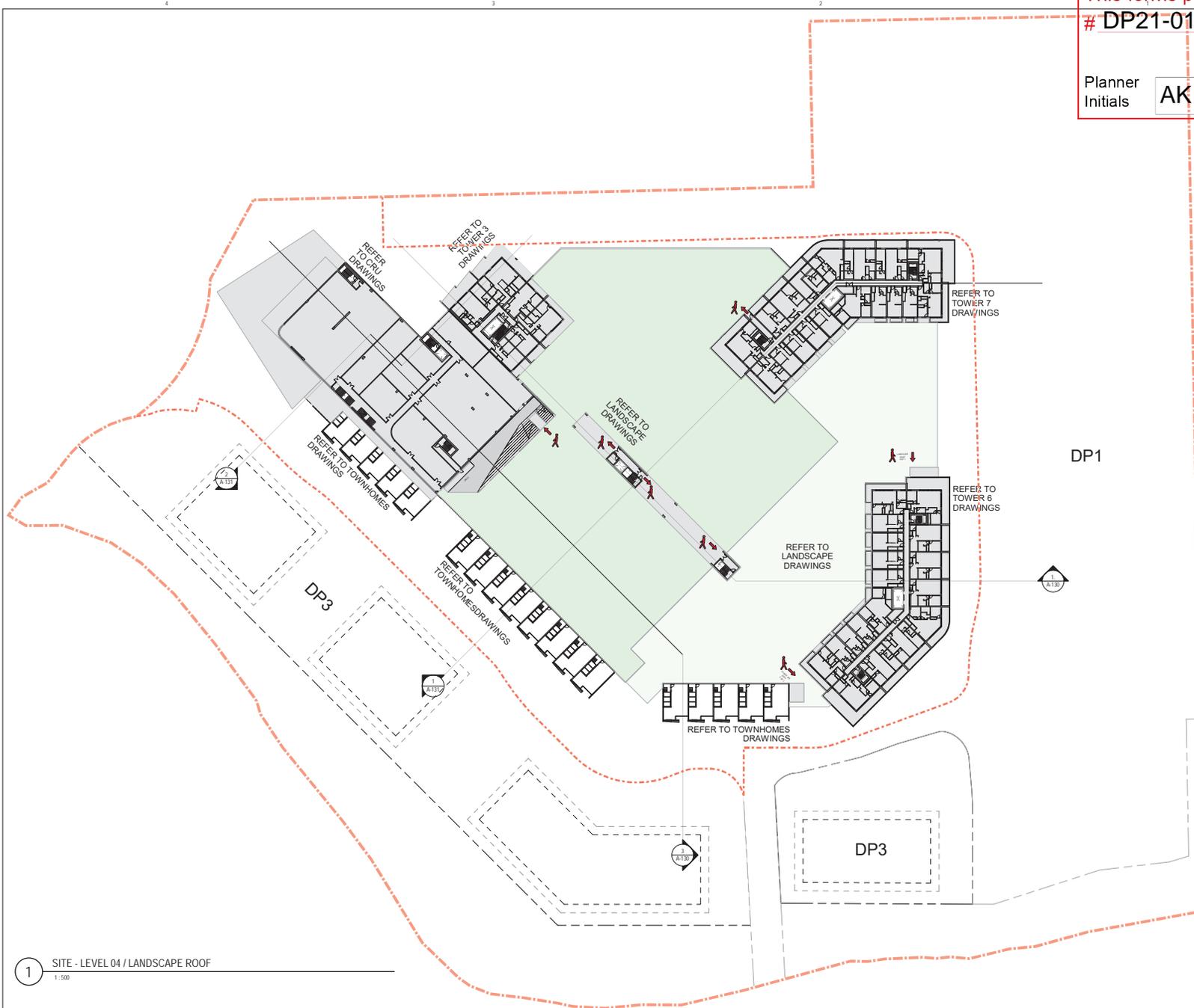
Project Number 10368337  
Original Issue 250621

Sheet Name  
SITE - PLAN - LEVEL 04

Scale  
1:500  
Sheet Number

**A-114**

Project Status  
SCHEMATIC DESIGN



1 SITE - LEVEL 04 / LANDSCAPE ROOF  
1:500

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# SCHEDULE

A & B

This forms part of application

# DP21-0183

Planner  
Initials

AK



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CD24  
LAKESHORE DEVELOPMENT  
DP2



0 3.5 7 17.5

**Project Manager** Al Buchby  
**Project Designer** Robert Cosiak  
**Project Architect** Robert Cosiak  
**Landscape Architect** WSP  
**Civil Engineer** Aglin Martin Consultants  
**Structural Engineer** Gilmann Simpson  
**Mechanical Engineer** TBD  
**Electrical Engineer** TBD  
**Plumbing Engineer** TBD  
**Geotechnical Engineer** Geo Pacific Engineering Inc.  
**Envelope Consultant** TBD  
**Code Consultant** GHL Consultants Ltd.

**Sheet Reviewer** RP

MARK	DATE	DESCRIPTION
1	2021-06-25	ISSUED FOR DEVELOPMENT PERMIT
2	2022-01-26	ISSUED FOR DEVELOPMENT PERMIT RESPONSE PACKAGE
3	2022-05-11	ISSUED FOR DEVELOPMENT PERMIT RESPONSE PACKAGE

**Project Number** 10288157  
**Original Issue** 250621

Sheet Name  
**ELEVATIONS - OVERALL**

Scale  
1 : 350  
Sheet Number

**A-120**

Project Status  
SCHEMATIC DESIGN



- UPPER ROOF MECH PENHOUSE
- ROOF 25900
- LEVEL 17 25500
- LEVEL 16 25100
- LEVEL 15 24700
- LEVEL 14 24300
- LEVEL 13 23900
- LEVEL 12 / UPPER ROOF 23500
- LEVEL 11 / ROOF 23100
- LEVEL 10 22700
- LEVEL 9 22300
- LEVEL 8 21900
- LEVEL 7 21500
- LEVEL 6 21100
- LEVEL 5 20700
- LEVEL 4 / LANDSCAPED ROOF 20300
- LEVEL 3 19900
- LEVEL 2 19500
- ELEVATED LEVEL 1 (EL. 3.65, 7m) 19100
- LEVEL 01 (EL. 3.44m)

1 WEST ELEVATION  
1 : 350



- UPPER ROOF MECH PENHOUSE
- ROOF 25900
- LEVEL 17 25500
- LEVEL 16 25100
- LEVEL 15 24700
- LEVEL 14 24300
- LEVEL 13 23900
- LEVEL 12 / UPPER ROOF 23500
- LEVEL 11 / ROOF 23100
- LEVEL 10 22700
- LEVEL 9 22300
- LEVEL 8 21900
- LEVEL 7 21500
- LEVEL 6 21100
- LEVEL 5 20700
- LEVEL 4 / LANDSCAPED ROOF 20300
- LEVEL 3 19900
- LEVEL 2 19500
- ELEVATED LEVEL 1 (EL. 3.65, 7m) 19100
- LEVEL 01 (EL. 3.44m)

2 SOUTH ELEVATION  
1 : 350

**GENERAL NOTES**

- A Mech Screening System is intended on Tower 6 & 7 Roof. Tower 3 Roof Mech Units will be located inside the roof semi-open area part of the tower design. Refer to elevations.
- More than 7 meters Clear Height is provided under each DP3 Bridges on South Road, and through the Amenity Lane under the parkade. Refer to elevations.
- The DP2 Parkade is intended to be semi-open / cold (not heated);  
█ **Parkade Intakes** - Garage Doors and Openings incorporated in the parkade facade design will be used as Intakes.  
█ **Parkade Exhaust** - Will be located on the landscape roof.

# SCHEDULE

A & B

This forms part of application

# DP21-0183

Planner Initials **AK**



HDR Pentacore Studio  
210 Hastings Ave  
Penticton, BC, V2A 2V6



CD24  
LAKESHORE DEVELOPMENT  
DP2



0 3.5 7 17.5

**Project Manager** Al Buchby  
**Project Designer** Robert Cosiak  
**Project Architect** Robert Cosiak  
**Landscape Architect** WSP  
**Civil Engineer** Aglin Martin Consultants  
**Structural Engineer** Gilmann Simpson  
**Mechanical Engineer** TBD  
**Electrical Engineer** TBD  
**Plumbing Engineer** TBD  
**Geotechnical Engineer** Geo Pacific Engineering Inc.  
**Envelope Consultant** TBD  
**Code Consultant** GHJ Consultants Ltd.

**Sheet Reviewer** RP

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3	2022-05-11	ISSUED FOR DEVELOPMENT PERMIT RESPONSE PACKAGE

**Project Number** 10288137  
**Original Issue** 250621

Sheet Name  
**ELEVATIONS - OVERALL**

Scale  
1 : 350

Sheet Number

**A-121**

Project Status  
SCHEMATIC DESIGN



- UPPER ROOF MECH PENNHOUSE
- ROOF 25900
- LEVEL 17 25500
- LEVEL 16 25100
- LEVEL 15 24700
- LEVEL 14 24300
- LEVEL 13 23900
- LEVEL 12 UPPER ROOF 23500
- LEVEL 11 ROOF 23100
- LEVEL 10 22700
- LEVEL 9 22300
- LEVEL 8 21900
- LEVEL 7 21500
- LEVEL 6 21100
- LEVEL 5 20700
- LEVEL 4 LANDSCAPED ROOF 20300
- LEVEL 3 19900
- ELEVATED LEVEL 1 (EL 345.7m) 19500
- LEVEL 01 (EL 344m)

CONNECTION TO FUTURE DP3 PHASE

1 EAST ELEVATION  
1 : 350



- UPPER ROOF MECH PENNHOUSE
- ROOF 25900
- LEVEL 17 25500
- LEVEL 16 25100
- LEVEL 15 24700
- LEVEL 14 24300
- LEVEL 13 23900
- LEVEL 12 UPPER ROOF 23500
- LEVEL 11 ROOF 23100
- LEVEL 10 22700
- LEVEL 9 22300
- LEVEL 8 21900
- LEVEL 7 21500
- LEVEL 6 21100
- LEVEL 5 20700
- LEVEL 4 LANDSCAPED ROOF 20300
- LEVEL 3 19900
- ELEVATED LEVEL 1 (EL 345.7m) 19500
- LEVEL 01 (EL 344m)

2 NORTH ELEVATION  
1 : 350

**GENERAL NOTES**

- A Mech Screening System is intended on Tower 6 & 7 Roof. Tower 3 Roof Mech Units will be located inside the roof semi-open area part of the tower design. Refer to elevations.
- More than 7 meters Clear Height is provided under each DP3 Bridges on South Road, and through the Amenity Lane under the parkade. Refer to elevations.
- The DP2 Parkade is intended to be semi-open / cold (not heated);
  - Parkade Intakes - Garage Doors and Openings incorporated in the parkade facade design will be used as Intakes.
  - Parkade Exhaust - Will be located on the landscape roof.

# SCHEDULE

A & B

This forms part of application

# DP21-0183

Planner  
Initials

AK



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CD24  
LAKESHORE DEVELOPMENT  
DP2



0 3.5 7 17.5

**Project Manager** Al Buhby  
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**Sheet Reviewer** RP

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**Project Number** 10288157  
**Original Issue** 250621

Sheet Name  
ELEVATIONS - OVERALL

Scale  
1 : 350  
Sheet Number

**A-122**

Project Status  
SCHEMATIC DESIGN

- UPPER ROOF, MECH PENITHOUSE
- ROOF --
- LEVEL 17
- LEVEL 16
- LEVEL 15
- LEVEL 14
- LEVEL 13
- LEVEL 12 / UPPER ROOF
- LEVEL 11 / ROOF
- LEVEL 10
- LEVEL 9
- LEVEL 8
- LEVEL 7
- LEVEL 6
- LEVEL 5
- LEVEL 4
- LEVEL 3
- LEVEL 2
- ELEVATED LEVEL 1 (EL. 3.67m)
- LEVEL 01 (EL. 344m)



1 SOUTHEAST ELEVATION  
1 : 350

**GENERAL NOTES**

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# SCHEDULE

A & B

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CD24  
LAKESHORE DEVELOPMENT  
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Sheet Reviewer: NP

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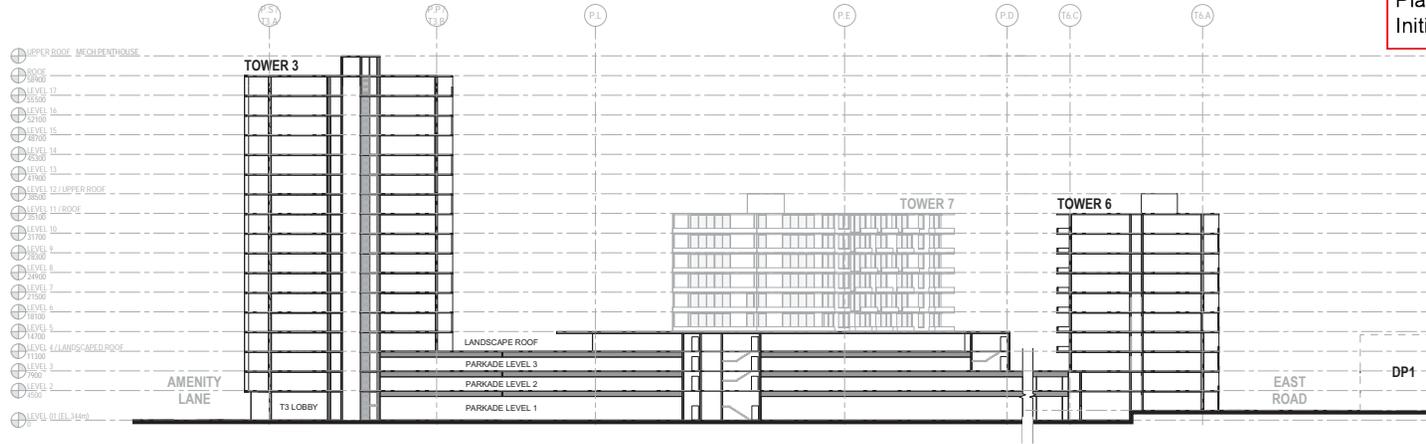
Project Number: 10268337  
Original Issue: 250621

Sheet Name  
SITE - SECTIONS

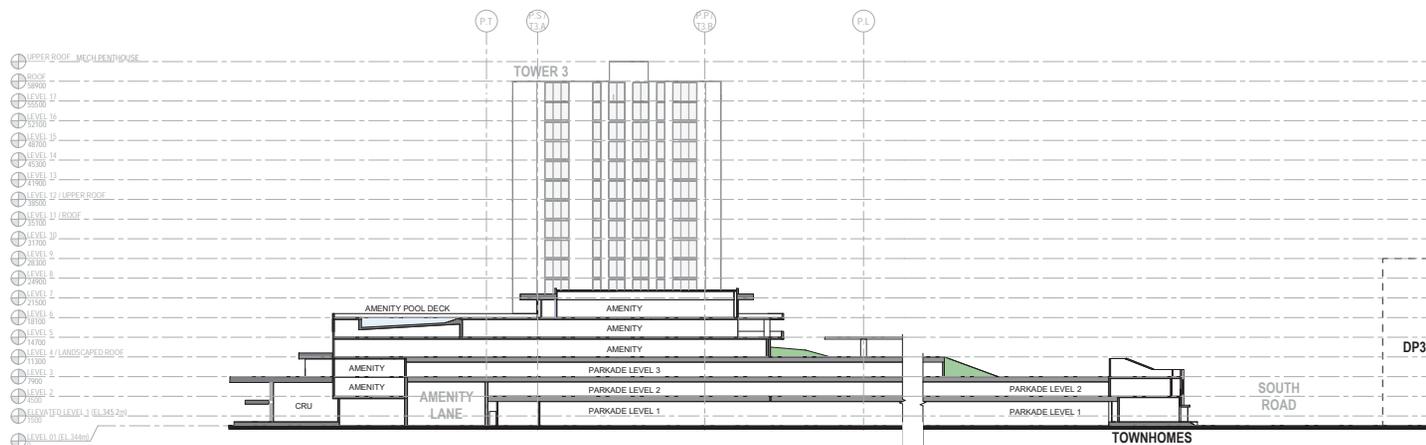
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Sheet Number

**A-130**

Project Status  
SCHEMATIC DESIGN



1 SITE - GENERAL SECTION 1  
1: 350



2 SITE - GENERAL SECTION 2  
1: 350

# SCHEDULE

A & B

This forms part of application

# DP21-0183

Planner  
Initials

AK



HDR Pentlcton Studio  
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CD24  
LAKESHORE DEVELOPMENT  
DP2



0 3.5 7 17.5

**Project Manager** Al Buchby  
**Project Designer** Robert Cosik  
**Project Architect** Robert Cosik  
**Landscape Architect** WSP  
**Civil Engineer** Agin Martin Consultants  
**Structural Engineer** Clifton Simpson  
**Mechanical Engineer** TBD  
**Electrical Engineer** TBD  
**Plumbing Engineer** TBD  
**Geotechnical Engineer** Geo Pacific Engineering Inc.  
**Envelope Consultant** TBD  
**Code Consultant** GH Consultants Ltd.

**Sheet Reviewer** NP

MARK	DATE	DESCRIPTION
1	2021-06-25	ISSUED FOR DEVELOPMENT PERMIT
2	2022-05-11	ISSUED FOR DEVELOPMENT PERMIT RESPONSE PACKAGE

**Project Number** 10268337  
**Original Issue** 250621

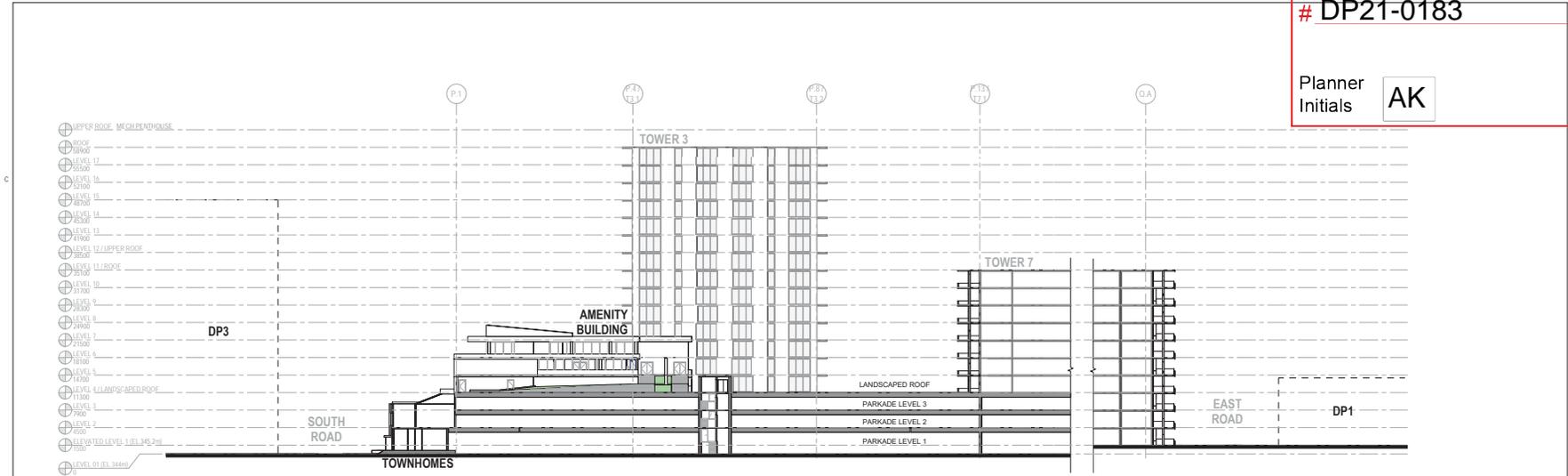
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SITE - SECTIONS

**Scale**  
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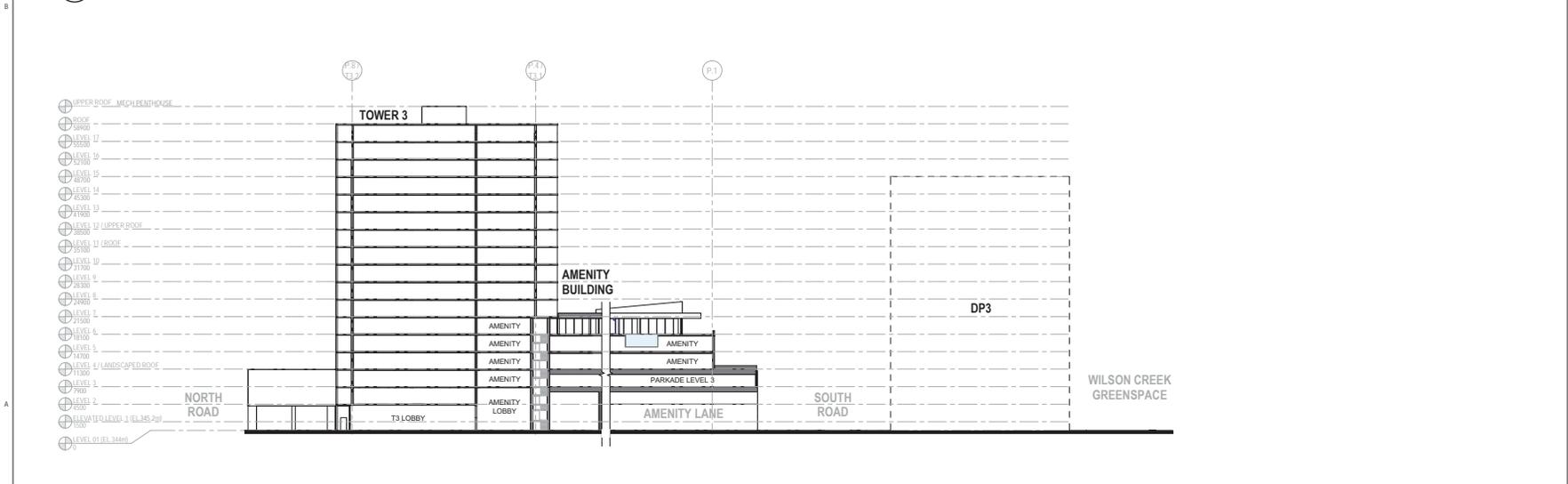
**Sheet Number**

**A-131**

**Project Status**  
SCHEMATIC DESIGN



1 SITE - GENERAL SECTIONS 3  
1 : 350



2 SITE - GENERAL SECTION 4  
1 : 350

625702111510074 BFA3010020137\_202019 BC Hannah Coors\_202010080137\_Amenity\_DP2\_04mkc\_CENTRAL\_04

# SCHEDULE

A & B

This forms part of application

# DP21-0183



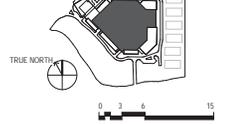
City of Kelowna  
DEVELOPMENT PLANNING

HDR Pentlodon Studio  
210 Hastings Ave  
Penticton, BC, V2A 2V6



CD24  
LAKESHORE DEVELOPMENT  
DP2

DP2 KEY PLAN



Project Manager: Al Buxby  
 Project Designer: Robert Coskic  
 Project Architect: Robert Coskic  
 Landscape Architect: WSP  
 Civil Engineer: Aplin Martin Consultants  
 Structural Engineer: Gilmour Simpson  
 Mechanical Engineer: TBD  
 Electrical Engineer: TBD  
 Plumbing Engineer: TBD  
 Geotechnical Engineer: Geo Pacific Engineering Inc.  
 Envelope Consultant: TBD  
 Code Consultant: GHL Consultants Ltd.

Sheet Reviewer: NP  
 MARK DATE DESCRIPTION  
 1 2021-06-25 ISSUED FOR DEVELOPMENT PERMIT

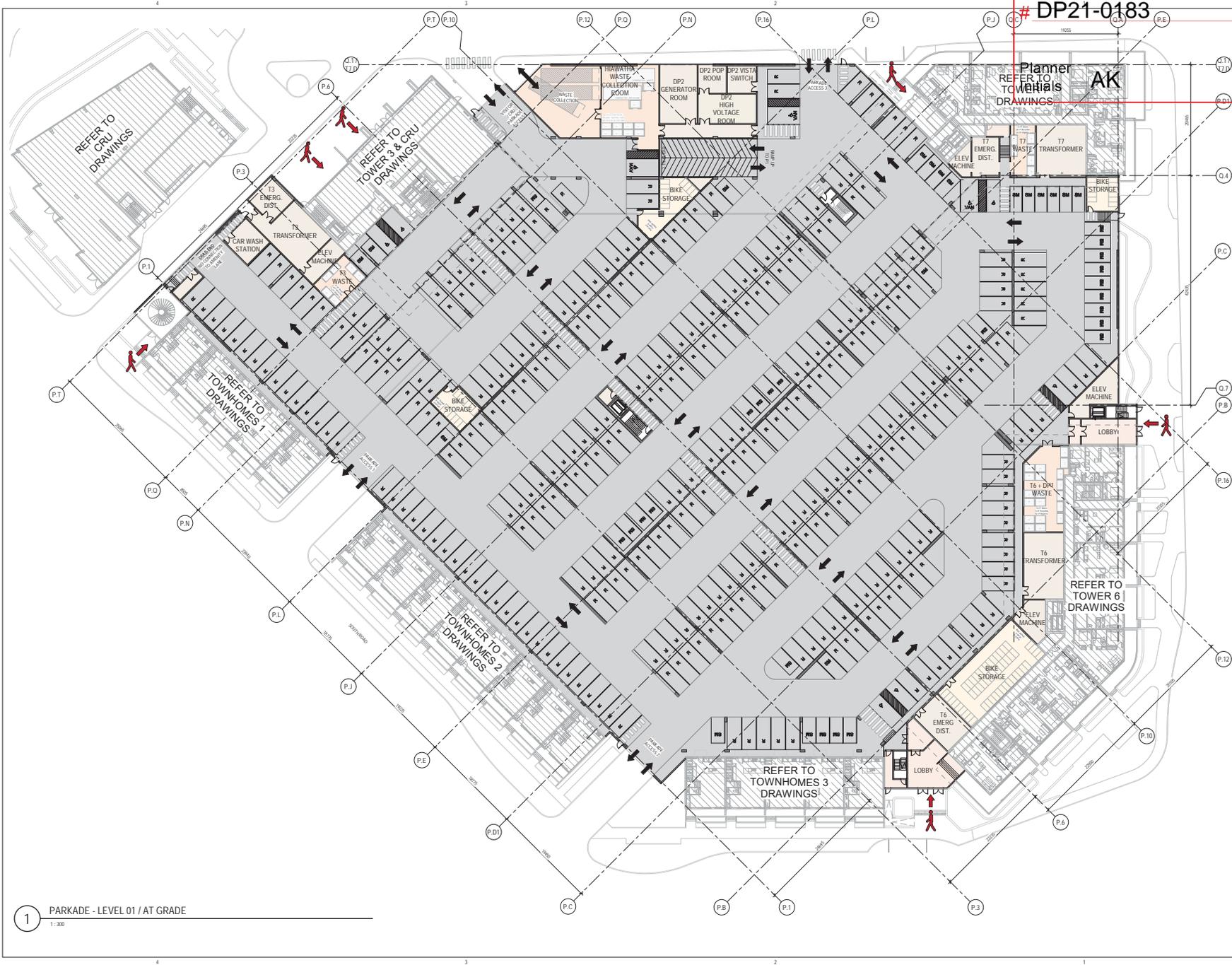
Project Number: 10368137  
Original Issue: 250621

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PLAN**

Scale  
1: 300  
Sheet Number

**A-210**

Project Status  
SCHEMATIC DESIGN



**1** PARKADE - LEVEL 01 / AT GRADE  
1: 300

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# SCHEDULE A & B

This forms part of application

# DP21-0183



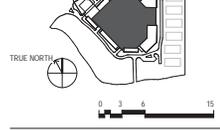
City of Kelowna  
DEVELOPMENT PLANNING

HDR Pentiction Studio  
210 Hastings Ave  
Pentiction, BC, V2A 2V6



CD24  
LAKESHORE DEVELOPMENT  
DP2

DP2 KEY PLAN



- Project Manager: Al Buxby
- Project Designer: Robert Cosiak
- Project Architect: Robert Cosiak
- Landscape Architect: WSP
- Civil Engineer: Aglin Martin Consultants
- Structural Engineer: Gilmour Simpson
- Mechanical Engineer: TBD
- Electrical Engineer: TBD
- Plumbing Engineer: TBD
- Geotechnical Engineer: Geo Pacific Engineering Inc.
- Envelope Consultant: TBD
- Code Consultant: GHJ Consultants Ltd.
- Sheet Reviewer: NP

MARK	DATE	DESCRIPTION
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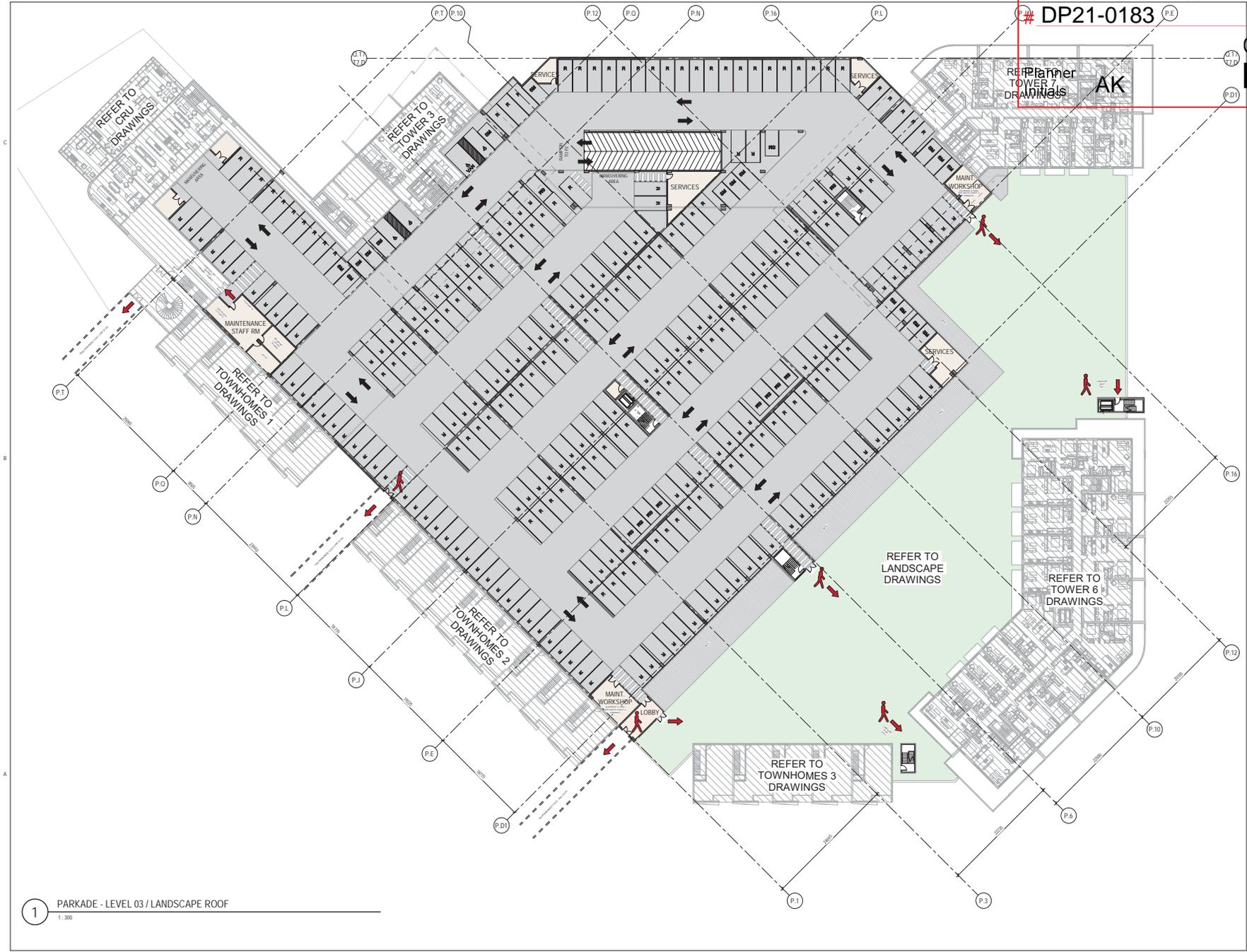
Project Number: 10368337  
Original Issue: 250621

Sheet Name  
**PARKADE - LEVEL 03  
PLAN**

Scale  
1: 300  
Sheet Number

**A-212**

Project Status  
SCHEMATIC DESIGN



**1** PARKADE - LEVEL 03 / LANDSCAPE ROOF  
1: 300

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# SCHEDULE

# A & B

This forms part of application

## # DP21-0183

Planner  
Initials

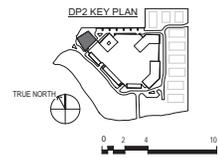
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Pentiction Studio  
210 Hastings Ave  
Pentiction, BC, V2A 2V6



CD24  
LAKESHORE DEVELOPMENT  
DP2



Project Manager: Al Buhley  
 Project Designer: Robert Cosiak  
 Project Architect: Robert Cosiak  
 Landscape Architect: WSP  
 Civil Engineer: Aglin Martin Consultants  
 Structural Engineer: Claiton Simpson  
 Mechanical Engineer: TBD  
 Electrical Engineer: TBD  
 Plumbing Engineer: TBD  
 Geotechnical Engineer: Geo Pacific Engineering Inc.  
 Envelope Consultant: TBD  
 Code Consultant: GHL Consultants Ltd.

Sheet Reviewer: NP  

MARK	DATE	DESCRIPTION
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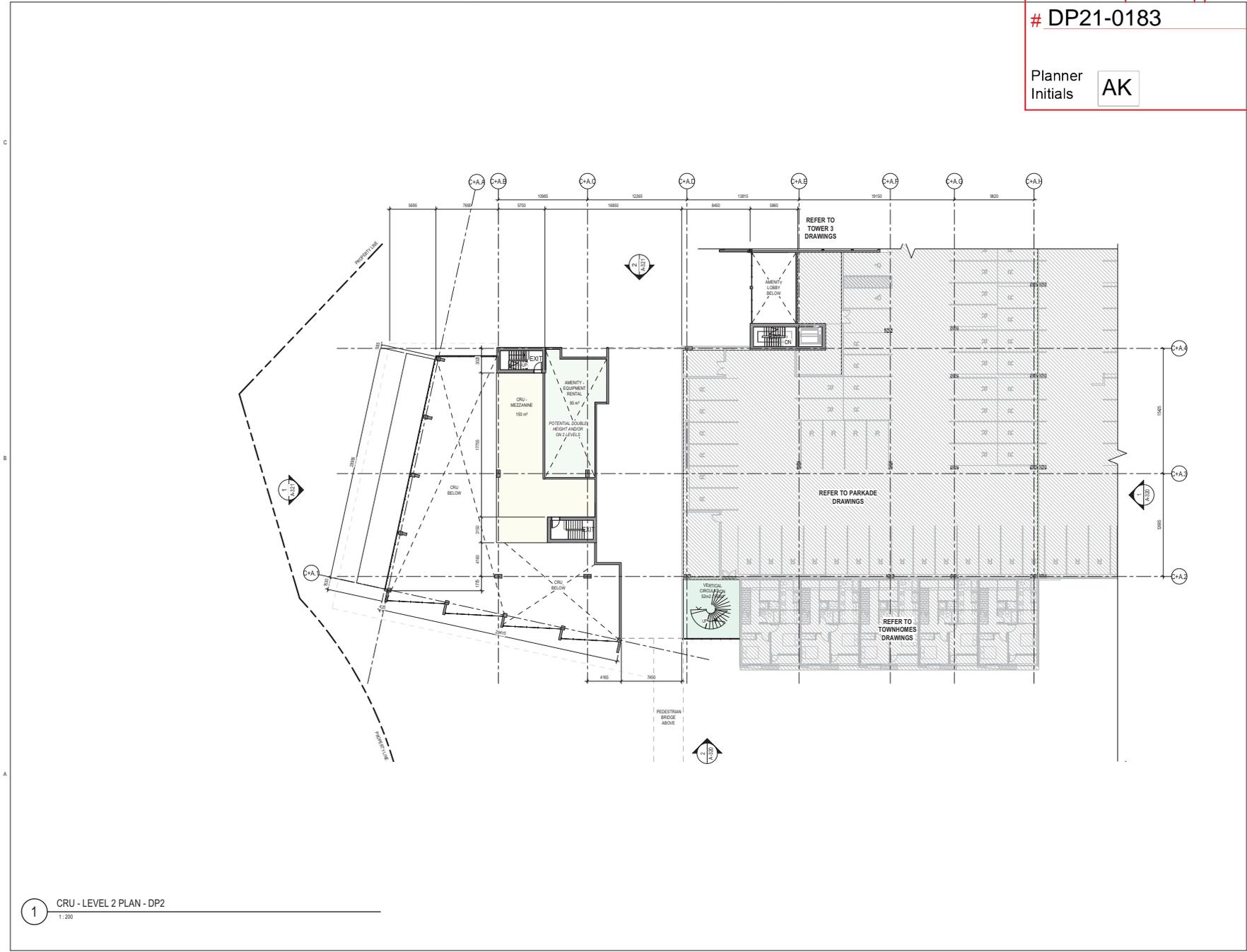
Project Number: 10388157\_2020-2019  
 Original Issue: 25/06/21

Sheet Name  
**CRU/AMENITY - PLAN -  
 LEVEL 2**

Scale  
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 Sheet Number

## A-311

Project Status  
 Schematic Design



6/21/2021 10:06:49PM B:\300\10268157\_2020-019\BCH\Arch\Draws\2021\0268157\_1\level\_2\_DP2\_Tower 1\_CENTRAL.dwg

**1** CRU - LEVEL 2 PLAN - DP2  
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# SCHEDULE

A & B

This forms part of application

# DP21-0183

Planner Initials **AK**



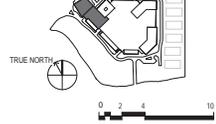
City of  
**Kelowna**  
DEVELOPMENT PLANNING

Pentiction Studio  
210 Hastings Ave  
Pentiction, BC, V2A 2V6



CD24  
LAKESHORE DEVELOPMENT  
DP2

DP2 KEY PLAN



- |                       |                              |
|-----------------------|------------------------------|
| Project Manager       | Al Buxby                     |
| Project Designer      | Robert Conik                 |
| Project Architect     | Robert Conik                 |
| Landscape Architect   | WSP                          |
| Civil Engineer        | Agin Martin Consultants      |
| Structural Engineer   | Cliffman Simpson             |
| Mechanical Engineer   | TBD                          |
| Electrical Engineer   | TBD                          |
| Plumbing Engineer     | TBD                          |
| Geotechnical Engineer | Geo Pacific Engineering Inc. |
| Envelope Consultant   | TBD                          |
| Code Consultant       | GHL Consultants Ltd.         |

Sheet Reviewer	NP	
MARK	DATE	DESCRIPTION
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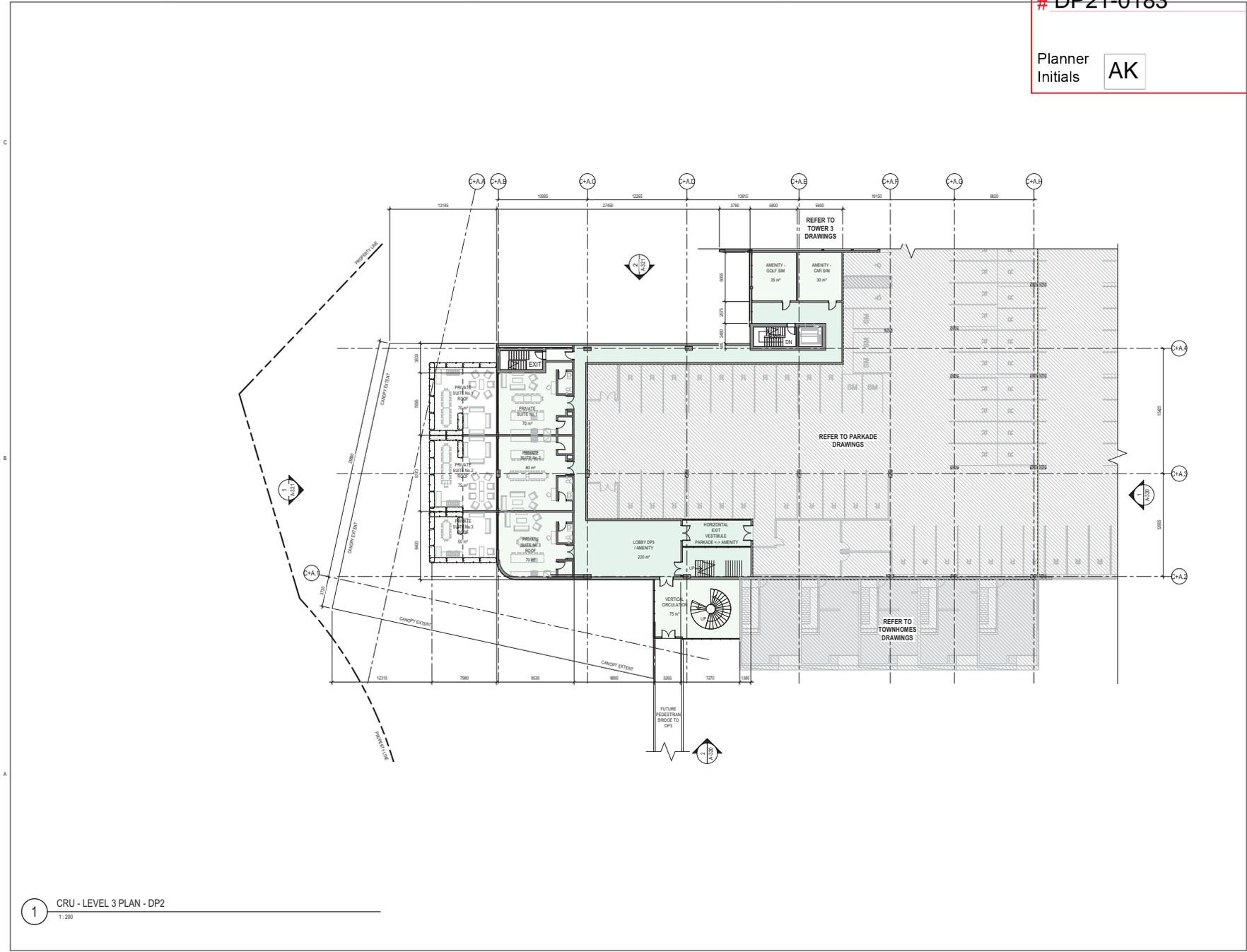
Project Number 10388157\_2020-2019  
Original Issue 250621

Sheet Name  
**CRU/AMENITY - PLAN -  
LEVEL 3**

Scale  
1 : 200  
Sheet Number

**A-312**

Project Status  
Schematic Design



6/20/2021 10:06:07 AM B:\300\10288157\_2020-019\300\10288157\Network\DP2\_Tower 3\CENTRAL\_A4

**1** CRU - LEVEL 3 PLAN - DP2  
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# SCHEDULE

A & B

This forms part of application

# DP21-0183

Planner Initials **AK**

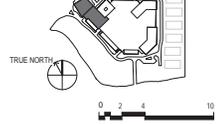


Pentiction Studio  
210 Hastings Ave  
Pentiction, BC, V2A 2V6



CD24  
LAKESHORE DEVELOPMENT  
DP2

DP2 KEY PLAN



Project Manager: Al Buhby  
 Project Designer: Robert Conk  
 Project Architect: Robert Conk  
 Landscape Architect: WSP  
 Civil Engineer: Aglin Martin Consultants  
 Structural Engineer: Claiton Simpson  
 Mechanical Engineer: TBD  
 Electrical Engineer: TBD  
 Plumbing Engineer: TBD  
 Geotechnical Engineer: Geo Pacific Engineering Inc.  
 Envelope Consultant: TBD  
 Code Consultant: GHJ Consultants Ltd.

Sheet Reviewer: NP  
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 1 2021-06-25 ISSUED FOR DEVELOPMENT PERMIT

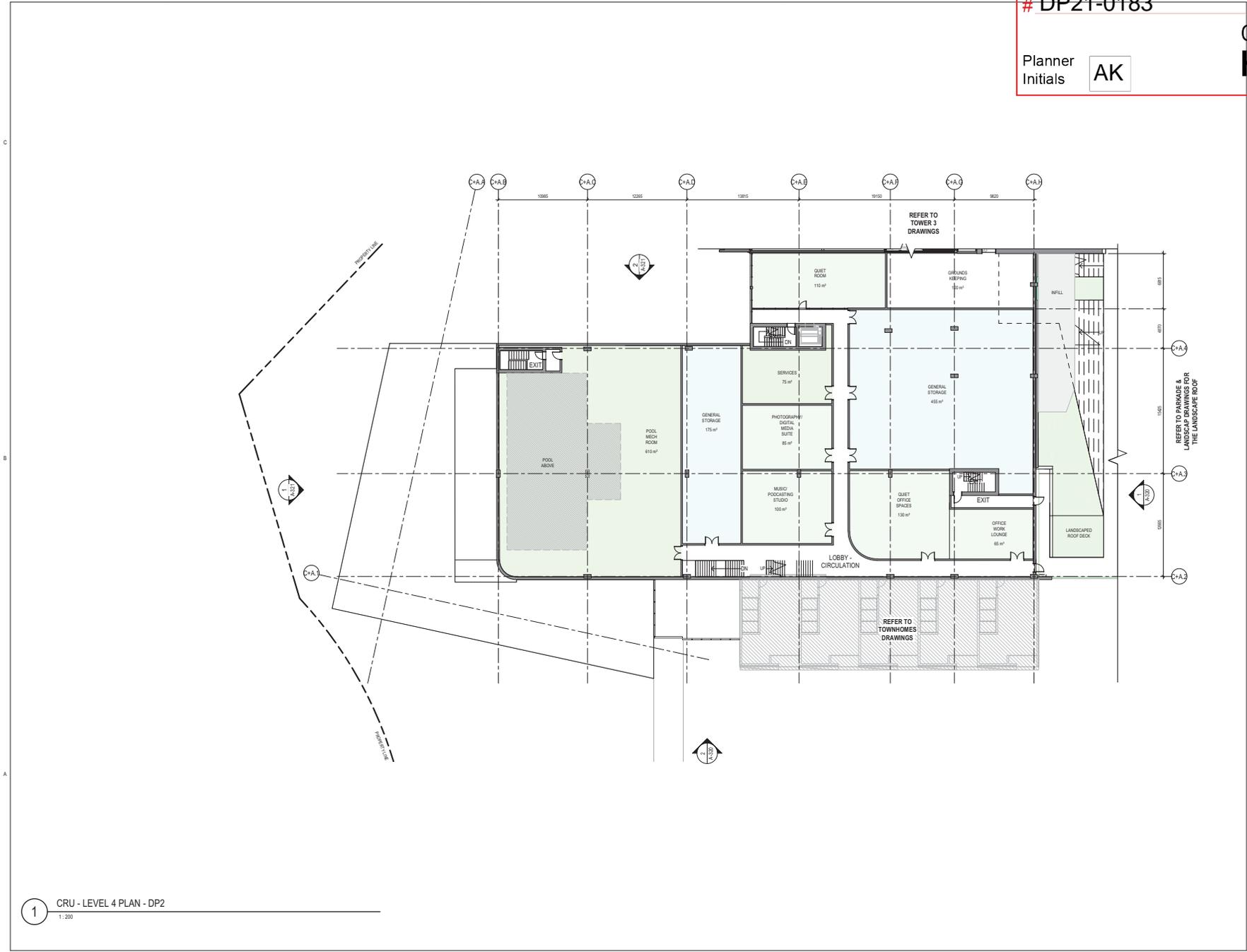
Project Number: 10388157\_2020-2019  
 Original Issue: 250621

CRU/AMENITY - PLAN - LEVEL 4

Scale: 1:200  
Sheet Number

**A-313**

Project Status: Schematic Design



6202021.0.00677M\_BM30010280137\_2020-09-30-16-14-Hamish-Coxon\_202010280137\_Hamish\_Coxon\_1-CENTRAL\_A4

1 CRU - LEVEL 4 PLAN - DP2  
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# SCHEDULE A & B

This forms part of application

# DP21-0183

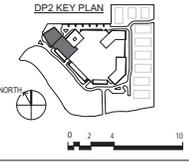
Planner Initials **AK**



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210 Hastings Ave  
Pentiction, BC, V2A 2V6



CD24  
LAKESHORE DEVELOPMENT  
DP2



- Project Manager: Al Buchley
- Project Designer: Robert Conkik
- Project Architect: Robert Conkik
- Landscape Architect: WSP
- Civil Engineer: Aglin Martin Consultants
- Structural Engineer: Gilmartin Simpson
- Mechanical Engineer: TBD
- Electrical Engineer: TBD
- Plumbing Engineer: TBD
- Geotechnical Engineer: Geo Pacific Engineering Inc.
- Envelope Consultant: TBD
- Code Consultant: GHJ Consultants Ltd.
- Sheet Reviewer: NP

MARK	DATE	DESCRIPTION

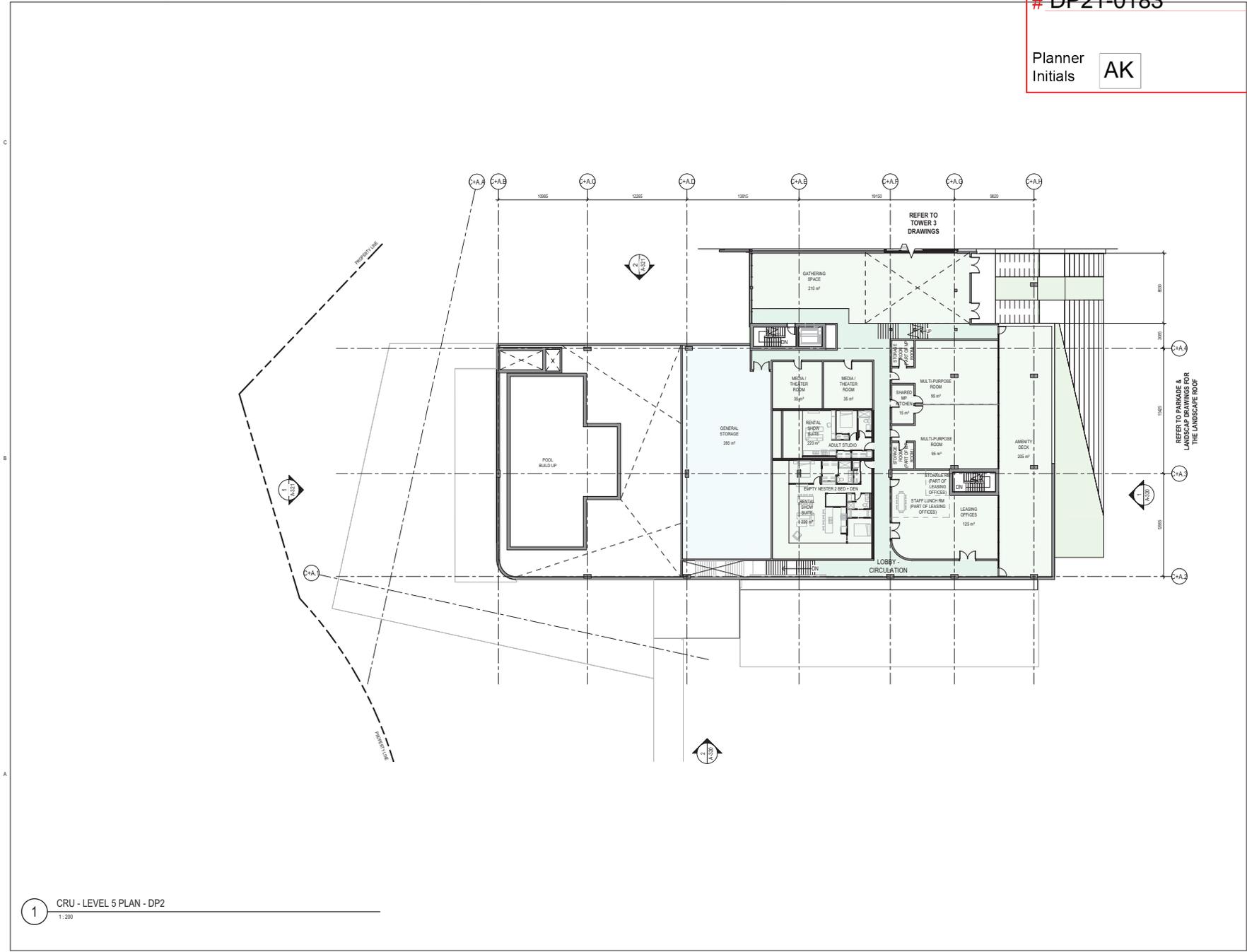
Project Number: 10388157\_2020-2019  
Original Issue: 25/06/21

Sheet Name  
**CRU/AMENITY - PLAN - LEVEL 5**

Scale: 1:200  
Sheet Number:

**A-314**

Project Status  
Schematic Design



**1** CRU - LEVEL 5 PLAN - DP2  
1:200

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# SCHEDULE

## A & B

This forms part of application

# DP21-0183

Planner  
Initials

AK

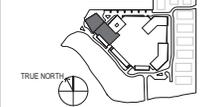


Pentiction Studio  
210 Hastings Ave  
Pentiction, BC, V2A 2V6



CD24  
LAKESHORE DEVELOPMENT  
DP2

DP2 KEY PLAN



TRUE NORTH  
0 2 4 10

Project Manager	Al Buchby
Project Designer	Robert Conk
Project Architect	Robert Conk
Landscape Architect	WSP
Civil Engineer	Agin Martin Consultants
Structural Engineer	Cliffman Simpson
Mechanical Engineer	TBD
Electrical Engineer	TBD
Plumbing Engineer	TBD
Geotechnical Engineer	Geo Pacific Engineering Inc.
Envelope Consultant	TBD
Code Consultant	GHL Consultants Ltd.

Sheet Reviewer | NP

MARK	DATE	DESCRIPTION
1	2021-06-25	ISSUED FOR DEVELOPMENT PERMIT

Project Number	10288157_2020-2019
Original Issue	250621

A Sheet Name

CRU/AMENITY - PLAN -  
LEVEL 6

Scale

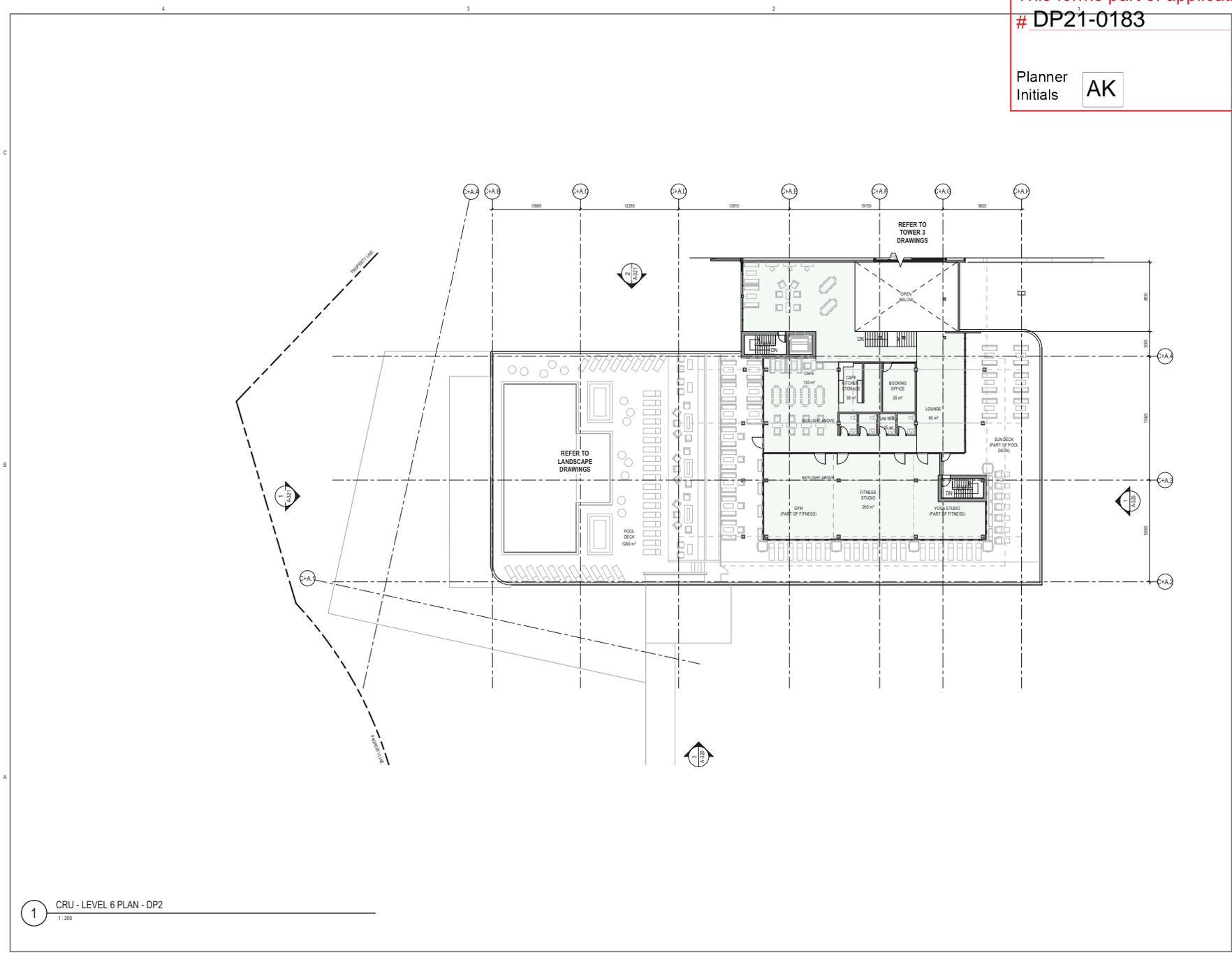
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Sheet Number

### A-315

Project Status

Schematic Design



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1 CRU - LEVEL 6 PLAN - DP2  
1 : 200

# SCHEDULE

A & B

This forms part of application

# DP21-0183

Planner Initials **AK**



Pentiction Studio  
210 Hastings Ave  
Pentiction, BC, V2A 2V6



CD24  
LAKESHORE DEVELOPMENT  
DP2



0 2 4 10

**Project Manager** Al Buchby  
**Project Designer** Robert Cosiak  
**Project Architect** Robert Cosiak  
**WSP**  
**Landscaped Architect** WSP  
**Civil Engineer** Aglin Martin Consultants  
**Structural Engineer** Gilmour Simpson  
**Mechanical Engineer** TBD  
**Electrical Engineer** TBD  
**Plumbing Engineer** TBD  
**Geotechnical Engineer** Geo Pacific Engineering Inc.  
**Envelope Consultant** TBD  
**Code Consultant** GHJ Consultants Ltd.

**Sheet Reviewer** RP

MARK	DATE	DESCRIPTION
1	2021-06-25	ISSUED FOR DEVELOPMENT PERMIT
2	2022-05-11	ISSUED FOR DEVELOPMENT PERMIT RESPONSE PACKAGE

Project Number 10288157\_2020-2019  
Original Issue 250621

Sheet Name  
**CRU/AMENITY -  
ELEVATION**

Scale  
1 : 200  
Sheet Number  
**A-320**

Project Status  
Schematic Design



- CRU/AMENITY - ROOF 21300
- CRU/AMENITY - LEVEL 6 18100
- CRU/AMENITY - LEVEL 5 17100
- CRU/AMENITY - LEVEL 4 13300
- CRU/AMENITY - LEVEL 3 7900
- CRU/AMENITY - LEVEL 2 2500
- CRU/AMENITY - (1) (EL 3440)

**1** ELEVATION - CRU/AMENITY EAST  
1 : 200



- CRU/AMENITY - ROOF 21300
- CRU/AMENITY - LEVEL 6 18100
- CRU/AMENITY - LEVEL 5 17100
- CRU/AMENITY - LEVEL 4 13300
- CRU/AMENITY - LEVEL 3 7900
- CRU/AMENITY - LEVEL 2 2500
- CRU/AMENITY - (1) (EL 3440)

**2** ELEVATION - CRU/AMENITY SOUTH  
1 : 200

# SCHEDULE

A & B

This forms part of application

# DP21-0183

Planner  
Initials

AK



Penticon Studio  
210 Hastings Ave  
Kelowna, BC, V2A 2V6



CD24  
LAKESHORE DEVELOPMENT  
DP2



0 2 4 10

**Project Manager** Al Buchby  
**Project Designer** Robert Cosnik  
**Project Architect** Robert Cosnik  
**Landscape Architect** WSP  
**Civil Engineer** Aglin Martin Consultants  
**Structural Engineer** Gilmour Simpson  
**Mechanical Engineer** TBD  
**Electrical Engineer** TBD  
**Plumbing Engineer** TBD  
**Geotechnical Engineer** Geo Pacific Engineering Inc.  
**Envelope Consultant** TBD  
**Code Consultant** GHJ Consultants Ltd.

**Sheet Reviewer** RP

MARK	DATE	DESCRIPTION
1	2021-06-25	ISSUED FOR DEVELOPMENT PERMIT
2	2022-05-11	ISSUED FOR DEVELOPMENT PERMIT RESPONSE PACKAGE

**Project Number** 10288157\_2020-2019  
**Original Issue** 250621

**Sheet Name**  
CRU/AMENITY -  
ELEVATION

**Scale**  
1 : 200  
**Sheet Number**

**A-321**

**Project Status**  
Schematic Design



- CRU/AMENITY - ROOF  
21500
- CRU/AMENITY - LEVEL 6  
18100
- CRU/AMENITY - LEVEL 5  
17100
- CRU/AMENITY - LEVEL 4  
11300
- CRU/AMENITY - LEVEL 3  
7900
- CRU/AMENITY - LEVEL 2  
2500
- CRU/AMENITY - (1) EL 344m

1 ELEVATION - CRU/AMENITY WEST

1:200



- CRU/AMENITY - ROOF  
21500
- CRU/AMENITY - LEVEL 6  
18100
- CRU/AMENITY - LEVEL 5  
17100
- CRU/AMENITY - LEVEL 4  
11300
- CRU/AMENITY - LEVEL 3  
7900
- CRU/AMENITY - LEVEL 2  
2500
- CRU/AMENITY - (1) EL 344m

2 ELEVATION - CRU/AMENITY NORTH

1:200

# SCHEDULE

A & B

This forms part of application

# DP21-0183

Planner  
Initials

AK



Pentiction Studio  
210 Hastings Ave  
Pentiction, BC, V2A 2V6



CD24  
LAKESHORE DEVELOPMENT  
DP2



Project Manager	Al Buchby
Project Designer	Robert Cosiak
Project Architect	Robert Cosiak
Landscape Architect	WSP
Civil Engineer	Aplin Martin Consultants
Structural Engineer	Cliffman Simpson
Mechanical Engineer	TBD
Electrical Engineer	TBD
Plumbing Engineer	TBD
Geotechnical Engineer	Geo Pacific Engineering Inc.
Envelope Consultant	TBD
Code Consultant	GHL Consultants Ltd.

Sheet Reviewer | RP

MARK	DATE	DESCRIPTION
1	2021-06-25	ISSUED FOR DEVELOPMENT PERMIT

Project Number	10288157_2020-2019
Original Issue	250621

Sheet Name  
**TOWER 3 -  
PERSPECTIVE**

Scale

Sheet Number

**A-400**

Project Status  
Schematic Design

\*Architectural concept renderings - number of building stories has been reduced from 18 to 17 stories (scale, proportion and height are unchanged)



6/23/2021 10:00:57PM BIM360://018317\_2020/19\_BCH/Architect/Concepts/2021/018317/Renderings/DP2\_Tower\_3\_CENTRAL.dwg

# SCHEDULE

## A & B

This forms part of application

# DP21-0183

Planner  
Initials

AK

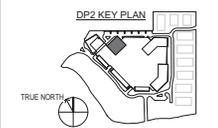


City of  
**Kelowna**  
DEVELOPMENT PLANNING

Penticon Studio  
210 Hastings Ave  
Kelowna, BC, V2A 2V6



CD24  
LAKESHORE DEVELOPMENT  
DP2



Project Manager: Al Buxby  
 Project Designer: Robert Cosiak  
 Project Architect: Robert Cosiak  
 Landscape Architect: WSP  
 Civil Engineer: Aplin Martin Consultants  
 Structural Engineer: Gilmour Simpson  
 Mechanical Engineer: TBD  
 Electrical Engineer: TBD  
 Plumbing Engineer: TBD  
 Geotechnical Engineer: Geo Pacific Engineering Inc.  
 Envelope Consultant: TBD  
 Code Consultant: GHJ Consultants Ltd.

Sheet Reviewer: NP

MARK	DATE	DESCRIPTION
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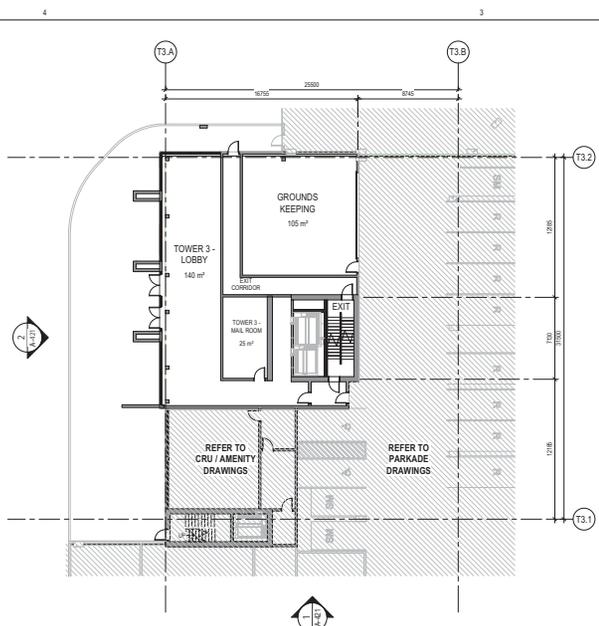
Project Number: 10388157\_2020-2019  
Original Issue: 25/06/21

Sheet Name  
**TOWER 3 - PLAN -  
LEVEL 1-4**

Scale: 1:200  
Sheet Number

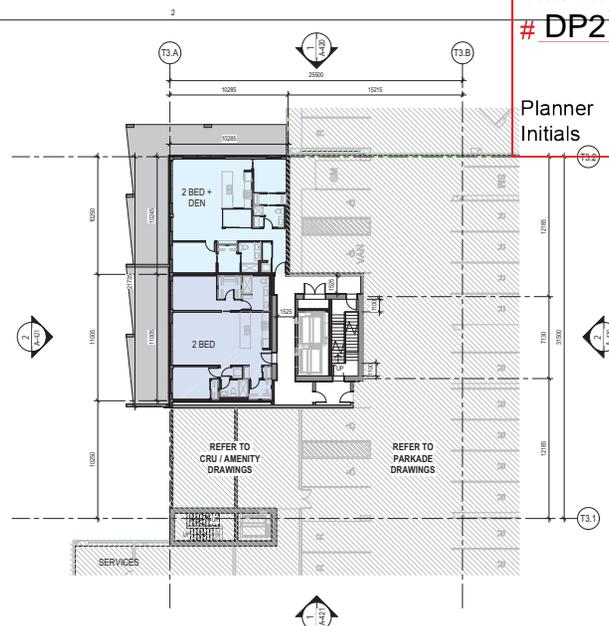
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Project Status  
Schematic Design



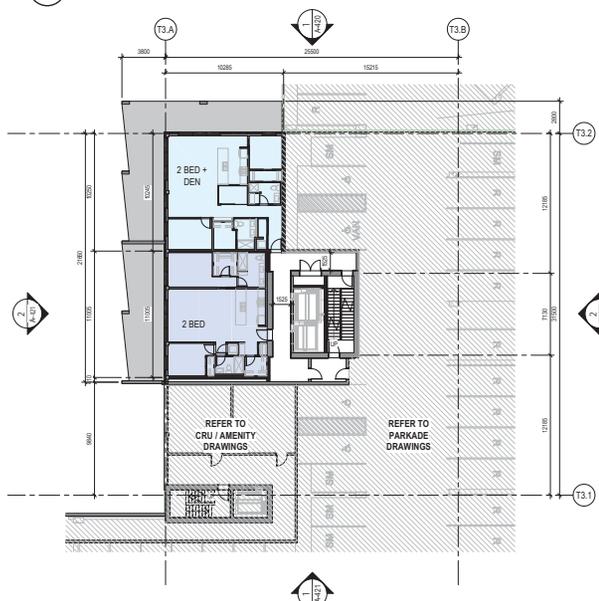
1 T3 - LEVEL 1 PLAN - DP2

1:200



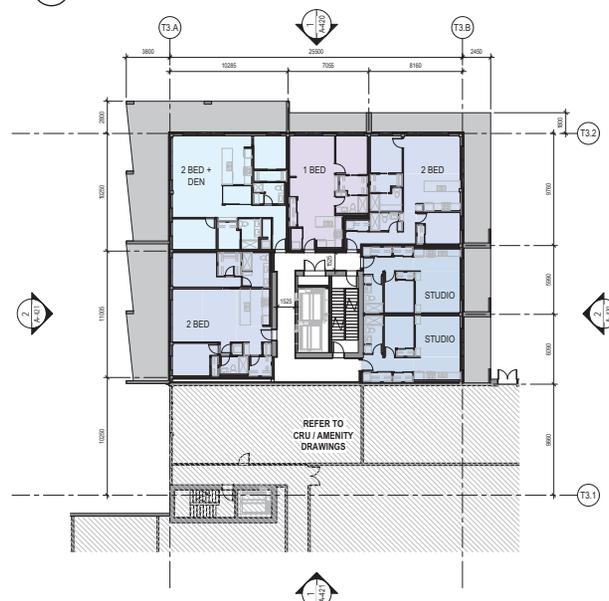
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1:200



3 T3 - LEVEL 3 PLAN - DP2

1:200



4 T3 - LEVEL 4 PLAN - DP2

1:200

# SCHEDULE A & B

This forms part of application  
# DP21-0183



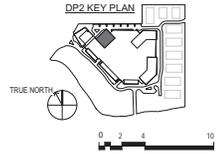
City of  
**Kelowna**  
DEVELOPMENT PLANNING

Planner Initials **AK**

Penticon Studio  
210 Hastings Ave  
Kelowna, BC, V2A 2V6



CD24  
LAKESHORE DEVELOPMENT  
DP2



- Project Manager: Al Buchley
- Project Designer: Robert Cosnik
- Project Architect: Robert Cosnik
- WSP
- Landscape Architect: Aglin Martin Consultants
- Structural Engineer: Gilmour Simpson
- Mechanical Engineer: TBD
- Electrical Engineer: TBD
- Plumbing Engineer: TBD
- Geotechnical Engineer: Geo Pacific Engineering Inc.
- Envelope Consultant: TBD
- Code Consultant: GHJ Consultants Ltd.

Sheet Reviewer: NP

MARK	DATE	DESCRIPTION
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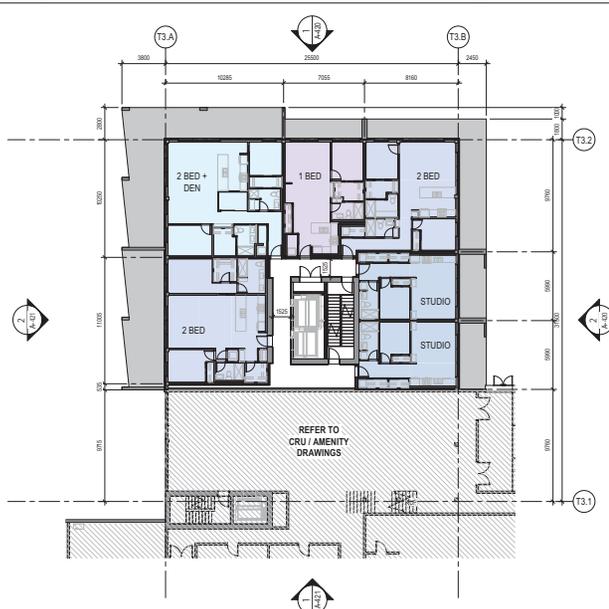
Project Number: 10388157\_2020-2019  
Original Issue: 250621

Sheet Name  
**TOWER 3 - PLAN -  
LEVEL 5-7 - TYPICAL**

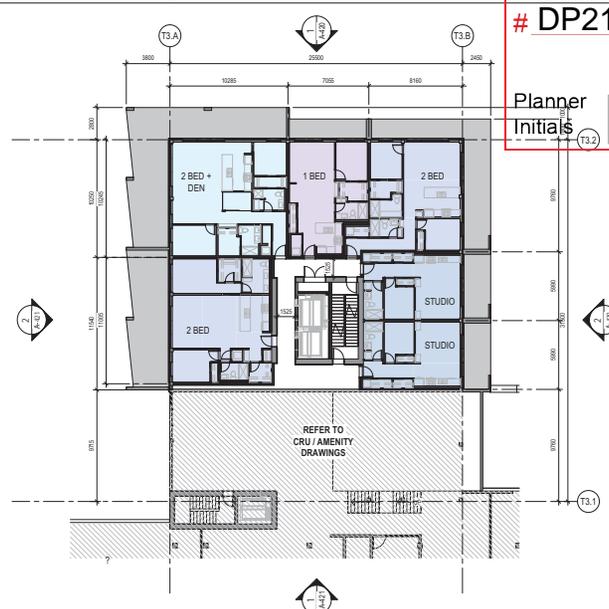
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Sheet Number  
**A-411**

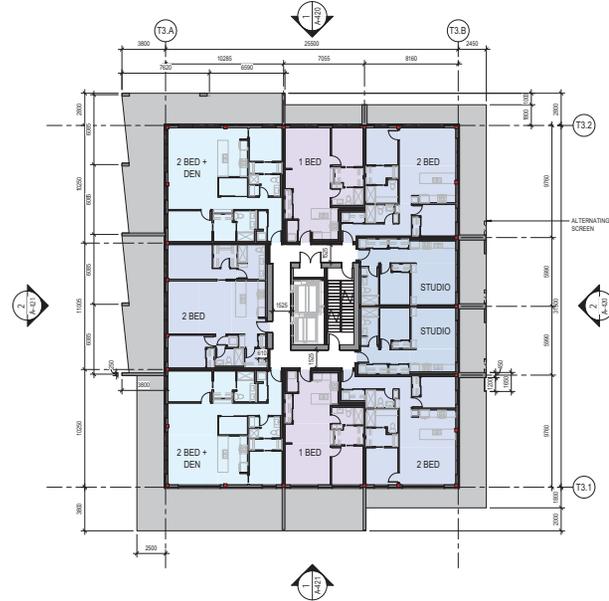
Project Status  
Schematic Design



1 TOWER 3 - LEVEL 5 - PLAN  
1:200



2 TOWER 3 - LEVEL 6 - PLAN  
1:200



3 TOWER 3 - LEVEL 7 - TYPICAL FLOOR PLAN L7-14  
1:200

6/20/2021 10:51:14 PM BM 300/1028/137\_2020-019-364-Hastings Towers\_2020/1028/137\_Hastings\_Towers\_L7\_Tower\_3\_CENTRAL.dwg

# SCHEDULE

A & B

This forms part of application

# DP21-0183

Planner Initials **AK**



Pentiction Studio  
210 Hastings Ave  
Pentiction, BC, V2A 2V6



CD24  
LAKESHORE DEVELOPMENT  
DP2



0 2 4 10

- Project Manager: Al Buckley
- Project Designer: Robert Conkik
- Project Architect: Robert Conkik
- Landscaped Architect: WSP
- Civil Engineer: Aglin Martin Consultants
- Structural Engineer: Gilmour Simpson
- Mechanical Engineer: TBD
- Electrical Engineer: TBD
- Plumbing Engineer: TBD
- Geotechnical Engineer: Geo Pacific Engineering Inc.
- Envelope Consultant: TBD
- Code Consultant: GHL Consultants Ltd.

Sheet Reviewer: RP

MARK	DATE	DESCRIPTION
1	2021-06-25	ISSUED FOR DEVELOPMENT PERMIT
2	2022-05-11	ISSUED FOR DEVELOPMENT PERMIT RESPONSE PACKAGE

Project Number: 10288157\_2020-2019  
Original Issue: 250621

Sheet Name  
**TOWER 3 - ELEVATION**

Scale  
1 : 200

Sheet Number  
**A.420**

Project Status  
Schematic Design



1 ELEVATION - NORTH  
1:200



2 ELEVATION - EAST  
1:200

6/27/2021 1:40:17 PM B:\300\10288157\_2020-019\364\Hatch\Tower\_3\2021\02088157\_Hatch\_EPR\_Tower\_3\_CENTRAL.dwg

# SCHEDULE

A & B

This forms part of application

# DP21-0183

Planner  
Initials

AK



Pentiction Studio  
210 Hastings Ave  
Pentiction, BC, V2A 2V6



CD24  
LAKESHORE DEVELOPMENT  
DP2



0 2 4 10

**Project Manager** Al Buchley  
**Project Designer** Robert Cosiak  
**Project Architect** Robert Cosiak  
**Landscape Architect** WSP  
**Civil Engineer** Aglin Martin Consultants  
**Structural Engineer** Gilmann Simpson  
**Mechanical Engineer** TBD  
**Electrical Engineer** TBD  
**Plumbing Engineer** TBD  
**Geotechnical Engineer** Geo Pacific Engineering Inc.  
**Envelope Consultant** TBD  
**Code Consultant** GHL Consultants Ltd.

**Sheet Reviewer** RP

MARK	DATE	DESCRIPTION
1	2021-06-25	ISSUED FOR DEVELOPMENT PERMIT
2	2022-05-11	ISSUED FOR DEVELOPMENT PERMIT RESPONSE PACKAGE

**Project Number** 1028157\_2020-2019  
**Original Issue** 250621

Sheet Name  
**TOWER 3 - ELEVATION**

Scale  
1 : 200  
Sheet Number

**A.421**

Project Status  
Schematic Design



1 ELEVATION - SOUTH  
1 : 200



2 ELEVATION - WEST  
1 : 200



# SCHEDULE

A & B

This forms part of application

# DP21-0183

Planner  
Initials

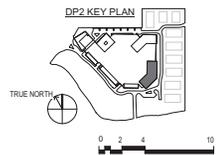
AK



Pentiction Studio  
210 Hastings Ave  
Pentiction, BC, V2A 2V6



CD24  
HIAWATHA



**Project Manager** Al Buxby  
**Project Designer** Robert Casnik  
**Project Architect** Robert Casnik  
**Landscape Architect** WSP  
**Civil Engineer** Agin Merlin Consultants  
**Structural Engineer** Gilmour Simpson  
**Mechanical Engineer** TBD  
**Electrical Engineer** TBD  
**Plumbing Engineer** TBD  
**Geotechnical Engineer** Geo Pacific Engineering Inc.  
**Envelope Consultant** TBD  
**Code Consultant** GHJ Consultants Ltd.

MARK	DATE	DESCRIPTION
1	2021-06-25	ISSUED FOR DEVELOPMENT PERMIT
2	2021-07-07	ISSUED FOR DEVELOPMENT PERMIT REV 1

Project Number 10388137\_2020-2019  
Original Issue 250621

Sheet Name  
**TOWER 6 - PLAN - LEVEL 1 & 2**

Scale  
1 : 200  
Sheet Number

**A-510**

Project Status  
Schematic Design



1 T6 - ELEVATED LEVEL 1 PLAN (EL.345.5m) - DP2  
1:200



2 T6 - LEVEL 2 PLAN - DP2  
1:200

# SCHEDULE

A & B

This forms part of application

# DP21-0183

Planner  
Initials

AK

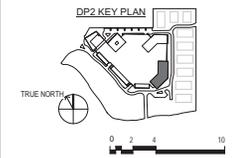


City of  
**Kelowna**  
DEVELOPMENT PLANNING

Penticon Studio  
210 Hastings Ave  
Penticon, BC, V2A 2V6



CD24  
LAKESHORE DEVELOPMENT  
DP2



**Project Manager** Al Buxby  
**Project Designer** Robert Conkik  
**Project Architect** Robert Conkik  
**Landscape Architect** WSP  
**Structural Engineer** Gilmour Simpson  
**Mechanical Engineer** TBD  
**Electrical Engineer** TBD  
**Plumbing Engineer** TBD  
**Geotechnical Engineer** Geo Pacific Engineering Inc.  
**Envelope Consultant** TBD  
**Code Consultant** GHJ Consultants Ltd.

MARK	DATE	DESCRIPTION
1	2021-06-25	ISSUED FOR DEVELOPMENT PERMIT

Project Number 10288157\_2020-2019  
Original Issue 25/06/21

Sheet Name  
**TOWER 6 - PLAN -  
LEVEL 3 & 4 - TYPICAL**

Scale  
1 : 200  
Sheet Number

**A-511**

Project Status  
Schematic Design



1 T6 - LEVEL 3 PLAN - DP2  
1 : 200

2 T6 - LEVEL 4 TYPICAL PLAN - DP2  
1 : 200

65020217-0009PM\_BM18010288157\_2020-09-30-16:44:46\Drawings\2021\0288157\_Network\_DP2\_Tower 6\_CENTRAL.dwg

# SCHEDULE

A & B

This forms part of application

# DP21-0183

Planner Initials **AK**



Penticon Studio  
210 Hastings Ave  
Kelowna, BC, V2A 2V6



CD24  
LAKESHORE DEVELOPMENT  
DP2



0 2 4 10

**Project Manager** Al Buchby  
**Project Designer** Robert Cosnik  
**Project Architect** Robert Cosnik  
**WSP**  
**Landscaped Architect** WSP  
**Civil Engineer** Aglin Martin Consultants  
**Structural Engineer** Gilmann Simpson  
**Mechanical Engineer** TBD  
**Electrical Engineer** TBD  
**Plumbing Engineer** TBD  
**Geotechnical Engineer** Geo Pacific Engineering Inc.  
**Envelope Consultant** TBD  
**Code Consultant** GHJ Consultants Ltd.

**Sheet Reviewer** RP

MARK	DATE	DESCRIPTION
1	2021-06-25	ISSUED FOR DEVELOPMENT PERMIT
2	2022-01-26	ISSUED FOR DEVELOPMENT PERMIT RESPONSE PACKAGE
3	2022-05-11	ISSUED FOR DEVELOPMENT PERMIT RESPONSE PACKAGE

Project Number 10288157\_2020-2019  
Original Issue 250621

Sheet Name  
**TOWER 6 - ELEVATION**

Scale  
1 : 200  
Sheet Number  
**A-520**

Project Status  
Schematic Design

- TO HOISTWAY 29700
- UPPER ROOF 27800
- ROOF 26500
- LEVEL 10 25100
- LEVEL 9 23700
- LEVEL 8 22400
- LEVEL 7 21300
- LEVEL 6 20000
- LEVEL 5 18700
- LEVEL 4 17300
- LEVEL 3 16000
- LEVEL 2 14800
- ELEVATED LEVEL 1 (EL 145.2m) 13000
- LEVEL 01 (EL 144.0m) 12000

1 EAST ELEVATION  
1 : 200

- TO HOISTWAY 29700
- UPPER ROOF 27800
- ROOF 26500
- LEVEL 10 25100
- LEVEL 9 23700
- LEVEL 8 22400
- LEVEL 7 21300
- LEVEL 6 20000
- LEVEL 5 18700
- LEVEL 4 17300
- LEVEL 3 16000
- LEVEL 2 14800
- ELEVATED LEVEL 1 (EL 145.2m) 13000
- LEVEL 01 (EL 144.0m) 12000

2 SOUTHWEST ELEVATION  
1 : 200

**GENERAL NOTES**

- A Mech Screening System is intended on Tower 6 & 7 Roof. Tower 3 Roof Mech Units will be located inside the roof semi-open area part of the tower design. Refer to elevations.
- More than 7 meters Clear Height is provided under each DP3 Bridges on South Road, and through the Amenity Lane under the parkade. Refer to elevations.
- The DP2 Parkade is intended to be semi-open / cold (not heated);
  - **Parkade Intakes** - Garage Doors and Openings incorporated in the parkade facade design will be used as intakes.
  - Parkade Exhaust** - Will be located on the landscape roof.



# SCHEDULE

A & B

This forms part of application

# DP21-0183

Planner Initials **AK**

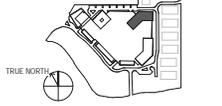


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210 Hastings Ave  
Pentiction, BC, V2A 2V6



CD24  
LAKESHORE DEVELOPMENT  
DP2

DP2 KEY PLAN



TRUE NORTH

0 3 6 15

- Project Manager: Al Buxby
- Project Designer: Robert Conrck
- Project Architect: Robert Conrck
- Landscape Architect: WSP
- Civil Engineer: Agin Martin Consultants
- Structural Engineer: Gilmann Simpson
- Mechanical Engineer: TBD
- Electrical Engineer: TBD
- Plumbing Engineer: TBD
- Geotechnical Engineer: Geo Pacific Engineering Inc.
- Envelope Consultant: TBD
- Code Consultant: GHJ Consultants Ltd.

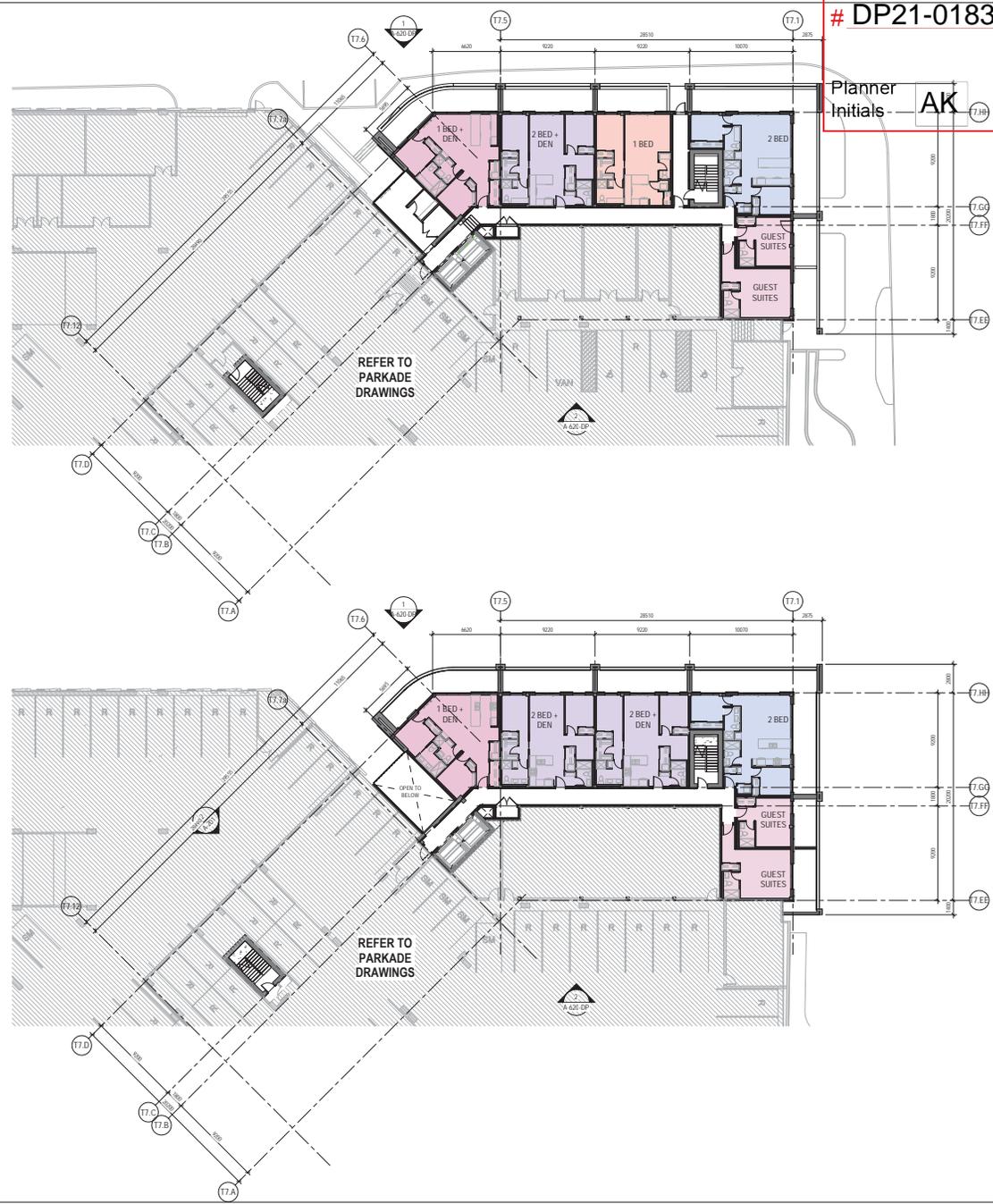
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MARK	DATE	DESCRIPTION
1	2021-06-25	ISSUED FOR DEVELOPMENT PERMIT
2	2022-01-26	ISSUED FOR DEVELOPMENT PERMIT RESPONSE PACKAGE

Project Number: 10348131\_2020-2019  
Original Issue: 250621

Sheet Name  
**TOWER 7 - PLAN -  
LEVEL 01 & 02**

Scale: 1 : 200  
Sheet Number: **A-610**  
Project Status: Schematic Design



1 T7 - LEVEL 1 - DP2 (EL.345.2m)  
1 : 200

2 T7 - LEVEL 2 - DP2  
1 : 200

120/021 10.38.04.04 - BFA/010026137\_2020/019\_BCA/Hamish Coates\_2020/10/08/171\_Amends\_DP2\_Tower 7\_CENTRAL/04

# SCHEDULE

A & B

This forms part of application

# DP21-0183



City of  
**Kelowna**  
DEVELOPMENT PLANNING

Planner  
Initials

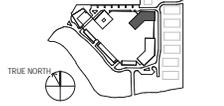
AK

Penticon Studio  
210 Hastings Ave  
Penticton, BC, V2A 2V6



CD24  
LAKESHORE DEVELOPMENT  
DP2

DP2 KEY PLAN



TRUE NORTH

0 3 6 15

**Project Manager** Al Buxby  
**Project Designer** Robert Conak  
**Project Architect** Robert Conak  
**Landscape Architect** WSP  
**Civil Engineer** Agin Martin Consultants  
**Structural Engineer** Gilmour Simpson  
**Mechanical Engineer** TBD  
**Electrical Engineer** TBD  
**Plumbing Engineer** TBD  
**Geotechnical Engineer** Geo Pacific Engineering Inc.  
**Envelope Consultant** TBD  
**Code Consultant** GHJ Consultants Ltd.

**Sheet Reviewer** | Checker

MARK	DATE	DESCRIPTION
1	2021-06-25	ISSUED FOR DEVELOPMENT PERMIT
2	2022-01-26	ISSUED FOR DEVELOPMENT PERMIT RESPONSE PACKAGE

Project Number 10348131\_2020-2019  
Original Issue 250621

Sheet Name  
**TOWER 7 - PLAN -  
LEVEL 03 & 04**

Scale  
1:200  
Sheet Number

**A-611**

Project Status  
Schematic Design



1 T7 - LEVEL 3 - DP2  
1:200

2 T7 - LEVEL 4 - DP2  
1:200

# SCHEDULE

A & B

This forms part of application

# DP21-0183

Planner  
Initials

AK



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210 Hastings Ave  
Kelowna, BC, V2A 2V6



CD24  
LAKESHORE DEVELOPMENT  
DP2



0 2 4 10

**Project Manager** Al Bunley  
**Project Designer** Robert Cieslik  
**Project Architect** Robert Cieslik  
**Landscape Architect** WSP  
**Civil Engineer** Agin Merlin Consultants  
**Structural Engineer** Gilmour Simpson  
**Mechanical Engineer** TBD  
**Electrical Engineer** TBD  
**Plumbing Engineer** TBD  
**Geotechnical Engineer** Geo Pacific Engineering Inc.  
**Envelope Consultant** TBD  
**Code Consultant** GIL Consultants Ltd.

**Sheet Reviewer** RP

MARK	DATE	DESCRIPTION
1	2021-06-25	ISSUED FOR DEVELOPMENT PERMIT
2	2022-01-26	ISSUED FOR DEVELOPMENT PERMIT RESPONSE PACKAGE
3	2022-05-11	ISSUED FOR DEVELOPMENT PERMIT RESPONSE PACKAGE

**Project Number** 10288151\_2020-2019  
**Original Issue** 250621

**Sheet Name**  
TOWER 7 - ELEVATION

**Scale**  
1 : 200  
**Sheet Number**

**A-620**

**Project Status**  
Schematic Design



1 NORTH ELEVATION  
1 : 200



2 SOUTHWEST ELEVATION  
1 : 200

**GENERAL NOTES**

- A Mech Screening System is intended on Tower 6 & 7 Roof. Tower 3 Roof Mech Units will be located inside the roof semi-open area part of the tower design. Refer to elevations.
- More than 7 meters Clear Height is provided under each DP3 Bridges on South Road, and through the Amenity Lane under the parkade. Refer to elevations.
- The DP2 Parkade is intended to be semi-open / cold (not heated);
  - **Parkade Intakes** - Garage Doors and Openings incorporated in the parkade facade design will be used as intakes.
  - Parkade Exhaust** - Will be located on the landscape roof.

# SCHEDULE

A & B

This forms part of application

# DP21-0183

Planner  
Initials

AK



\*Architectural concept renderings - number of building stories has been reduced from 18 to 17 stories (scale, proportion and height are unchanged)



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210 Hastings Ave  
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CD24  
LAKESHORE DEVELOPMENT  
DP2

Project Manager	Al Buchby
Project Designer	Robert Cosnik
Project Architect	Robert Cosnik
Landscape Architect	WSP
Civil Engineer	Aplin Martin Consultants
Structural Engineer	Cliffman Simpson
Mechanical Engineer	TBD
Electrical Engineer	TBD
Plumbing Engineer	TBD
Geotechnical Engineer	Geo Pacific Engineering Inc.
Envelope Consultant	TBD
Code Consultant	GHL Consultants Ltd.

Sheet Reviewer | RP

MARK	DATE	DESCRIPTION
1	2021-06-25	ISSUED FOR DEVELOPMENT PERMIT

Project Number	10268137_2020-2019
Original Issue	2506/21

Sheet Name  
**TOWNHOMES -  
PERSPECTIVE**

Scale  
1 : 50  
Sheet Number  
**A-700**

Project Status  
Schematic Design

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# SCHEDULE

A & B

This forms part of application

# DP21-0183

Planner  
Initials

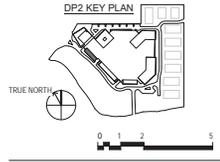
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Pentlcton Studio  
210 Hastings Ave  
Pentlcton, BC, V2A 2V6



CD24  
LAKESHORE DEVELOPMENT  
DP2



- |                       |                              |
|-----------------------|------------------------------|
| Project Manager       | Al Buchby                    |
| Project Designer      | Robert Cosiak                |
| Project Architect     | Robert Cosiak                |
| Landscape Architect   | WSP                          |
| Civil Engineer        | Aplin Martin Consultants     |
| Structural Engineer   | Cliffman Simpson             |
| Mechanical Engineer   | TBD                          |
| Electrical Engineer   | TBD                          |
| Plumbing Engineer     | TBD                          |
| Geotechnical Engineer | Geo Pacific Engineering Inc. |
| Envelope Consultant   | TBD                          |
| Code Consultant       | GHL Consultants Ltd.         |

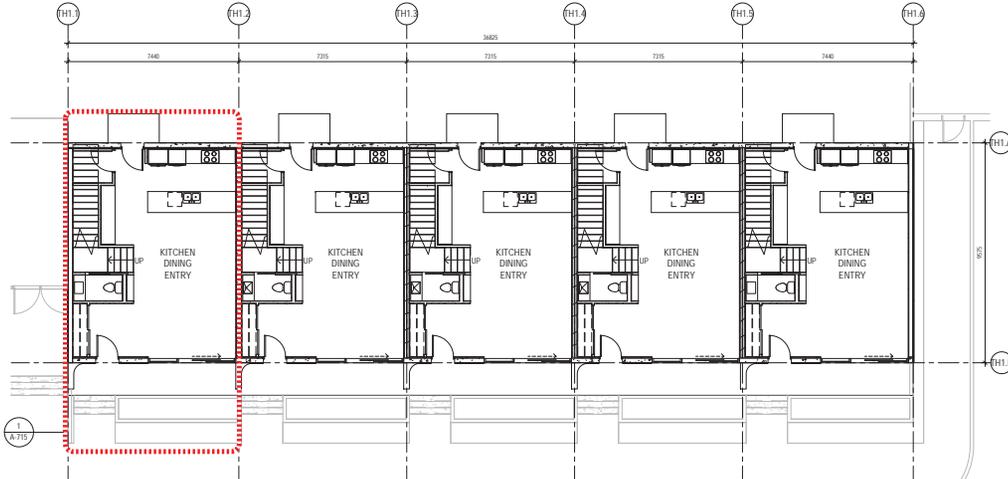
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Project Number 10248137\_2020-2019  
Original Issue 250621

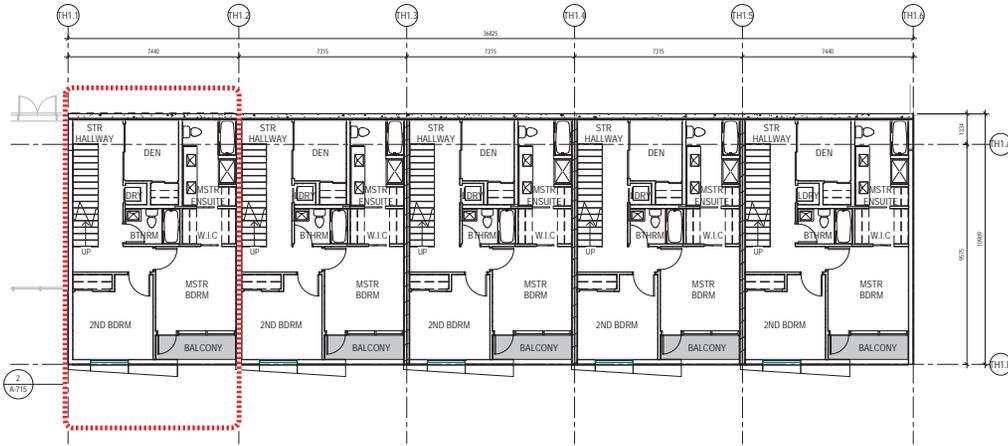
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**TOWNHOME 1 - PLANS**

Scale  
1 : 100  
Sheet Number  
**A-711**

Project Status  
Schematic Design



1 FLOOR PLAN - LEVEL 1  
1 : 100



2 FLOOR PLAN - LEVEL 2  
1 : 100

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# SCHEDULE

## A & B

This forms part of application

# DP21-0183

Planner  
Initials

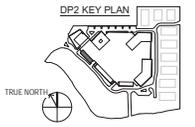
AK



Penlicton Studio  
210 Hastings Ave  
Penlicton, BC, V2A 2V6



CD24  
LAKESHORE DEVELOPMENT  
DP2



Project Manager	Al Buchby
Project Designer	Robert Cosnik
Project Architect	Robert Cosnik
Landscape Architect	WSP
Civil Engineer	Aplin Martin Consultants
Structural Engineer	Cliffman Simpson
Mechanical Engineer	TBD
Plumbing Engineer	TBD
Electrical Engineer	TBD
Geotechnical Engineer	Geo Pacific Engineering Inc.
Envelope Consultant	TBD
Code Consultant	GHL Consultants Ltd.

Sheet Reviewer | NP

MARK	DATE	DESCRIPTION
1	2021-06-25	ISSUED FOR DEVELOPMENT PERMIT

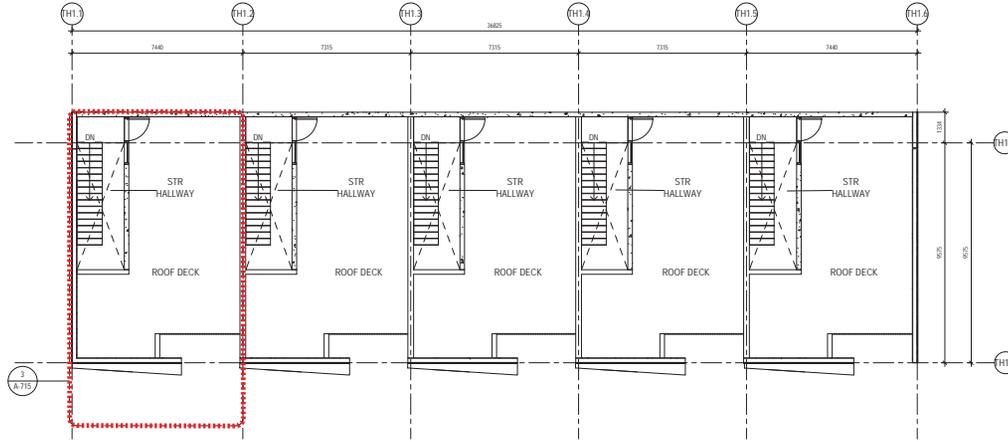
Project Number 10248137\_2020-2019  
Original Issue 250621

Sheet Name  
**TOWNHOME 1 - PLANS**

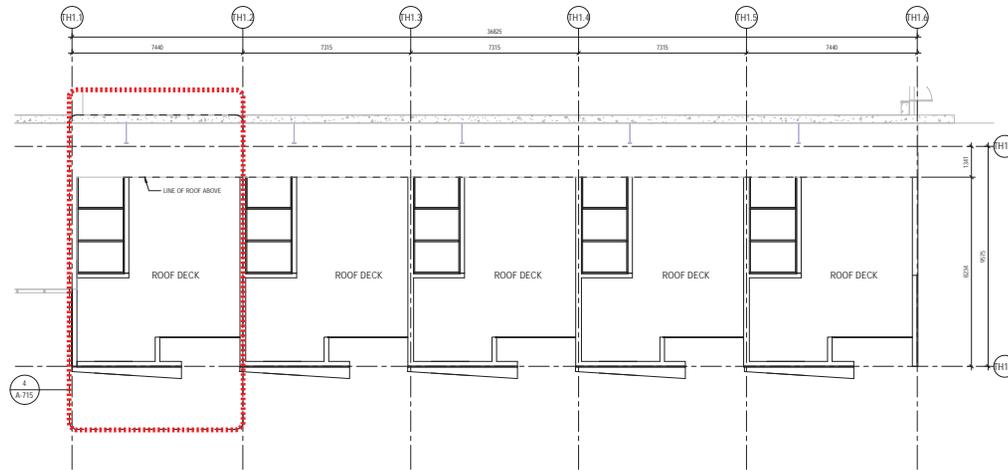
Scale  
1 : 100  
Sheet Number

### A-712

Project Status  
Schematic Design



1 FLOOR PLAN - LEVEL 3  
1 : 100



2 ROOF PLAN - LEVEL 4  
1 : 100



# SCHEDULE

A & B

This forms part of application

# DP21-0183

Planner  
Initials

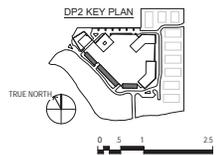
AK



Pentiction Studio  
210 Hastings Ave  
Pentiction, BC, V2A 2V6



CD24  
LAKESHORE DEVELOPMENT  
DP2



**Project Manager** Al Buchby  
**Project Designer** Robert Cosiak  
**Project Architect** Robert Cosiak  
**Landscape Architect** WSP  
**Civil Engineer** Apin Martin Consultants  
**Structural Engineer** Claiton Simpson  
**Mechanical Engineer** TBD  
**Electrical Engineer** TBD  
**Plumbing Engineer** TBD  
**Geotechnical Engineer** Geo Pacific Engineering Inc.  
**Envelope Consultant** TBD  
**Code Consultant** GHJ Consultants Ltd.

**Sheet Reviewer** NP

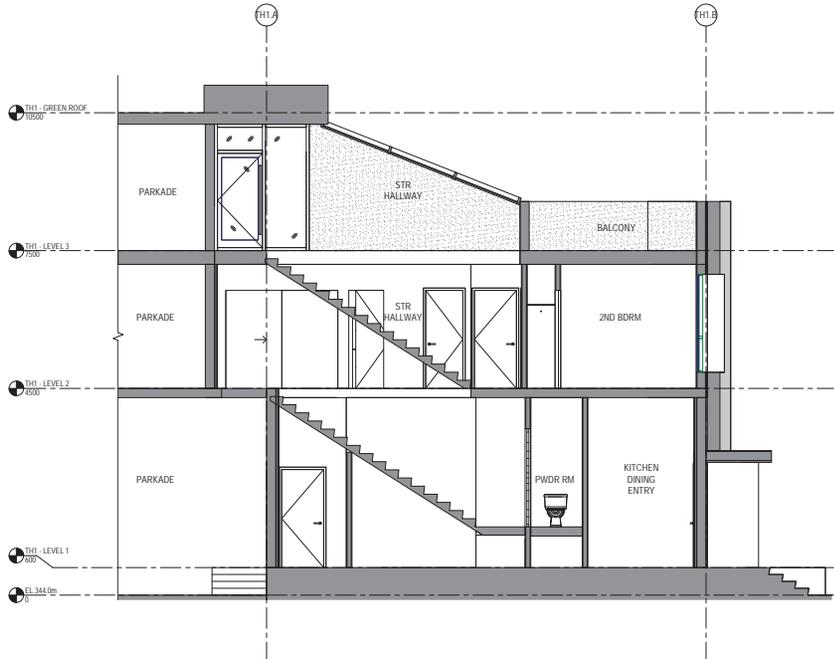
MARK	DATE	DESCRIPTION
1	2021-06-25	ISSUED FOR DEVELOPMENT PERMIT

**Project Number** 10268137\_2020-2019  
**Original Issue** 250621

**Sheet Name**  
TOWNHOMES -  
ELEVATION & SECTION

**Scale**  
1 : 50  
**Sheet Number**  
**A-730**

**Project Status**  
Schematic Design



1 TH UNIT - BUILDING SECTION - NORTH/SOUTH  
1:50



2 TH UNIT - ELEVATION - SOUTH - TH1  
1:50

# SCHEDULE

A & B

This forms part of application

# DP21-0183

Planner  
Initials

AK



HDR Pentacore Studio  
210 Hastings Ave  
Penticton, BC, V2A 2V6



CD24  
LAKESHORE  
DEVELOPMENT - DP2

Project Manager: Al Buxby  
Project Designer: Robert Cesnik  
Project Architect: Robert Cesnik  
Landscape Architect: WSP  
Civil Engineer: Agén Merin Consultants  
Structural Engineer: Gilmour Simpson  
Mechanical Engineer: TBD  
Electrical Engineer: TBD  
Plumbing Engineer: TBD  
Geotechnical Engineer: Geo Pacific Engineering Inc.  
Envelope Consultant: TBD  
Code Consultant: GH Consultants Ltd.

Sheet Reviewer: | Checker

MARK	DATE	DESCRIPTION
1	2021-06-25	ISSUED FOR DEVELOPMENT PERMIT
2	2021-07-07	ISSUED FOR DEVELOPMENT PERMIT REV 1

Project Number: 10288137  
Original Issue: 250621

Sheet Name  
**PERSPECTIVE**

Scale

Sheet Number

**A-800**

Project Status  
SCHEMATIC DESIGN

\*Architectural concept renderings - number of building stories has been reduced from 18 to 17 stories (scale, proportion and height are unchanged)



\*footprints indicative of future DP3 building placement



\*footprints indicative of future DP3 building placement



03



\*shadow-massing indicative of future DP3 building placement

01-WEST AERIAL  
02-SOUTH AERIAL  
03-SOUTH AERIAL  
04-NORTH AERIAL

# SCHEDULE

A & B

This forms part of application

# DP21-0183

Planner  
Initials

AK



HDR Pentiction Studio  
210 Hastings Ave  
Pentiction, BC, V2A 2V6



CD24  
LAKESHORE DEVELOPMENT  
DP2

Project Manager: Al Bushby  
Project Designer: Robert Cesnik  
Project Architect: Robert Cesnik  
Landscape Architect: WSP  
Civil Engineer: Agin Merin Consultants  
Structural Engineer: Gilmor Simpson  
Mechanical Engineer: TBD  
Electrical Engineer: TBD  
Plumbing Engineer: TBD  
Geotechnical Engineer: Geo Pacific Engineering Inc.  
Envelope Consultant: TBD  
Code Consultant: GHJ Consultants Ltd.

Sheet Reviewer: RP

MARK	DATE	DESCRIPTION
1	2021-06-25	ISSUED FOR DEVELOPMENT PERMIT

Project Number: 10288137  
Original Issue: 250621

Sheet Name  
**PERSPECTIVE**

Scale

Sheet Number

**A-801**

Project Status  
SCHEMATIC DESIGN

\*Architectural concept renderings - number of building stories has been reduced from 18 to 17 stories (scale, proportion and height are unchanged)



05-SOUTH VIEW FROM LAKESHORE RD.  
06-CRU STREET FRONTAGE  
07-DEVELOPMENT ENTRANCE  
08-WEST VIEW FROM LAKESHORE RD.



# SCHEDULE

A & B

This forms part of application

# DP21-0183



City of  
**Kelowna**  
DEVELOPMENT PLANNING

Planner Initials **AK**

\*Architectural concept renderings - number of building stories has been reduced from 18 to 17 stories (scale, proportion and height are unchanged)



13-SOUTH ROAD TOWNHOMES  
14-SOUTH ROAD TOWNHOMES  
15-SOUTH ROAD TOWNHOMES  
16-BIRD PLACE ENTRY VIEW

HDR Pentiction Studio  
210 Hastings Ave  
Pentiction, BC, V2A 2V6



CD24  
LAKESHORE DEVELOPMENT  
DP2

**Project Manager** Al Buxby  
**Project Designer** Robert Cesnik  
**Project Architect** Robert Cesnik  
**Landscape Architect** WSP  
**Civil Engineer** Agén Merin Consultants  
**Structural Engineer** Gilmour Simpson  
**Mechanical Engineer** TBD  
**Electrical Engineer** TBD  
**Plumbing Engineer** TBD  
**Geotechnical Engineer** Geo Pacific Engineering Inc.  
**Envelope Consultant** TBD  
**Code Consultant** GHJ Consultants Ltd.

Sheet Reviewer | RP

MARK	DATE	DESCRIPTION
1	2021-06-25	ISSUED FOR DEVELOPMENT PERMIT

Project Number 10288137  
Original Issue 250621

Sheet Name  
**PERSPECTIVE**

Scale  
Sheet Number  
**A-803**

Project Status  
SCHEMATIC DESIGN

# SCHEDULE

A & B

This forms part of application

# DP21-0183

Planner  
Initials

AK



City of  
**Kelowna**  
DEVELOPMENT PLANNING

HDR Penticton Studio  
210 Hastings Ave  
Penticton, BC, V2A 2V6



CD24  
LAKESHORE DEVELOPMENT  
DP2

**Project Manager** Al Buxby  
**Project Designer** Robert Cesnik  
**Project Architect** Robert Cesnik  
**Landscape Architect** WSP  
**Civil Engineer** Agén Merin Consultants  
**Structural Engineer** Glenmar Simpson  
**Mechanical Engineer** TBD  
**Electrical Engineer** TBD  
**Plumbing Engineer** TBD  
**Geotechnical Engineer** Geo Pacific Engineering Inc.  
**Envelope Consultant** TBD  
**Code Consultant** GHJ Consultants Ltd.

MARK	DATE	DESCRIPTION
1	2021-06-25	ISSUED FOR DEVELOPMENT PERMIT

Project Number 10288137  
Original Issue 250621

Sheet Name  
**PERSPECTIVE**

Scale  
Sheet Number  
**A-804**

Project Status  
SCHEMATIC DESIGN

\*Architectural concept renderings - number of building stories has been reduced from 18 to 17 stories (scale, proportion and height are unchanged)



17



18



19



20

17-TOWER 6  
18-TOWER 6  
19-AERIAL - TOWER 6+7  
20-AERIAL - TOWER 6+7

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# SCHEDULE

A & B

This forms part of application

# DP21-0183

Planner  
Initials

AK



HDR Penticton Studio  
210 Hastings Ave  
Penticton, BC, V2A 2V6



CD24  
LAKESHORE DEVELOPMENT  
DP2

Project Manager: Al Buxby  
Project Designer: Robert Cesnik  
Project Architect: Robert Cesnik  
Landscape Architect: WSP  
Civil Engineer: Agén Merin Consultants  
Structural Engineer: Gilmour Simpson  
Mechanical Engineer: TBD  
Electrical Engineer: TBD  
Plumbing Engineer: TBD  
Geotechnical Engineer: Geo Pacific Engineering Inc.  
Envelope Consultant: TBD  
Code Consultant: GHJ Consultants Ltd.

Sheet Reviewer: RP

MARK	DATE	DESCRIPTION
1	2021-06-25	ISSUED FOR DEVELOPMENT PERMIT

Project Number: 10288137  
Original Issue: 250621

Sheet Name  
**PERSPECTIVE**

Scale

Sheet Number

**A-806**

Project Status  
SCHEMATIC DESIGN

\*Architectural concept renderings - number of building stories has been reduced from 18 to 17 stories (scale, proportion and height are unchanged)



21-LANDSCAPE ROOF AMENITY  
22-VIEW OF AMENITY PAVILION FROM CENTRAL LAWN  
23-CROSS-LAMINATED TIMBER PAVILION  
24-TOWER 3 FROM LANDSCAPE ROOF



# SCHEDULE

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# DP21-0183

Planner  
Initials

AK



City of  
**Kelowna**  
DEVELOPMENT PLANNING

HDR Penticton Studio  
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CD24  
LAKESHORE DEVELOPMENT  
DP2

Project Manager	Al Bushby
Project Designer	Robert Cesnik
Project Architect	Robert Cesnik
Landscape Architect	WSP
Civil Engineer	Agén Merin Consultants
Structural Engineer	Graham Simpson
Mechanical Engineer	TBD
Electrical Engineer	TBD
Plumbing Engineer	TBD
Geotechnical Engineer	Geo Pacific Engineering Inc.
Envelope Consultant	TBD
Code Consultant	GHI Consultants Ltd.

Sheet Reviewer | RP

MARK	DATE	DESCRIPTION
1	2021-06-25	ISSUED FOR DEVELOPMENT PERMIT

Project Number	10288157
Original Issue	250621

Sheet Name  
**PERSPECTIVE**

Scale  
Sheet Number  
**A-807**

Project Status  
SCHEMATIC DESIGN

\*Architectural concept renderings - number of building stories has been reduced from 18 to 17 stories (scale, proportion and height are unchanged)



29



30

29-VIEW OF TOWER 3+7 FROM LANDSCAPE ROOF  
30-AERIAL FROM NORTH

# SCHEDULE

A & B

This forms part of application

# DP21-0183

Planner Initials **AK**

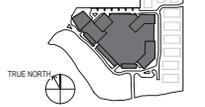


HDR Pentiction Studio  
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Pentiction, BC, V2A 2V6



CD24  
LAKESHORE DEVELOPMENT  
DP2

DP2 KEY PLAN



Project Manager	Al Buxby
Project Designer	Robert Cesnik
Project Architect	Robert Cesnik
Landscape Architect	WSP
Civil Engineer	Agin Merin Consultants
Structural Engineer	Gilman Simpson
Mechanical Engineer	TSD
Electrical Engineer	TSD
Plumbing Engineer	TSD
Geotechnical Engineer	Geo Pacific Engineering Inc.
Envelope Consultant	TSD
Code Consultant	GHI Consultants Ltd.

Sheet Reviewer | RP

MARK	DATE	DESCRIPTION
1	2021-06-25	ISSUED FOR DEVELOPMENT PERMIT

Project Number	10288137
Original Issue	25/06/21

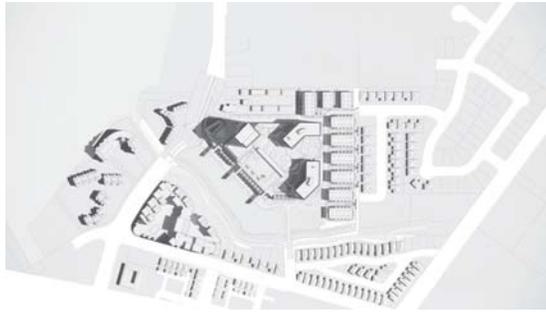
Sheet Name  
**SHADOW ANALYSIS**

Scale

Sheet Number

**A-810**

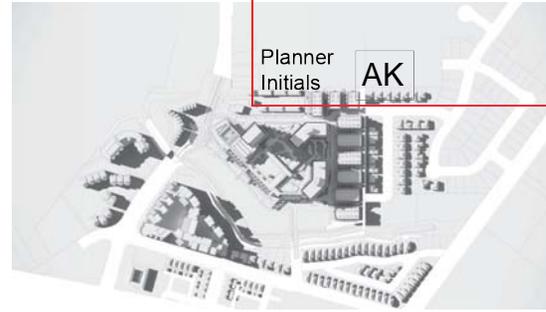
Project Status  
SCHEMATIC DESIGN



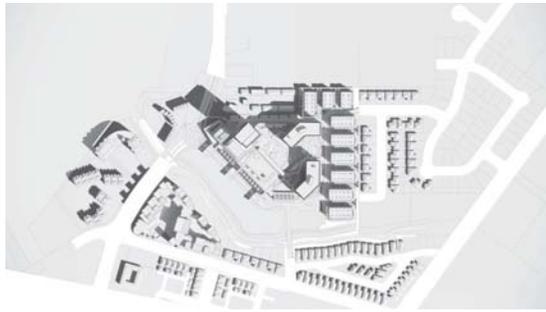
1 SUMMER SHADOWS - AM  
N.T.S.



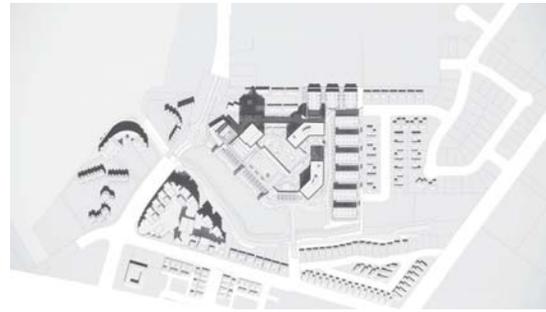
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N.T.S.



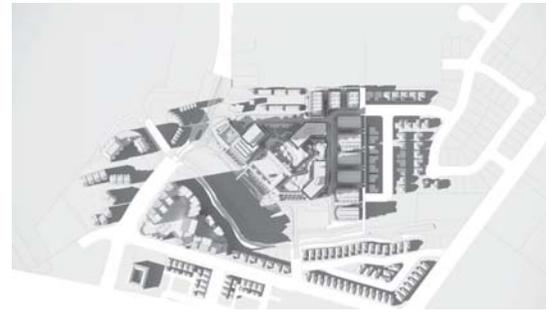
3 SUMMER SHADOWS - PM  
N.T.S.



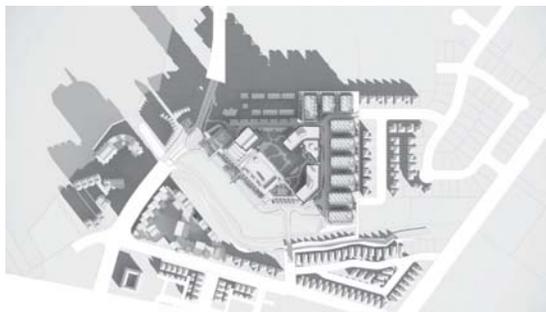
4 EQUINOX SHADOWS - AM  
N.T.S.



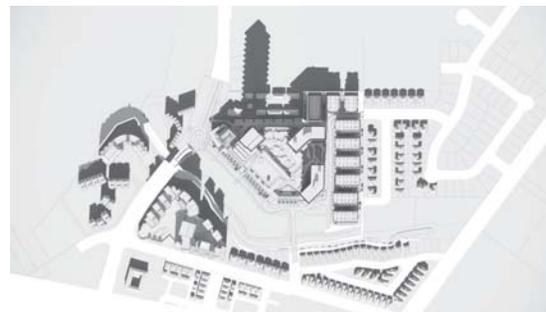
5 EQUINOX SHADOWS - NOON  
N.T.S.



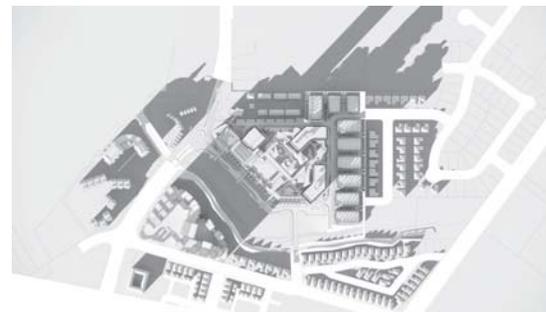
6 EQUINOX SHADOWS - PM  
N.T.S.



7 WINTER SHADOWS - AM  
N.T.S.



8 WINTER SHADOWS - NOON  
N.T.S.



9 WINTER SHADOWS - PM  
N.T.S.

6/20/2021 16:08:09 PM BIM360://10288137\_2020/19\_SCH/Shadow/Views\_2020/10288137\_Shadow\_DP2\_Planetalk\_CONTROL.dwg

# SCHEDULE

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This forms part of application

# DP21-0183

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Initials

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HDR Pentacore Studio  
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Penticton, BC, V2A 2V6



CD24  
LAKESHORE DEVELOPMENT  
DP2

**Project Manager** Al Bushby  
**Project Designer** Robert Cesnik  
**Project Architect** Robert Cesnik  
**Landscape Architect** WSP  
**Civil Engineer** Agén Merin Consultants  
**Structural Engineer** Gilmor Simpson  
**Mechanical Engineer** TBD  
**Electrical Engineer** TBD  
**Plumbing Engineer** TBD  
**Geotechnical Engineer** Geo Pacific Engineering Inc.  
**Envelope Consultant** TBD  
**Code Consultant** GH, Consultants Ltd.

**Sheet Reviewer** RP

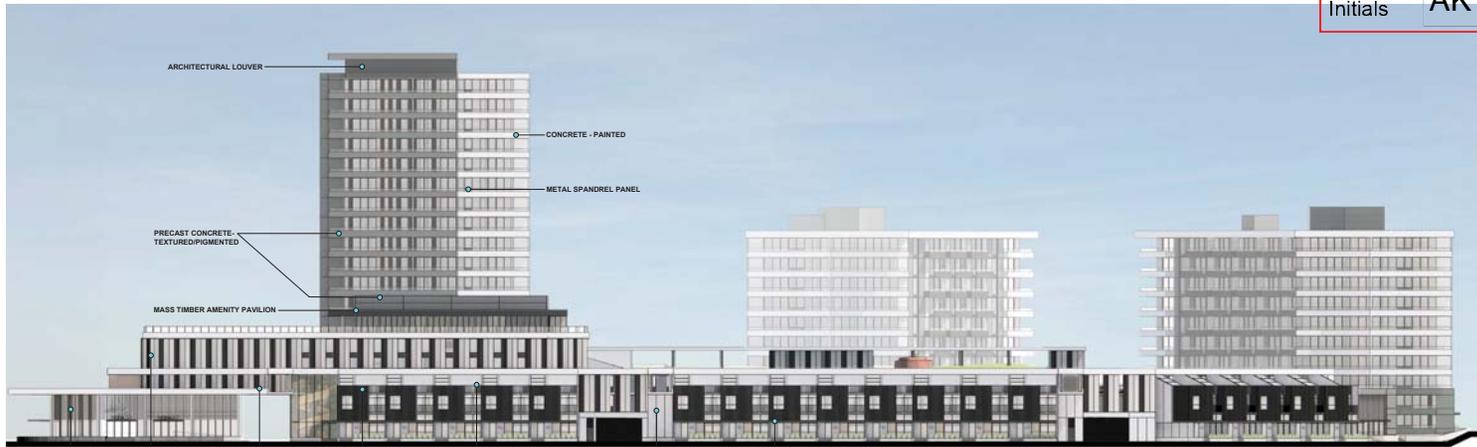
MARK	DATE	DESCRIPTION
1	2021-06-25	ISSUED FOR DEVELOPMENT PERMIT

**Project Number** 10288137  
**Original Issue** 25/06/21

**Sheet Name**  
MATERIAL BOARD

**Scale**  
**Sheet Number**  
A-811

**Project Status**  
SCHEMATIC DESIGN



TIMBER BATTENS  
PRECAST CONCRETE, TEXTURED/PIGMENTED  
CONCRETE - PAINTED  
VERTICAL METAL PANEL  
POWDERCOATED STEEL  
ARCHITECTURAL CONCRETE  
CROSS-LAMINATED TIMBER (CLT) ENTRY CANOPY, TYP.



# SCHEDULE C

This forms part of application  
# DP21-0183



City of  
**Kelowna**  
DEVELOPMENT PLANNING

Planner  
Initials ak

## DRAWING LIST

L01	COVER & DRAWING LIST
L02	LANDSCAPE MASTERPLAN
L03	ENTRY AREA ENLARGEMENT
L04	TOWER 3 DROP OFF ENLARGEMENT
L05	EAST ROAD ENLARGEMENT
L06	SOUTH ROAD ENLARGEMENT
L07	UPPER PODIUM SOUTH GARDEN ENLARGEMENT
L08	UPPER PODIUM NORTH GARDEN ENLARGEMENT
L09	LOWER PODIUM GARDEN ENLARGEMENT
L10	POOL AREA ENLARGEMENT
L11	TREES PLANTING PALETTE AND IMAGERY
L12	SHRUBS PLANTING PALETTE AND IMAGERY
L13	PERENNIALS PLANTING PALETTE AND IMAGERY
L14	CHARACTER IMAGERY
L15	HYDROZONE PLAN

# LAKESHORE DEVELOPMENT LANDSCAPE







# SCHEDULE

C

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Initials **ak**



- 1 BREEZEWAY ENTRY
- 2 PARKADE ENTRY
- 3 FEATURE FOUNTAIN
- 4 SPECIMEN JAPANESE MAPLE AT ENTRY
- 5 100mm X 400mm VEHICULAR PAVERS BLENDED COLORS
- 6 BANDED CONCRETE PAVING WITH DIFFERENTIAL FINISHES
- 7 BIKE RACKS
- 8 PRECAST CONCRETE LINEAR ELEMENTS
- 9 VARYING HEIGHTS EVERGREEN BOXWOOD HEDGES AROUND BUILDING FOUNDATION
- 10 MIXED, LAYERED TREE PLANTING AND LINEAR ORNAMENTAL LOW PLANTING
- 11 NEW TALL CEDAR HEDGE ALONG NORTH BOUNDARY



NO.	DATE	ISSUED FOR	REVISION
01	2021-06-25	ISSUED FOR I/P	
02	2021-06-27	PROJECT DRAWING	
03	2021-06-28	REGION DRAWING	
04	2021-06-28	REGION DRAWING	



10-181 DICKSON AVE. KELOWNA, B.C. V1Y 8B1

PROJECT NAME	
SCALE	
PROJECT NO.	
DRAWING TITLE	
DRAWING ISSUE	

PROJECT: Hiawatha Lands Lakeshore Road  
KELOWNA, B.C., CANADA

DRAWING TITLE: TOWER 3 DROP OFF

PROJECT NO.	18M-01719-01	SCALE	1:200
PLANT DATE	2021-06-25	DRAWN	AP
REVIEWED	AS	REVISION	

DRAWING NO. **L04**

# SCHEDULE C

This forms part of application  
# DP21-0183

Planner Initials **ak**



- 1 PARKADE AND PODIUM ACCESS
- 2 RAISED PLANTERS WITH EVERGREEN HEDGE AT GROUND FLOOR PATIOS
- 3 ZELKOVA SERRATA STREET TREES
- 4 FLUSH CURB ROAD CONDITION
- 5 100mm X 400mm VEHICULAR PAVERS BLENDED COLORS
- 6 TERRACED CONCRETE PLANTERS WITH RIBBED FORM LINER FINISH
- 7 MIXED SHRUB, GRASS AND PERENNIAL UNDERSTORY
- 8 NEW TALL CEDAR HEDGE ALONG NORTH BOUNDARY
- 9 BIKE RACKS
- 10 CANTILEVERED PODIUM OVERLOOK
- 11 SEATING NODE
- 12 PRECAST LINEAR CONCRETE ELEMENTS
- 13 MIXED SHRUB, GRASS AND PERENNIAL UNDERSTORY



NO.	DATE	ISSUED FOR	REVISION
01	2021-06-25	ISSUED FOR I/P	
02	2021-06-27	PROJECT DRAWING	
03	2021-06-27	REVISION: SHARING ISSUE	
CONSULTANT			



10-101 DICKSON AVE. KELOWNA, B.C. V1Y 0B1

PROJECT

Hiawatha Lands Lakeshore Road  
KELOWNA, B.C., CANADA

DRAWING TITLE  
EAST ROAD ENLARGEMENT

DRAWING ISSUE

PROJECT NO.	PLOT DATE	DRAWN	AP
19M-01719-01	2021-06-25		
DRAWING NO.	SCALE	REVIEWED	REVISION
L05	1:400	AS	



# SCHEDULE

C

This forms part of application  
# DP21-0183



City of  
**Kelowna**  
DEVELOPMENT PLANNING



NO.	DATE	ISSUED FOR	REVISION
01	2021-06-25	PROPOSED FOR DP	
02	2021-06-27	PROCESS DRAWING	
03	2021-06-28	REVISION DRAWING	
04	2021-06-28	REVISION DRAWING	



70-101 DICKSON AVE. KELOWNA, B.C. V1Y 0B1

PROJECT NAME	
SCALE	
DATE	
PROJECT NO.	
DRAWING TITLE	
DRAWING ISSUE	

PROJECT  
**Hiawatha Lands Lakeshore Road**  
KELOWNA, B.C., CANADA

DRAWING TITLE  
**SOUTH GARDEN ENLARGEMENT**

PROJECT NO.	19M-01719-01	PLOT DATE	2021-06-25	DRAWN	AP
DRAWING NO.	L07	SCALE	1:200	REVIEWED	AS
				REVISION	



- 1 AMMENITY PAVILION
- 2 FEATURE SCULPTURE
- 3 ARTICULATED TIMBER LOUNGERS
- 4 FLEX LAWN SPACE
- 5 FEATURE STAIRCASE
- 6 CONCRETE PAVING
- 7 VIEWING TERRACE
- 8 ORNAMENTAL GRASSLAND PLANTING
- 9 FEATURE SCOTS PINE
- 10 RAISED CIRCULAR PLANTER WITH TREES AND ACCENT PLANTING
- 11 LEVEL 3 ACCESS STAIRCASE
- 12 PARKADE STAIRCASE AND ELEVATOR
- 13 TERRACED CONCRETE WALLS WITH RIBBED FORMLINER FINISH
- 14 OUTDOOR KITCHEN AND DINING AREA
- 15 COVERED LOUNGE AREA



# SCHEDULE C

This forms part of application  
# DP21-0183



City of  
**Kelowna**  
DEVELOPMENT PLANNING

Planner  
Initials **ak**

- 1 AMMENITY PAVILION
- 2 MOUNDED LAWN AREAS
- 3 PLAZA SPACE WITH OUTDOOR OFFICE TABLES
- 4 LONG LINEAR FEATURE BENCHES
- 5 UNIT PAVERS
- 6 RAISED CIRCULAR PLANTER WITH TREES AND ACCENT PLANTING
- 7 OUTDOOR TABLE TENNIS AREA
- 8 SUNSET TERRACE AREA
- 9 MIXED AND LAYERED PODIUM "FOREST AREA"
- 10 TOWER 6 ENTRY



NO.	DATE	ISSUED FOR	BY
1	2021-06-25	FOR I/P	AK
2	2021-06-27	FOR I/P	AK
3	2021-06-27	FOR I/P	AK



PROJECT	Hiawatha Lands Lakeshore Road
LOCATION	KELOWNA, B.C., CANADA
DRAWING TITLE	UPPER PODIUM NORTH GARDEN ENLARGEMENT
DRAWING ISSUE	

PROJECT NO.	18M-01719-01	PLANT DATE	2021 06 25	DRAWN	AP
SCALE	1 : 250	REVIEWED	AS	REVISION	
DRAWING NO.	L08				















**ATTACHMENT B**

This forms part of application  
# DP21-0183



# FORM & CHARACTER – DEVELOPMENT PERMIT GUIDELINES

**Chapter 2 - The Design Foundations:** apply to all projects and provide the overarching principles for supporting creativity, innovation and design excellence in Kelowna.

- Facilitate Active Mobility
- Use Placemaking to Strengthen Neighbourhood Identity
- Create Lively and Attractive Streets & Public Spaces
- Design Buildings to the Human Scale
- Strive for Design Excellence

**The General Residential and Mixed Use Guidelines:** provide the key guidelines that all residential and mixed use projects should strive to achieve to support the Design Foundations.

- The General Guidelines are supplement by typology-specific guidelines (e.g., Townhouses & Infill on page 18-19, High-Rise Residential and Mixed-Use on page 18-42), which provide additional guidance about form and character.

**Chapter 2 - Design Foundations**  
Apply To All Projects  
Page 18-8

**Section 2.1 - General Residential and Mixed Use Design Guidelines**  
Page 18-9

**Section 2.2 - Achieving High Performance**  
Page 18-17

Chapter 3  
Townhouses & Infill  
Page 18-19

Chapter 4  
Low & Mid-Rise  
Residential &  
Mixed Use  
Page 18-34

Chapter 5  
High-Rise  
Residential &  
Mixed Use  
Page 18-42

\*Note: Refer to the Design Foundations and the Guidelines associated with the specific building typology.



Consideration has been given to the following guidelines as identified in the 2040 Official Community Plan:

<b>RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE</b> <i>(1 is least complying &amp; 5 is highly complying)</i>	N/A	1	2	3	4	5
<b>CHAPTER 4.0: LOW &amp; MID-RISE RESIDENTIAL &amp; MIXED USE</b>						
<b>4.1 Guidelines</b>						
<b>4.1.1 Relationship to the Street</b>						
Lobby area and main building entrance is clearly visible from the fronting street and sidewalk.						✓
Wherever possible, blank walls at grade are not encouraged.						✓
Enclosed parking garages are located away from street frontages or public open space.						✓
Ground oriented units with entries or glazing have been provided to avoid the blank/dead frontage along the street.						✓
When unavoidable, blank walls have been screened with landscaping or have been incorporated with a patio/café or special materials have been provided to make them visually interesting.						✓
<b>Commercial &amp; Mixed-use Buildings</b>						
Proposed built form has a continuous active and transparent retail frontage at grade and provides a visual connection between the public and private realm.	✓					
Buildings have been sited using a common 'build to' line at or near the front property line to maintain a continuous street frontage. Some variation (1-3m maximum) can be accommodated in ground level set backs to support pedestrian and retail activity by, for example, incorporating a recessed entryway, small entry plaza, or sidewalk café.	✓					
Frequent entrances (every 15 m maximum) into commercial street frontages have been incorporated to create punctuation and rhythm along the street, visual interest, and support pedestrian activity.	✓					
<b>Residential and Mixed-use Buildings</b>						
Residential buildings at the ground floor have a set back between 3-5m from the property line to create a semi-private entry or transition zone to individual units and to allow for an elevated front entryway or raised patio.						✓
A maximum 1.2m desired height (e.g., 5-6 steps) for front entryways has been provided. Where the water table requires this to be higher, in these cases, larger patio has been provided and parking has been screened with ramps, stairs, and landscaping.	✓					
Ground floor units accessible from the fronting street or public open spaces have been provided with individual entrances.						✓
Buildings are sited and oriented so that windows and balconies are overlooking public streets, parks, walkways, and shared amenity spaces while minimizing views into private residences.						✓
<b>4.1.2 Scale and Massing</b>						



<b>RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE</b> <i>(1 is least complying &amp; 5 is highly complying)</i>	#	1	2	3	4	5
Proposed residential building façade has a length of 60m (40m length is preferred).	Planner Initials ak					
Buildings over 40m in length are incorporating significant horizontal and vertical breaks in façade.						✓
Commercial building facades are incorporating significant break at approximately 35m intervals.	✓					
Proposed residential building has a maximum width of 24m.	✓					
<b>Seven to Twelve Storey Buildings</b>						
Proposed building is provided with a 2-3 storey podium at the base of the building.					✓	
Built form's upper storeys have a minimum 2m stepback and more generous upper storey terraces facing south, and west are provided.						✓
Minimum 30m building separation between primary building facades is provided.						✓
Courtyards and mid-block connections within building sideyards are 6m wide (minimum).						✓
<b>4.1.3 Site Planning</b>						
On sloping sites, building floor levels are following the natural grade and avoiding the blank wall situation.	✓					
Buildings are sited to be parallel to the street and have a distinct front-to-back orientation to public street and open spaces and to rear yards, parking, and/or interior courtyards.	✓					
Building sides that are interfacing with streets, mid-block connections, and other open spaces (building fronts) are positively framing and activating streets and open spaces and supporting pedestrian activity.	✓					
Larger buildings are broken up with mid-block connections which have public accessibility wherever possible.	✓					
Ground floors adjacent to mid block connections have entrances and windows facing the mid block connection.	✓					
<b>4.1.4 Site Servicing, Access, and Parking</b>						
Vehicular access is provided from the lane.	✓					
Where there is no lane, and where the re-introduction of a lane is difficult or not possible, access is provided from the street, provided: <ul style="list-style-type: none"> <li>• Access is from a secondary street, where possible, or from the long face of the block;</li> <li>• Impacts on pedestrians and the streetscape is minimized; and,</li> <li>• There is no more than one curb cut per property.</li> </ul>						✓
Above grade structure parking should only be provided in instances where the site or high water table does not allow for other parking forms.						✓



RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE (1 is least complying & 5 is highly complying)	#	1	2	3	4	5
When parking cannot be located underground due to the high water table and is to be provided above ground, screen the parking structure from public view as follows: <ul style="list-style-type: none"> <li>On portions of the building that front a retail or main street, line the above ground parking with active retail frontage;</li> <li>On portions of the building that front onto non-retail streets, line the above ground parking with an active residential frontage, such as ground oriented townhouse units;</li> <li>When active frontages are not able to be accommodated, screen parking structures by using architectural or landscaped screening elements;</li> <li>On corner sites, screen the parking structure from public view on both fronting streets using the appropriate strategy listed above.</li> </ul>	Planner Initials	ak				
Buildings with ground floor residential may integrate half-storey underground parking to a maximum of 1.2m above grade, with the following considerations: <ul style="list-style-type: none"> <li>Semi-private spaces should be located above to soften the edge and be at a comfortable distance from street activity; and</li> <li>Where conditions such as the high water table do not allow for this condition, up to 2m is permitted, provided that entryways, stairs, landscaped terraces, and patios are integrated and that blank walls and barriers to accessibility are minimized.</li> </ul>	✓					
<b>4.1.5 Publicly Accessible and Private Open Spaces</b>						
Publicly accessible private spaces (e.g., private courtyards accessible and available to the public) have been integrated with public open areas to create seamless, contiguous spaces.						✓
Semi-private open spaces have been located to maximize sunlight penetration, minimize noise disruptions, and minimize 'overlook' from adjacent units.						✓
Outdoor Amenity Areas: design plazas and parks to: <ul style="list-style-type: none"> <li>Contain 'three edges' (e.g., building frontage on three sides) where possible and be sized to accommodate a variety of activities;</li> <li>Be animated with active uses at the ground level; and,</li> <li>Be located in sunny, south facing areas.</li> </ul>						✓
Internal courtyard design provides: <ul style="list-style-type: none"> <li>amenities such as play areas, barbecues, and outdoor seating where appropriate.</li> <li>a balance of hardscape and softscape areas to meet the specific needs of surrounding residents and/or users.</li> </ul>						✓
Mid-block connections design includes active frontages, seating, and landscaping.	✓					
<b>Rooftop Amenity Spaces</b>						

**ATTACHMENT B**  
 DP21-0183  
 This forms part of application # DP21-0183  
 September 19<sup>th</sup> 2022



City of Kelowna  
DEVELOPMENT PLANNING

RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE (1 is least complying & 5 is highly complying)	N/A	1	2	3	4	5
Shared rooftop amenity spaces (such as outdoor recreation space and rooftop gardens on the top of a parkade) are designed to be accessible to residents and to ensure a balance of amenity and privacy by: <ul style="list-style-type: none"> <li>Limiting sight lines from overlooking residential units to outdoor amenity space areas through the use of pergolas or covered areas where privacy is desired; and</li> <li>Controlling sight lines from the outdoor amenity space into adjacent or nearby residential units.</li> </ul>	Planner Initials: ak					
Reduce the heat island effect by including plants or designing a green roof, with the following considerations: <ul style="list-style-type: none"> <li>Secure trees and tall shrubs to the roof deck; and</li> <li>Ensure soil depths and types are appropriate for proposed plants and ensure drainage is accommodated.</li> </ul>						✓
<b>4.1.6 Building Articulation, Features &amp; Materials</b>						
Articulate building facades into intervals that are a maximum of 15m wide for mixed-use buildings and 20m wide for residential buildings. Strategies for articulating buildings should consider the potential impacts on energy performance (see 2.2.1), and include: <ul style="list-style-type: none"> <li>Façade Modulation – stepping back or extending forward a portion of the façade to create a series of intervals in the facade;</li> <li>Repeating window patterns at intervals that correspond to extensions and step backs (articulation) in the building facade;</li> <li>Providing a porch, patio, deck, or covered entry for each interval;</li> <li>Providing a bay window or balcony for each interval, while balancing the significant potential for heat loss through thermal bridge connections which could impact energy performance;</li> <li>Changing the roof line by alternating dormers, stepped roofs, gables, or other roof elements to reinforce the modulation or articulation interval;</li> <li>Changing the materials with the change in building plane; and</li> <li>Provide a lighting fixture, trellis, tree, or other landscape feature within each interval.</li> </ul>						✓
Break up the building mass by incorporating elements that define a building's base, middle and top.						✓
Use an integrated, consistent range of materials and colors and provide variety by, for example, using accent colors.						✓
Articulate the facade using design elements that are inherent to the building as opposed to being decorative. For example, create depth in building facades by recessing window frames or partially recessing balconies to allow shadows to add detail and variety as a byproduct of massing.						✓
Incorporate distinct architectural treatments for corner sites and highly visible buildings such as varying the roofline (See Figure 41), articulating the facade, adding pedestrian space, increasing the number and size of windows, and adding awnings and canopies.						✓
<b>Weather Protection</b>						



RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE (1 is least complying & 5 is highly complying)	#	1	2	3	4	5
Provide weather protection (e.g. awnings, canopies, overhangs, etc.) along all commercial streets and plazas (See Figure 4.2), with particular attention to the following locations: <ul style="list-style-type: none"> <li>• Primary building entrances,</li> <li>• Adjacent to bus zones and street corners where people wait for traffic lights;</li> <li>• Over store fronts and display windows; and</li> <li>• Any other areas where significant waiting or browsing by people occurs.</li> </ul>	Planner Initials ak					
Architecturally-integrate awnings, canopies, and overhangs to the building and incorporate architectural design features of buildings from which they are supported.						✓
Place and locate awnings and canopies to reflect the building's architecture and fenestration pattern.						✓
Place awnings and canopies to balance weather protection with daylight penetration. Avoid continuous opaque canopies that run the full length						✓
<b>Signage</b>						
Provides attractive signage on commercial buildings that identifies uses and shops clearly but which is scaled to the pedestrian rather than the motorist. Some exceptions can be made for buildings located on highways and/or major arterials in alignment with the City's Sign Bylaw.	✓					
Avoid the following types of signage: <ul style="list-style-type: none"> <li>• Internally lit plastic box signs;</li> <li>• Pylon (stand alone) signs; and</li> <li>• Rooftop signs.</li> </ul>	✓					
Uniquely branded or colored signs are encouraged to help establish a special character to different neighbourhoods.	✓					





TOTAL DP2 UNITS: 439

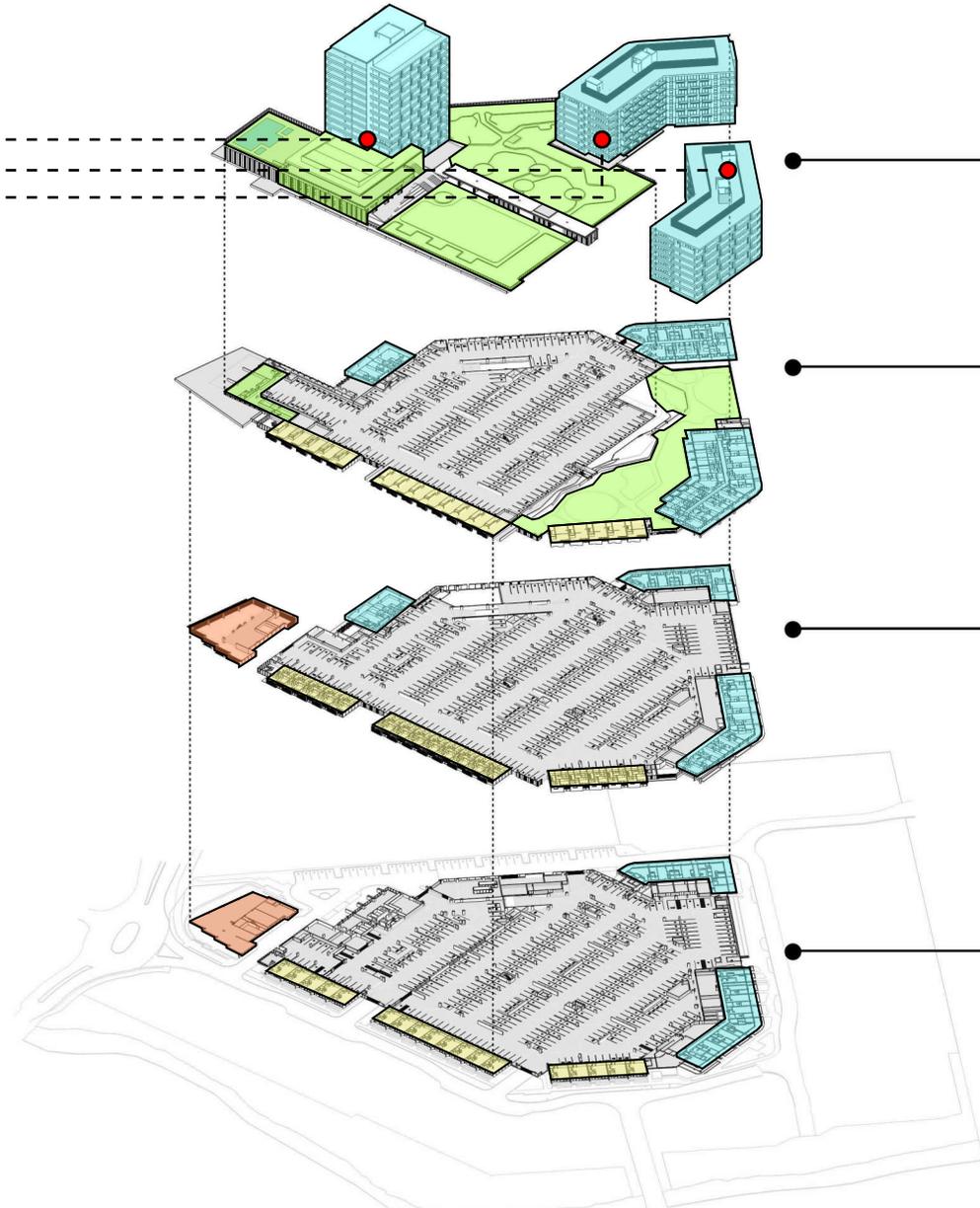
TOWNHOMES: 18  
TOWERS: 421

TOWER 3 - 17 STOREYS - 120 units  
TOWER 6 - 10 STOREYS - 158 units  
TOWER 7 - 10 STOREYS - 143 units

COMMERCIAL AREA: 830sm/8935sf

AMENITY  
GROSS AREA: 6317sm/68000sf

- RESIDENTIAL UNITS
- AMENITY
- COMMERCIAL
- AT-GRADE TOWNHOME



ATTACHMENT C

This forms part of application  
# DP21-0183

DP2 LEVELS 4-17

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**DP2 LEVEL 3**  
312 PARKING STALLS  
PARKING FOR FUTURE DEVELOPMENT / DP3

**DP2 LEVEL 2**  
429 PARKING STALLS  
PARKING FOR DP2 (338 STALLS)  
PARKING FOR FUTURE DEVELOPMENT / DP3

**DP2 LEVEL 1 / AT GRADE**  
396 PARKING STALLS  
INSIDE THE PARKADE  
35 PARKING STALLS  
AT GRADE / OUTSIDE  
(NOT INCLUDING LAY-BY  
FOR PICK UP - DROP OFF)  
431 LEVEL 1 / AT GRADE PARKING STALLS  
  
PARKING FOR DP1 (266 STALLS)  
PARKING FOR DP2 (165 STALLS)

DP02

DP03

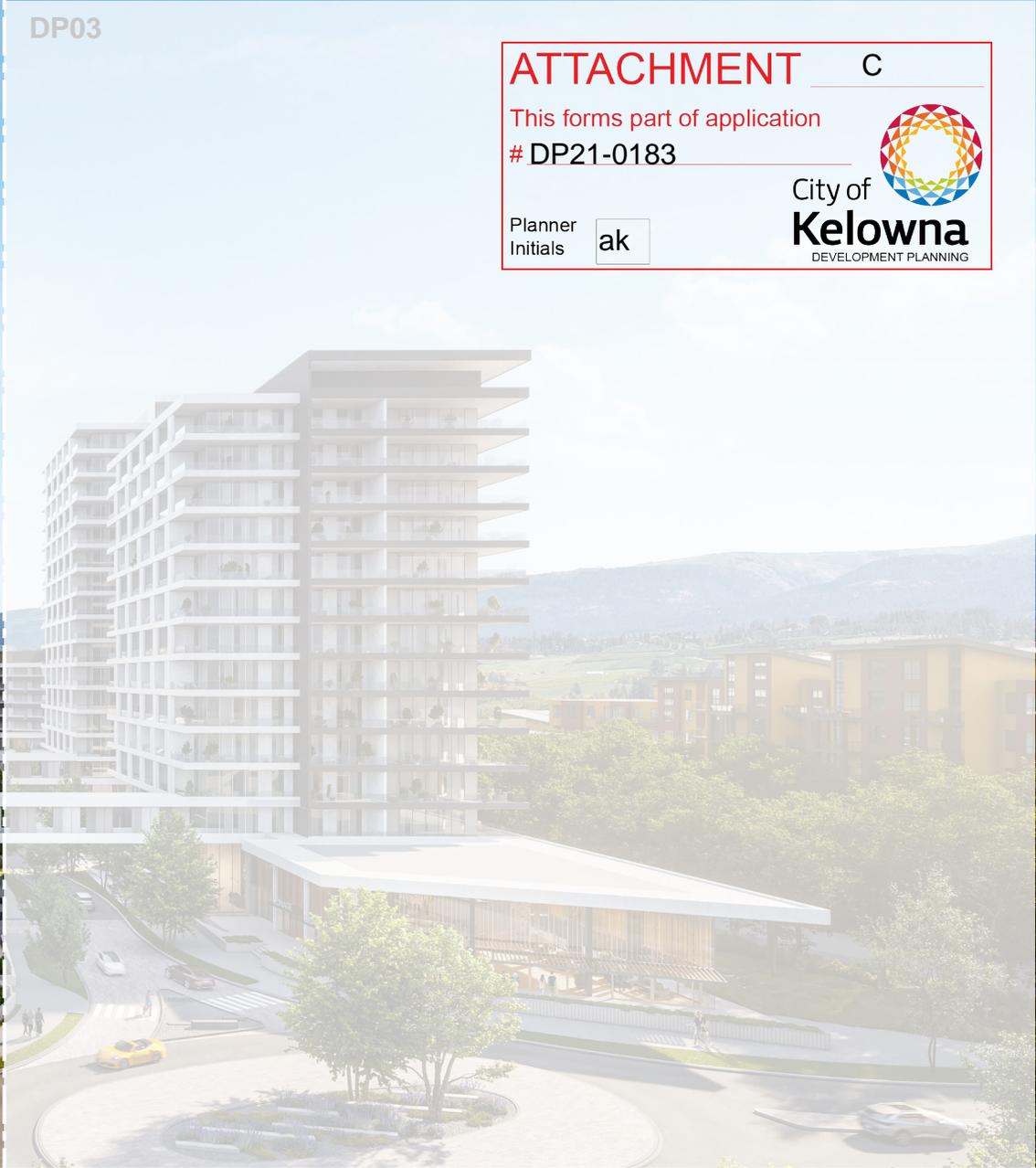
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City of  
**Kelowna**  
DEVELOPMENT PLANNING

Planner  
Initials



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City of  
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Planner  
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**ATTACHMENT**

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Planner Initials

City of Kelowna  
DEVELOPMENT





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DEVELOPMENT PLANNING





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