Development Permit & Development Variance Permit DP21-0231 DVP21-0232

City of Kelowna

This permit relates to land in the City of Kelowna municipally known as

2241 Springfield Rd

and legally known as

LOT B DISTRICT LOTS 128 AND 142 OSOYOOS DIVISION YALE DISTRICT PLAN KAP85660

and permits the land to be used for the following development:

Mixed-Use: Multiple Dwelling Housing and Commercial Uses

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council Decision	August 23, 2022
Decision By:	COUNCIL
Development Permit Area:	Form and Character Development Permit Area
Existing Zone:	C4r - Urban Centre Commercial (Residential Rental Tenure Only)
Future Land Use Designation:	UC – Urban Centre

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner:	Ironclad Developments Mission Heights Holdings Inc., Inc.No. A0119488
Applicant:	Ironclad Developments Inc.
Planner:	K. Brunet

_____ _____

Terry Barton
Community Planning Department Manager
Planning & Development Services

Date

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";

b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";

c) Landscaping to be provided on the land be in accordance with Schedule "C"; and

d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.

AND THAT variances to the following section of Zoning Bylaw No. 8000 be granted:

Section 14.4.6(e): C4 – Urban Centre Commercial Other Regulations
To vary the required minimum amount of functional commercial space for the Springfield Rd frontage from 90 % required to 19.12 % proposed.

This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property owner of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

a) An Irrevocable Letter of Credit **OR** certified cheque in the amount of **$784,187.25**

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

5. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the Landscape Agreement or their designates.

2241 SPRINGFIELD ROAD

KELOWNA BC

JUNE 2022

Zoning Summary

Special Planning Designation / Area		Urban Core / Midtown Urban Centre	
Zoning Classification		Existing	Proposed
		C-4	C-4

Lot Area Section 14.4.4	Standards	Proposed
Minimum	1300 m2	17800 m2
F.A.R.	1.3 to 2.35	1.67
Site Coverage	75% Maximum	30.8%

Dimensional Standards Section 14.4.4 + 14.4.5	Standards	Proposed
Building Height	12 stories / 37 m	6 stories / 21.8 m
Setbacks: front	0 m	4.6 m
: rear	0 m	0 m
: flanking side	0 m	7.6 m
: internal side	2.0 m	4.6 m
Private Open Space [m2]	4828	5897

Parking		Standards	Proposed
Vehicle Parking: residential	Table 8.3.1	432	390
: commercial *[in Visitor Parking]*	Table 8.3.2	10	18
Accessible Parking Spaces	Table 8.2.19	9	9
Visitor Parking Spaces	Table 8.3.1	56	58
Total stalls *[residential + accessible + visitor]*		488	390
Total Including 20% reduction *[S.8.2.12]*	8.2.12	**346**	**390**
Small Car Stalls *[resident parking stalls only]*	Table 8.3.1	max 50%	0.3%
Loading Spaces *[commercial]*	Table 8.4	0	0
Bicycle Parking *[short term]*	Table 8.5	49	59
Bicycle Parking *[long term]*	Table 8.5	312	314

Development Summary

Commercial Areas	Building 1	Building 2	Building 3	Building 4	Building 5	TOTAL
	Qty	Qty	Qty	Qty	Qty	SM
	679	0	0	0	0	679

Amenity Area Table 5.4	Building 1	Building 2	Building 3	Building 4	Building 5	TOTAL
	SM	SM	SM	SM	SM	SM
Indoor	135	0	0	0	625	761
Landscape	242	332	557	111	311	1554
Rooftop	0	0	251	167	244	662

Residential Suites	SF	M2	Building 1	Building 2	Building 3	Building 4	Building 5	TOTAL
			Qty	Qty	Qty	Qty	Qty	Qty
Studio : D1	422	39	27	0	0	6	10	43
One Bedroom: A1	645	60	23	42	48	47	0	160
Two Bedroom: B1	948	88	55	13	11	12	0	
: B1.1	973	90	0	0	3	4	0	
: B1.2	966	90	10	12	12	8	0	155
: B1.3	966	90	4	0	0	0	0	
: B1.4	947	88	0	0	0	0	11	
Three Bedroom: C1	1125	105	12	11	10	10	0	43
TOTAL			131	78	84	87	21	401

Residential Balconies	SF	M2	Building 1	Building 2	Building 3	Building 4	Building 5	TOTAL
			SM	SM	SM	SM	SM	SM
Studio : D1	60	6	150.5	0.0	0.0	33.4	55.7	240
One Bedroom: A1	100	9	213.7	390.2	445.9	436.6	0.0	1486
Two Bedroom: B1	125	6	306.6	72.5	61.3	66.9	0.0	
: B1.1	75	7	0.0	0.0	20.9	27.9	0.0	
: B1.2	60	6	55.7	66.9	66.9	44.6	0.0	955
: B1.3	100	9	37.2	0.0	0.0	0.0	0.0	
: B1.4	125	12	0.0	0.0	0.0	0.0	127.7	
Three Bedroom: C1	60	6	66.9	61.3	55.7	55.7	0.0	240
								2921

Floor Areas: F.A.R. ELIGIBLE	Building 1	Building 2	Building 3	Building 4	Building 5	TOTAL
	SM	SM	SM	SM	SM	SM
TOTAL	1140	1212	1283	1312	537	5484

SCHEDULE A

This forms part of application

DP21-0231 DVP21-0232

City of Kelowna DEVELOPMENT PLANNING

Planner Initials KB

Ironclad Developments Inc.

IRONCLAD DEVELOPMENTS INC.

Project Managment
General Contracting
Design/ Build

101-57158
Symington Rd.
Springfield, MB.
R2J 4L6

PH:
204-777-1972

info@icdev.ca

Consultant

RJSG ARCHITECT

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MAA, AIBC, LEED AP

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E: RGARVEY@A77.CA

REGISTERED ARCHITECT ROBERT J.S. GARVEY 22 06 23 BRITISH COLUMBIA

REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;
Kelowna BC.

COVER PAGE

Project Number: 2102

04-30-2020	Rev Date 06-23-2022

Drawn By	T.THIMM
Designed By	T.THIMM
Checked By	R.GARVEY

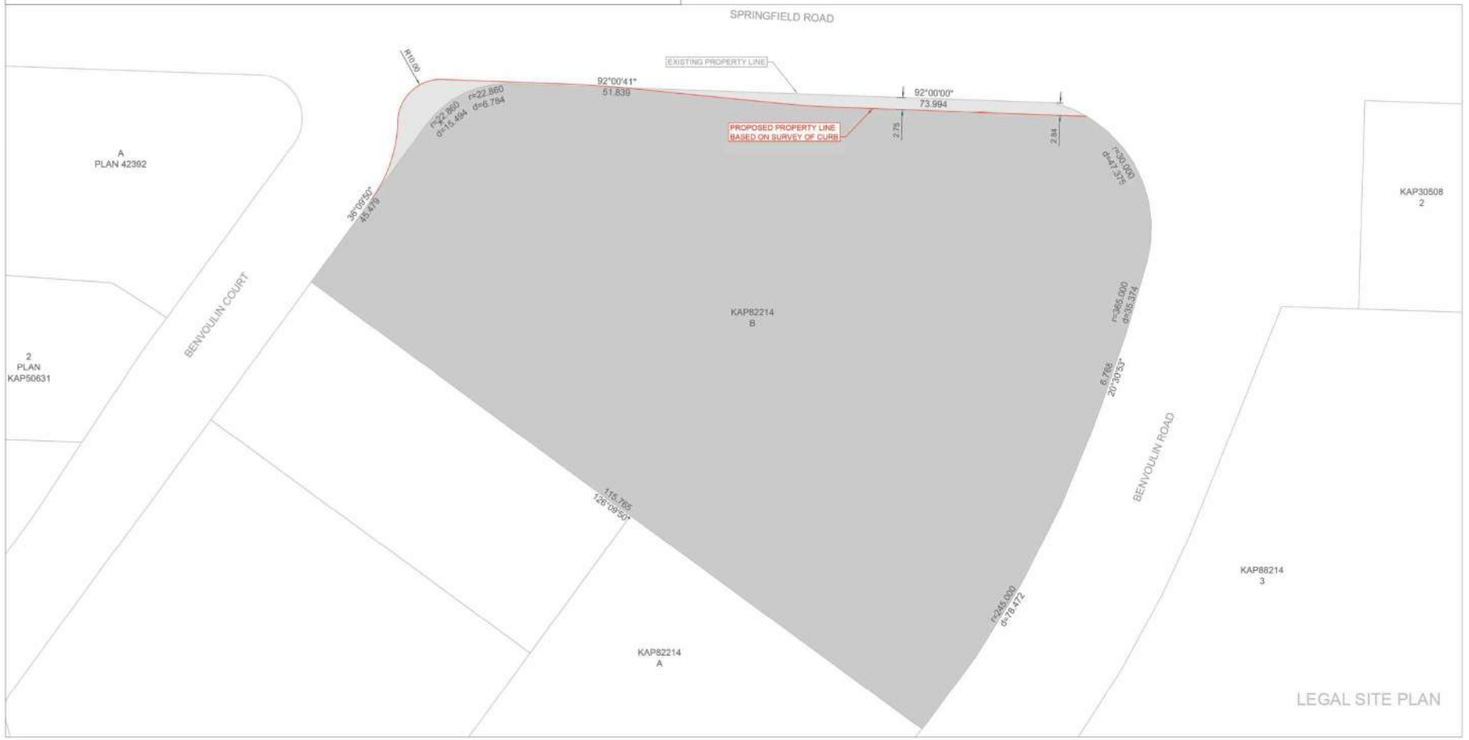
ESP-0.0

Scale

CITY OF KELOWNA

ARIAL VIEW
OF EXISTING SITE
& SURROUNDING
CONTEXT

MAJOR ROADWAYS
- 6 Lane Arterial (including HOV Lanes)
- 4 Lane Arterial
- 2 Lane Arterial
- 2 Lane Arterial + Center Turn Lane



LEGAL SITE PLAN

SCHEDULE A

This forms part of application
DP21-0231 DVP21-0232

City of Kelowna
DEVELOPMENT PLANNING

Planner Initials KB

Ironclad Developments Inc.

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ROBERT J.S. GARVEY
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BRITISH COLUMBIA

REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD; Kelowna BC.

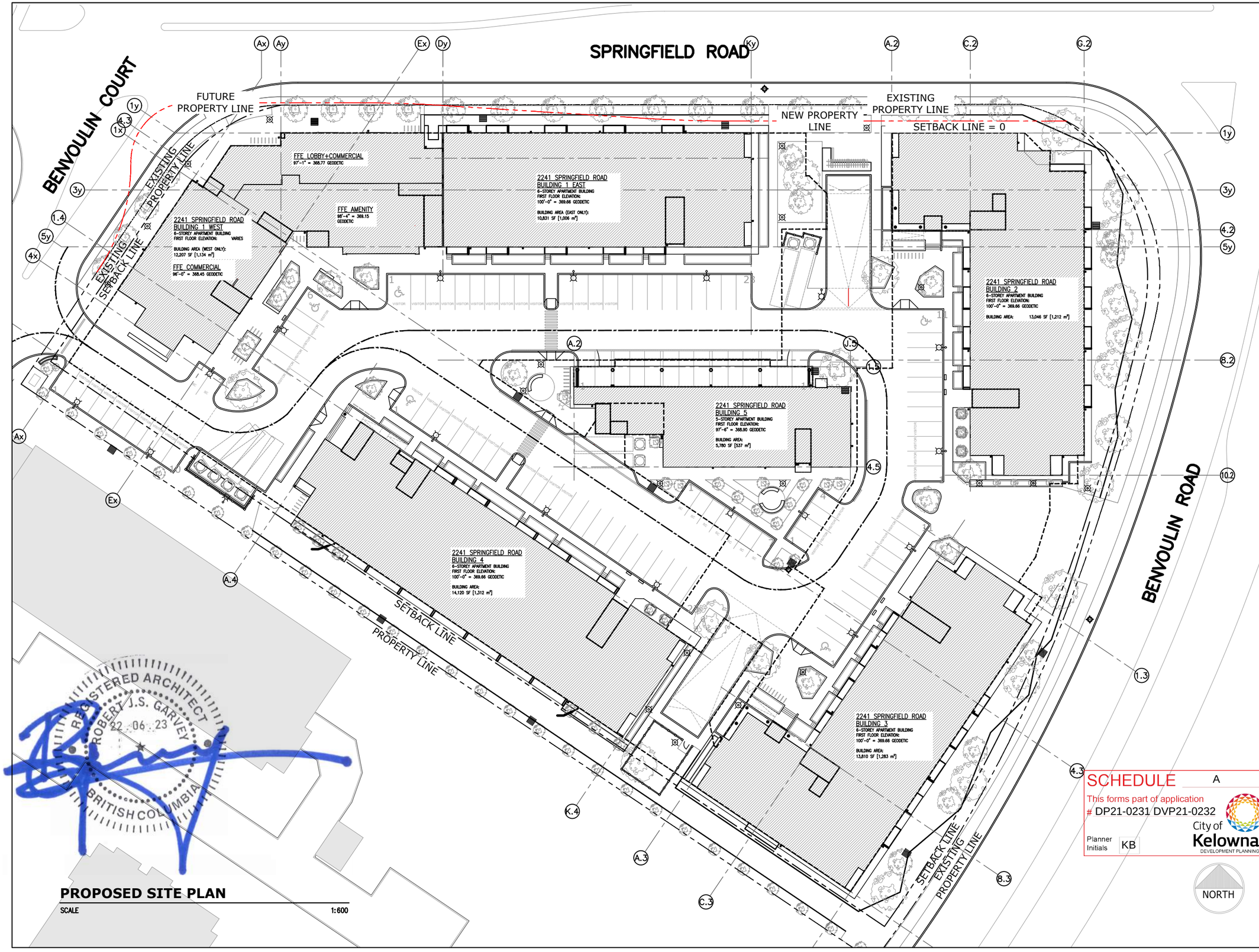
CONTEXT MAP & LEGAL SITE PLAN

Project Number: 2102

04-30-2020	Rev Date 06-23-2022
Drawn By	T.THIMM
Designed By	T.THIMM
Checked By	R.GARVEY

ESP-0.1

Scale



REGISTERED ARCHITECT ROBERT J.S. GARVEY 22 06 23 BRITISH COLUMBIA

PROPOSED SITE PLAN

SCALE 1:600

SCHEDULE A
This forms part of application
DP21-0231 DVP21-0232
Planner Initials KB
City of Kelowna DEVELOPMENT PLANNING

NORTH

Ironclad Developments Inc.

IRONCLAD DEVELOPMENTS INC.

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PROJECT DESCRIPTION

LEGAL ADDRESS:

LOT AREA: 192,473 SF

RESIDENTIAL UNITS: 401 UNITS

STUDIO:	43	UNITS
1 BEDROOM:	160	UNITS
2 BEDROOM:	160	UNITS
3 BEDROOM:	38	UNITS

REQUIRED PARKING: 354 STALLS
[INCLUDING VISITOR STALLS AT 10% OF TOTAL VEHICLE PARKING]
[INCLUDING SMALL CAR STALLS]
RATIO: 1.5 PER UNIT

PROVIDED PARKING: 406 STALLS
[INCLUDING VISITOR STALLS AND RETAIL STALLS AT 54]
SURFACE STALLS: 111
UNDERGROUND STALLS: 295

PROVIDED BICYCLE PARKING: 313 STALLS
[INCLUDING BICYCLE STALLS 1 PER 10 VEHICLE STALLS]

REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;
Kelowna BC.

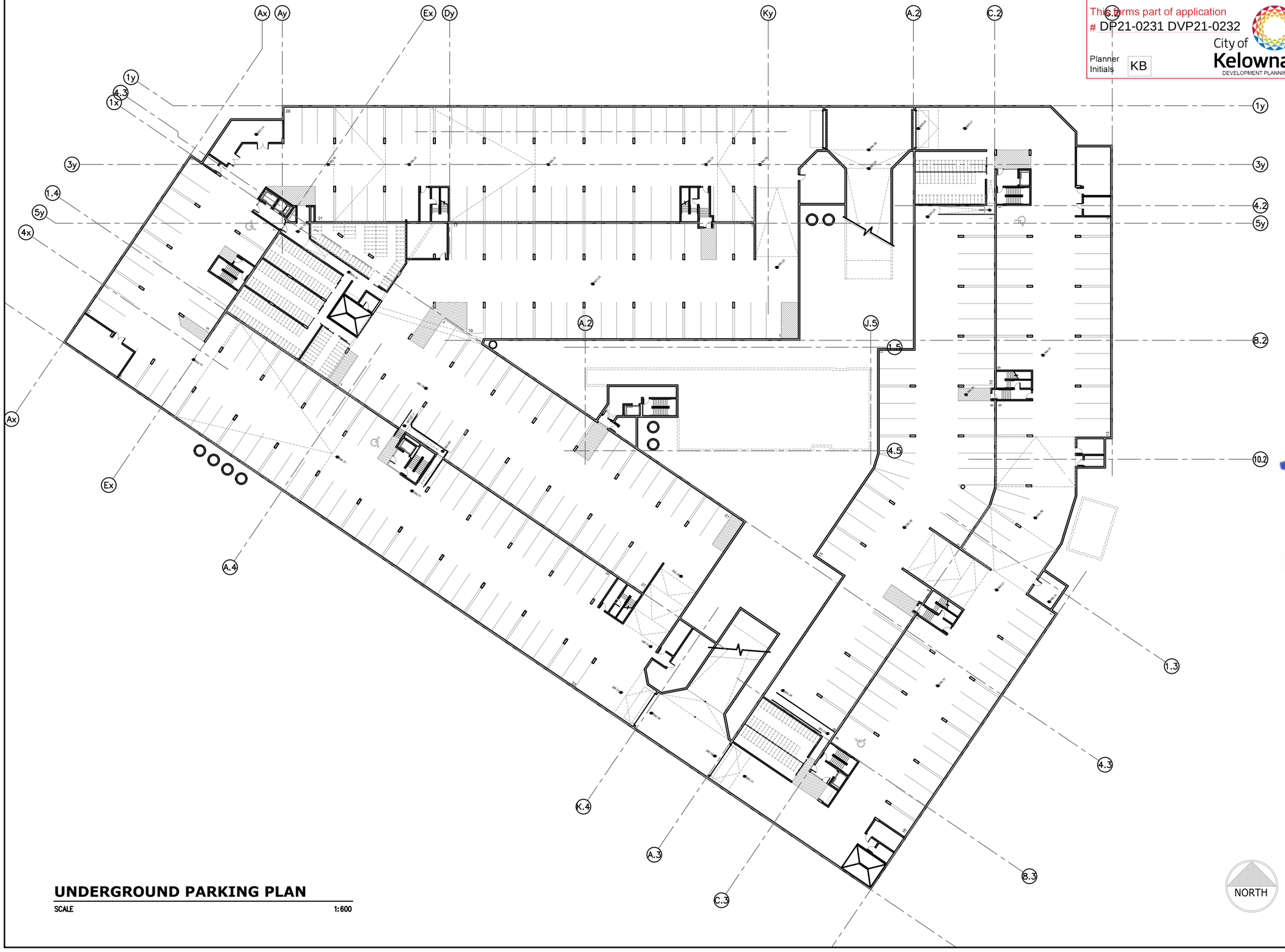
PROPOSED SITE PLAN

Project Number: 2102

04-30-2020	Rev Date 06-06-2022
Drawn By	T.THIMM
Designed By	T.THIMM
Checked By	R.GARVEY

ESP-1.0

Scale 1:600



SCHEDULE B

This forms part of application
DP21-0231 DVP21-0232

City of Kelowna
DEVELOPMENT PLANNING

Planner Initials KB

UNDERGROUND PARKING PLAN

SCALE 1:600

Ironclad Developments Inc.

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BRITISH COLUMBIA

REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;
Kelowna BC.

UNDERGROUND PARKING PLAN

Project Number: 2102	
04-30-2020	Rev Date 06-06-2022
Drawn By	T.THIMM
Designed By	T.THIMM
Checked By	R.GARVEY

ESP-2.0

Scale 1:600

BUILDING 1 WEST MAIN FLOOR PLAN

SCALE 1:300

BUILDING 1 EAST MAIN FLOOR PLAN

SCALE 1:300

NORTH

SCHEDULE B

This forms part of application

DP21-0231 DVP21-0232

City of Kelowna
DEVELOPMENT PLANNING

Planner Initials KB

REGISTERED ARCHITECT ROBERT J.S. GARVEY 22 06 23 BRITISH COLUMBIA

Ironclad Developments Inc.

IRONCLAD DEVELOPMENTS INC.

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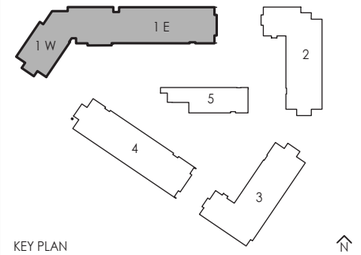


AMENITIES
ROOFTOP PATIOS
COMMERCIAL
SUPPORTING SPACES
SUITES
LOBBY/ENTRANCE AREA
CORRIDOR
VERTICAL COMMUNICATION

REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;
Kelowna BC.

BUILDING ONE
MAIN FLOOR PLAN

Project Number: 2102

04-30-2020	Rev Date 06-06-2022
Drawn By	T.THIMM
Designed By	T.THIMM
Checked By	R.GARVEY

ESP-3.10

Scale 1:300

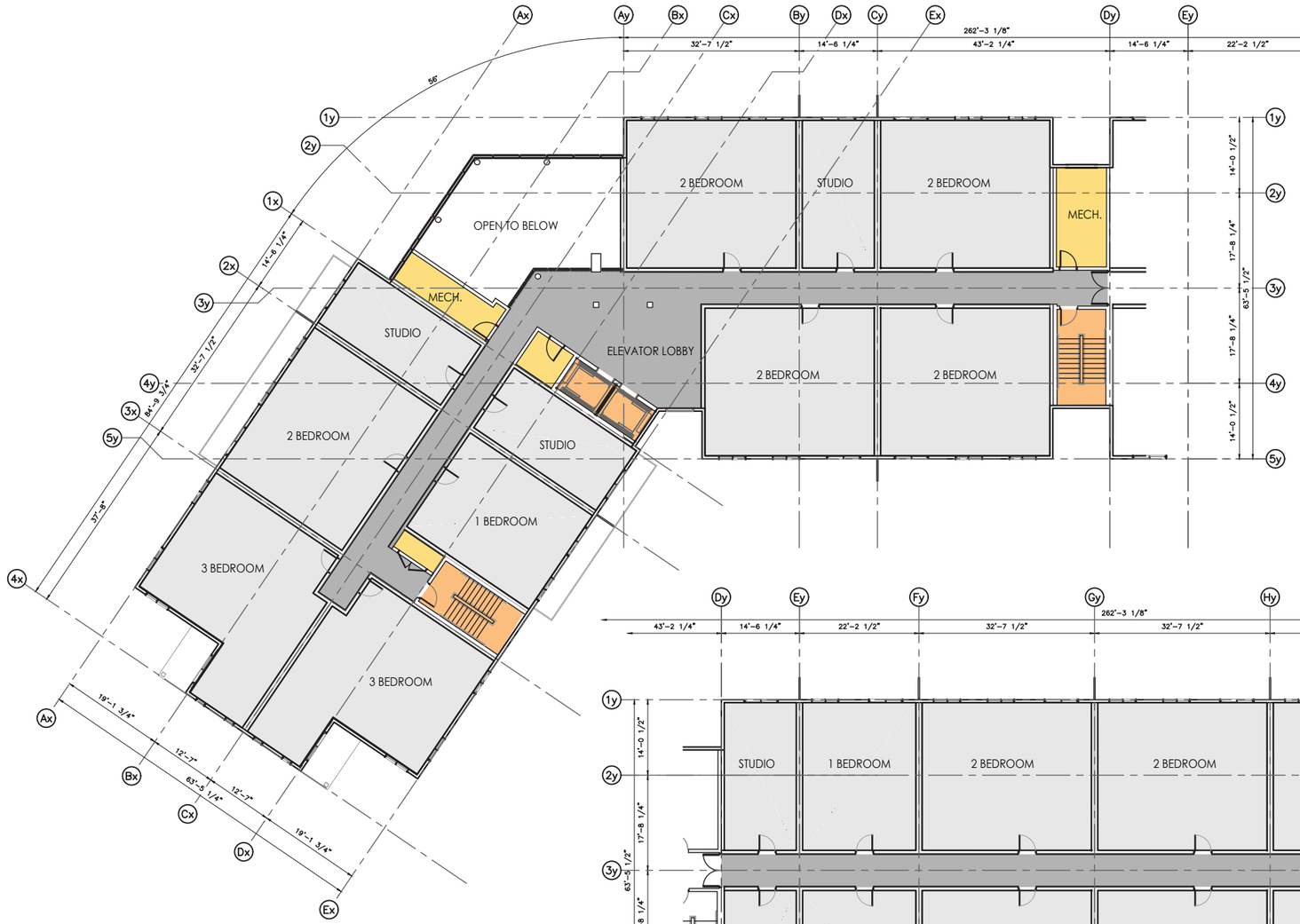
SCHEDULE B

This forms part of application

DP21-0231 DVP21-0232

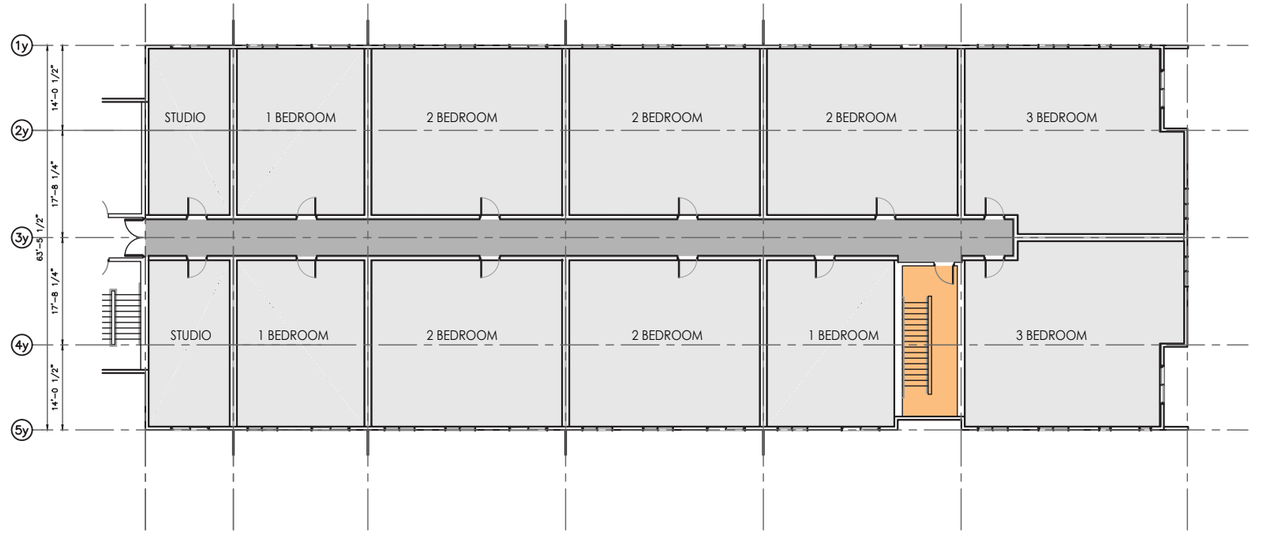
Planner Initials KB

City of Kelowna
DEVELOPMENT PLANNING



BUILDING 1 WEST SECOND FLOOR PLAN

SCALE 1:300



BUILDING 1 EAST SECOND FLOOR PLAN

SCALE 1:300

REGISTERED ARCHITECT
ROBERT J.S. GARVEY
22 06 23
BRITISH COLUMBIA

NORTH

Ironclad Developments Inc.

IRONCLAD DEVELOPMENTS INC.

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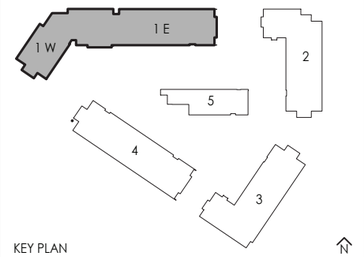


KEY PLAN

AMENITIES
ROOFTOP PATIOS
COMMERCIAL
SUPPORTING SPACES
SUITES
LOBBY/ENTRANCE AREA
CORRIDOR
VERTICAL COMMUNICATION

REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;
Kelowna BC.

BUILDING ONE
SECOND FLOOR PLAN

Project Number: 2102

04-30-2020 Rev Date 06-06-2022

Drawn By T.THIMM

Designed By T.THIMM

Checked By R.GARVEY

ESP-3.11

Scale 1:300

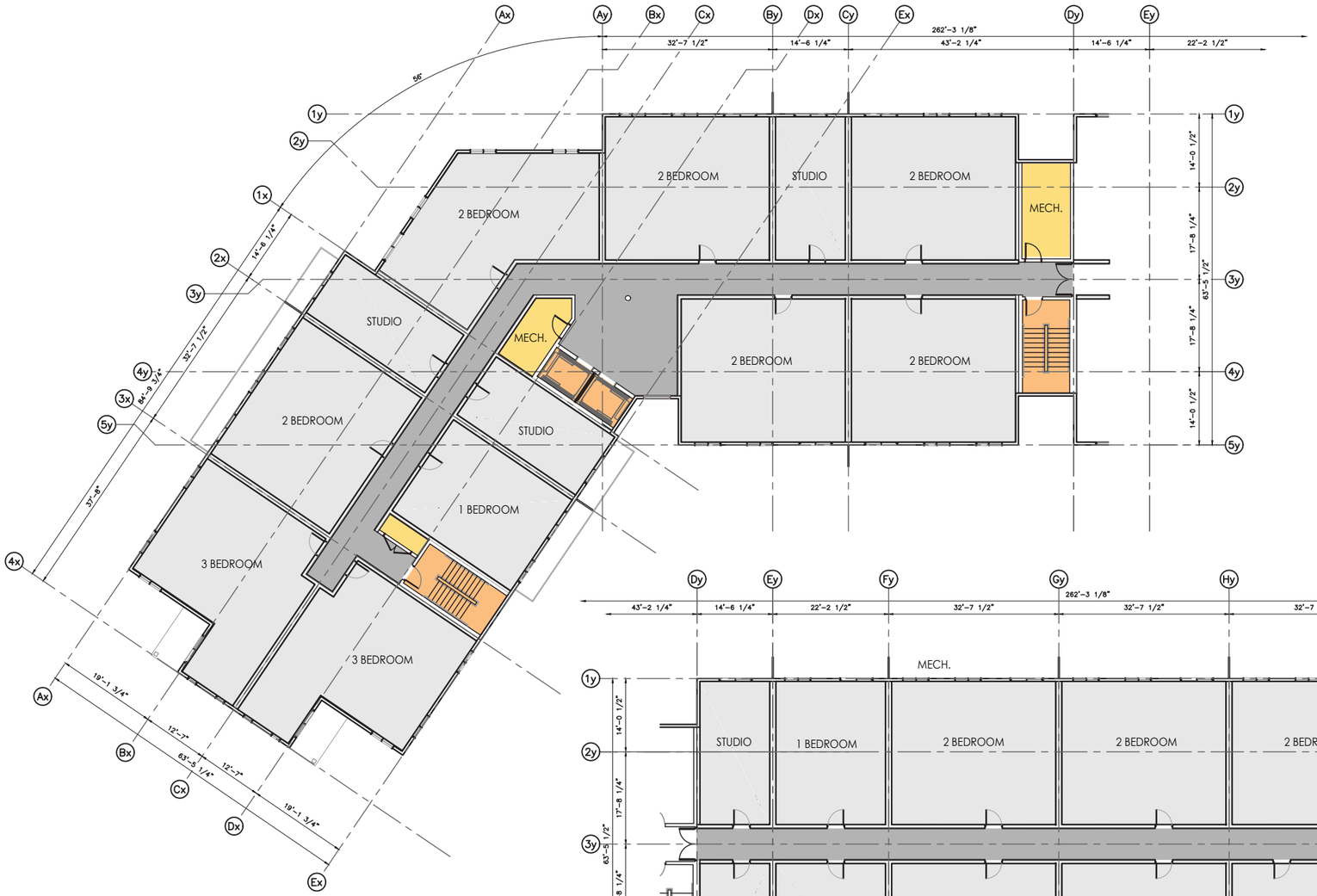
SCHEDULE B

This forms part of application

DP21-0231 DVP21-0232

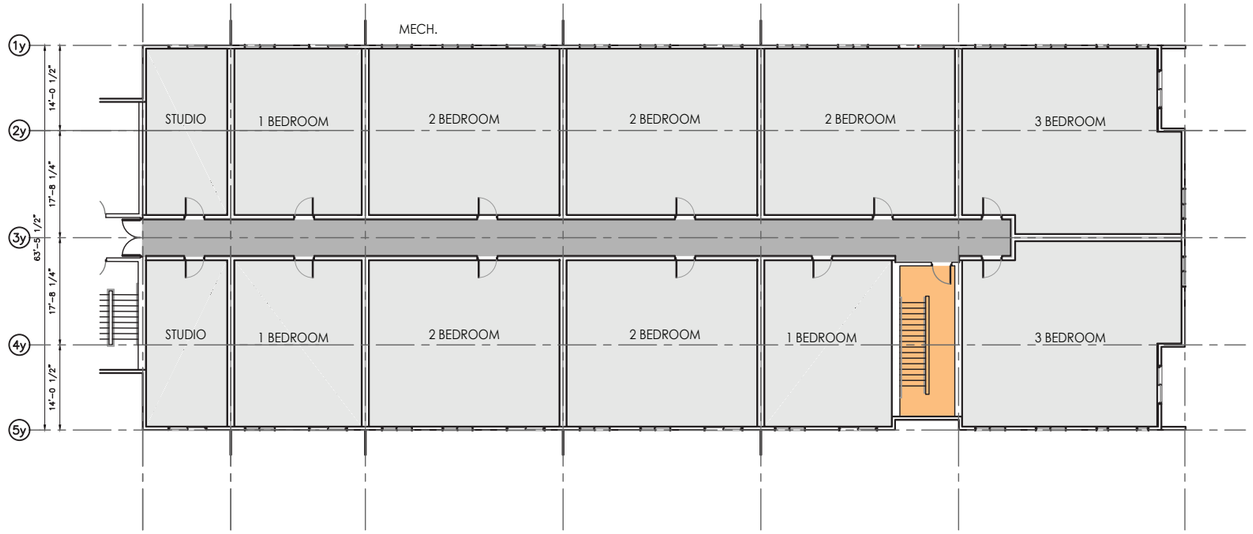
Planner Initials KB

City of Kelowna
DEVELOPMENT PLANNING



BUILDING 1 WEST TYPICAL PLAN

SCALE 1:300



BUILDING 1 EAST TYPICAL PLAN

SCALE 1:300

NORTH

Ironclad Developments Inc.

IRONCLAD DEVELOPMENTS INC.

Project Management
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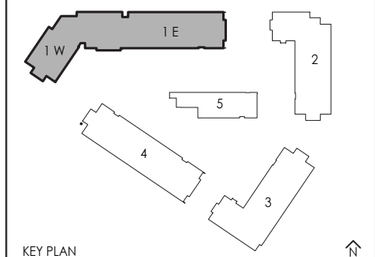


- AMENITIES
- ROOFTOP PATIOS
- COMMERCIAL
- SUPPORTING SPACES
- SUITES
- LOBBY/ENTRANCE AREA
- CORRIDOR
- VERTICAL COMMUNICATION

REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;
Kelowna BC.

BUILDING ONE
TYPICAL FLOOR PLAN (3-6)

Project Number: 2102

04-30-2020	Rev Date 06-06-2022
Drawn By	T.THIMM
Designed By	T.THIMM
Checked By	R.GARVEY

ESP-3.12

Scale 1:300

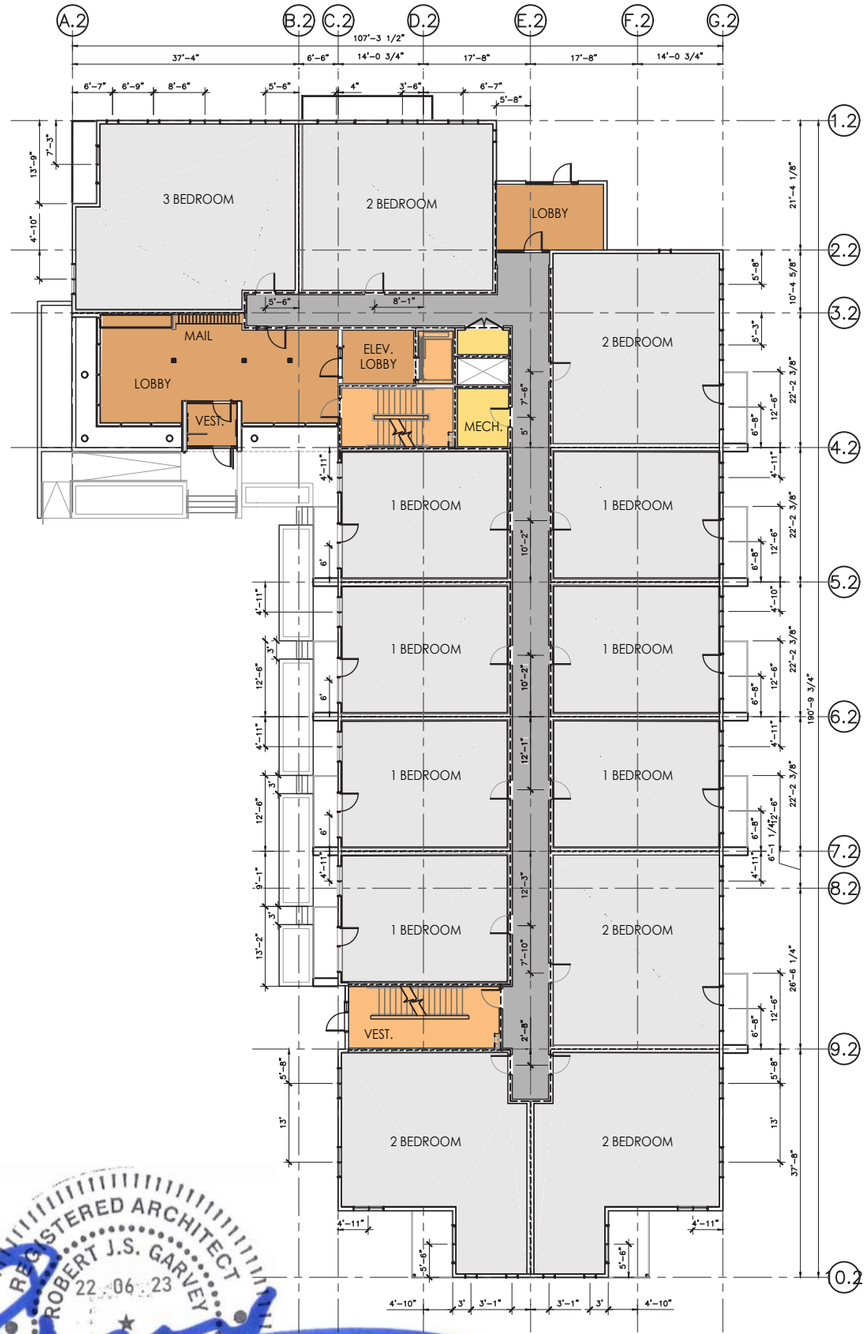
SCHEDULE B

This forms part of application

DP21-0231 DVP21-0232

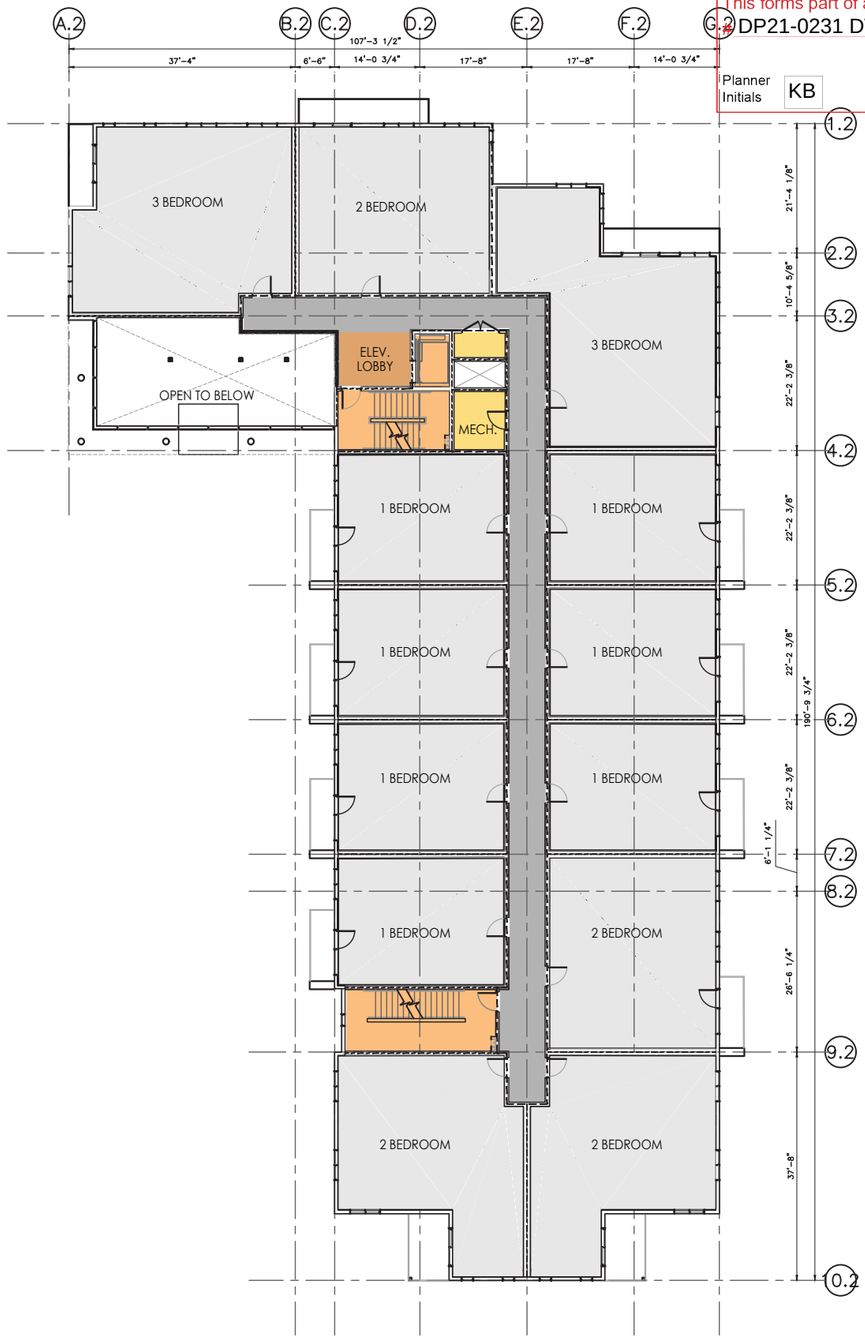
City of Kelowna
DEVELOPMENT PLANNING

Planner Initials KB



BUILDING 2 MAIN FLOOR PLAN

SCALE 1:300



BUILDING 2 SECOND FLOOR PLAN

SCALE 1:300

NORTH

REGISTERED ARCHITECT
ROBERT J.S. GARVEY
22 06 23
BRITISH COLUMBIA

Ironclad Developments Inc.

IRONCLAD DEVELOPMENTS INC.

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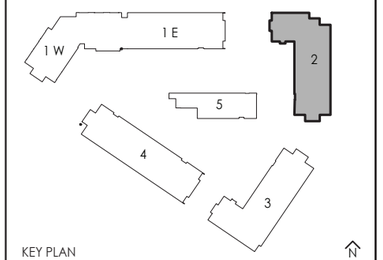


AMENITIES	ROOFTOP PATIOS
COMMERCIAL	SUPPORTING SPACES
SUITES	LOBBY/ENTRANCE AREA
CORRIDOR	VERTICAL COMMUNICATION

REV.	DESCRIPTION OF WORK REVISED	DATE

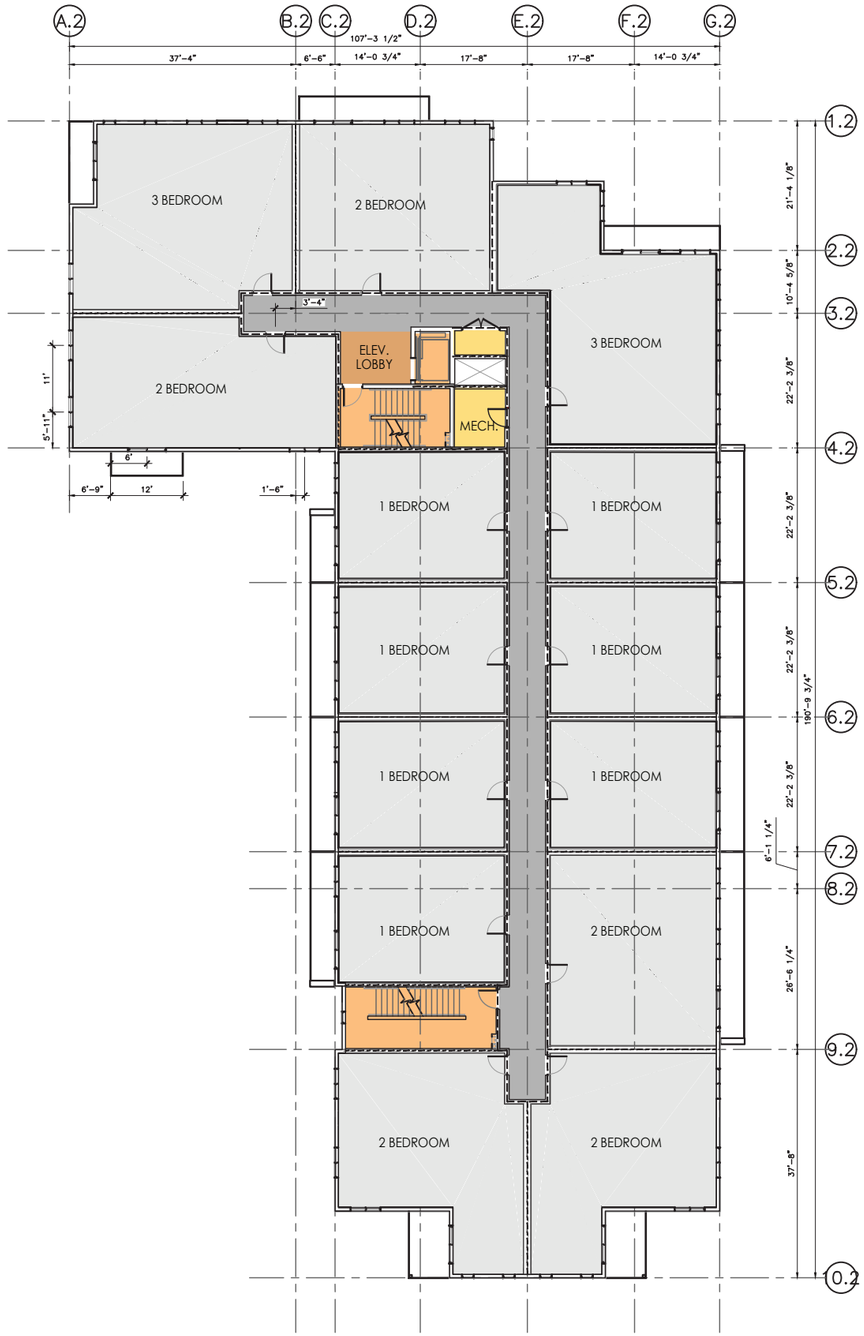
2241 SPRINGFIELD ROAD;
Kelowna BC.

BUILDING TWO
MAIN AND SECOND PLAN

Project Number: 2102	
04-30-2020	Rev Date 06-06-2022
Drawn By	T.THIMM
Designed By	T.THIMM
Checked By	R.GARVEY

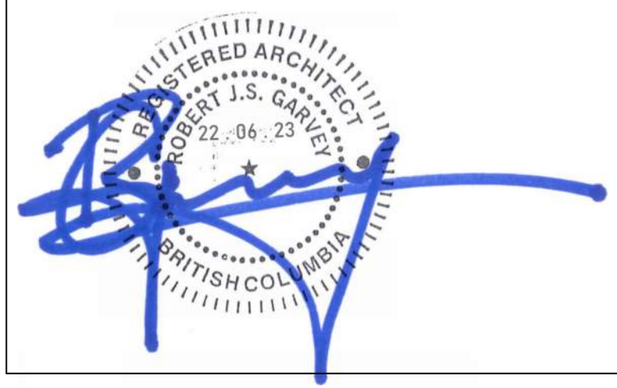
ESP-3.20

Scale 1:300



BUILDING 2 TYPICAL FLOOR PLAN

SCALE 1:300



NORTH

SCHEDULE B

This forms part of application

DP21-0231 DVP21-0232

City of Kelowna
DEVELOPMENT PLANNING

Planner Initials KB

Ironclad Developments Inc.

IRONCLAD DEVELOPMENTS INC.

Project Managment
General Contracting
Design/ Build

101-57158 Symington Rd.
Springfield, MB.
R2J 4L6

PH:
204-777-1972

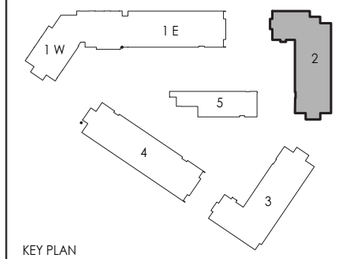
info@icdev.ca

Consultant

RJSG ARCHITECT

ROB J.S. GARVEY, ARCHITECT
MAA, AIBC, LEED AP

201-57158 SYMINGTON RD 20E
SPRINGFIELD, MB R2J 4L6
T: 204.227.9274
E: RGARVEY@A77.CA



AMENITIES
ROOFTOP PATIOS
COMMERCIAL
SUPPORTING SPACES
SUITES
LOBBY/ENTRANCE AREA
CORRIDOR
VERTICAL COMMUNICATION

REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;
Kelowna BC.

BUILDING TWO
TYPICAL FLOOR PLAN (3-6)

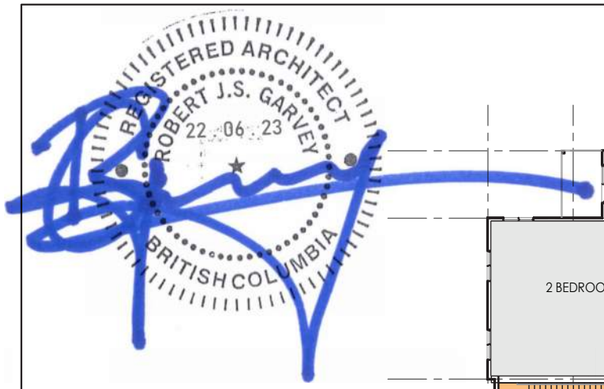
Project Number: 2102

04-30-2020 | Rev Date 06-06-2022

Drawn By T.THIMM
Designed By T.THIMM
Checked By R.GARVEY

ESP-3.21

Scale 1:300



SCHEDULE B

This forms part of application

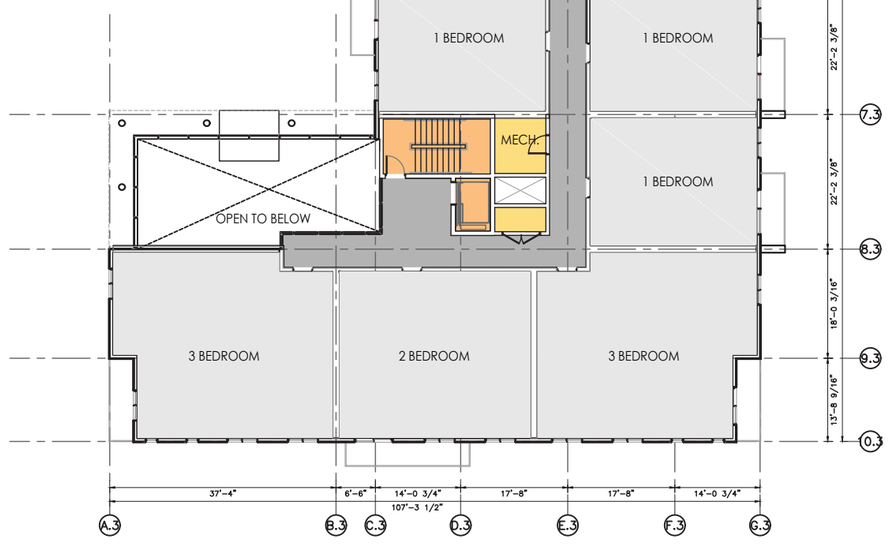
DP21-0231 DVP21-0232

City of Kelowna
DEVELOPMENT PLANNING

Planner Initials KB

BUILDING 3 MAIN FLOOR PLAN

SCALE 1:300



BUILDING 3 SECOND FLOOR PLAN

SCALE 1:300

NORTH

Ironclad Developments Inc.

IRONCLAD DEVELOPMENTS INC.

Project Management
General Contracting
Design/ Build

101-57158 Symington Rd.
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R2J 4L6

PH:
204-777-1972

info@icdev.ca

Consultant

RJSG ARCHITECT

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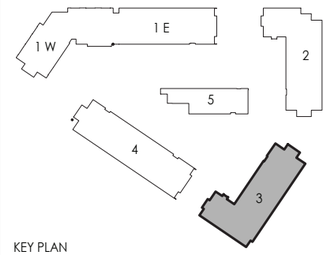
T: 204.227.9274
E: RGARVEY@A77.CA



- AMENITIES
- ROOFTOP PATIOS
- COMMERCIAL
- SUPPORTING SPACES
- SUITES
- LOBBY/ENTRANCE AREA
- CORRIDOR
- VERTICAL COMMUNICATION

REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;
Kelowna BC.

BUILDING THREE
MAIN AND SECOND
FLOOR PLAN

Project Number: 2102	
04-30-2020	Rev Date 06-06-2022
Drawn By	T.THIMM
Designed By	T.THIMM
Checked By	R.GARVEY

ESP-3.30

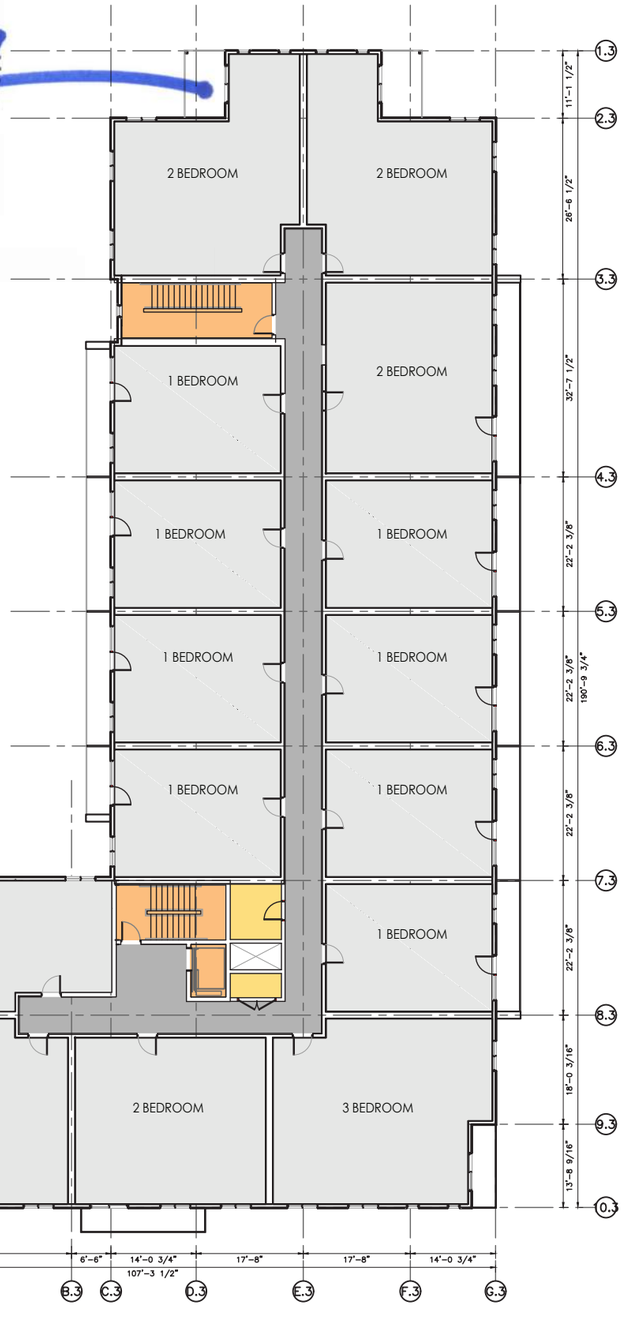
Scale 1:300

REGISTERED ARCHITECT
ROBERT J.S. GARVEY
22 06 23
BRITISH COLUMBIA

SCHEDULE B

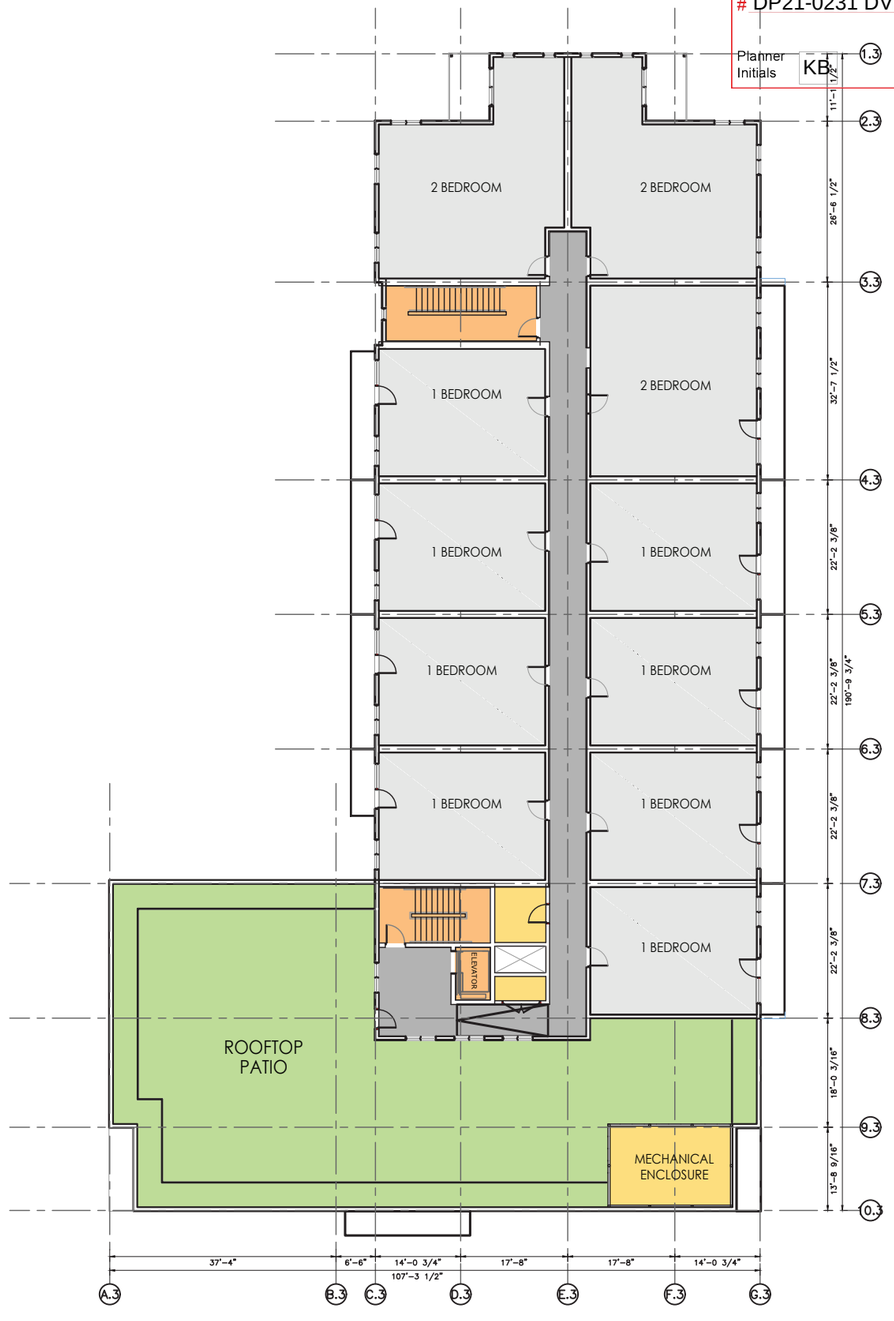
This forms part of application
DP21-0231 DVP21-0232
City of Kelowna
DEVELOPMENT PLANNING

Planner Initials KB



BUILDING 3 TYPICAL PLAN

SCALE 1:300



BUILDING 3 SIXTH FLOOR PLAN

SCALE 1:300

NORTH

Ironclad Developments Inc.

IRONCLAD DEVELOPMENTS INC.

Project Management
General Contracting
Design/ Build

101-57158 Symington Rd.
Springfield, MB.
R2J 4L6

PH:
204-777-1972

info@icdev.ca

Consultant

RJSG ARCHITECT

ROB J.S. GARVEY, ARCHITECT
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201-57158 SYMINGTON RD 20E
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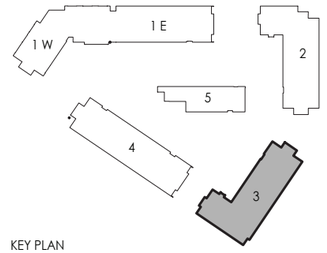
T: 204.227.9274
E: RGARVEY@A77.CA



AMENITIES	ROOFTOP PATIOS
COMMERCIAL	SUPPORTING SPACES
SUITES	LOBBY/ENTRANCE AREA
CORRIDOR	VERTICAL COMMUNICATION

REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;
Kelowna BC.

BUILDING THREE
TYPICAL (3-5) AND SIXTH
FLOOR PLAN

Project Number: 2102	
04-30-2020	Rev Date 06-06-2022
Drawn By	T.THIMM
Designed By	T.THIMM
Checked By	R.GARVEY

ESP-3.31

Scale 1:300

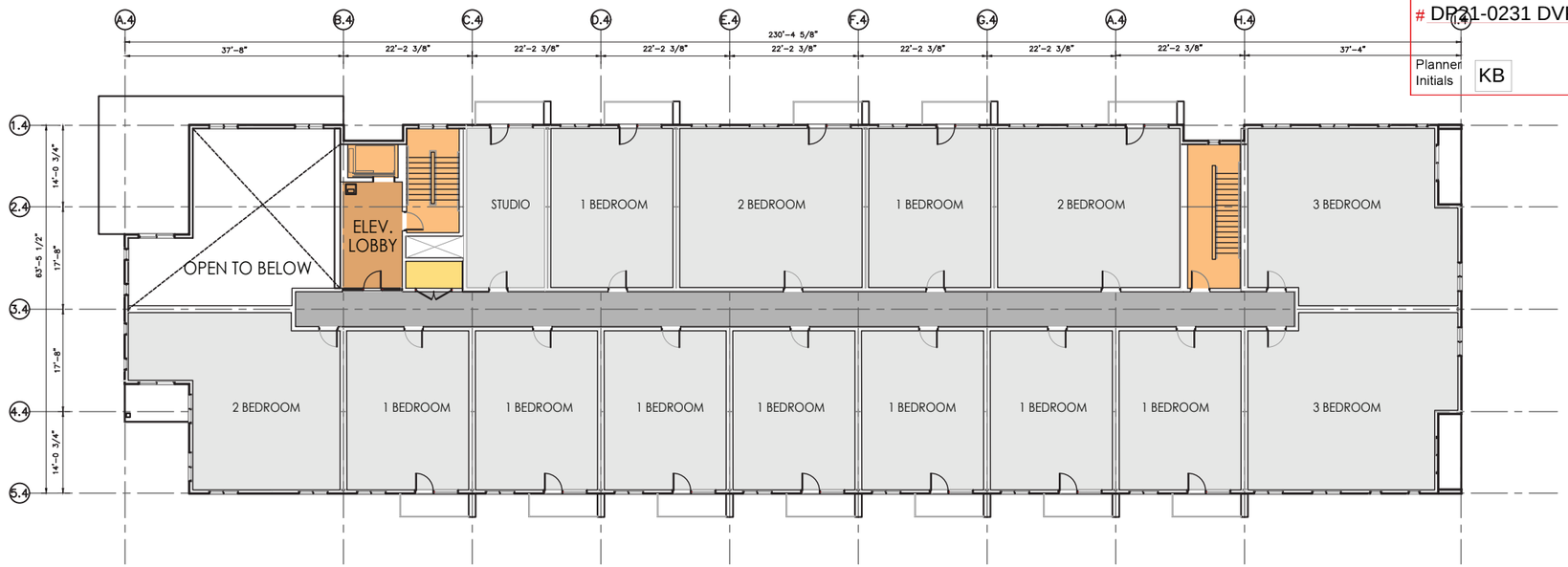
SCHEDULE B

This forms part of application

DP21-0231 DVP21-0232

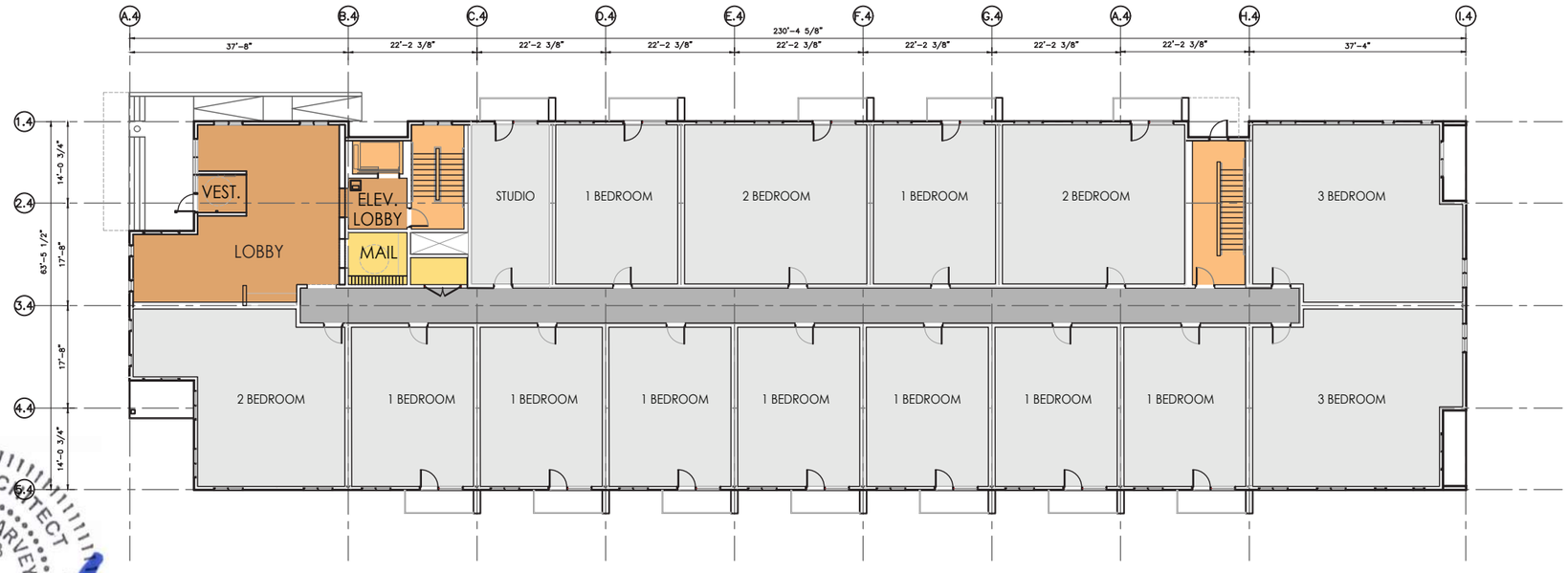
City of Kelowna DEVELOPMENT PLANNING

Planner Initials KB



BUILDING 4 SECOND FLOOR PLAN

SCALE 1:300



BUILDING 4 MAIN FLOOR PLAN

SCALE 1:300

REGISTERED ARCHITECT ROBERT J.S. GARVEY 22 06 23 BRITISH COLUMBIA

NORTH

Ironclad Developments Inc.

IRONCLAD DEVELOPMENTS INC.

Project Management
General Contracting
Design/ Build

101-57158
Symington Rd.
Springfield, MB.
R2J 4L6

PH:
204-777-1972

info@icdev.ca

Consultant

RJSG ARCHITECT

ROB J.S. GARVEY, ARCHITECT
MAA, AIBC, LEED AP

201-57158 SYMINGTON RD 20E
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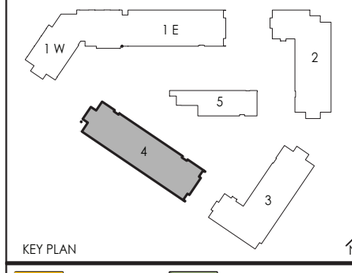
T: 204.227.9274
E: RGARVEY@A77.CA



AMENITIES
ROOFTOP PATIOS
COMMERCIAL
SUPPORTING SPACES
SUITES
LOBBY/ENTRANCE AREA
CORRIDOR
VERTICAL COMMUNICATION

REV.	DESCRIPTION OF WORK REVISED	DATE

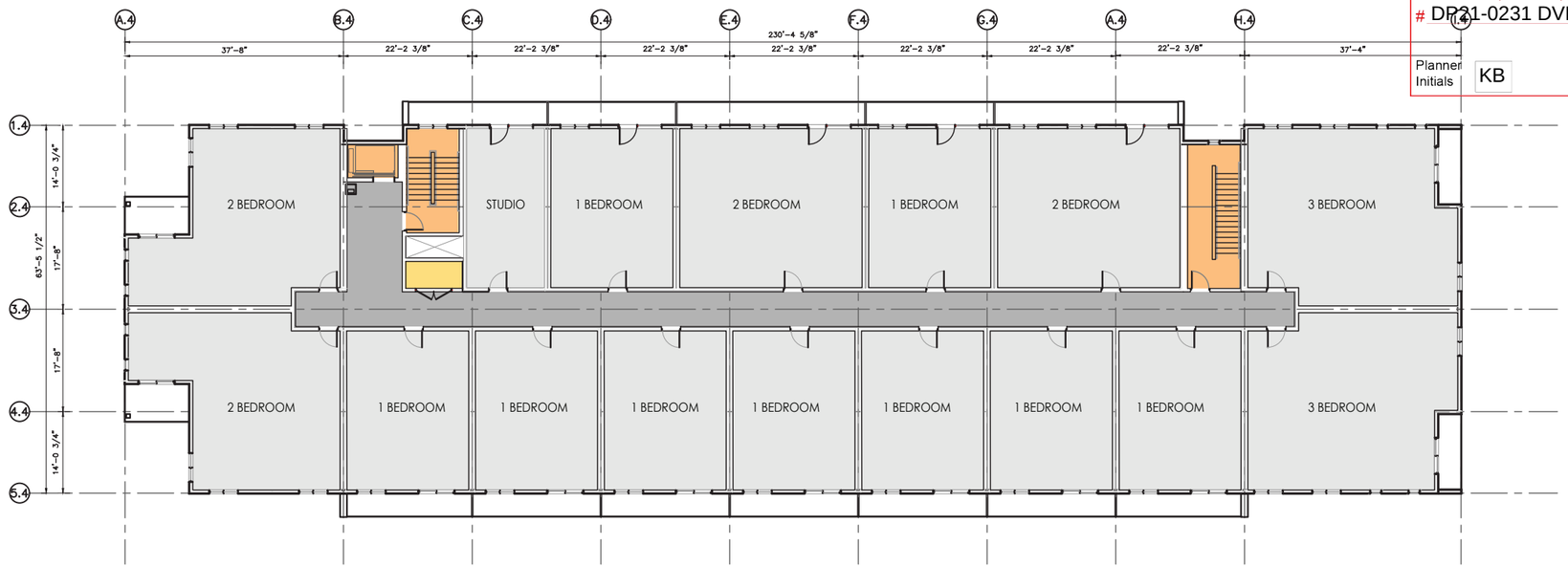
2241 SPRINGFIELD ROAD;
Kelowna BC.

BUILDING FOUR
MAIN AND SECOND FLOOR PLAN

Project Number: 2102	
04-30-2020	Rev Date 06-06-2022
Drawn By	T.THIMM
Designed By	T.THIMM
Checked By	R.GARVEY

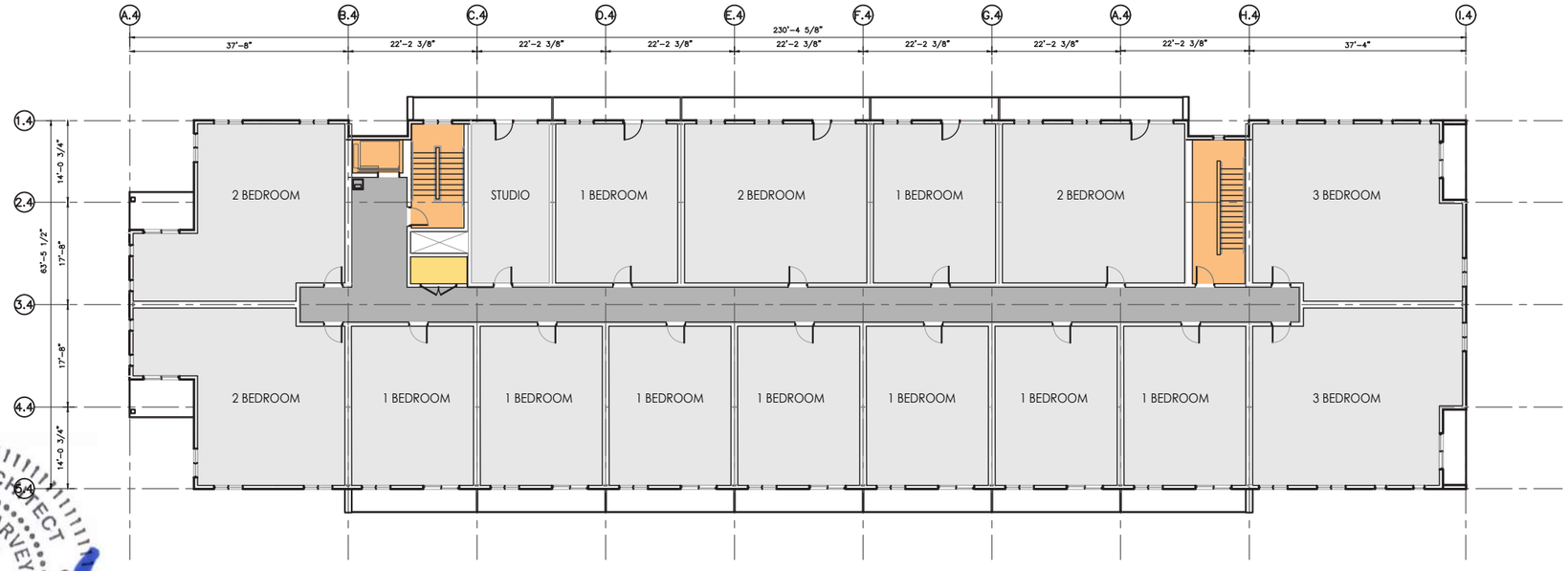
ESP-3.40

Scale 1:300



BUILDING 4 FIFTH FLOOR PLAN

SCALE 1:300



BUILDING 4 TYPICAL FLOOR PLAN

SCALE 1:300

REGISTERED ARCHITECT
ROBERT J.S. GARVEY
22 06 23
BRITISH COLUMBIA

SCHEDULE B

This forms part of application
DP21-0231 DVP21-0232

City of Kelowna
DEVELOPMENT PLANNING

Planner Initials KB

Ironclad Developments Inc.

IRONCLAD DEVELOPMENTS INC.

Project Management
General Contracting
Design/ Build

101-57158
Symington Rd.
Springfield, MB.
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Consultant

RJSG ARCHITECT

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201-57158 SYMINGTON RD 20E
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T: 204.227.9274
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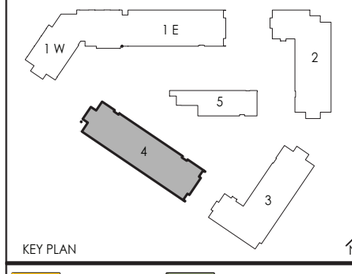


AMENITIES
ROOFTOP PATIOS
COMMERCIAL
SUPPORTING SPACES
SUITES
LOBBY/ENTRANCE AREA
CORRIDOR
VERTICAL COMMUNICATION

REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;
Kelowna BC.

BUILDING FOUR
TYPICAL (3-4) AND FIFTH
FLOOR PLAN

Project Number: 2004	06-06-2022
04-30-2020	Rev Date
Drawn By	T.THIMM
Designed By	T.THIMM
Checked By	R.GARVEY

ESP-3.41

Scale 1:300

NORTH

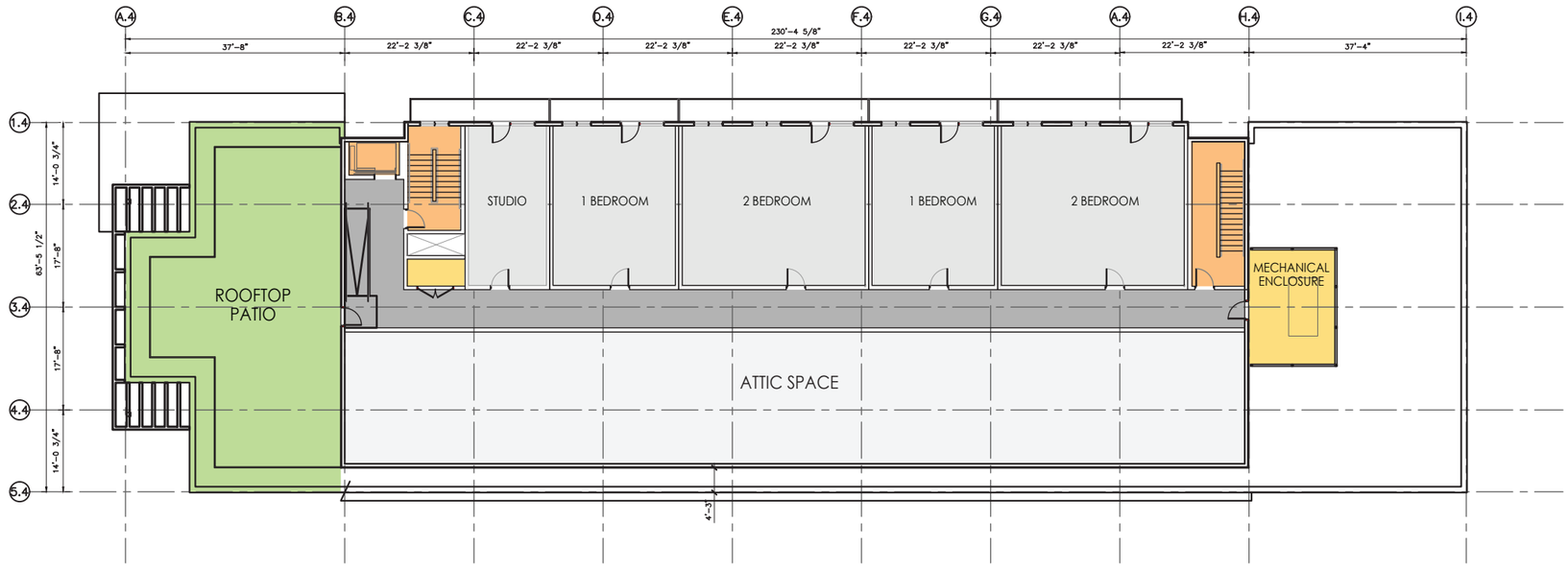
SCHEDULE B

This forms part of application

DP21-0231 DVP21-0232

City of Kelowna
DEVELOPMENT PLANNING

Planner Initials KB



BUILDING 4 SIXTH FLOOR PLAN

SCALE 1:300

REGISTERED ARCHITECT
ROBERT J.S. GARVEY
22 06 23
BRITISH COLUMBIA

Ironclad Developments Inc.

IRONCLAD DEVELOPMENTS INC.

Project Management
General Contracting
Design/ Build

101-57158 Symington Rd.
Springfield, MB.
R2J 4L6

PH:
204-777-1972

info@icdev.ca

Consultant

RJSG ARCHITECT

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201-57158 SYMINGTON RD 20E
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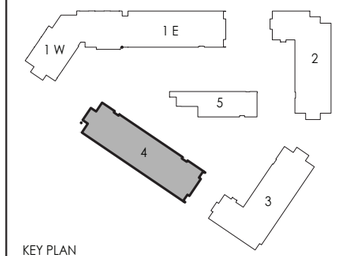
T: 204.227.9274
E: RGARVEY@A77.CA



AMENITIES
ROOFTOP PATIOS
COMMERCIAL
SUPPORTING SPACES
SUITES
LOBBY/ENTRANCE AREA
CORRIDOR
VERTICAL COMMUNICATION

REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;
Kelowna BC.

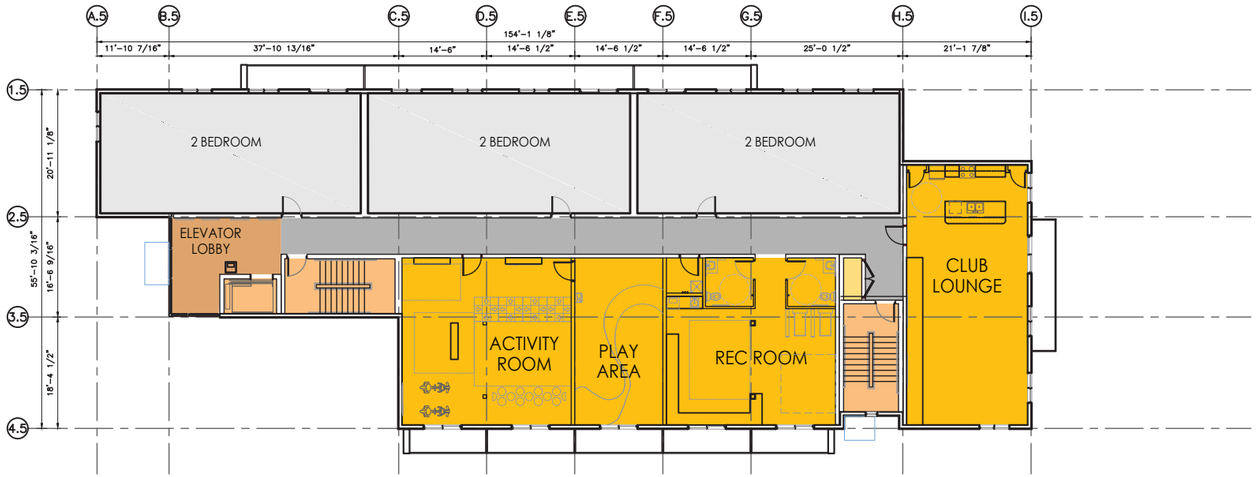
BUILDING FOUR
SIXTH
FLOOR PLAN

Project Number: 2102	
04-30-2020	Rev Date 06-06-2022
Drawn By	T.THIMM
Designed By	T.THIMM
Checked By	R.GARVEY

ESP-3.42

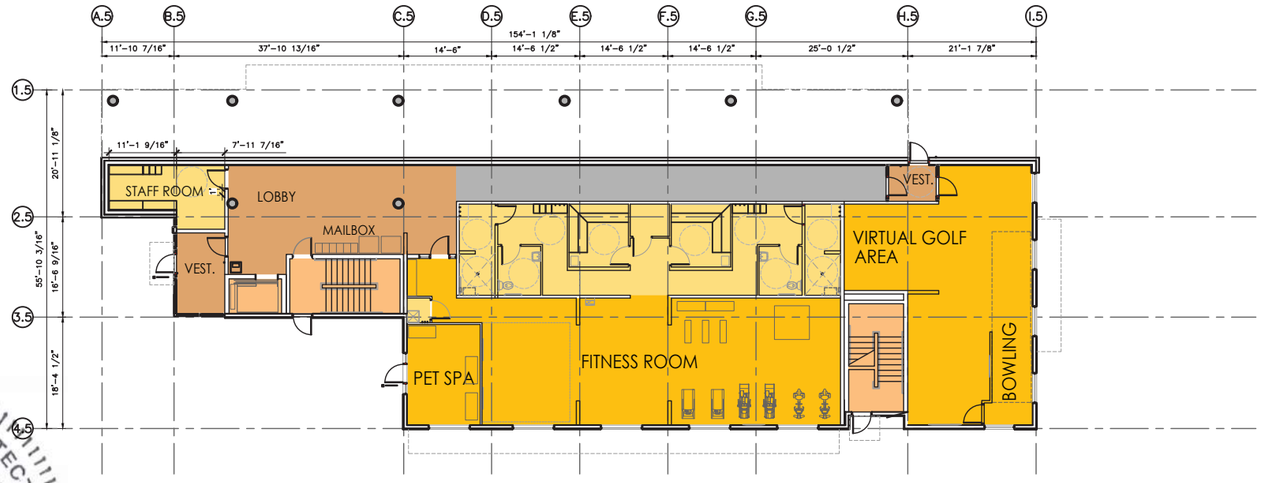
Scale 1:300

NORTH



BUILDING 5 SECOND FLOOR PLAN

SCALE 1:300



BUILDING 5 MAIN FLOOR PLAN

SCALE 1:300

NORTH

SCHEDULE B

This forms part of application

DP21-0231 DVP21-0232

City of Kelowna DEVELOPMENT PLANNING

Planner Initials KB

Ironclad Developments Inc.

IRONCLAD DEVELOPMENTS INC.

Project Management
General Contracting
Design/ Build

101-57158
Symington Rd.
Springfield, MB.
R2J 4L6

PH:
204-777-1972

info@icdev.ca

Consultant

RJSG ARCHITECT

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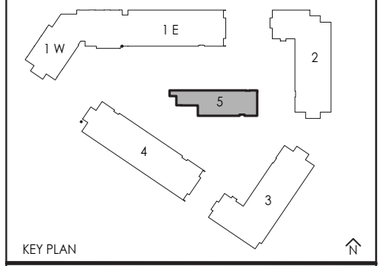
201-57158 SYMINGTON RD 20E
SPRINGFIELD, MB R2J 4L6
T: 204.227.9274
E: RGARVEY@A77.CA



AMENITIES
ROOFTOP PATIOS
COMMERCIAL
SUPPORTING SPACES
SUITES
LOBBY/ENTRANCE AREA
CORRIDOR
VERTICAL COMMUNICATION

REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;
Kelowna BC.

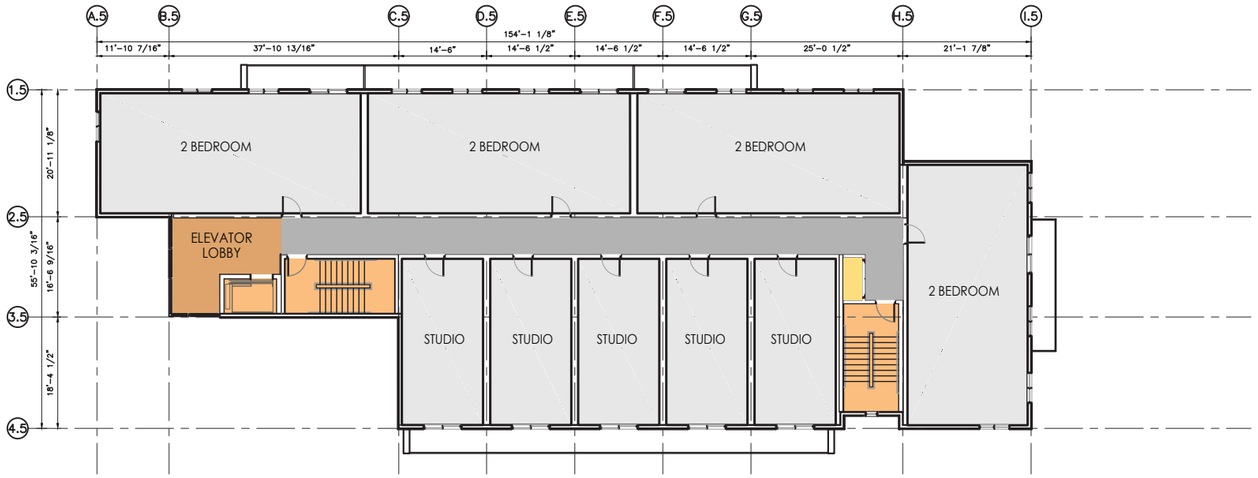
BUILDING FIVE
MAIN AND SECOND
FLOOR PLAN

Project Number: 2102	
04-30-2020	Rev Date 06-06-2022
Drawn By	T.THIMM
Designed By	T.THIMM
Checked By	R.GARVEY

ESP-3.50

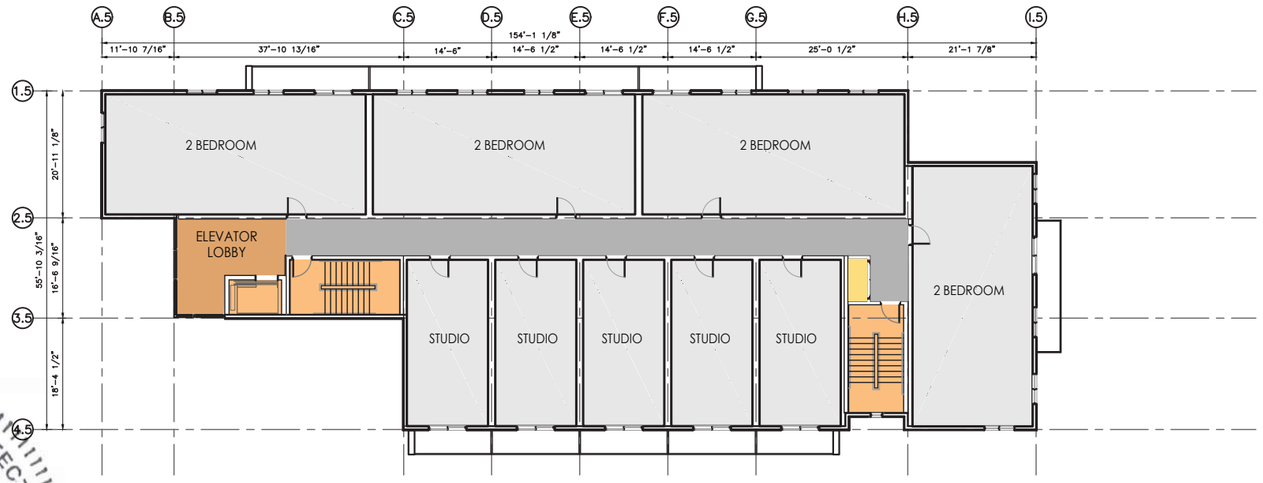
Scale 1:300

REGISTERED ARCHITECT ROBERT J.S. GARVEY 22 06 23 BRITISH COLUMBIA



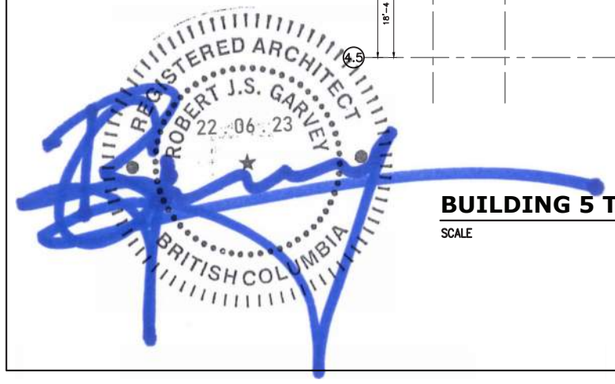
BUILDING 5 FOURTH FLOOR PLAN

SCALE 1:300



BUILDING 5 THIRD FLOOR PLAN

SCALE 1:300



NORTH

SCHEDULE B

This forms part of application

DP21-0231 DVP21-0232

City of Kelowna
DEVELOPMENT PLANNING

Planner Initials KB

Ironclad Developments Inc.

IRONCLAD DEVELOPMENTS INC.

Project Management
General Contracting
Design/ Build

101-57158 Symington Rd.
Springfield, MB.
R2J 4L6

PH:
204-777-1972

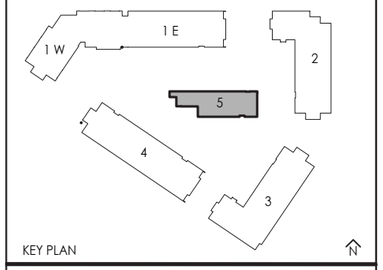
info@icdev.ca

Consultant

RJSG ARCHITECT

ROB J.S. GARVEY, ARCHITECT
MAA, AIBC, LEED AP

201-57158 SYMINGTON RD 20E
SPRINGFIELD, MB R2J 4L6
T: 204.227.9274
E: RGARVEY@A77.CA



- AMENITIES
- ROOFTOP PATIOS
- COMMERCIAL
- SUPPORTING SPACES
- SUITES
- LOBBY/ENTRANCE AREA
- CORRIDOR
- VERTICAL COMMUNICATION

REV.	DESCRIPTION OF WORK REVISED	DATE

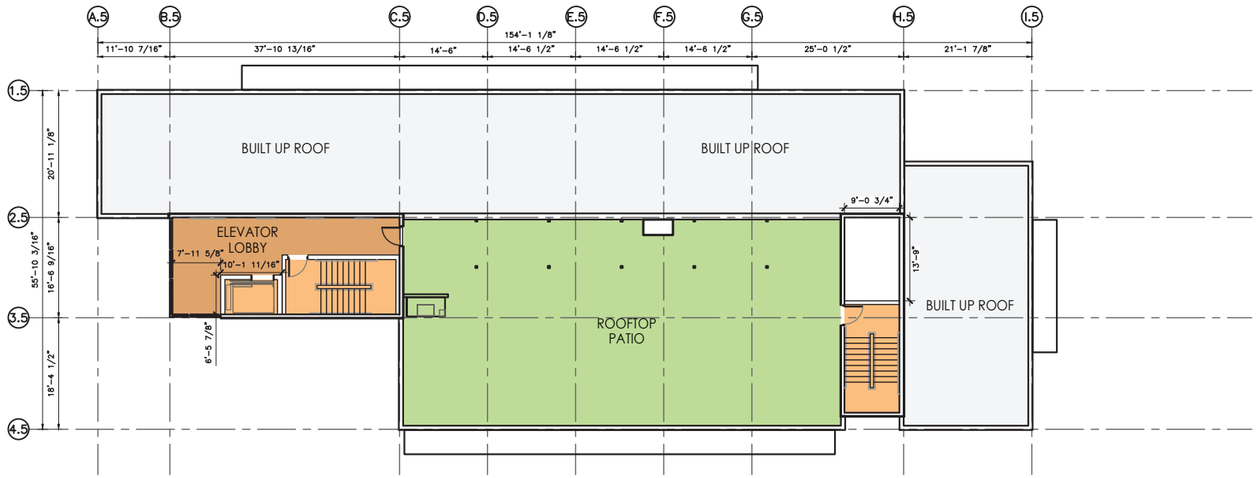
2241 SPRINGFIELD ROAD;
Kelowna BC.

BUILDING FIVE
THIRD AND FOURTH
FLOOR PLAN

Project Number: 2102	
04-30-2020	Rev Date 06-06-2022
Drawn By	T.THIMM
Designed By	T.THIMM
Checked By	R.GARVEY

ESP-3.51

Scale 1:300



BUILDING 5 FIFTH FLOOR PLAN

SCALE 1:300

SCHEDULE B

This forms part of application

DP21-0231 DVP21-0232

City of Kelowna DEVELOPMENT PLANNING

Planner Initials KB

Ironclad Developments Inc.

IRONCLAD DEVELOPMENTS INC.

Project Management
General Contracting
Design/ Build

101-57158 Symington Rd.
Springfield, MB.
R2J 4L6

PH: 204-777-1972

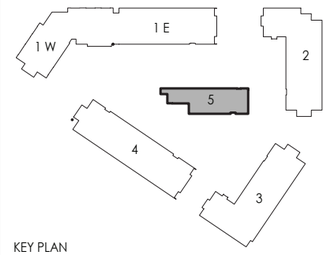
info@icdev.ca

Consultant

RJSG ARCHITECT

ROB J.S. GARVEY, ARCHITECT
MAA, AIBC, LEED AP

201-57158 SYMINGTON RD 20E
SPRINGFIELD, MB R2J 4L6
T: 204.227.9274
E: RGARVEY@A77.CA



AMENITIES
ROOFTOP PATIOS
COMMERCIAL
SUPPORTING SPACES
SUITES
LOBBY/ENTRANCE AREA
CORRIDOR
VERTICAL COMMUNICATION

REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;
Kelowna BC.

BUILDING FIVE
FIFTH FLOOR PLAN

Project Number: 2102

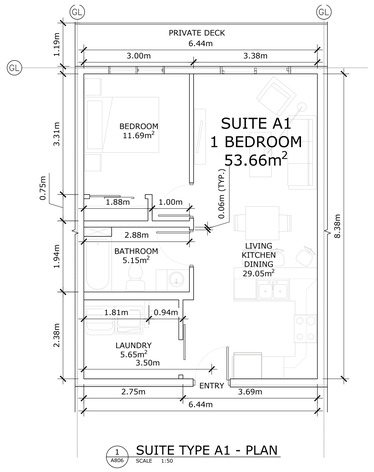
04-30-2020	Rev Date 06-06-2022
Drawn By	T.THIMM
Designed By	T.THIMM
Checked By	R.GARVEY

ESP-3.52

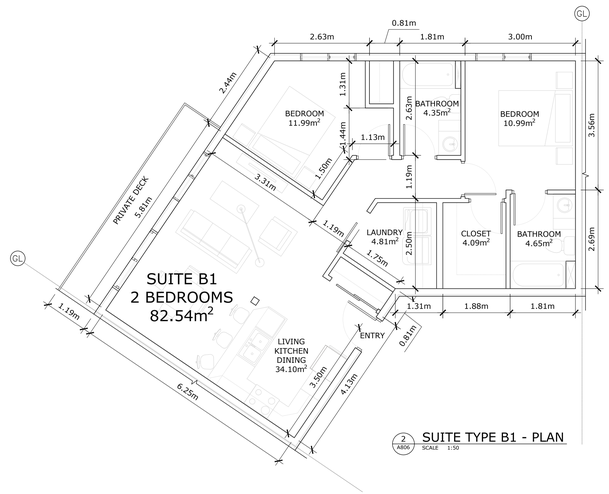
Scale 1:300

REGISTERED ARCHITECT
ROBERT J.S. GARVEY
22 06 23
BRITISH COLUMBIA

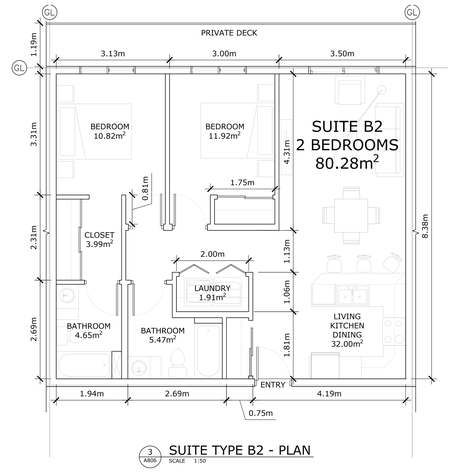
NORTH



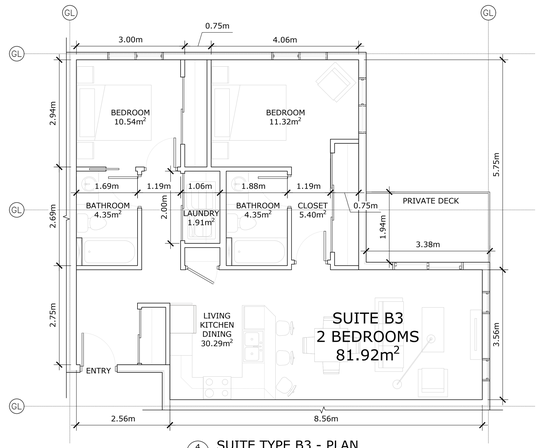
1 A806 SCALE 1:50 SUITE TYPE A1 - PLAN



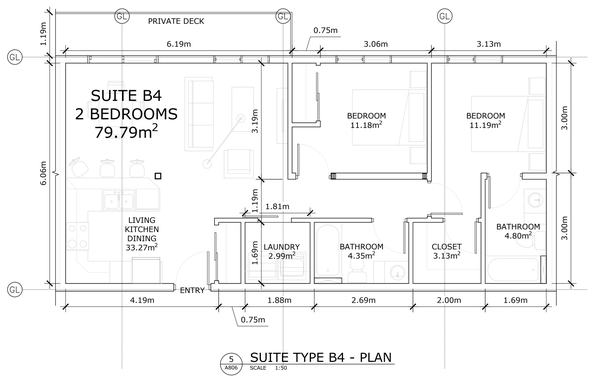
2 A806 SCALE 1:50 SUITE TYPE B1 - PLAN



3 A806 SCALE 1:50 SUITE TYPE B2 - PLAN



4 A806 SCALE 1:50 SUITE TYPE B3 - PLAN



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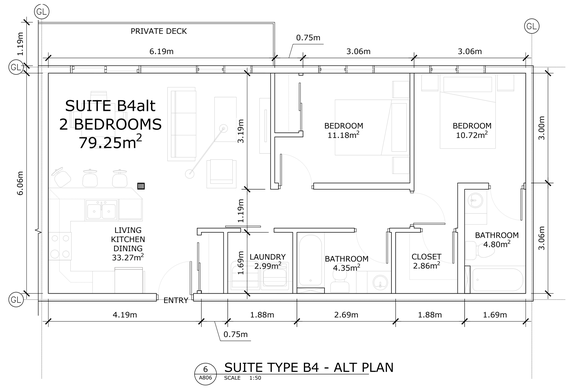
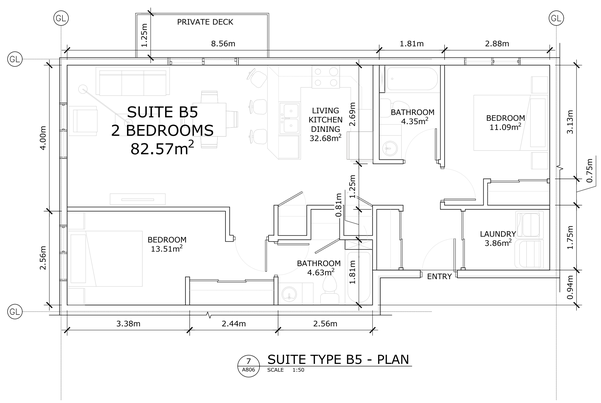
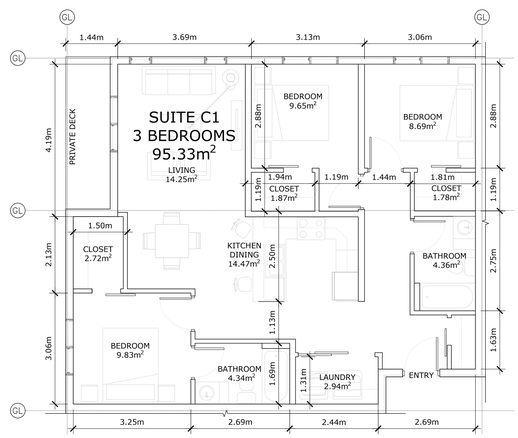


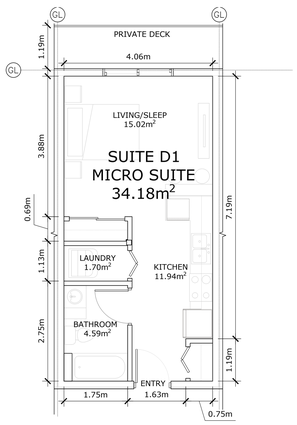
6 A806 SCALE 1:50 SUITE TYPE B4 - ALT PLAN



7 A806 SCALE 1:50 SUITE TYPE B5 - PLAN



8 A806 SCALE 1:50 SUITE TYPE C1 - PLAN



9 A806 SCALE 1:50 SUITE TYPE D1 - PLAN

IRONCLAD DEVELOPMENTS INC.

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Design/ Build

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SCHEDULE B

This forms part of application
DP21-0231 DVP21-0232

City of Kelowna
DEVELOPMENT PLANNING

Planner Initials KB

REV #	REVISION DESCRIPTION	DATE

Consultant

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T: 204 227 6274
E: RGARVEY@A77.CA

Stamp

NOT FOR CONSTRUCTION

Project

MISSION HEIGHTS

2241 SPRINGFIELD ROAD
KELOWNA, BC

Drawing Title

SUITE PLANS

Project no.	2135	Designed by	xx
Drawn by	JC/EB	Reviewed by	xx
Date	JULY 22, 2022	Revision Date	
Reference no.		Scale	AS NOTED

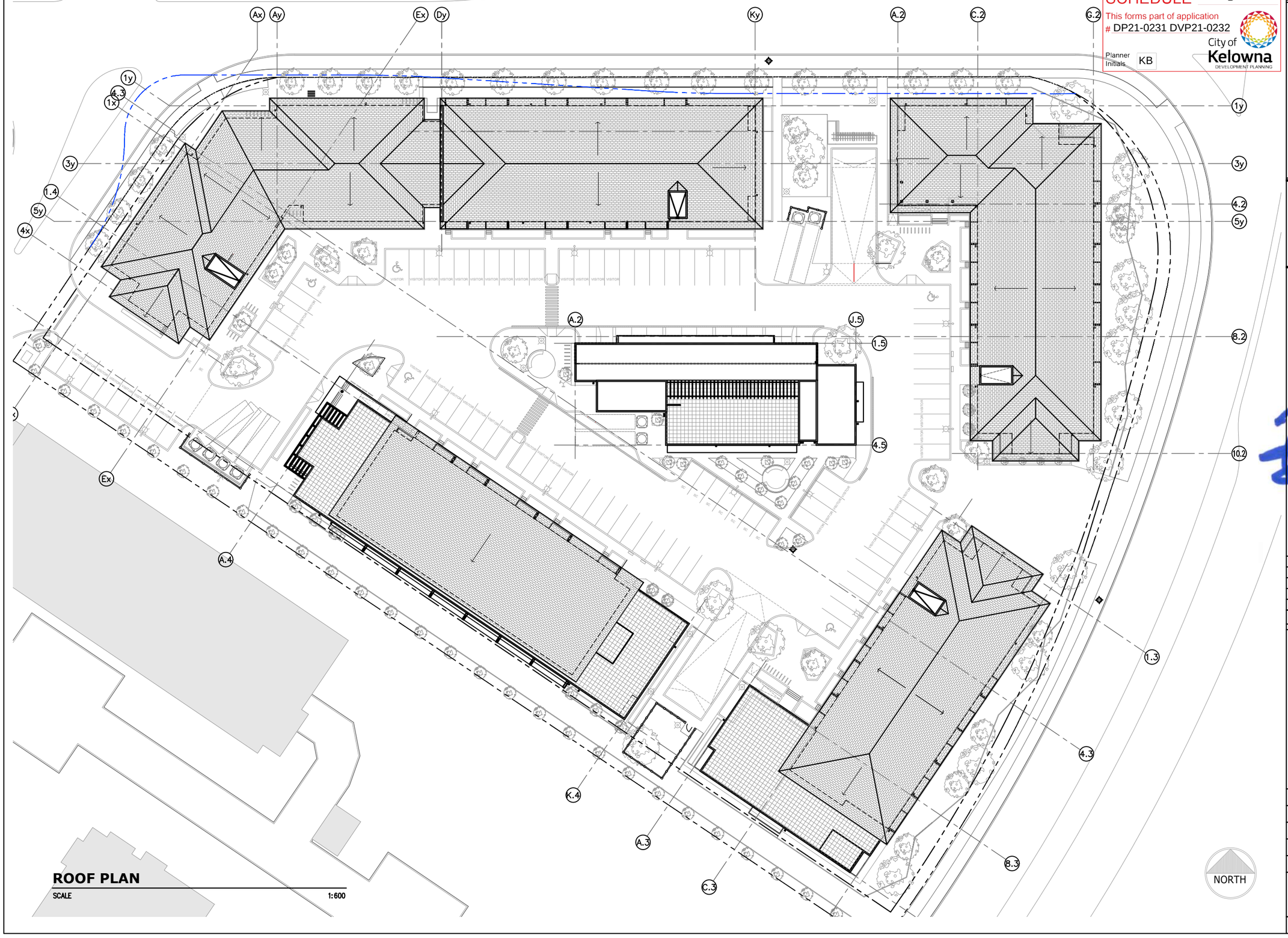
Sheet no. **A806** Revision no. 0

SCHEDULE B

This forms part of application
DP21-0231 DVP21-0232

City of Kelowna
DEVELOPMENT PLANNING

Planner Initials KB



ROOF PLAN
SCALE 1:600

Ironclad Developments Inc.

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REGISTERED ARCHITECT
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BRITISH COLUMBIA

REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;
Kelowna BC.

PROPOSED ROOF PLAN

Project Number: 2102

04-30-2020	Rev Date 09-30-2020
Drawn By	T.THIMM
Designed By	T.THIMM
Checked By	R.GARVEY

ESP-4.0

Scale 1:600

SCHEDULE B

This forms part of application

DP21-0231 DVP21-0232

City of Kelowna DEVELOPMENT PLANNING

Planner Initials KB

WOODEN TRELLIS

METAL LAP SIDING - BLUE

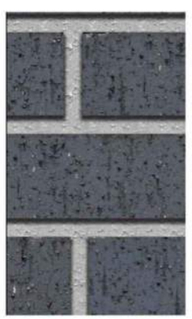
METAL LAP SIDING - CREAM

CEDAR TONE - COMPOSITE

METAL LAP SIDING GREY

HARDIE - SMOOTH WHITE

HARDIE - SMOOTH GREY



BRICK VENEER

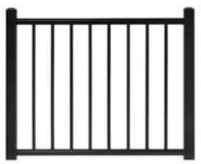
METAL SIDING - YELLOW

LEGEND

- A HARDIE - SMOOTH (GREY)
- B CEDAR TONE COMPOSITE MATERIAL
- C BRICK VENEER
- D HARDIE - SMOOTH (WHITE)
- E METAL LAP SIDING (CREAM)
- F METAL LAP SIDING (BLUE)
- G METAL LAP SIDING (GREY)
- H WOODEN TRELLIS
- I ALUMINUM STOREFRONT (BLACK)
- J METAL SIDING (YELLOW)
- K ALUMINUM RAILING C/W CLEAR TEMPERED GLASS (BLACK)
- L PVC FRAMED WINDOWS C/W CLEAR GLASS
- M ALUMINUM PICKET RAILING

ALUMINUM RAILING C/W CLEAR TEMPERED GLASS

PVC FRAMED WINDOWS C/W CLEAR GLASS



ALUMINUM PICKET RAILING

ALUMINUM STOREFRONT (BLACK)

Ironclad Developments Inc.

IRONCLAD DEVELOPMENTS INC.

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REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;
Kelowna BC.

MATERIAL PALLETE

Project Number: 2102

04-30-2020 | Rev Date 06-06-2022

Drawn By	T.THIMM
Designed By	T.THIMM
Checked By	R.GARVEY

ESP-5.0

Scale NTS

SCHEDULE B

This forms part of application
DP21-0231 DVP21-0232
City of Kelowna
DEVELOPMENT PLANNING

Planner Initials KB

BUILDING 1 (EAST) NORTH ELEVATION

SCALE 1:300

LEGEND

- Ⓐ HARDIE - SMOOTH (GREY)
- Ⓑ CEDAR TONE COMPOSITE MATERIAL
- Ⓒ BRICK VENEER
- Ⓓ HARDIE - SMOOTH (WHITE)
- Ⓔ METAL LAP SIDING (CREAM)
- Ⓕ METAL LAP SIDING (BLUE)
- Ⓖ METAL LAP SIDING (GREY)
- Ⓗ WOODEN TRELLIS
- Ⓘ ALUMINUM STOREFRONT (BLACK)
- Ⓙ METAL SIDING (YELLOW)
- Ⓚ ALUMINUM RAILING C/W CLEAR TEMPERED GLASS (BLACK)
- Ⓛ PVC FRAMED WINDOWS C/W CLEAR GLASS
- Ⓜ ALUMINUM PICKET RAILING

BUILDING 1 (WEST) NORTH ELEVATION

SCALE 1:300

Ironclad Developments Inc.

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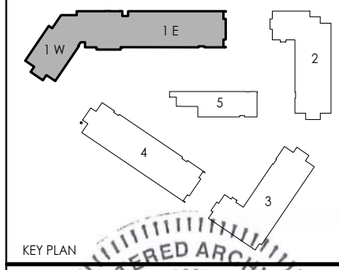


REGISTERED ARCHITECT ROBERT J.S. GARVEY 22 06 23 BRITISH COLUMBIA

REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;
Kelowna BC.

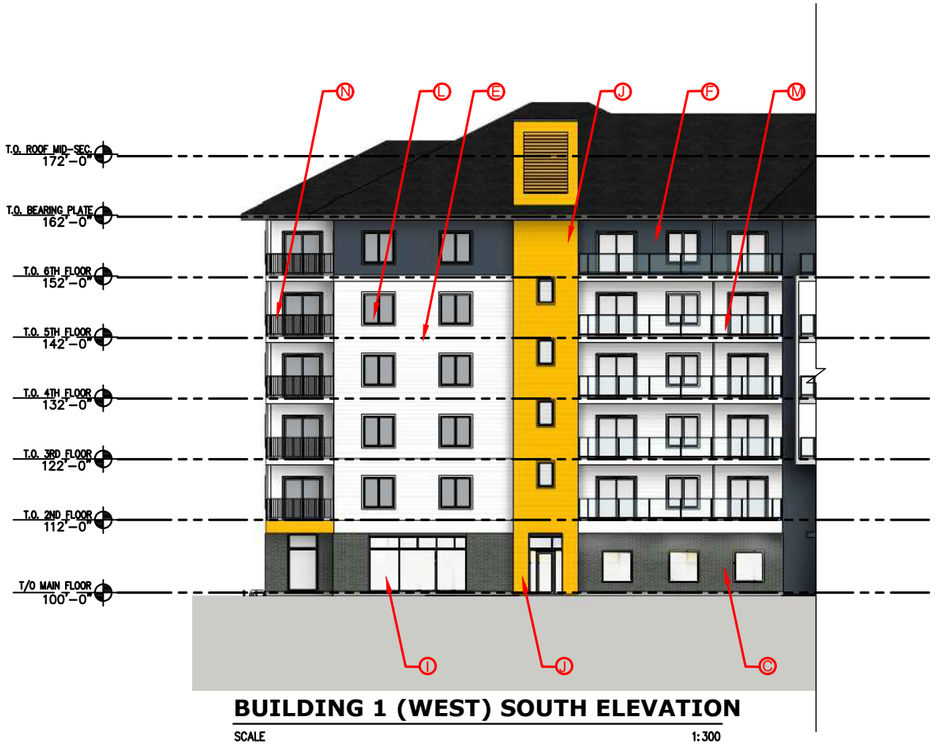
BUILDING 1 NORTH
ELEVATIONS

Project Number: 2102

04-30-2020	Rev Date 06-06-2022
Drawn By	T.THIMM
Designed By	T.THIMM
Checked By	R.GARVEY

ESP-6.10

Scale 1:300



BUILDING 1 (WEST) SOUTH ELEVATION

SCALE 1:300

BUILDING 1 (EAST) SOUTH ELEVATION

SCALE 1:300

SCHEDULE B

This forms part of application
DP21-0231 DVP21-0232
City of Kelowna
DEVELOPMENT PLANNING

Planner Initials KB

LEGEND

- (A) HARDIE - SMOOTH (GREY)
- (B) CEDAR TONE COMPOSITE MATERIAL
- (C) BRICK VENEER
- (D) HARDIE - SMOOTH (WHITE)
- (E) METAL LAP SIDING (CREAM)
- (F) METAL LAP SIDING (BLUE)
- (G) METAL LAP SIDING (GREY)
- (H) WOODEN TRELLIS
- (I) ALUMINUM STOREFRONT (BLACK)
- (J) METAL SIDING (YELLOW)
- (K) ALUMINUM RAILING C/W CLEAR TEMPERED GLASS (BLACK)
- (L) PVC FRAMED WINDOWS C/W CLEAR GLASS
- (M) ALUMINUM PICKET RAILING

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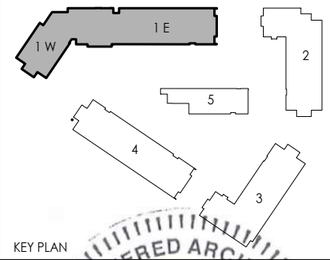
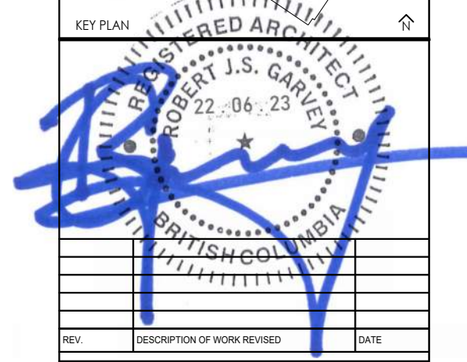




REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;
Kelowna BC.

BUILDING 1 SOUTH
ELEVATIONS

Project Number: 2102

04-30-2020	Rev Date 06-06-2022
Drawn By	T.THIMM
Designed By	T.THIMM
Checked By	R.GARVEY

ESP-6.11

Scale 1:300

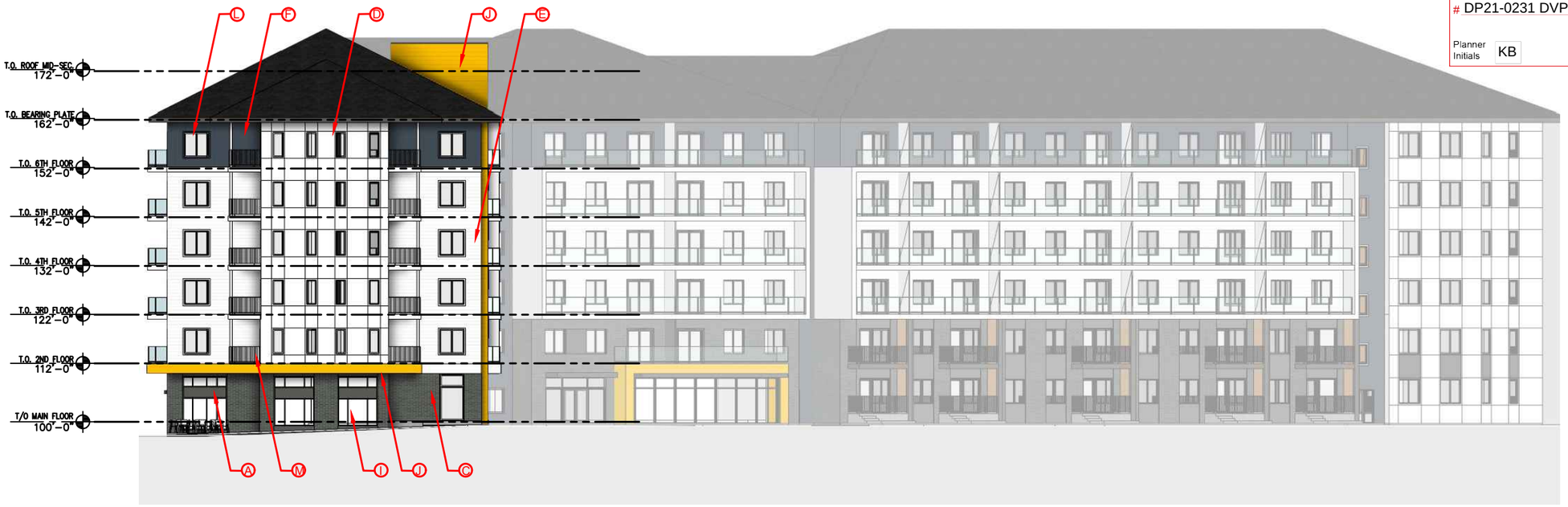
SCHEDULE B

This forms part of application

DP21-0231 DVP21-0232

City of Kelowna
DEVELOPMENT PLANNING

Planner Initials KB



BUILDING 1 WEST ELEVATION

SCALE 1:300

LEGEND

- Ⓐ HARDIE - SMOOTH (GREY)
- Ⓑ CEDAR TONE COMPOSITE MATERIAL
- Ⓒ BRICK VENEER
- Ⓓ HARDIE - SMOOTH (WHITE)
- Ⓔ METAL LAP SIDING (CREAM)
- Ⓕ METAL LAP SIDING (BLUE)
- Ⓖ METAL LAP SIDING (GREY)
- Ⓗ WOODEN TRELLIS
- Ⓘ ALUMINUM STOREFRONT (BLACK)
- Ⓙ METAL SIDING (YELLOW)
- Ⓚ ALUMINUM RAILING C/W CLEAR TEMPERED GLASS (BLACK)
- Ⓛ PVC FRAMED WINDOWS C/W CLEAR GLASS
- Ⓜ ALUMINUM PICKET RAILING

BUILDING 1 EAST ELEVATION

SCALE 1:300

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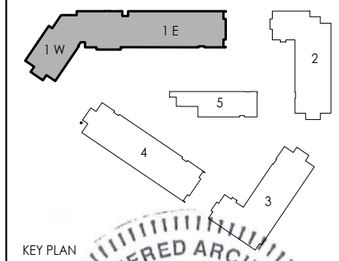

REGISTERED ARCHITECT
ROBERT J.S. GARVEY
22 06 23
BRITISH COLUMBIA

REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;
Kelowna BC.

BUILDING 1 ELEVATIONS

Project Number: 2102

04-30-2020	Rev Date 06-06-2022
Drawn By	T.THIMM
Designed By	T.THIMM
Checked By	R.GARVEY

ESP-6.12

Scale 1:300

BUILDING 2 NORTH ELEVATION

SCALE 1:300

BUILDING 2 SOUTH ELEVATION

SCALE 1:300

SCHEDULE B

This forms part of application
DP21-0231 DVP21-0232

Planner Initials KB

City of Kelowna
DEVELOPMENT PLANNING

LEGEND

- (A) HARDIE - SMOOTH (GREY)
- (B) CEDAR TONE COMPOSITE MATERIAL
- (C) BRICK VENEER
- (D) HARDIE - SMOOTH (WHITE)
- (E) METAL LAP SIDING (CREAM)
- (F) METAL LAP SIDING (BLUE)
- (G) METAL LAP SIDING (GREY)
- (H) WOODEN TRELLIS
- (I) ALUMINUM STOREFRONT (BLACK)
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- (L) PVC FRAMED WINDOWS C/W CLEAR GLASS
- (M) ALUMINUM PICKET RAILING

Ironclad Developments Inc.

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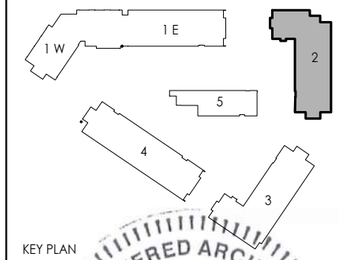

REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;
Kelowna BC.

BUILDING 2 ELEVATIONS

Project Number: 2102

04-30-2020	Rev Date 06-06-2022
Drawn By	T.THIMM
Designed By	T.THIMM
Checked By	R.GARVEY

ESP-6.20

Scale 1:300

BUILDING 2 EAST ELEVATION

SCALE 1:300

BUILDING 2 WEST ELEVATION

SCALE 1:300

LEGEND

- Ⓐ HARDIE - SMOOTH (GREY)
- Ⓑ CEDAR TONE COMPOSITE MATERIAL
- Ⓒ BRICK VENEER
- Ⓓ HARDIE - SMOOTH (WHITE)
- Ⓔ METAL LAP SIDING (CREAM)
- Ⓕ METAL LAP SIDING (BLUE)
- Ⓖ METAL LAP SIDING (GREY)
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- Ⓘ ALUMINUM STOREFRONT (BLACK)
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- Ⓚ ALUMINUM RAILING C/W CLEAR TEMPERED GLASS (BLACK)
- Ⓛ PVC FRAMED WINDOWS C/W CLEAR GLASS
- Ⓜ ALUMINUM PICKET RAILING

SCHEDULE B

This forms part of application
DP21-0231 DVP21-0232
City of Kelowna
DEVELOPMENT PLANNING

Planner Initials KB

Ironclad Developments Inc.

IRONCLAD DEVELOPMENTS INC.

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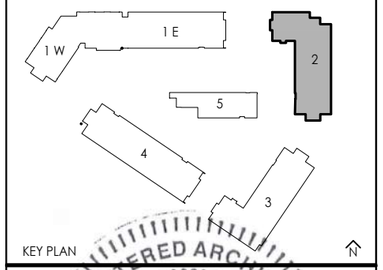

REGISTERED ARCHITECT
ROBERT J.S. GARVEY
22 06 23
BRITISH COLUMBIA

REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;
Kelowna BC.

BUILDING 2 ELEVATIONS

Project Number: 2102

04-30-2020	Rev Date 06-06-2022
Drawn By	T.THIMM
Designed By	T.THIMM
Checked By	R.GARVEY

ESP-6.21

Scale 1:300

BUILDING 3 NORTH ELEVATION

SCALE 1:300

BUILDING 3 SOUTH ELEVATION

SCALE 1:300

SCHEDULE B

This forms part of application
DP21-0231 DVP21-0232
City of Kelowna
DEVELOPMENT PLANNING

Planner Initials KB

LEGEND

- (A) HARDIE - SMOOTH (GREY)
- (B) CEDAR TONE COMPOSITE MATERIAL
- (C) BRICK VENEER
- (D) HARDIE - SMOOTH (WHITE)
- (E) METAL LAP SIDING (CREAM)
- (F) METAL LAP SIDING (BLUE)
- (G) METAL LAP SIDING (GREY)
- (H) WOODEN TRELLIS
- (I) ALUMINUM STOREFRONT (BLACK)
- (J) METAL SIDING (YELLOW)
- (K) ALUMINUM RAILING C/W CLEAR TEMPERED GLASS (BLACK)
- (L) PVC FRAMED WINDOWS C/W CLEAR GLASS
- (M) ALUMINUM PICKET RAILING

Ironclad Developments Inc.

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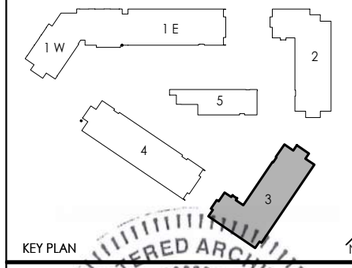
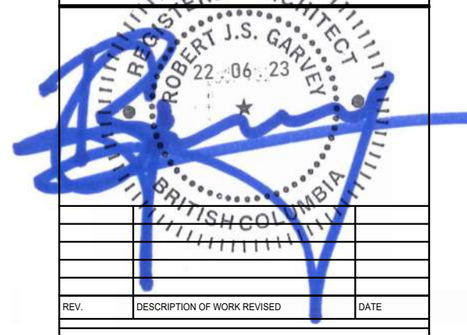




REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;
Kelowna BC.

BUILDING 3 ELEVATIONS

Project Number: 2102

04-30-2020	Rev Date 06-06-2022

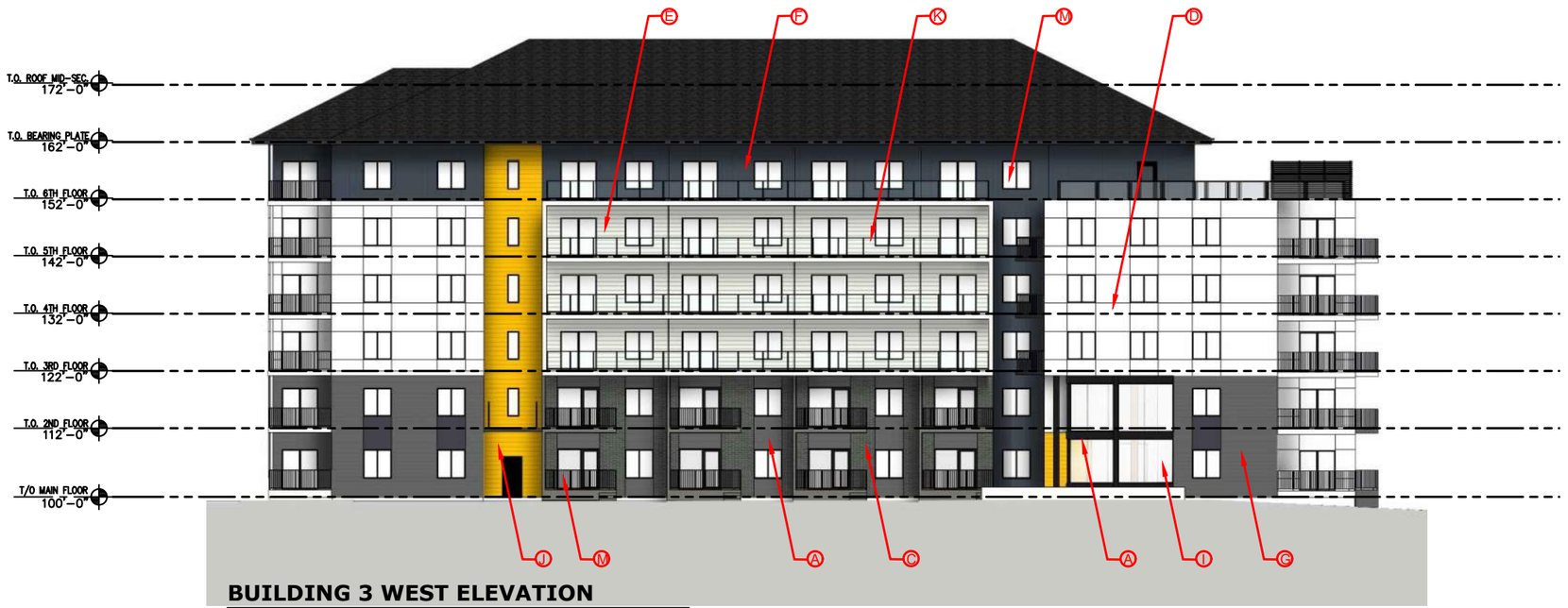
Drawn By	T.THIMM
Designed By	T.THIMM
Checked By	R.GARVEY

ESP-6.30

Scale 1:300

BUILDING 3 EAST ELEVATION

SCALE 1:300



BUILDING 3 WEST ELEVATION

SCALE 1:300

LEGEND

- Ⓐ HARDIE - SMOOTH (GREY)
- Ⓑ CEDAR TONE COMPOSITE MATERIAL
- Ⓒ BRICK VENEER
- Ⓓ HARDIE - SMOOTH (WHITE)
- Ⓔ METAL LAP SIDING (CREAM)
- Ⓕ METAL LAP SIDING (BLUE)
- Ⓖ METAL LAP SIDING (GREY)
- Ⓗ WOODEN TRELLIS
- Ⓘ ALUMINUM STOREFRONT (BLACK)
- Ⓙ METAL SIDING (YELLOW)
- Ⓚ ALUMINUM RAILING C/W CLEAR TEMPERED GLASS (BLACK)
- Ⓛ PVC FRAMED WINDOWS C/W CLEAR GLASS
- Ⓜ ALUMINUM PICKET RAILING

SCHEDULE B

This forms part of application
DP21-0231 DVP21-0232
City of Kelowna
DEVELOPMENT PLANNING

Planner Initials KB

Ironclad Developments Inc.

IRONCLAD DEVELOPMENTS INC.

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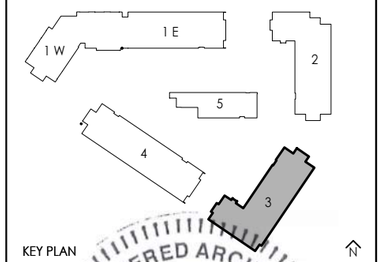

REGISTERED ARCHITECT
ROBERT J.S. GARVEY
22 . 06 . 23
BRITISH COLUMBIA

REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;
Kelowna BC.

BUILDING 3 ELEVATIONS

Project Number: 2102

04-30-2020	Rev Date 06-06-2022
Drawn By	T.THIMM
Designed By	T.THIMM
Checked By	R.GARVEY

ESP-6.31

Scale 1:300

BUILDING 4 NORTH ELEVATION

SCALE 1:300

BUILDING 4 SOUTH ELEVATION

SCALE 1:300

LEGEND

- Ⓐ HARDIE - SMOOTH (GREY)
- Ⓑ CEDAR TONE COMPOSITE MATERIAL
- Ⓒ BRICK VENEER
- Ⓓ HARDIE - SMOOTH (WHITE)
- Ⓔ METAL LAP SIDING (CREAM)
- Ⓕ METAL LAP SIDING (BLUE)
- Ⓖ METAL LAP SIDING (GREY)
- Ⓗ WOODEN TRELLIS
- Ⓘ ALUMINUM STOREFRONT (BLACK)
- Ⓙ METAL SIDING (YELLOW)
- Ⓚ ALUMINUM RAILING C/W CLEAR TEMPERED GLASS (BLACK)
- Ⓛ PVC FRAMED WINDOWS C/W CLEAR GLASS
- Ⓜ ALUMINUM PICKET RAILING

SCHEDULE B

This forms part of application

DP21-0231 DVP21-0232

Planner Initials KB

City of Kelowna DEVELOPMENT PLANNING

Ironclad Developments Inc.

IRONCLAD DEVELOPMENTS INC.

Project Managment
General Contracting
Design/ Build

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Consultant

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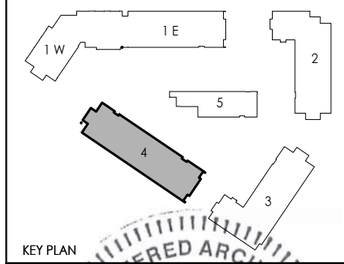


REGISTERED ARCHITECT ROBERT J.S. GARVEY 22 06 23 BRITISH COLUMBIA

REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;
Kelowna BC.

BUILDING 4 ELEVATIONS

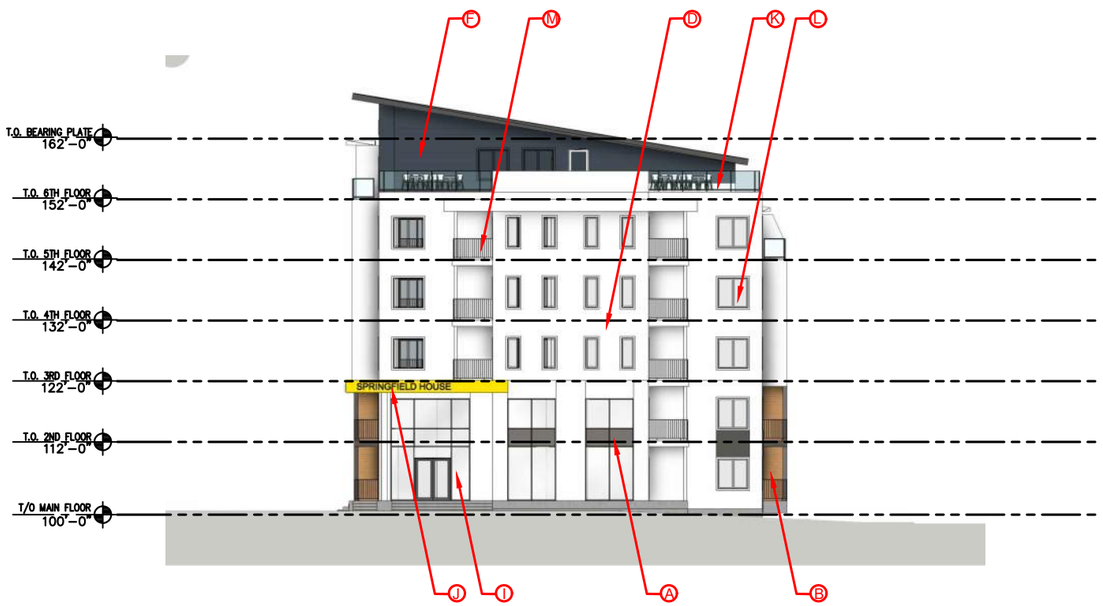
Project Number: 2102	
04-30-2020	Rev Date 06-06-2022
Drawn By	T.THIMM
Designed By	T.THIMM
Checked By	R.GARVEY

ESP-6.40

Scale 1:300

BUILDING 4 EAST ELEVATION

SCALE 1:300



BUILDING 4 WEST ELEVATION

SCALE 1:300

SCHEDULE B

This forms part of application
DP21-0231 DVP21-0232

Planner Initials KB

City of Kelowna
DEVELOPMENT PLANNING

LEGEND

- (A) HARDIE - SMOOTH (GREY)
- (B) CEDAR TONE COMPOSITE MATERIAL
- (C) BRICK VENEER
- (D) HARDIE - SMOOTH (WHITE)
- (E) METAL LAP SIDING (CREAM)
- (F) METAL LAP SIDING (BLUE)
- (G) METAL LAP SIDING (GREY)
- (H) WOODEN TRELLIS
- (I) ALUMINUM STOREFRONT (BLACK)
- (J) METAL SIDING (YELLOW)
- (K) ALUMINUM RAILING C/W CLEAR TEMPERED GLASS (BLACK)
- (L) PVC FRAMED WINDOWS C/W CLEAR GLASS
- (M) ALUMINUM PICKET RAILING

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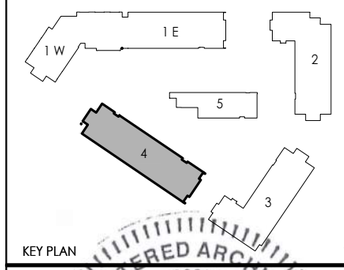


REGISTERED ARCHITECT
ROBERT J.S. GARVEY
22 . 06 . 23
BRITISH COLUMBIA

REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;
Kelowna BC.

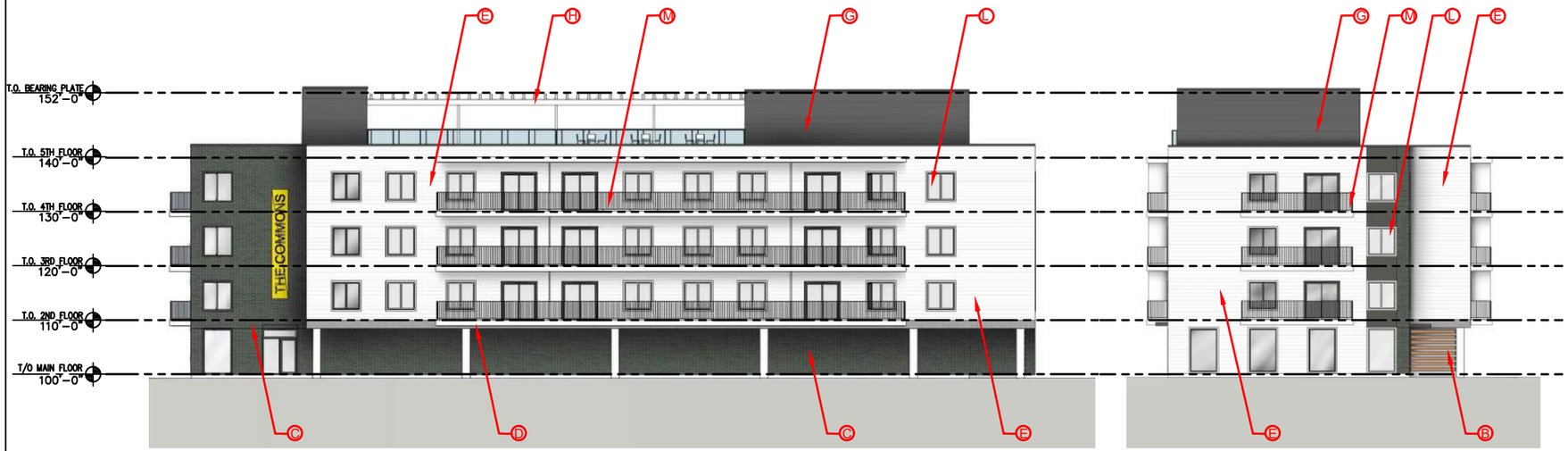
BUILDING 4 ELEVATIONS

Project Number: 2102

04-30-2020	Rev Date 06-06-2022
Drawn By	T.THIMM
Designed By	T.THIMM
Checked By	R.GARVEY

ESP-6.41

Scale 1:300



BUILDING 5 NORTH ELEVATION

SCALE 1:300

BUILDING 5 EAST ELEVATION

SCALE 1:300

LEGEND

- Ⓐ HARDIE - SMOOTH (GREY)
- Ⓑ CEDAR TONE COMPOSITE MATERIAL
- Ⓒ BRICK VENEER
- Ⓓ HARDIE - SMOOTH (WHITE)
- Ⓔ METAL LAP SIDING (CREAM)
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SCHEDULE B
This forms part of application
DP21-0231 DVP21-0232
City of Kelowna
DEVELOPMENT PLANNING
Planner Initials KB

BUILDING 5 SOUTH ELEVATION

SCALE 1:300

BUILDING 5 WEST ELEVATION

SCALE 1:300

Ironclad Developments Inc.

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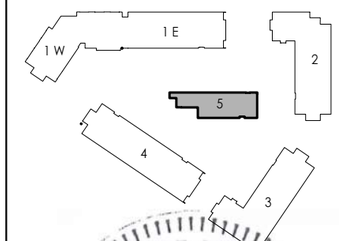
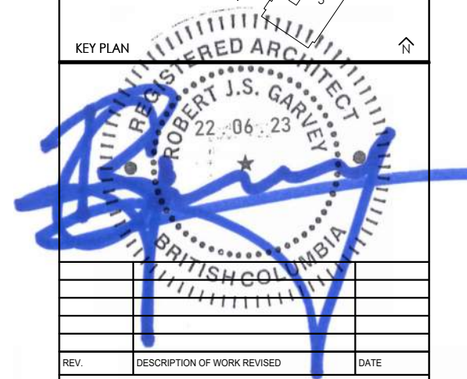




REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;
Kelowna BC.

BUILDING 5 ELEVATIONS

Project Number: 2102	
04-30-2020	Rev Date 06-06-2022
Drawn By	T.THIMM
Designed By	T.THIMM
Checked By	R.GARVEY

ESP-6.50

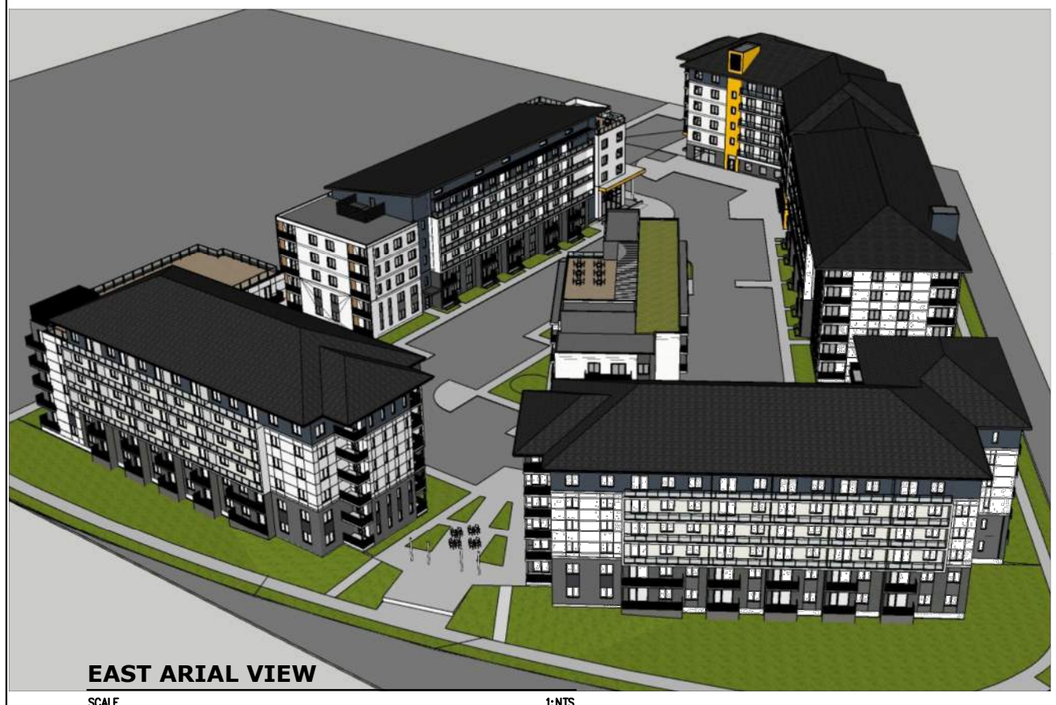
Scale 1:300

WEST ARIAL VIEW

SCALE 1:NTS

NORTH ARIAL VIEW

SCALE 1:NTS



EAST ARIAL VIEW

SCALE 1:NTS

SOUTH ARIAL VIEW

SCALE 1:NTS

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SCHEDULE B

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DP21-0231 DVP21-0232
City of Kelowna
DEVELOPMENT PLANNING

Planner Initials KB

REGISTERED ARCHITECT
ROBERT J.S. GARVEY
22 06 23
BRITISH COLUMBIA

REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;
Kelowna BC.

3D RENDERINGS

Project Number: 2102	
04-30-2020	Rev Date 06-06-2022
Drawn By	T.THIMM
Designed By	T.THIMM
Checked By	R.GARVEY

ESP-7.0

Scale NTS

PARKING ENTRANCE VIEW

SCALE NTS

BUILDING 3 ROOFTOP PATIO VIEW

SCALE NTS

BUILDING 5 ROOFTOP PATIO VIEW

SCALE NTS

BUILDING 1 PARKING VIEW

SCALE NTS

BUILDING 1 STREET VIEW

SCALE NTS

BUILDING 3 AND 5 VIEW

SCALE NTS

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SCHEDULE B

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DP21-0231 DVP21-0232
City of Kelowna
DEVELOPMENT PLANNING

Planner Initials KB

REGISTERED ARCHITECT
ROBERT J.S. GARVEY
22 06 23
BRITISH COLUMBIA

REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD; Kelowna BC.

3D RENDERINGS

Project Number: 2102

04-30-2020	Rev Date 06-06-2022
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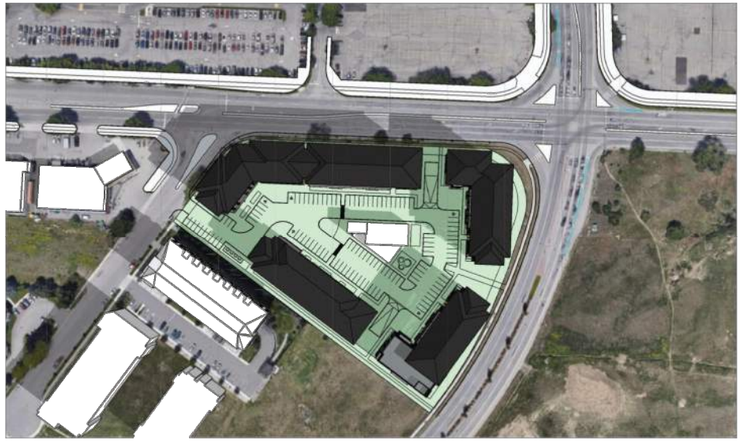
ESP-7.1

Scale NTS



Springfield Road, Kelowna BC. - Shadow Study
GMT - 0700 20th March - 9 am

Springfield Road, Kelowna BC. - Shadow Study
GMT - 0700 21st June - 9 am

SHADOW

SCHEDULE B
This forms part of application
DP21-0231 DVP21-0232
Planner Initials KB
City of Kelowna
DEVELOPMENT PLANNING

SPRING EQUINOX

Springfield Road, Kelowna BC. - Shadow Study
GMT - 0700 20th March - 12 pm

Springfield Road, Kelowna BC. - Shadow Study
GMT - 0700 21st June - 12 pm

Springfield Road, Kelowna BC. - Shadow Study
GMT - 0700 20th March - 3 pm

SUMMER SOLTICE

Springfield Road, Kelowna BC. - Shadow Study
GMT - 0700 21st June - 3 pm

Ironclad Developments Inc.

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BRITISH COLUMBIA

REV.	DESCRIPTION OF WORK REVISED	DATE

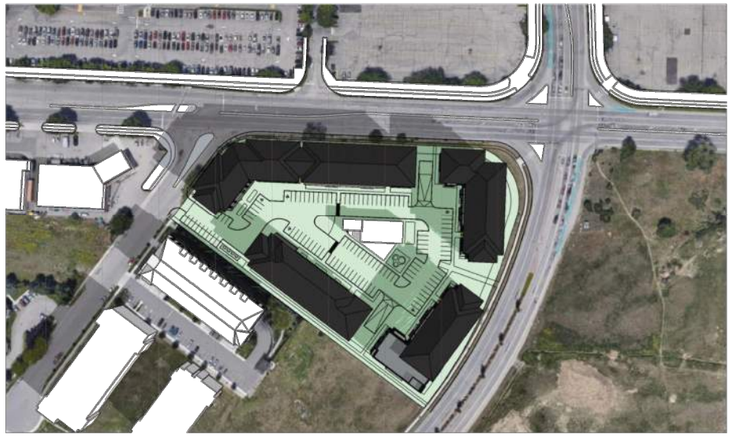
2241 SPRINGFIELD ROAD;
Kelowna BC.

SHADOW STUDIES

Project Number: 2102	
04-30-2020	Rev Date 06-06-2022
Drawn By	T.THIMM
Designed By	T.THIMM
Checked By	R.GARVEY

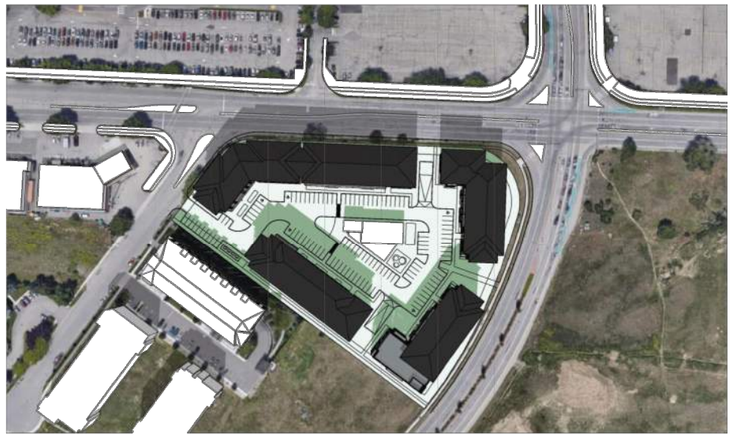
ESP-8.0

Scale NTS

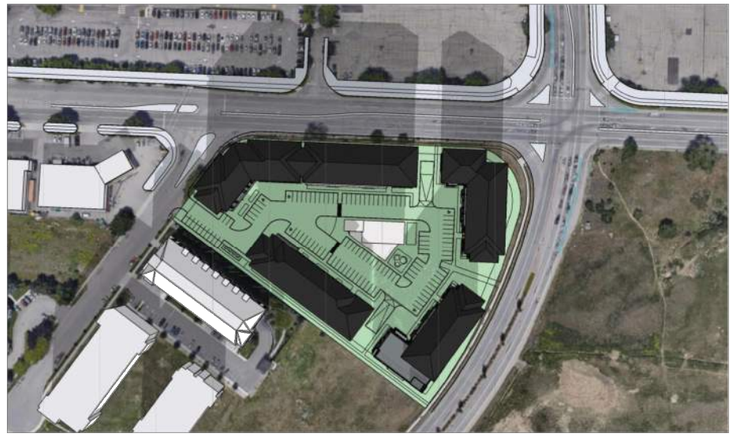


Springfield Road, Kelowna BC. - Shadow Study
GMT - 0700 22nd September - 9 am

Springfield Road, Kelowna BC. - Shadow Study
GMT - 0700 21st December - 9 am



Springfield Road, Kelowna BC. - Shadow Study
GMT - 0700 22nd September - 12 pm



Springfield Road, Kelowna BC. - Shadow Study
GMT - 0700 21st December - 12 pm

FALL EQUINOX

Springfield Road, Kelowna BC. - Shadow Study
GMT - 0700 22nd September - 3 pm

WINTER SOLTICE

Springfield Road, Kelowna BC. - Shadow Study
GMT - 0700 21st December - 3 pm

SHADOW

SCHEDULE B
This forms part of application
DP21-0231 DVP21-0232
City of Kelowna
DEVELOPMENT PLANNING
Planner Initials KB

Ironclad Developments Inc.

IRONCLAD DEVELOPMENTS INC.

Project Managment
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REGISTERED ARCHITECT
ROBERT J.S. GARVEY
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BRITISH COLUMBIA

REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;
Kelowna BC.

SHADOW STUDIES

Project Number: 2102

04-30-2020	Rev Date 06-06-2022
Drawn By	T.THIMM
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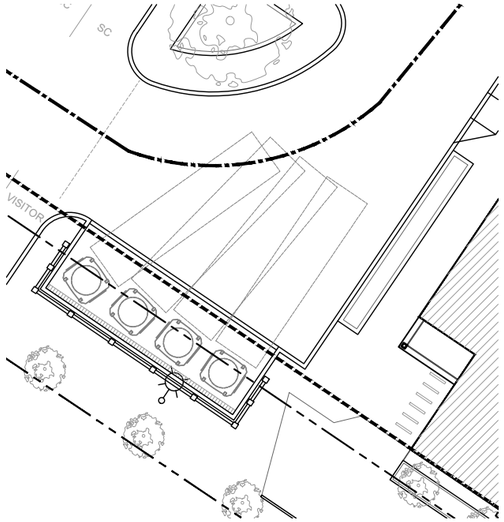
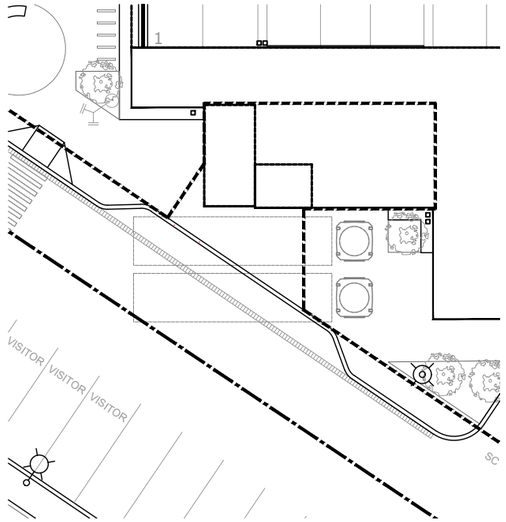
ESP-8.1

Scale NTS



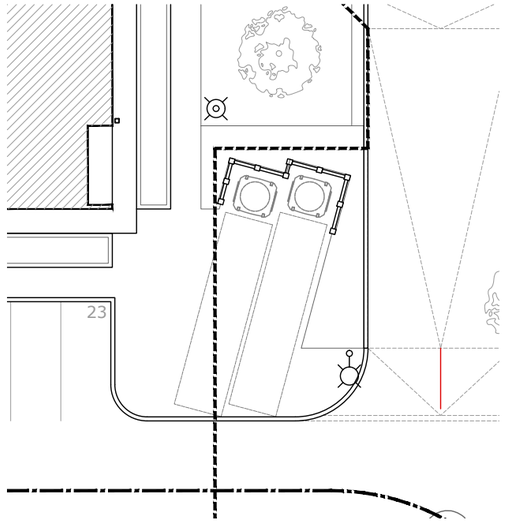
EAST REFUSE PLAN

SCALE 1:300



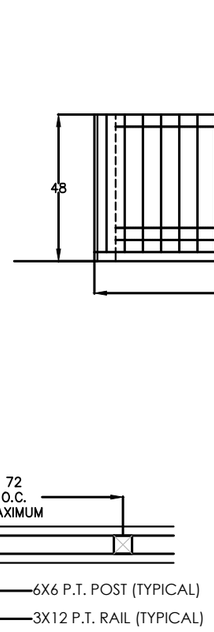
CENTER REFUSE PLAN

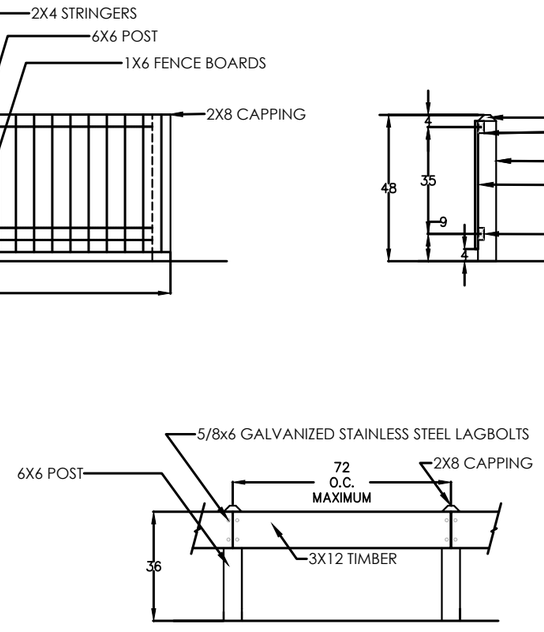
SCALE 1:300

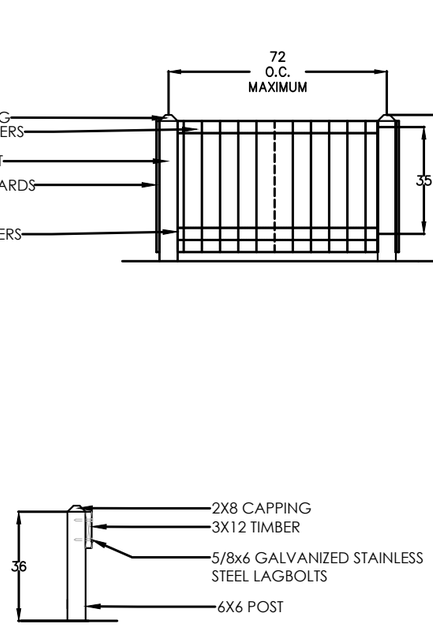


NORTH REFUSE PLAN

SCALE 1:300







FENCE DETAILS

SCALE 1:50

SCHEDULE C

This forms part of application

DP21-0231 DVP21-0232

City of Kelowna DEVELOPMENT PLANNING

Planner Initials KB

Ironclad Developments Inc.

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BRITISH COLUMBIA

REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;
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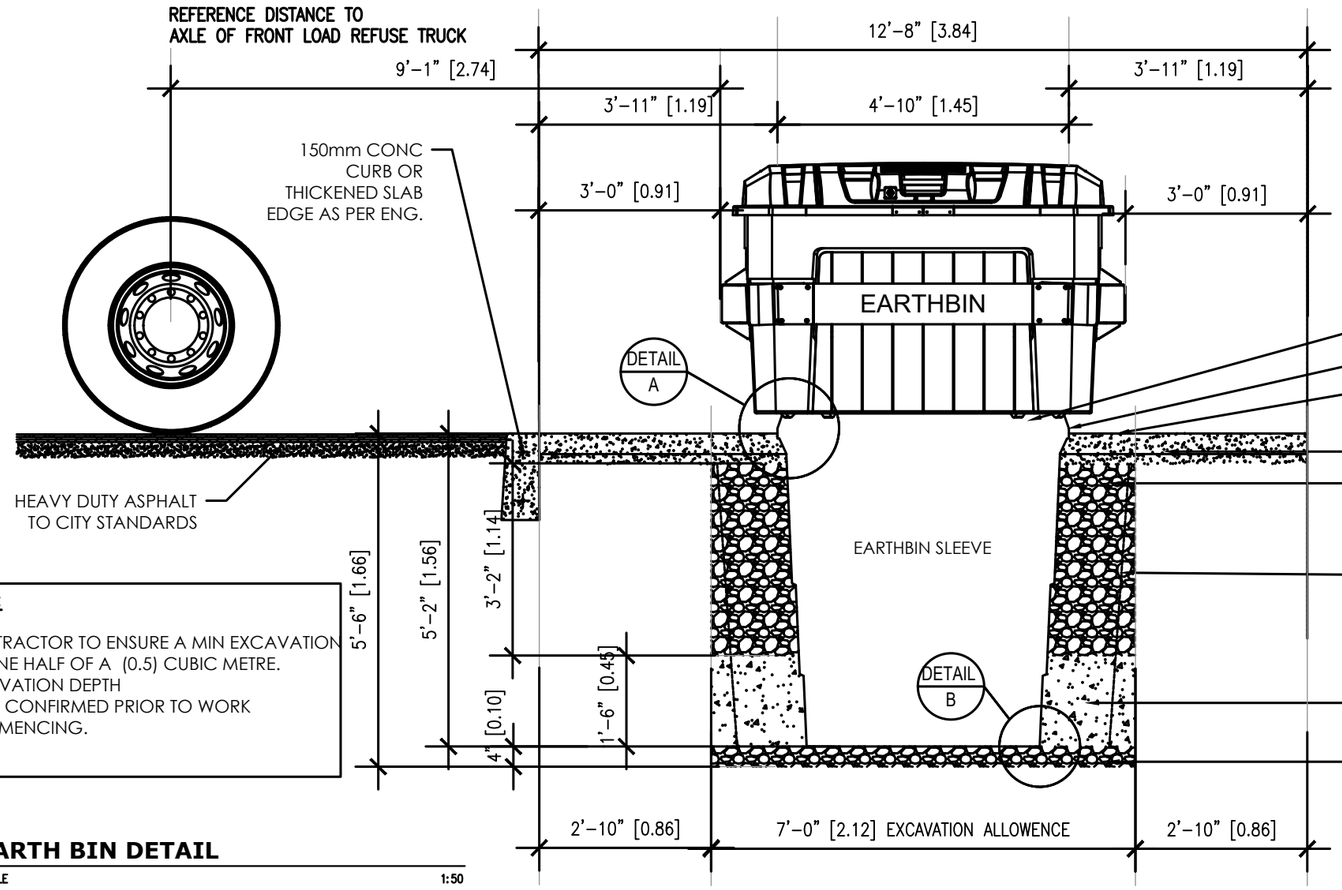
REFUSE AND FENCE DETAIL

Project Number: 2102

04-30-2020	Rev Date 06-06-2022
Drawn By	T.THIMM
Designed By	T.THIMM
Checked By	R.GARVEY

ESP-9.0

Scale AS NOTED



NOTE:

CONTRACTOR TO ENSURE A MIN EXCAVATION OF ONE HALF OF A (0.5) CUBIC METRE. EXCAVATION DEPTH TO BE CONFIRMED PRIOR TO WORK COMMENCING.

NOTE:

CONTRACTOR TO ENSURE ADEQUATE SPACE TO PHYSICAL BARRIER OR OBSTRUCTION TO ALLOW BIN TO BE PICKED UP.

GROUND SLEEVE

EXPANSION JOINT

CONCRETE PAD 2-4% GRADED SLOPE AWAY FROM SLEEVE

HEAVY DUTY CONCRETE PAD

3/4" GRAVEL BACK FILL.
SEE INSTALLATION GUIDE

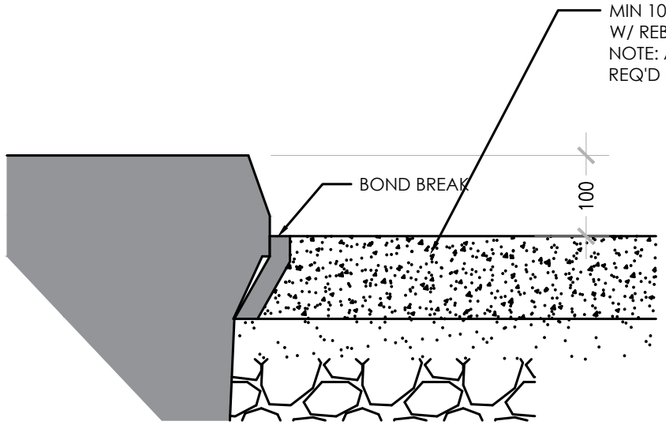
LANDSCAPE OR GEO-TEXTILE FABRIC TO LINE PIT TO PREVENT CONTAMINANTS FROM ENTERING BACKFILL. SEE INSTALLATION GUIDE

CONCRETE

3/4" GRAVEL BACK FILL OR COMPACTED SAND BASE. SEE INSTALLATION GUIDE

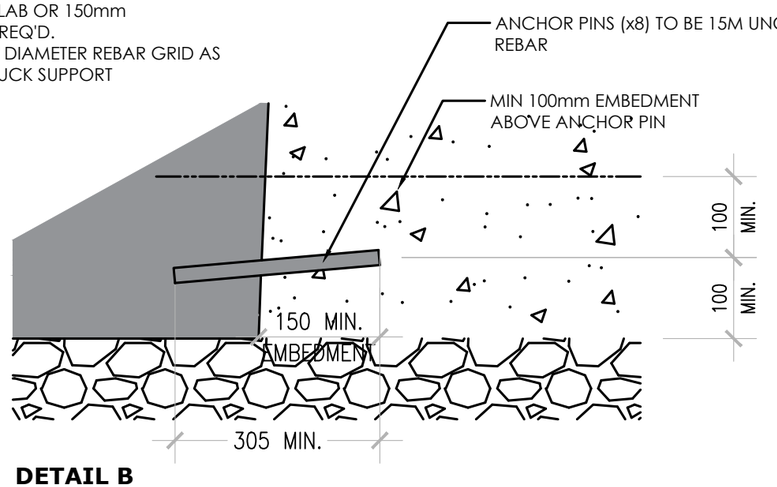
EARTH BIN DETAIL

SCALE 1:50



DETAIL A

SCALE 1:10



DETAIL B

SCALE 1:10

ANCHOR PIN NOTE:
PLACE ANCHOR PINS (X8) IN HOLES AROUND GROUND SLEEVE PRIOR TO POURING CONCRETE. ENSURE THERE IS A MIN 150mm EMBEDMENT FOR ANCHOR PINS.
ANCHOR PINS ARE TO HAVE A MIN 100mm OF COVERAGE ABOVE AND BELOW.

NOTE:
DRAWINGS AND SPECS COPIED FROM WEB SITE EARTH-BIN.

NOTE:
THE USE OF SHIMS TO SET SLEEVE PRIOR TO POURING CONCRETE IS ALLOWED.

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SCHEDULE C

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City of Kelowna
DEVELOPMENT PLANNING

Planner Initials KB

REGISTERED ARCHITECT ROBERT J.S. GARVEY 22 06 23 BRITISH COLUMBIA

REV.	DESCRIPTION OF WORK REVISED	DATE

2241 SPRINGFIELD ROAD;
Kelowna BC.

EARTH BIN DETAIL

Project Number: 2102

04-30-2020	Rev Date 06-06-2022
Drawn By	T.THIMM
Designed By	T.THIMM
Checked By	R.GARVEY

ESP-9.1

Scale AS NOTED

LEGEND

- PROPERTY LINES
- UNDERGROUND PARKADE
- CS — BRUSH FINISH CONCRETE WALKWAYS - REFER TO CIVIL ENG DWGS
- DECORATIVE PAVING AREAS BRICK UNIT PAVING, EXPOSED AGGREGATE OR STAMPED CONCRETE FINISH - TBD
- DRAIN ROCK cw 2" x 4" PTW EDGER 200 MM DEPTH MIN TYP. LOCALLY AVAILABLE 3"-6" DIA. WASHED ROUND RIVER ROCK ON APPROVED FILTER FABRIC.
- LAWN = SOD ON 150 MM MIN DEPTH APPROVED GROWING MEDIUM
- PLANTING BED CW 60 MM OF 3/4" WASHED ROCK GROUNDCOVER (TYP) ON FILTER FABRIC ON AN APPROVED GROWING MEDIUM. 450 MM MIN DEPTH FOR SHRUBS 700 MM MIN FOR TREES
- 2 METER (6.5') HT. PRESSURE TREATED WOOD PRIVACY FENCE
- 1.5 METER (5') HT. BLACK CHAIN LINK FENCE (DOG RUN)
- 1.2 METER (4') HT. BLACK METAL PICKET FENCE
- PRESSURE TREATED WOOD EDGER LAWN / PLANTING / ROCK SEPARATIONS
- NATURAL ACCENT BOULDERS
- SKYLINE PARK BENCH BY WISHBONE (CURVED & STRAIGHT)
- SINGLE AND MULTI SPACE BIKE RACKS SECURED TO CONCRETE WALKWAY
- W — BEAR PROOF GARBAGE BIN
- PRESSURE TREATED WOOD PLANTERS WITH OPEN BOTTOM CW 60 MM DEPTH MULCH ON APPROVED FILTER FABRIC ON 400 mm - 700 mm DEPTH GROWING MEDIUM.
- PRECAST CONCRETE (BLOCK OR CIP) RAISED PLANTER OPEN BOTTOM CW 60 MM DEPTH MULCH ON APPROVED FILTER FABRIC ON 400 mm - 700 mm DEPTH GROWING MEDIUM.

PROJECT PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	COUNT	SIZE
	TREES			
Aa	Amelanchier x grandiflora	Autumn Brilliance Serviceberry (multistem)	5	5cm Cal.
Am	Acer ginnala	Amur Maple	11	5cm Cal.
Ag	Acer griseum	Paperbark Maple	17	5cm Cal.
Fs	Fagus sylvatica 'Green Dawyck'	Dawyck Green Beech	10	6cm Cal.
Pgc	Picea pungens	Blue Colorado Spruce	1	2m
PpH	Picea pungens 'Hoopsii'	Hoopsi Blue Spruce	22	2m
Pt	Populus tremula 'Erecta'	Columnar Swedish Aspen	44	6cm Cal.
PuA	Prunus 'amanogawa'	Amanogawa Cherry Tree	48	5cm Cal.
Thg	Tilia mongolica 'Harvest Gold'	Harvest Gold Linden	19	6cm Cal.
BE	Ulmus americana ' Brandon'	Brandon Elm	10	6cm Cal.
	SHRUBS			
AbN	Abies balsamea Nana	Dwarf Balsam Fir	176	#2pot
CaK	Cornus sericea 'Kelseyi'	Dwarf Kelsey Dogwood	301	#2pot
CaS	Caryopteris x clandonensis 'Southerland'	Southerland Caryapna	26	#2pot
C	Cotoneaster lucidus/acutifolia	Cotoneaster Hedge	197	#2pot
Cc	Caryopteris x clandonensis	Bluebeard, Blue Mist Spirea	32	#2pot
HaA	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	40	#2pot
HH	Rosa nugosa 'Henry Hudson'	Henry Hudson Rose (White)	55	#2pot
Ja	Juniperus horizontalis 'Andorra'	Andorra Juniper	9	#2pot
Jbp	Juniperus horizontalis 'Blue Prince'	Blue Prince Juniper	22	#2pot
jh	Juniperus communis effusa	Horrizontal Native Juniper	31	#2pot
pvs	Philadelphus x virginalis 'Dwarf Snowflake'	Miniature Snowflake Mock Orange	42	#2pot
Sbq	Spiraea x bumalda 'Goldflame'	Goldflame Spirea	195	#2pot
Sb	Symphoricarpos albus	Snowberry	5	#2pot
yg	Yucca filamentosa 'Golden Sword'	Golden Sword Yucca	73	#1pot
Y	Yucca glauca	Soapweed	67	#1pot
	ORNAMENTAL GRASSES			
Ck	Calamagrostis x acutifolia 'Karl Foerster'	Feather Reed Grass	436	#1pot
Dc	Deschampsia cespitosa	Tufted Hairgrass	371	#1pot
H	Helictotrichon sempervirens	Blue Oat Grass	45	#1pot
Sh	Spondobolus heterolepis	Prairie Dropseed	132	#1pot
kg	Koeleria glauca	Blue Hair Grass	60	#1pot
	PERENNIALS/GROUNDCOVERS			
a	Allium cernuum	Nodding Onion	48	#1pot
c	Clematis jackmanii	Jackmanii Clematis	7	#1pot
k	Arctostaphylos uva-ursi	Kinnickinnick	17	10cm pot
DS	Perovskia atriplicaifolia 'Little Spire'	Dwarf Russian Sage	56	#1pot
e	Echinacea purpurea	Purple Coneflower	28	#1pot
N	Nepeta x faassenii 'Dropmore'	Dropmore Catmint	42	#1pot
Y	Yucca filamentosa 'Golden Sword'	Golden Sword Yucca	67	#1pot

SCHEDULE C

This forms part of application
DP21-0231 DVP21-0232

Planner Initials KB

City of Kelowna
DEVELOPMENT PLANNING

NOTE: ALL WORK AND MATERIALS SHALL BE TO CANADIAN LANDSCAPE STANDARDS

North

0m 5 10 20

PROPOSED PROJECT TREES


Harvest Gold Linden (Summer & Fall)


Dawyck Gold Beech


Paper Bark Maple


Brandon Elm


Amur Maple


Autumn Brillance Serviceberry


Colorado Blue Spruce

POTENTIAL BOULEVARD STREETSCAPE TREE OPTIONS


Amanogawa Cherry Tree


Slender Silhouette Sweetgum


Kindred Spirit Oak

IRONCLAD DEVELOPMENTS INC.

Project Management
General Contracting
Design/ Build

101-57158 Symington Rd.
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info@icdev.ca

Date	Revisions	By
Sept 9-21	Progress Review	SD
Sept 13-21	Progress Review	SD
Jun 20 22	Progress Review	SD/LS

LAZZARIN SVISDAHL LANDSCAPE ARCHITECTS

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Project

2241 SPRINGFIELD ROAD

KELOWNA, BC

Sheet Title

Landscape Plan

Date
July 05, 2021

Scale
1:350 METERS

Drawn By
SD/LS

Project No.

Drawing No.

L 1

SCHEDULE C

This forms part of application

DP21-0231 DVP21-0232

City of Kelowna
DEVELOPMENT PLANNING

Planner Initials KB

TREE GRATE WITH BENCH

PRECEDENT IMAGE FOR TREE GRATE BENCH LAYOUT
(SEE PROJECT BENCH NOTED BELOW FOR PROPOSED PRODUCT)

PROJECT BENCHES

Skyline Curved Park Bench
Model Number: SLCB-11
Wishbone Site Furnishings Ltd.(or approved equiv)

Skyline Park Bench
Model Number: SLB-6
Wishbone Site Furnishings Ltd.(or approved equiv)

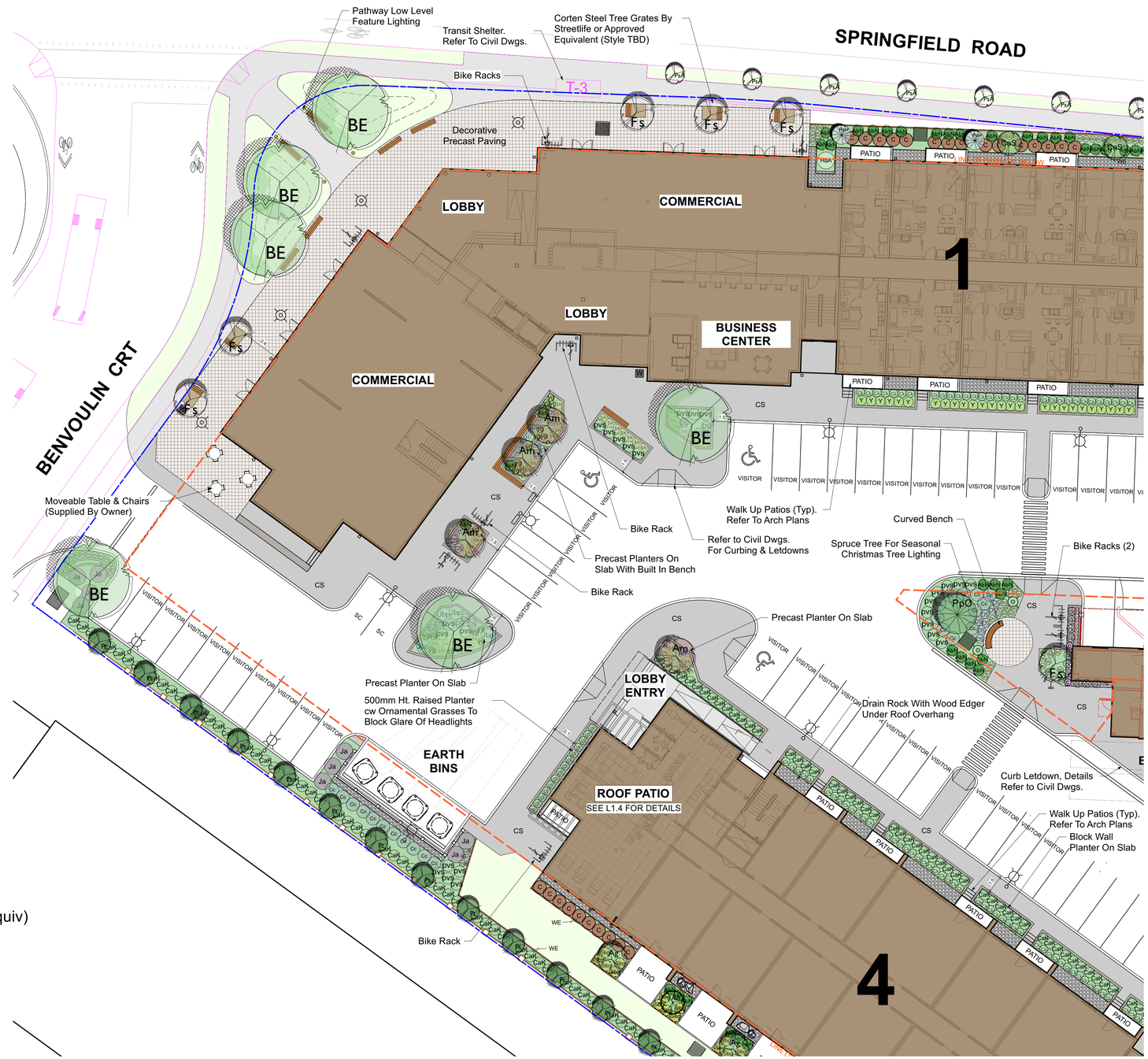
Powder Coated Black Metal Base and Arm Rests
Walnut Colour Plastic Lumbar Seat Boards
Surface Mount To Concrete Walkway with
Manufacture Supplied Hardware

PRECAST BLOCK PLANTER

Allan Block Splitfaced Planters On Slab
(or Approved Equivalent)

Bike Rack

Cora Bike Rack (or Approved Equivalent)
Powder Coated Aluminim (Colour To Be Determined)



LEGEND

- PROPERTY LINES
- UNDERGROUND PARKADE
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Project

2241 SPRINGFIELD ROAD

KELOWNA, BC

Sheet Title

Landscape Plan Enlargement 1

Date
July 05, 2021

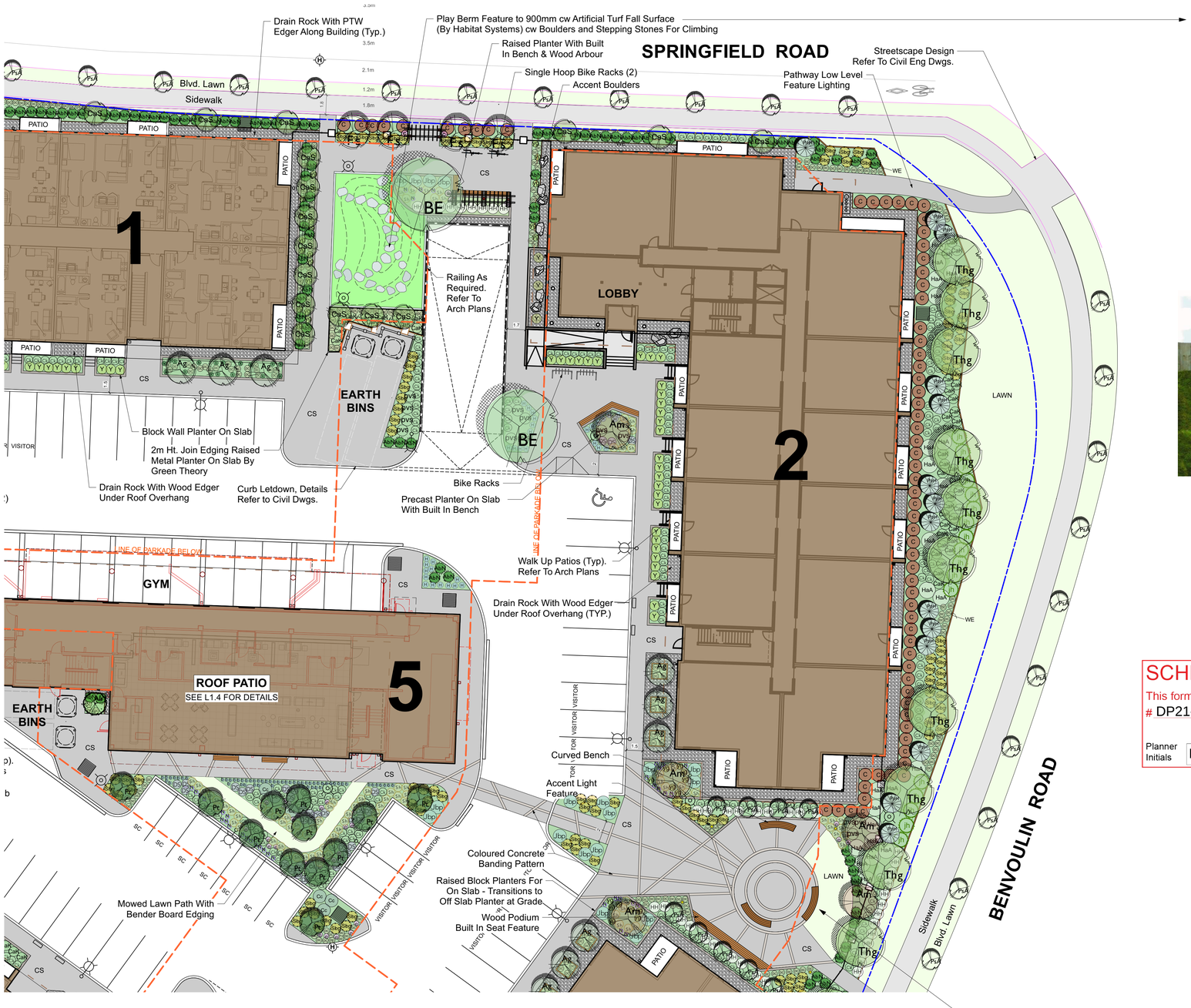
Scale
1:200 METERS

Drawn By
SD/LS

Project No.

Drawing No.

L 1.1



Play Berm with Climbing Featurs & Fall Surface Artifical Turf

A soft, cushioned play surface with fall zones safety-rated to 16 feet.

LEGEND

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SCHEDULE C
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DP21-0231 DVP21-0232
Planner Initials KB
City of Kelowna DEVELOPMENT PLANNING

PROJECT BENCHES

Skyline Curved Park Bench
Model Number: SLCB-11
Wishbone Site Furnishings Ltd.(or approved equiv)

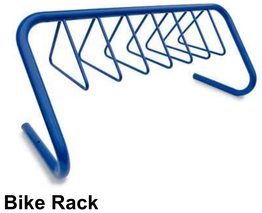
Skyline Park Bench
Model Number: SLB-6
Wishbone Site Furnishings Ltd.(or approved equiv)

Powder Coated Black Metal Base and Arm Rests
Walnut Colour Plastic Lumbar Seat Boards
Surface Mount To Concrete Walkway with Manufacture Supplied Hardware

0m 5 10 20 North

NOTE: ALL WORK AND MATERIALS SHALL BE TO CANADIAN LANDSCAPE STANDARDS

PRECAST BLOCK PLANTER
Allan Block Splitfaced Planters On Slab (or Approved Equivalent)



Bike Rack
Cora Bike Rack (or Approved Equivalent)
Powder Coated Aluminim (Colour To Be Determined)

Courtyard
Courtyard Seating & Planting

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Date	Revisions	By
Jun 20 22	Progress Review	SD/LS

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250-563-6158 www.lsla-landarch.com

Project
2241 SPRINGFIELD ROAD
KELOWNA, BC

Sheet Title
Landscape Plan Enlargement 2

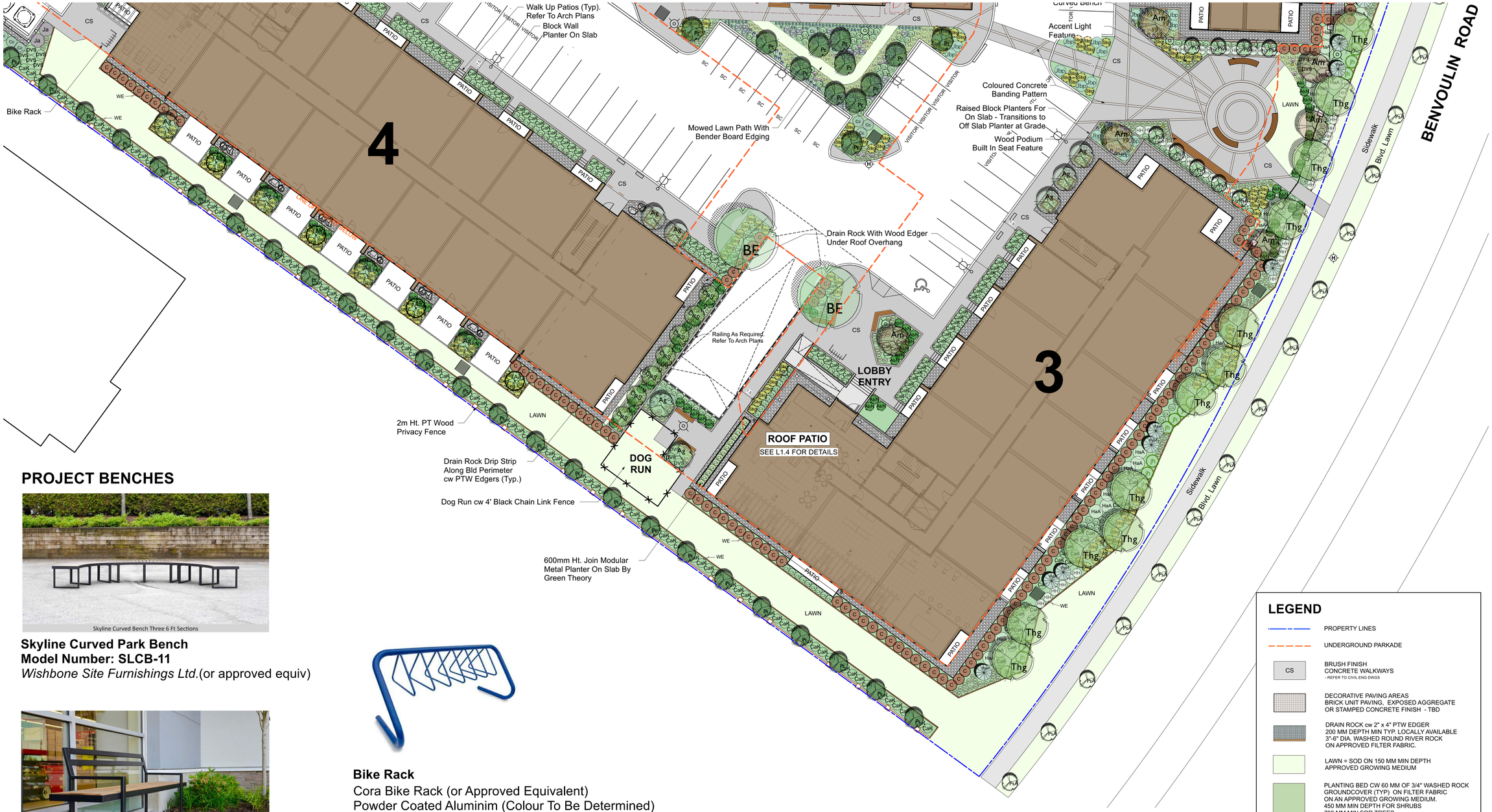
Date
July 05, 2021

Scale
1:200 METERS

Drawn By
SD/LS

Project No.

Drawing No.
L 1.2



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DP21-0231 DVP21-0232
City of Kelowna
DEVELOPMENT PLANNING
Planner Initials KB

North
0m 5 10 20

NOTE: ALL WORK AND MATERIALS
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LEGEND

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LAZZARIN SVISDAHL
LANDSCAPE ARCHITECTS
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Project
2241 SPRINGFIELD ROAD
KELOWNA, BC

Sheet Title
Landscape Plan
Enlargement 3

Date
July 05, 2021

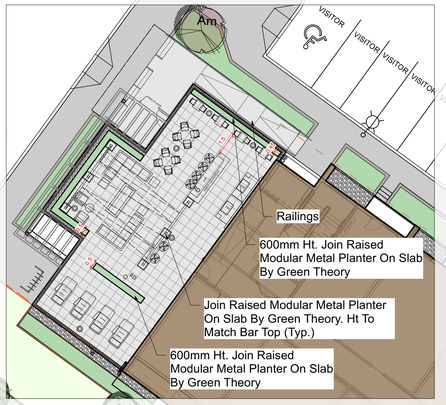
Scale
1:200 METERS

Drawn By
SD/LS

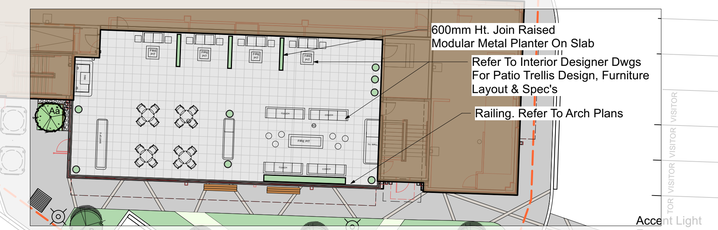
Project No.

Drawing No.
L 1.3

BUILDING 4 ROOF TOP PATIO



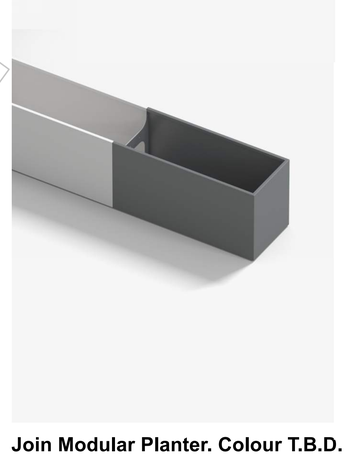
BUILDING 5 ROOF TOP PATIO



BUILDING 3 ROOF TOP PATIO

MODULAR METAL PLANTERS FOR ROOFTOP PLANTING BEDS

Join Edging Planter. Colour T.B.D.
By Green Theory (or approved equiv)



Join Modular Planter. Colour T.B.D.
By Green Theory (or approved equiv)

Composite Vase Planter
21" Dia x 26" Ht.
By Green Theory (or approved equiv)

SCHEDULE C
This forms part of application
DP21-0231 DVP21-0232
Planner Initials KB
City of Kelowna DEVELOPMENT PLANNING

North
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NOTE: ALL WORK AND MATERIALS SHALL BE TO CANADIAN LANDSCAPE STANDARDS

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Project
2241 SPRINGFIELD ROAD
KELOWNA, BC

Sheet Title
Landscape Plan
Roof Terrace

Date
July 05, 2021

Scale
1:200 METERS

Drawn By
SD/LS

Project No.

Drawing No.
L 1.4

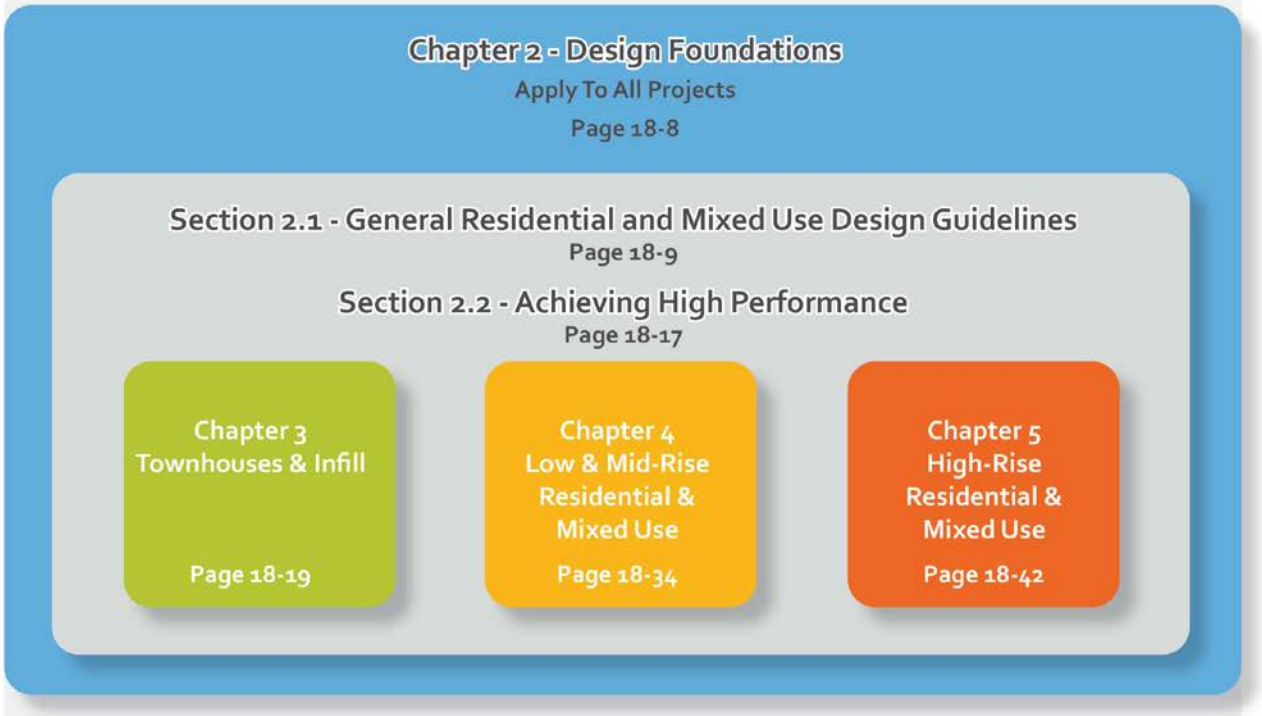
FORM & CHARACTER – DEVELOPMENT PERMIT GUIDELINES

Chapter 2 - The Design Foundations : apply to all projects and provide the overarching principles for supporting creativity, innovation and design excellence in Kelowna.

- Facilitate Active Mobility
- Use Placemaking to Strengthen Neighbourhood Identity
- Create Lively and Attractive Streets & Public Spaces
- Design Buildings to the Human Scale
- Strive for Design Excellence

The General Residential and Mixed Use Guidelines : provide the key guidelines that all residential and mixed use projects should strive to achieve to support the Design Foundations.

- The General Guidelines are supplement by typology-specific guidelines (e.g., Townhouses & Infill on page 18-19, High-Rise Residential and Mixed-Use on page 18-42), which provide additional guidance about form and character.



*Note: Refer to the Design Foundations and the Guidelines associated with the specific building typology.

FORM & CHARACTER - DEVELOPMENT PERMIT GUIDELINES

Consideration has been given to the following guidelines as identified in Chapter 18 of the City of Kelowna 2040 Official Community Plan:

RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE *(1 is least complying & 5 is highly complying)*	**N/A**	**1**	**2**	**3**	**4**	**5**
CHAPTER 4.0: LOW & MID-RISE RESIDENTIAL & MIXED USE						
4.1 Guidelines						
4.1.1 Relationship to the Street						
Lobby area and main building entrance is clearly visible from the fronting street and sidewalk.				✓		
Wherever possible, blank walls at grade are not encouraged.						✓
Enclosed parking garages are located away from street frontages or public open space.						✓
Ground oriented units with entries or glazing have been provided to avoid the blank/dead frontage along the street.						✓
When unavoidable, blank walls have been screened with landscaping or have been incorporated with a patio/café or special materials have been provided to make them visually interesting.						
Commercial & Mixed-use Buildings						
Proposed built form has a continuous active and transparent retail frontage at grade and provides a visual connection between the public and private realm.					✓	
Buildings have been sited using a common 'build to' line at or near the front property line to maintain a continuous street frontage. Some variation (1-3 m maximum) can be accommodated in ground level set backs to support pedestrian and retail activity by, for example, incorporating a recessed entryway, small entry plaza, or sidewalk café.						✓
Frequent entrances (every 15 m maximum) into commercial street frontages have been incorporated to create punctuation and rhythm along the street, visual interest, and support pedestrian activity.				✓		
Residential and Mixed-use Buildings						
Residential buildings at the ground floor have a set back between 3-5 m from the property line to create a semi-private entry or transition zone to individual units and to allow for an elevated front entryway or raised patio.					✓	
A maximum 1.2 m desired height (e.g., 5-6 steps) for front entryways has been provided. Where the water table requires this to be higher, in these cases, larger patio has been provided and parking has been screened with ramps, stairs, and landscaping.						✓
Ground floor units accessible from the fronting street or public open spaces have been provided with individual entrances.		✓				
Buildings are sited and oriented so that windows and balconies are overlooking public streets, parks, walkways, and shared amenity spaces while minimizing views into private residences.						✓

RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE *(1 is least complying & 5 is highly complying)*	**N/A**	**1**	**2**	**3**	**4**	**5**
4.1.2 Scale and Massing						
Proposed residential building façade has a length of 60 m (40 m length is preferred).		✓				
Buildings over 40 m in length are incorporating significant horizontal and vertical breaks in façade.				✓		
Commercial building facades are incorporating significant break at approximately 35 m intervals.					✓	
Proposed residential building has a maximum width of 24 m.					✓	
4.1.3 Site Planning						
On sloping sites, building floor levels are following the natural grade and avoiding the blank wall situation.	✓					
Buildings are sited to be parallel to the street and have a distinct front-to-back orientation to public street and open spaces and to rear yards, parking, and/or interior courtyards.						✓
Building sides that are interfacing with streets, mid-block connections, and other open spaces (building fronts) are positively framing and activating streets and open spaces and supporting pedestrian activity.					✓	
Larger buildings are broken up with mid-block connections which have public accessibility wherever possible.					✓	
Ground floors adjacent to mid block connections have entrances and windows facing the mid block connection.			✓			
4.1.4 Site Servicing, Access, and Parking						
Vehicular access is provided from the lane.	✓					
Where there is no lane, and where the re-introduction of a lane is difficult or not possible, access is provided from the street, provided: • Access is from a secondary street, where possible, or from the long face of the block; • Impacts on pedestrians and the streetscape is minimized; and, • There is no more than one curb cut per property.						✓
Above grade structure parking should only be provided in instances where the site or high water table does not allow for other parking forms.	✓					

RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE *(1 is least complying & 5 is highly complying)*	**N/A**	**1**	**2**	**3**	**4**	**5**
When parking cannot be located underground due to the high water table and is to be provided above ground, screen the parking structure from public view as follows: • On portions of the building that front a retail or main street, line the above ground parking with active retail frontage; • On portions of the building that front onto non-retail streets, line the above ground parking with an active residential frontage, such as ground oriented townhouse units; • When active frontages are not able to be accommodated, screen parking structures by using architectural or landscaped screening elements; • On corner sites, screen the parking structure from public view on both fronting streets using the appropriate strategy listed above.						✓
Buildings with ground floor residential may integrate half-storey underground parking to a maximum of 1.2 m above grade, with the following considerations: • Semi-private spaces should be located above to soften the edge and be at a comfortable distance from street activity; and • Where conditions such as the high water table do not allow for this condition, up to 2 m is permitted, provided that entryways, stairs, landscaped terraces, and patios are integrated and that blank walls and barriers to accessibility are minimized.	✓					
4.1.5 Publicly Accessible and Private Open Spaces						
Publicly accessible private spaces (e.g,. private courtyards accessible and available to the public) have been integrated with public open areas to create seamless, contiguous spaces.		✓				
Semi-private open spaces have been located to maximize sunlight penetration, minimize noise disruptions, and minimize 'overlook' from adjacent units.				✓		
Outdoor Amenity Areas: design plazas and parks to: • Contain 'three edges' (e.g., building frontage on three sides) where possible and be sized to accommodate a variety of activities; • Be animated with active uses at the ground level; and, • Be located in sunny, south facing areas.				✓		
Internal courtyard design provides: • amenities such as play areas, barbecues, and outdoor seating where appropriate. • a balance of hardscape and softscape areas to meet the specific needs of surrounding residents and/or users.					✓	
Mid-block connections design includes active frontages, seating, and landscaping.					✓	

RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE *(1 is least complying & 5 is highly complying)*	N/A	1	2	3	4	5
Rooftop Amenity Spaces						
Shared rooftop amenity spaces (such as outdoor recreation space and rooftop gardens on the top of a parkade) are designed to be accessible to residents and to ensure a balance of amenity and privacy by: • Limiting sight lines from overlooking residential units to outdoor amenity space areas through the use of pergolas or covered areas where privacy is desired; and • Controlling sight lines from the outdoor amenity space into adjacent or nearby residential units.					✓	
Reduce the heat island effect by including plants or designing a green roof, with the following considerations: • Secure trees and tall shrubs to the roof deck; and • Ensure soil depths and types are appropriate for proposed plants and ensure drainage is accommodated.		✓				
4.1.6 Building Articulation, Features & Materials						
Articulate building facades into intervals that are a maximum of 15 m wide for mixed-use buildings and 20m wide for residential buildings. Strategies for articulating buildings should consider the potential impacts on energy performance (see 2.2.1), and include: • Façade Modulation – stepping back or extending forward a portion of the façade to create a series of intervals in the facade; • Repeating window patterns at intervals that correspond to extensions and step backs (articulation) in the building facade; • Providing a porch, patio, deck, or covered entry for each interval; • Providing a bay window or balcony for each interval, while balancing the significant potential for heat loss through thermal bridge connections which could impact energy performance; • Changing the roof line by alternating dormers, stepped roofs, gables, or other roof elements to reinforce the modulation or articulation interval; • Changing the materials with the change in building plane; and • Provide a lighting fixture, trellis, tree, or other landscape feature within each interval.				✓		
Break up the building mass by incorporating elements that define a building's base, middle and top.						✓
Use an integrated, consistent range of materials and colors and provide variety by, for example, using accent colors.						✓
Articulate the facade using design elements that are inherent to the building as opposed to being decorative. For example, create depth in building facades by recessing window frames or partially recessing balconies to allow shadows to add detail and variety as a byproduct of massing.			✓			
Incorporate distinct architectural treatments for corner sites and highly visible buildings such as varying the roofline *(See Figure 41)*, articulating the facade, adding pedestrian space, increasing the number and size of windows, and adding awnings and canopies.			✓			

RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE *(1 is least complying & 5 is highly complying)*	**N/A**	**1**	**2**	**3**	**4**	**5**
Weather Protection						
Provide weather protection (e.g. awnings, canopies, overhangs, etc.) along all commercial streets and plazas (*See Figure 42*), with particular attention to the following locations: • Primary building entrances, • Adjacent to bus zones and street corners where people wait for traffic lights; • Over store fronts and display windows; and • Any other areas where significant waiting or browsing by people occurs.						✓
Architecturally-integrate awnings, canopies, and overhangs to the building and incorporate architectural design features of buildings from which they are supported.					✓	
Place and locate awnings and canopies to reflect the building's architecture and fenestration pattern.					✓	
Place awnings and canopies to balance weather protection with daylight penetration. Avoid continuous opaque canopies that run the full length					✓	
Signage						
Provides attractive signage on commercial buildings that identifies uses and shops clearly but which is scaled to the pedestrian rather than the motorist. Some exceptions can be made for buildings located on highways and/or major arterials in alignment with the City's Sign Bylaw.					✓	
Avoid the following types of signage: • Internally lit plastic box signs; • Pylon (stand alone) signs; and • Rooftop signs.	✓					
Uniquely branded or colored signs are encouraged to help establish a special character to different neighbourhoods.	✓					