

DP20-0122 DVP20-0123

1840-1850 Chandler Street

1365 Belaire Avenue

Development Permit and Development Variance Permit
Application

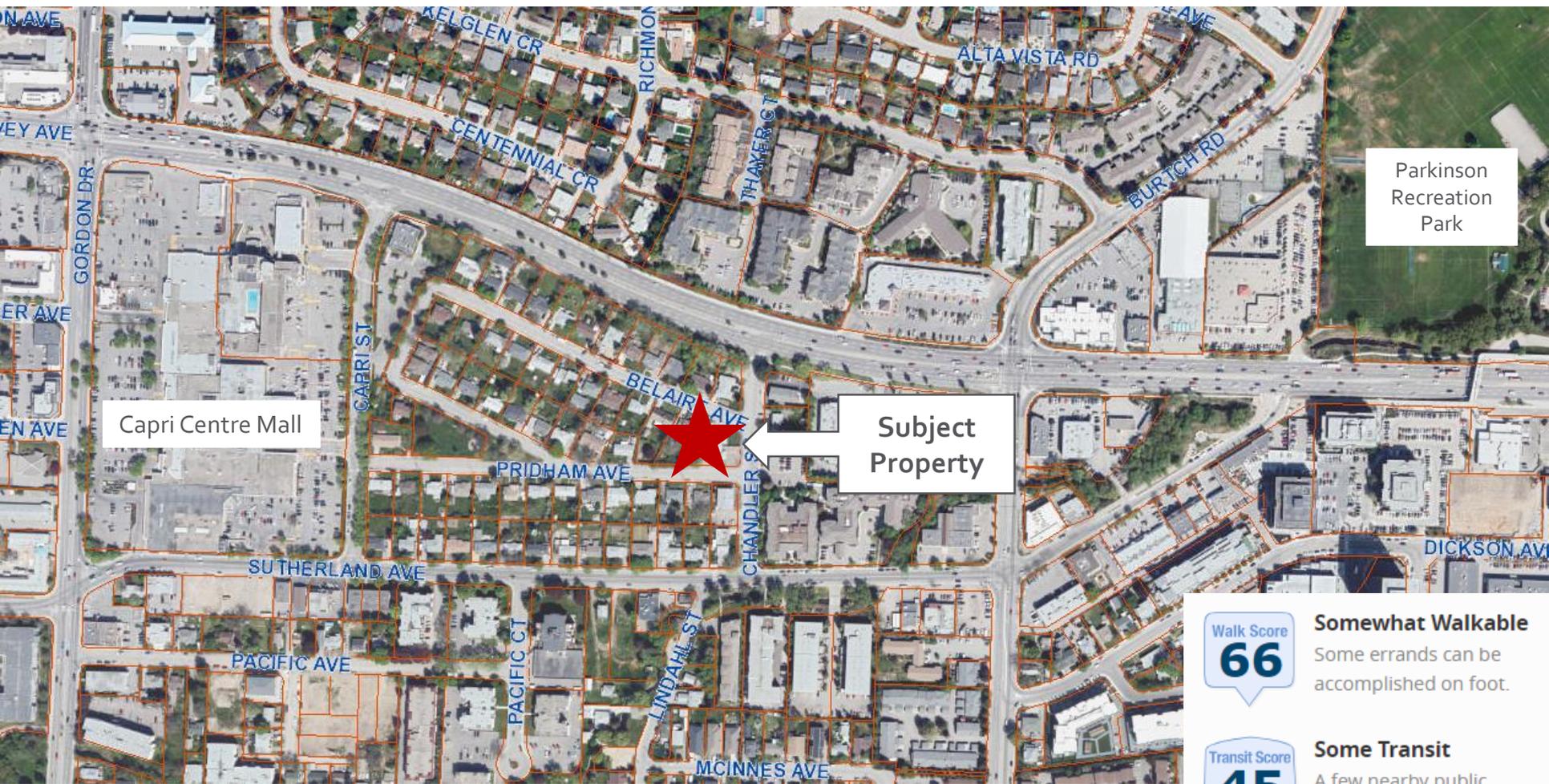
Proposal

- ▶ To issue a Development Permit for the form and character of a multiple dwelling housing development and to issue a Development Variance Permit for maximum site coverage and minimum flanking side yard (north and south).

Development Process



Context Map



Capri Centre Mall

Subject Property

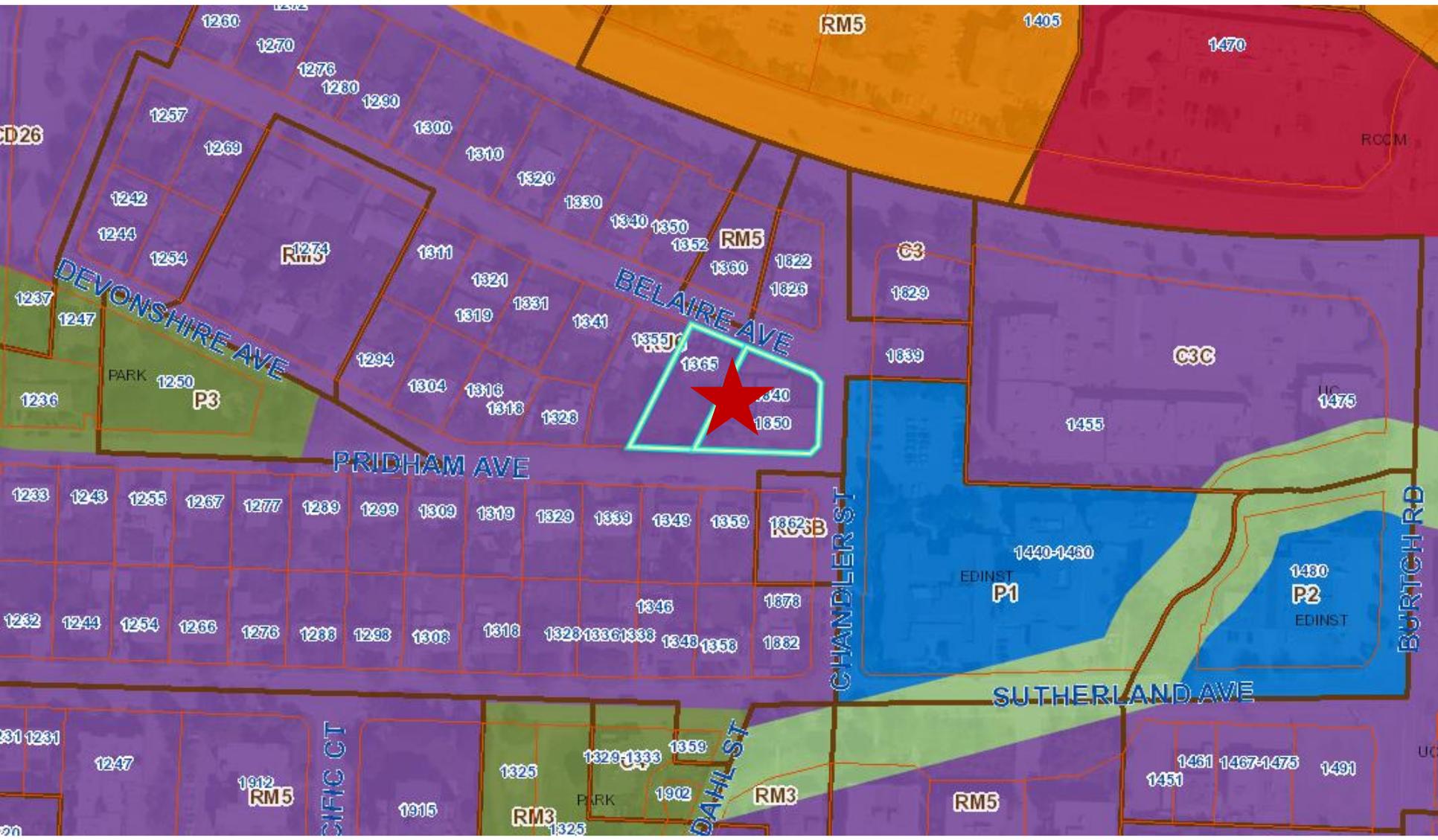
Parkinson Recreation Park

Walk Score **66** **Somewhat Walkable**
Some errands can be accomplished on foot.

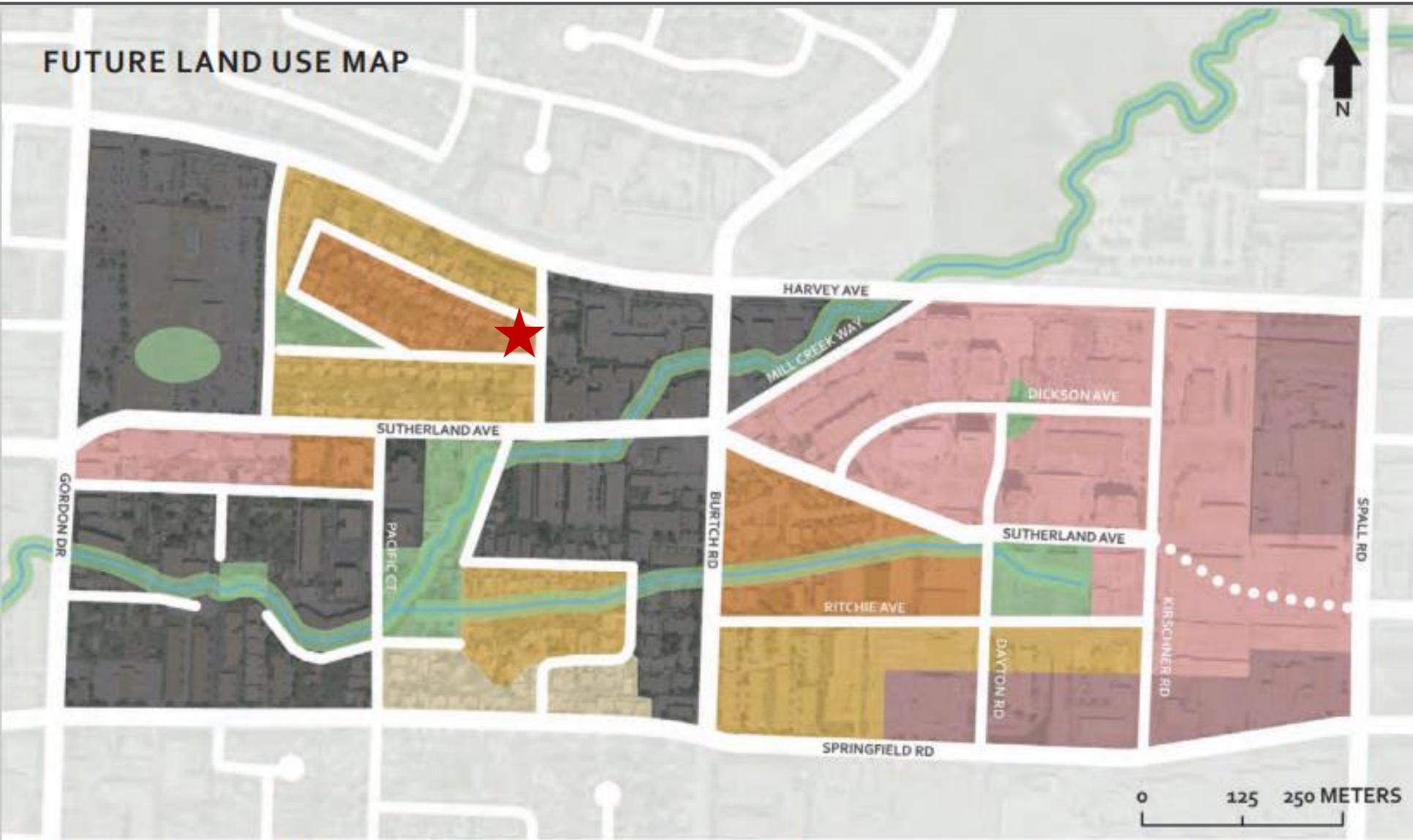
Transit Score **45** **Some Transit**
A few nearby public transportation options.

Bike Score **99** **Biker's Paradise**
Daily errands can be accomplished on a bike.

Future Land Use (OCP) & Zoning



Capri-Landmark Future Land Use



FUTURE LAND USE MAP

- High Density Residential
- Medium Density Residential
- Low Density Residential
- Mixed-use Residential
- Service Commercial
- Parks
- Consistent with Existing

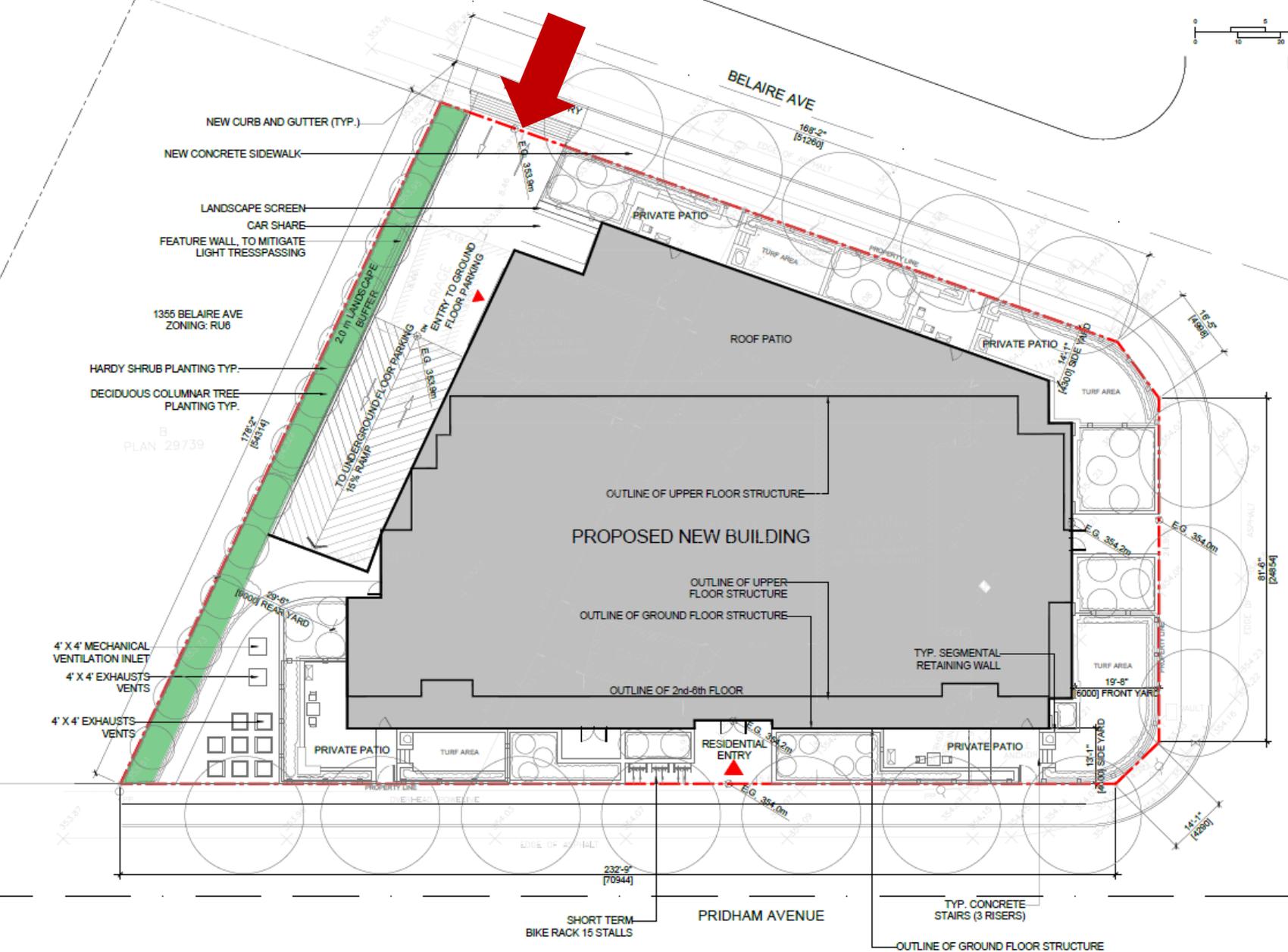
Subject Property Map



Technical Details

- ▶ Multiple Dwelling Housing development
 - ▶ Six-storey building
 - ▶ 90 units
 - ▶ 12 micro suites
 - ▶ 30 bachelor suites
 - ▶ 24 one- bedroom units
 - ▶ 22 two- bedroom units
 - ▶ 2 three-bedroom units
 - ▶ Surface (enclosed) and underground parking
 - ▶ One car share stall (at-grade and publicly accessible, and directly accessed from the drive aisle)
 - ▶ Outdoor patios or balconies for all units

Site Plan



Elevations (South)



ELEVATION
Scale: 1/8" = 1'-0"

Elevations (East)



Elevations (North)



TH ELEVATION
Scale: 1/8" = 1'-0"

Elevations (West)



ELEVATION
Scale: 1/8" = 1'-0"

Renderings



City of Kelowna

Renderings



City of Kelowna

Finish Schedule



1 RENDERING SOUTH VIEW
N.T.S.



HARDIE PANEL
WOOD COLOR



HARDIE PANEL -
WHITE



HARDIE PANEL -
LIGHT GREY



HARDIE PANEL -
DARK GREY



LONG BOARD -
WOOD

Variances

- ▶ Maximum Site Coverage
 - ▶ 50 % permitted, 61 % proposed
- ▶ Flanking Side Setbacks (North and South)
 - ▶ Belaire Ave (north)
 - ▶ 6.0 m required, 4.3 m proposed
 - ▶ Pridham Ave (south)
 - ▶ 6.0 m required, 4.0 m proposed
 - ▶ Applies to ground floor only, second floor is stepped back to meet setback requirements
- ▶ Not anticipated to cause negative impacts on adjacent properties

Development Policy

- ▶ OCP Form and Character Design Guidelines
 - ▶ Articulated building facades and design to break up the massing
 - ▶ Active frontages and eyes on the street
- ▶ Capri-Landmark Urban Centre Plan
 - ▶ Prevent under-development of sites
 - ▶ Intensify existing residential neighbourhoods
 - ▶ Build a variety of multi-unit housing types and tenures
 - ▶ Promote the consolidation of single-detached lots

Staff Recommendation

- ▶ Staff recommend **support** for the DP & DVP application
 - ▶ Consistent with OCP Urban Design Guidelines
 - ▶ Supported by policies in the OCP and Capri-Landmark Urban Centre Plan



Conclusion of Staff Remarks