ATTACHMENT A
This forms part of application
DP21-0130 DVP21-0131
Planner Initials KB
City of Kelowna
DEVELOPMENT PLANNING

Development Permit &Development Variance Permit DP21-0130 DVP21-0131

City of Kelowna

This permit relates to land in the City of Kelowna municipally known as

305 Drysdale Blvd

and legally known as

PARCEL A (BEING A CONSOLIDATION OF LOTS 4 AND 5, SEE CA9869654) SECTION 33 TOWNSHIP 26 OSOYOOS DIVISION YALE DISTRICT PLAN EPP48909

and permits the land to be used for the following development:

Multiple Dwelling Housing

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council Decision	September 20, 2022
Decision By:	Council
Development Permit Area:	Form and Character Development Permit Area
Existing Zone:	RM5 – Medium Density Multiple Housing
Future Land Use Designation:	VC – Village Centre

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner:	WILL MCKAY AND CO. LTD., INC.NO. BC0306923
Applicant:	Jordan Hettinga
Planner:	K. Brunet

_____ _____

Terry Barton
Community Planning Department Manager
Planning & Development Services

Date

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1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";

b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";

c) Landscaping to be provided on the land be in accordance with Schedule "C"; and

d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.

And that variances to the following sections of Zoning Bylaw No. 8000 be granted:

Section 13.11.6(c): RM5 – Medium Density Multiple Housing, Development Regulations
To vary the required maximum height from 18.0 m or 4.5 storeys permitted to 17.8 m or 6 storeys proposed.

Section 13.11.6(e): RM5 – Medium Density Multiple Housing, Development Regulations
To vary the required minimum side yard (east) from 7.0 m permitted to 6.01 m proposed.

Section 13.11.6(f): RM5 – Medium Density Multiple Housing, Development Regulations
To vary the required minimum rear yard from 9.0 m permitted to 6.02 m proposed.

This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property owner of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

a) An Irrevocable Letter of Credit OR certified cheque in the amount of $68,322.50

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

5. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

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All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the Landscape Agreement or their designates.

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SCHEDULE A

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City of Kelowna
DEVELOPMENT PLANNING

Contact List

Client		Will Mckay	604 657 8457	willmckay@hotmail.com
Architect	Siegrist Architecture	Duane Siegrist	604 319 4885	duanesiegrist@siegristarchitecture.ca

Architectural Drawing Issues

2021-05-02	Issue 01 - Preliminary Inquiry
2021-05-31	Issue 02 - RZ Application
2022-04-13	Issue 03 - DP Application
2022-07-21	Issue 04 - DP Resubmission
2022-08-12	Issue 05 - DP Resubmission
2022-08-21	Issue 06 - DP Resubmission

Architectural Drawing Index

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A-0.000	Cover
A-0.101	Project Information
A-0.102	Perspective Render
A-0.200	Data Sheet
A-0.310	Context - Site Location
A-0.320	Context - Site Location
A-0.330	Context - Street View Photos
A-0.340	Context - Zoning & OCP
A-0.410	Existing Conditions
A-1.000 Site	
A-1.101	Survey
A-1.200	Site Plan
A-1.201	Site Coverage Plan
A-2.000 Plans	
A-2.010	P1 Level Floor Plan
A-2.110	Level 1 Floor Plan
A-2.210	Level 2 Floor Plan
A-2.310	Level 3 Floor Plan
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A-5.000 Sections	
A-5.110	Building Sections

Glenmore Ridge

Issue 06 - DP Resubmission
August 21, 2022
301, 305 Drysdale Boulevard, Kelowna, BC

Project Description:
5 Storey Apartment Building Development

Civic Address:
301, 305 Drysdale Boulevard, Kelowna, BC

Legal Description:

PID:

Development Permit Number:
N/A

Building Permit Number:
N/A

Zoning:
Existing Zoning: RM1
Proposed Zoning: RM5 with Variances

Note: Drawings only to scale when printed on 24x36 sheets

Siegrist ARCHITECTURE
August 21, 2022
Issue 06 - DP Resubmission

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Project Information

A-0.101

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Glenmore Ridge

Issue 06 - DP Resubmission
August 21, 2022

301, 305 Drysdale Boulevard, Kelowna, BC

ARCHITECTURE

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Perspective Render

A-0.102

Total Gross Site Area		30,924.11 SF	2,872.7 m²

** Confirmed by Survey from: October 13th, 2014 by Douglas A. Goddard, BCLS 588*

2. FLOOR AREA RATIO (FAR)

2.1 Maximum FAR

Maximum Floor Area	1.8000	34,177.9 SF	3,175.2 m²

2.2 Proposed FAR

Proposed Floor Area (Unit Area Only)	1.1499	21,833.2 SF	2,028.4 m²

3. GROSS FLOOR AREA (GFA)

3.1 Unit Areas

Unit Types			Level 1	Level 2	Level 3	Level 4	Level 5		Subtotal	Unit Area	Total Area per Unit Type				% of Number of Units
Unit B1 - 1 Bedroom 1 Bath + Den				1	1	1			3	571.43	1,714.29	SF	159.26	m2	8.11%
Unit B1.1 - 1 Bedroom 1 Bath + Den				1	1				2	571.06	1,142.12	SF	106.11	m2	5.41%
Unit B1.2 - 1 Bedroom 1 Bath + Den			1	1	1				3	573.95	1,721.85	SF	159.96	m2	8.11%
Unit B1.3 - 1 Bedroom 1 Bath + Den			1	1	1				3	570.94	1,712.82	SF	159.12	m2	8.11%
Unit B2 - 1 Bedroom 1 Bath				1	1	1			3	576.11	1,728.33	SF	160.57	m2	8.11%
Unit B3 - 1 Bedroom 1 Bath + Den				1	1	1			3	570.51	1,711.53	SF	159.01	m2	8.11%
Unit B4 - 1 Bedroom 1 Bath + Den + Roof Deck	Level 1					1			1	571.06	751.12	SF	69.78	m2	2.70%
	Level 2						1			180.06					
Unit B4.1 - 1 Bedroom 1 Bath + Den + Roof Deck	Level 1					1			1	574.00	757.00	SF	70.33	m2	2.70%
	Level 2						1			183.00					
Unit B4.2 - 1 Bedroom 1 Bath + Den + Roof Deck	Level 1					1			1	570.94	753.94	SF	70.04	m2	2.70%
	Level 2						1			183.00					
Unit B5 - 1 Bedroom 1 Bath			1	1	1	1			4	465.13	1,860.52	SF	172.85	m2	10.81%
Unit B6 - 1 Bedroom 1 Bath				1	1	1			3	456.07	1,368.21	SF	127.11	m2	8.11%
Unit B7 - 1 Bedroom 1 Bath				1	1	1			3	444.47	1,333.41	SF	123.88	m2	8.11%
Unit C1 - 2 Bedroom 2 Bath			1	1	1	1			4	750.83	3,003.32	SF	279.02	m2	10.81%
Unit C2 - 2 Bedroom 2 Bath				1	1	1			3	758.24	2,274.72	SF	211.33	m2	8.11%
Total		-	4	11	11	11			37		21,833.18	SF	2,028.35	m²	100.00%

3.2 Common Areas

			Level 1	Level 2	Level 3	Level 4	Level 5		Subtotal	
Common Area			1,295.56	1,352.38	1,352.38	1,352.38	385.28		5,737.98	SF
Amenity			669.72						669.72	SF
Total			1,965.28	1,352.38	1,352.38	1,352.38	385.28		6,407.70	SF

3.3 Total Building Area

			Level 1	Level 2	Level 3	Level 4			Subtotal	
Unit Area			2,360.85	6,308.74	6,308.74	6,308.79	546.06		21,833.18	SF
Common Area			1,965.28	1,352.38	1,352.38	1,352.38	385.28		6,407.70	SF
			4326.13	7661.12	7661.12	7661.17	931.34		28,240.88	SF
								Total Building Area	28,240.88	SF

3.4 Total Building Area Included in FSR

			Level 1	Level 2	Level 3	Level 4			Subtotal	
Unit Area			2,360.85	6,308.74	6,308.74	6,308.79	546.06		21,833.18	SF
Common Area (Excluded from FSR)									-	SF
			2360.85	6308.74	6308.74	6308.79	546.06		21,833.18	SF
								Total Building Area For FSR	21,833.18	SF

Private Open Space

					# of Units	SF Required			
	7.5	m²	81	SF	Per Studio				
	15	m²	161	SF	Per 1 Bedroom	30	4843.755	SF	450 m²
	25	m²	269	SF	Per 2+ Bedroom	7	1884	SF	175 m²
							6727	SF	625 m²
	4	m²	43	SF	Per Unit	37	1593	SF of the total to be dedicated to common amenity	

Private Open Space Provided 7368

Data Verification - Private Open Space		
		Area
Level 1 Floor Plan		
	INDOOR AMENITY	672.95
	PATIO	1,724.59
Level 2 Floor Plan		
	BALCONY	1,603.39
Level 3 Floor Plan		
	BALCONY	1,263.17
Level 4 Floor Plan		
	BALCONY	1,531.81
Main Roof Plan		
	ROOF DECK	1,798.07

1 Data Verification - Private Open Space
SCALE: 1" = 1'-0"

4. OFF-STREET PARKING

4.1 Parking Required

Residential Parking	1.0 Spaces Per 1 Bedroom Unit	30	Spaces Required
	1.25 Spaces Per 2 Bedroom Unit	9	Spaces Required
		39	Total Spaces Required
Visitor Parking	0.14 Spaces Per Unit	**5**	Spaces Required
Total Parking Spaces		**44**	Total Spaces Required
Accessible Parking	2 Spaces per 37 Parking Spaces	2	Spaces Required
Van Accessible Parking	1 Inclusive of Accessible Parking Spaces Provided	1	Spaces Required
Maximum Small Cars	0.5 of Provided Spaces	20	Spaces Max.

4.2 Parking Provided

Residential Parking	Level P1	Level 1	Total	
Regular Spaces Provided	16	0	16 Spaces Provided	
Small Spaces Provided	2	15	17 Spaces Provided	
Accessible Spaces Provided		1	1 Spaces Provided	
Van Accessible Spaces Provided			0 Spaces Provided	
			34 Total Spaces Provided*	*Parking Reduced due to 8.5.8 Bicycle Parking Incentives

Visitor Parking	Level P1	Level 1		
Regular Spaces Provided		4	4 Spaces Provided	
Small Spaces Provided			0 Spaces Provided	
Accessible Spaces Provided			0 Spaces Provided	
Van Accessible Spaces Provided		1	1 Spaces Provided	
			5 Total Spaces Provided	

Car Share Stalls	Level P1	Level 1		
Regular Spaces Provided			0 Spaces Provided	
Small Spaces Provided			0 Spaces Provided	
Accessible Spaces Provided			0 Spaces Provided	
Van Accessible Spaces Provided			0 Spaces Provided	
			0 Total Spaces Provided	
			39 Total Spaces Provided	*Parking Reduced due to 8.5.8 Bicycle Parking Incentives

Total Stall Provided		
Regular Spaces Provided	20	Total Spaces Provided
Small Spaces Provided	17	Total Spaces Provided (TBC at BP)
Accessible Spaces Provided	1	Total Spaces Provided
Van Accessible Spaces Provided	1	Total Spaces Provided
	39	Total Spaces Provided
	5	Parking Spaces reduced due to increased bike parking
	44	Total Provided *Parking Reduced due to 8.5.8 Bicycle Parking Incentives

5. BICYCLE STALLS

5.1 Bicycle Spaces

Long Term Bicycle Spaces Required	1.00 Bicycle Stalls Per Unit studio, 1bed	30 Units	30	Stalls Required
	1.50 Bicycle Stalls Per Unit 2bed	7 Units	11	Stalls Required
			41	**Stalls Required**
Short Term Bicycle Spaces Required			**6**	**Stalls Required**
		Total	**47**	**Stalls Required**
Long Term Bicycle Spaces Provided			42	Stalls Provided
Short Term Bicycle Spaces Provided			6	Stalls Provided (See Landscape Plans)
		Total	48	Stalls Provided

6. SITE COVERAGE

Lot Coverage	65%	12,342.00 SF	1,146.60	m²
Proposed Lot Coverage	40%	7,589.45 SF	705.08	m²
Lot Coverage of parking and building	85%	16,139.54 SF	1,499.40	m²
Proposed Lot Coverage of parking and building	60%	11,402.57 SF	1,059.32	m²

*** Note: Building Site Coverage does not include: bay windows, roof overhangs, eaves, front porches, chimneys, covered walkways, entry portocos, balconies, or decks and is measured to the exterior side of the exterior wall sheathing*

7. BUILDING SET BACKS

7.1 Proposed Setbacks

	Required	Proposed	Proposed
Front = Glen Park	3.00m	19.94 FT	6.08m
Flanking Side = Drysdale	3.00m	19.86 FT	6.05m
Rear = South	4.50m	19.75 FT	6.02m
Side = East	3.00m	19.71 FT	6.01m

*** Note: Setback dimensions are measured from face of plywood sheathing to closest property line*

8. BUILDING HEIGHT

8.1 Maximum Building Height

Required	Proposed
Maximum 22.00m	17.75m
6 Storeys	5.5 Storeys

*** Note: See Drysdale Elevation for dimension measurement*

9. GARBAGE REQUIREMENTS

8.1 Onsite Garbage

See Landscape Plan for Proposed Onsite Garbage

10. DEVELOPMENT PERMIT TO BUILDING PERMIT MAJOR CHANGES

Notes:

Note 1: *Unit areas are measured to the CL of Party Walls, Exterior of sheathing for Exterior Walls, Exterior of Exterior Concrete Walls, Exterior of Stud / Sheating of Shaft Walls; Wall Furouts are not included (exterior walls with a width greater than 6")*

Note 2: *The proposed FSR excludes: crawlspace under stair less than 1.5m*

Note 3: *The setbacks are measured to the face of sheathing*

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Siegrist ARCHITECTURE
REGISTERED ARCHITECT DUANE SIEGRIST BRITISH COLUMBIA August 23, 2022
resubmission DP

August 23, 2022
Issue 07 - DP Resubmission
011
Data Sheet
A-0.200

Glenmore Ridge
Issue 07 - DP Resubmission
August 23, 2022
301, 305 Drysdale Boulevard, Kelowna, BC

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DEVELOPMENT PLANNING

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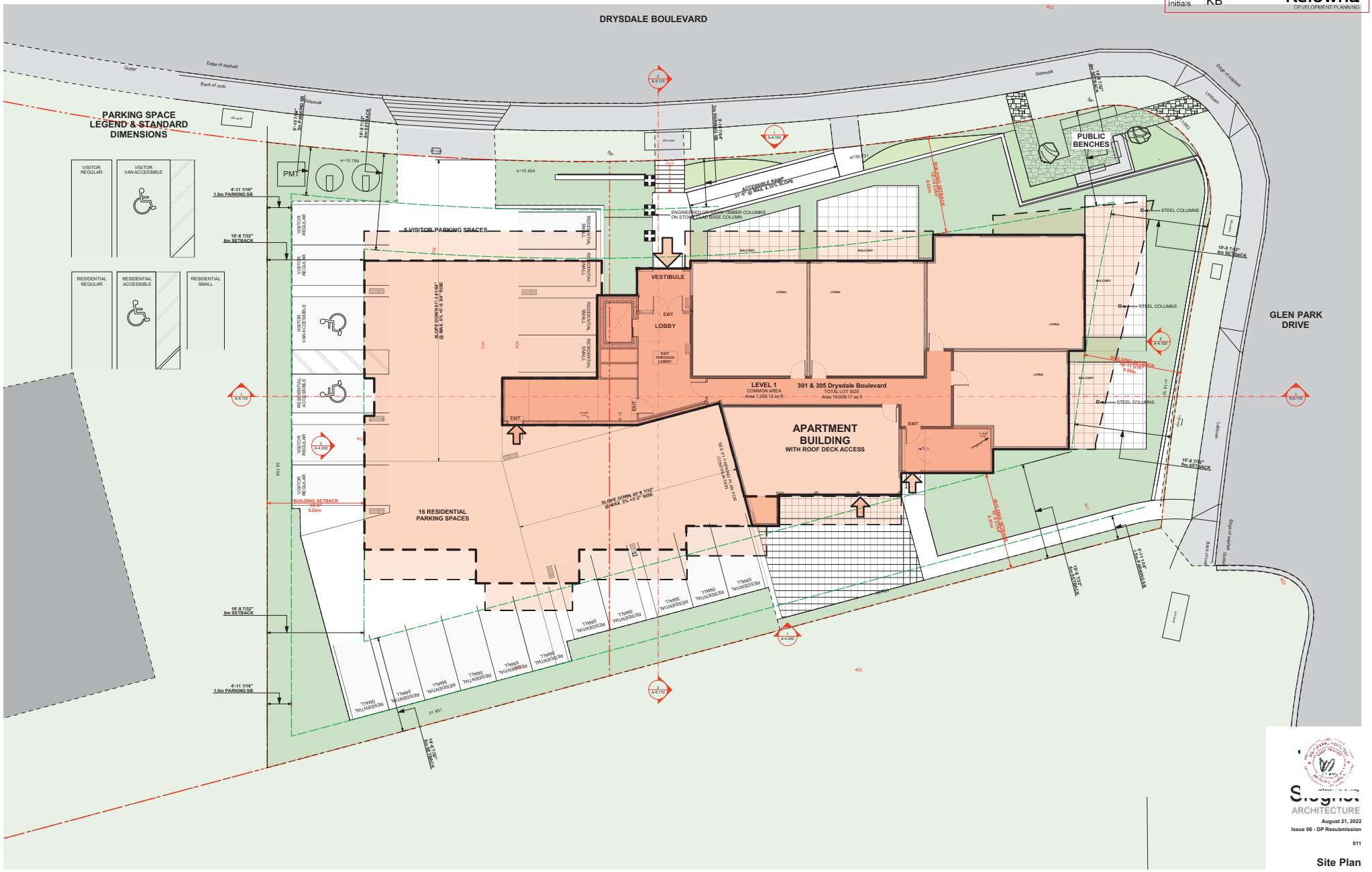

1 Site Plan

SCALE: 1/8" = 1'-0"

ARCHITECTURE

August 21, 2022

Issue 06 - DP Resubmission

011

Site Plan

A-1.200

SCHEDULE B

This forms part of application

DP21-0130 DVP21-0131

City of Kelowna
DEVELOPMENT PLANNING

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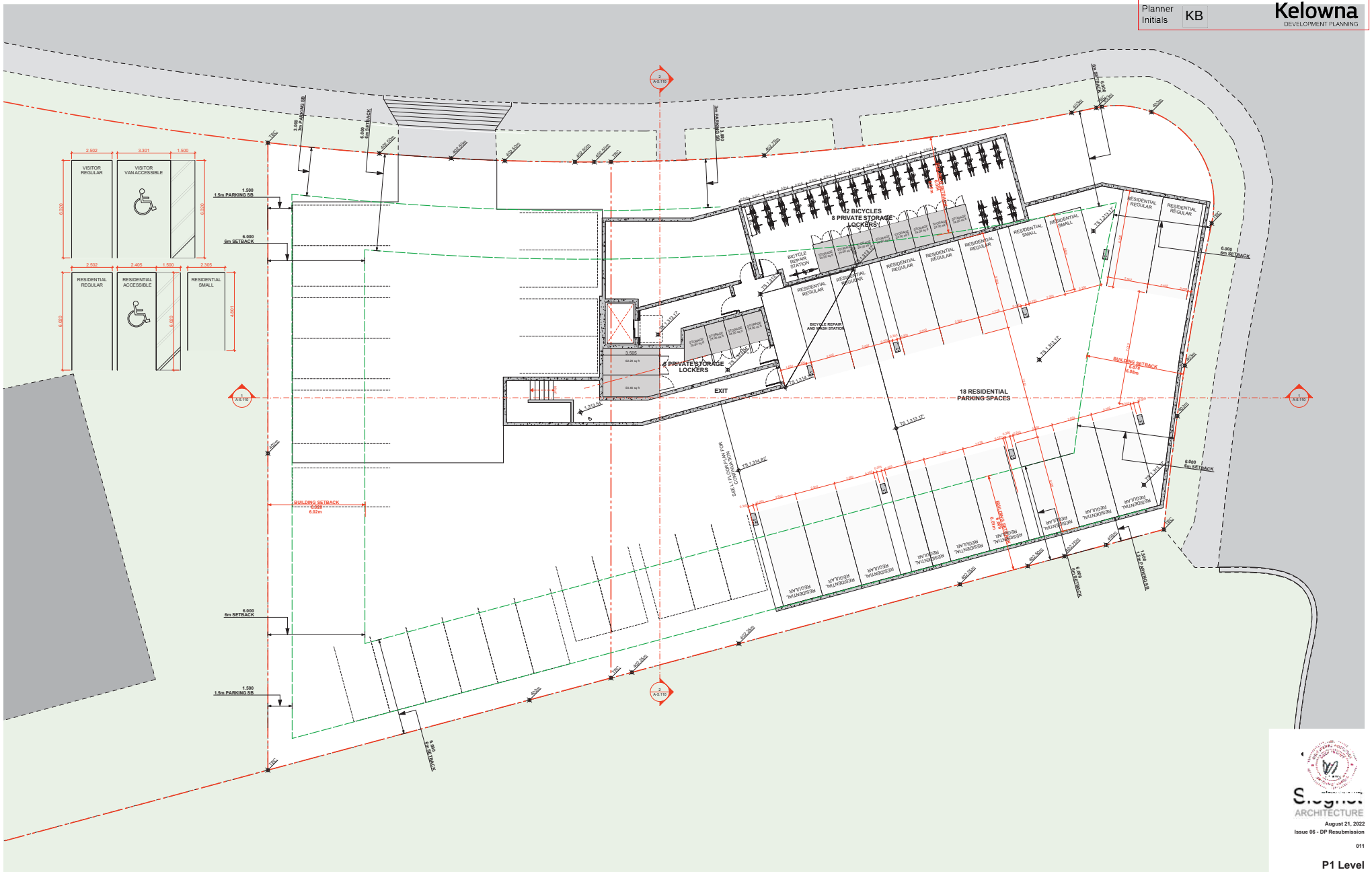

1 P1 Parking Plan
SCALE: 1/8" = 1'-0"

Slegner ARCHITECTURE

August 21, 2022
Issue 06 - DP Resubmission

011

P1 Level Floor Plan

A-2.010

SCHEDULE B

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City of Kelowna DEVELOPMENT PLANNING

Planner Initials KB

1 Level 1 Floor Plan

SCALE: 1/8" = 1'-0"

Slegner ARCHITECTURE

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Level 1 Floor Plan

A-2.110

SCHEDULE B

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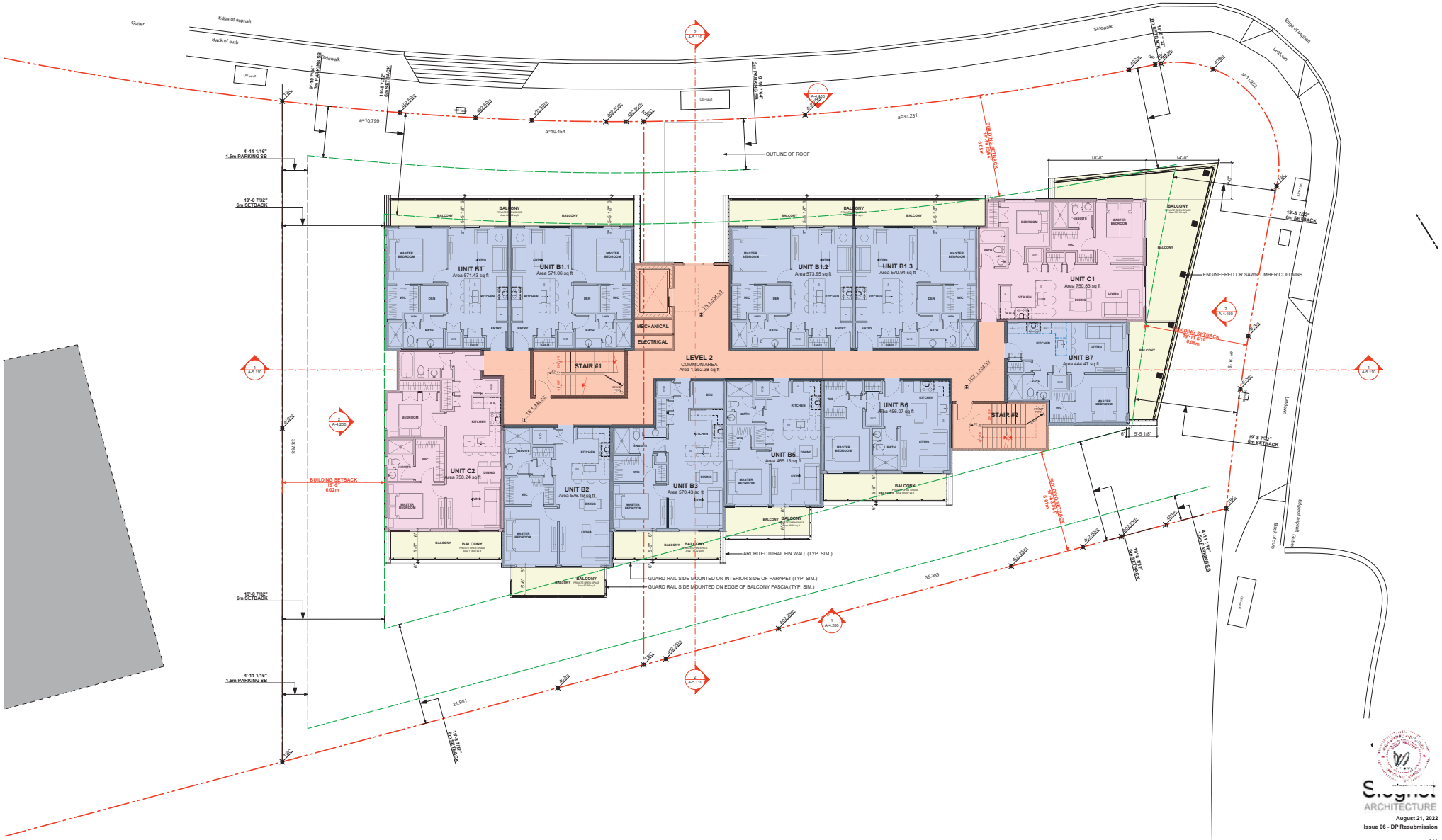
City of Kelowna DEVELOPMENT PLANNING



1 Level 2 Floor Plan

SCALE: 1/8" = 1'-0"

Slegner ARCHITECTURE

August 21, 2022

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Level 2 Floor Plan

A-2.210

SCHEDULE B

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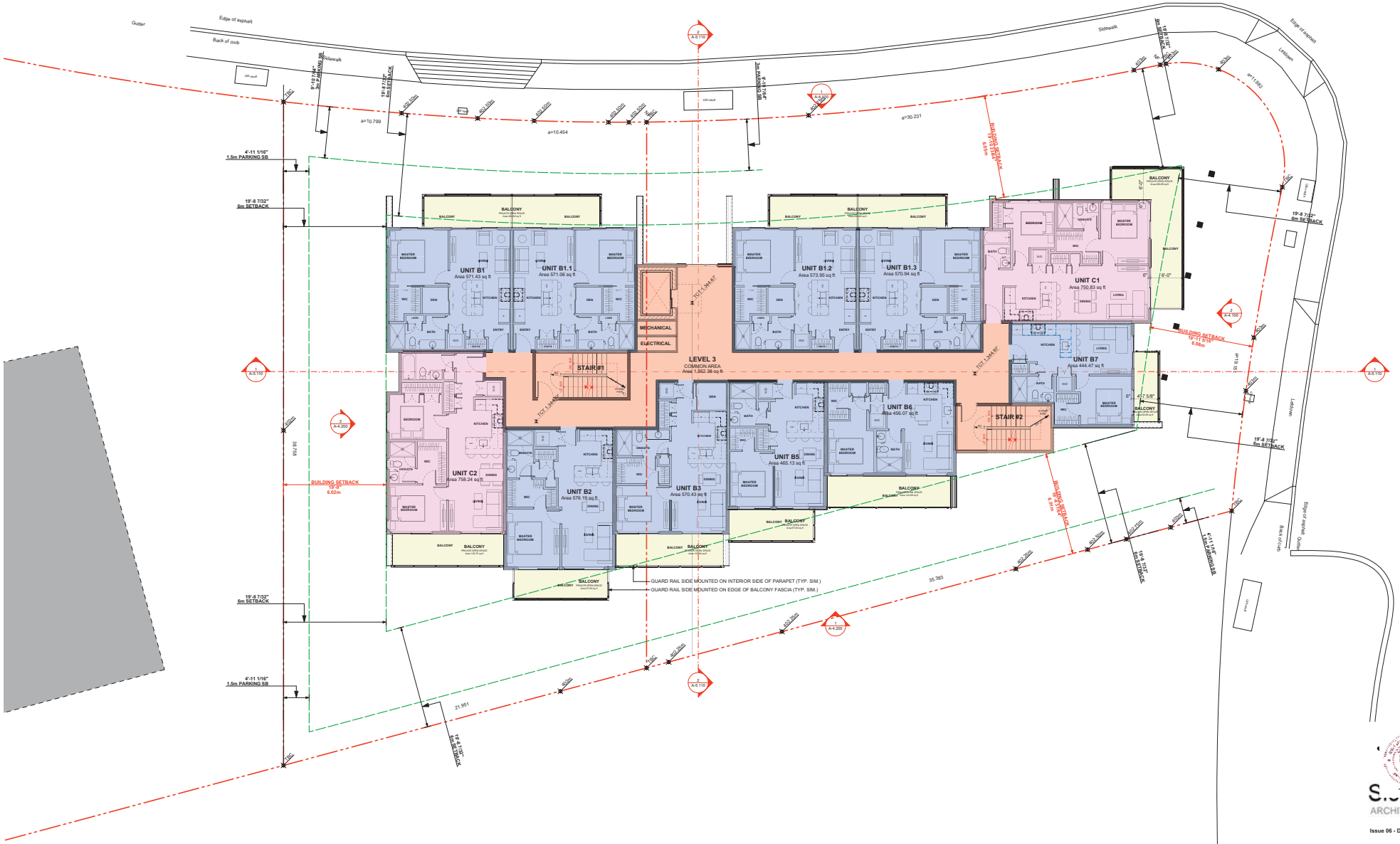
Planner Initials KB

City of Kelowna DEVELOPMENT PLANNING



1 Level 3 Floor Plan
SCALE: 1/8" = 1'-0"

ARCHITECTURE

August 21, 2022
Issue 06 - DP Resubmission

011

Level 3 Floor Plan

A-2.310

SCHEDULE B

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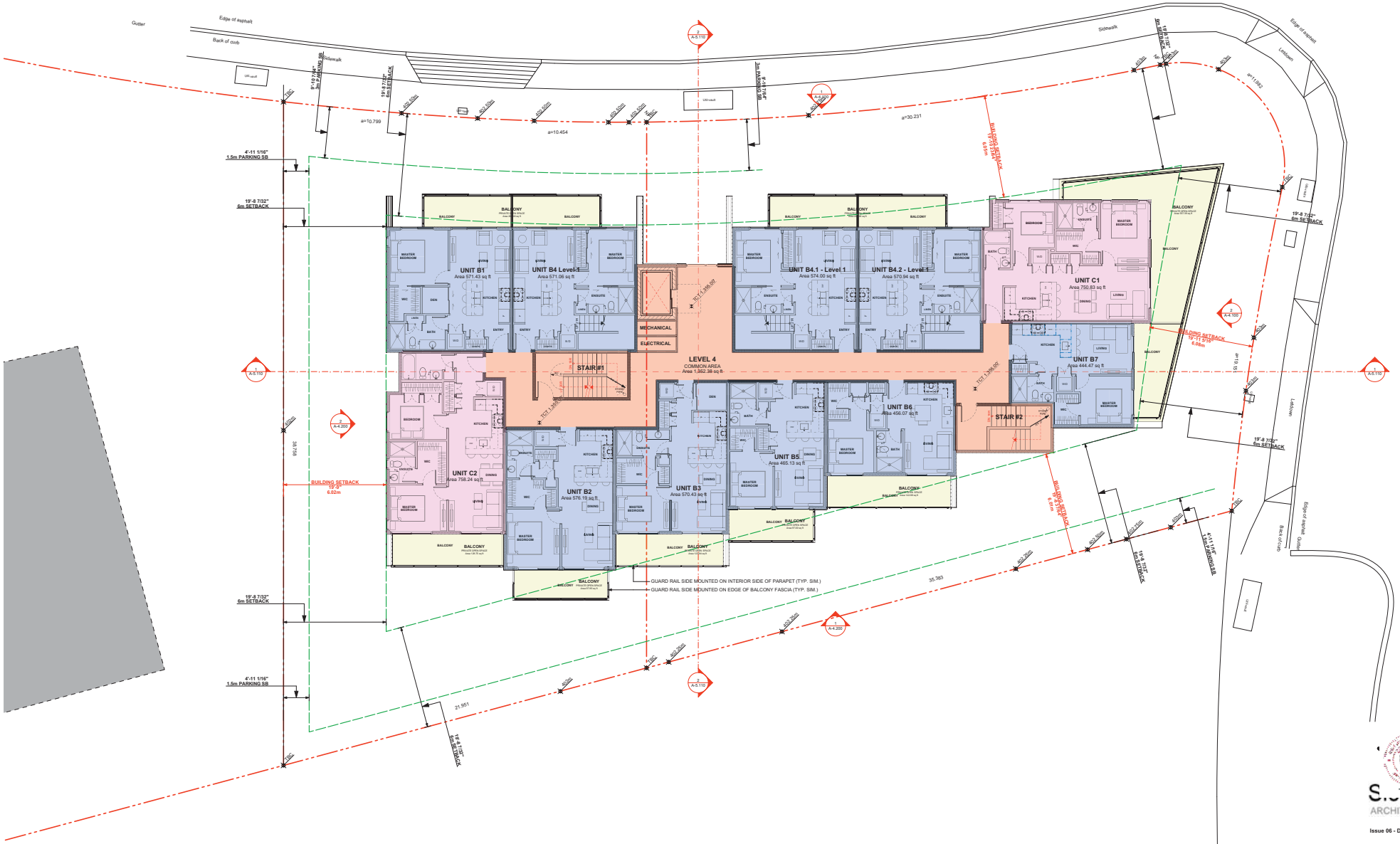

1 Level 4 Floor Plan
SCALE: 1/8" = 1'-0"

Stuart ARCHITECTURE

August 21, 2022
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Level 4 Floor Plan

A-2.410

SCHEDULE B

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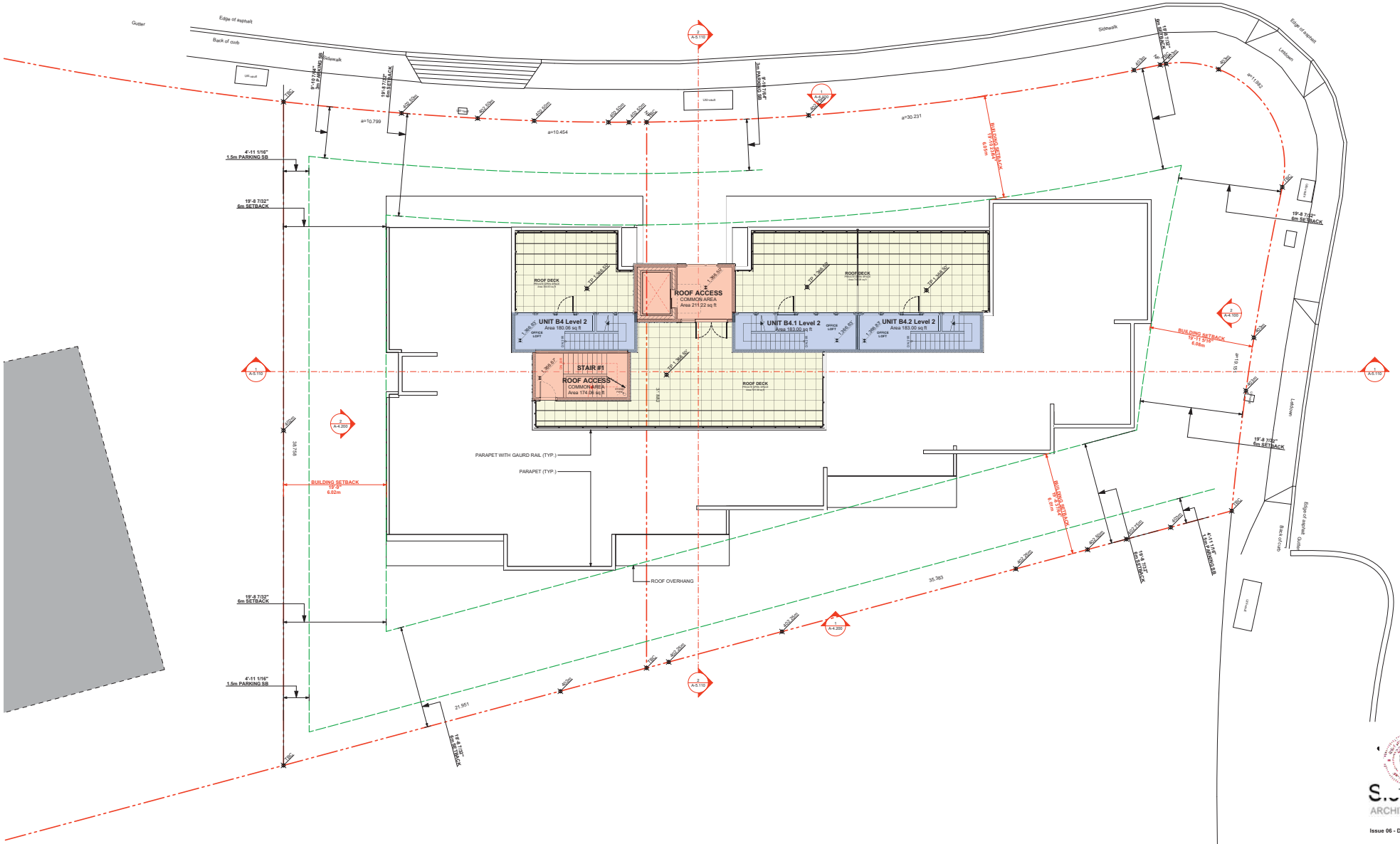

1 Main Roof Plan
SCALE: 1/8" = 1'-0"

Stuart ARCHITECTURE

August 21, 2022
Issue 06 - DP Resubmission

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Main Roof Level Plan

A-2.510

SCHEDULE B

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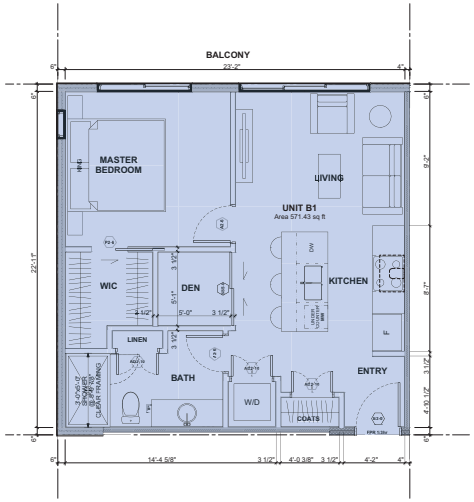
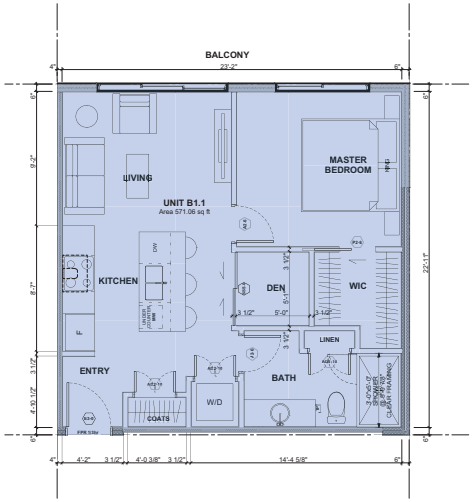
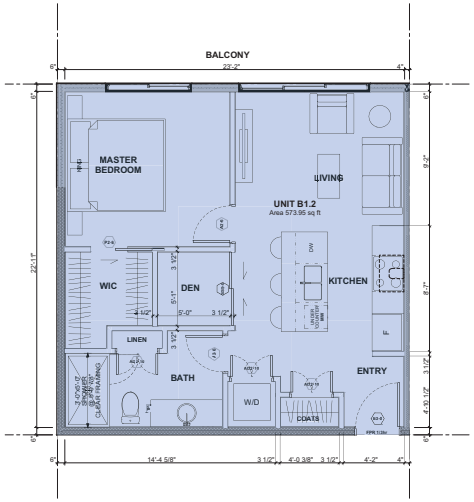


1 Unit B1
SCALE: 1/4" = 1'-0"



2 Unit B1.1
SCALE: 1/4" = 1'-0"



3 Unit B1.2
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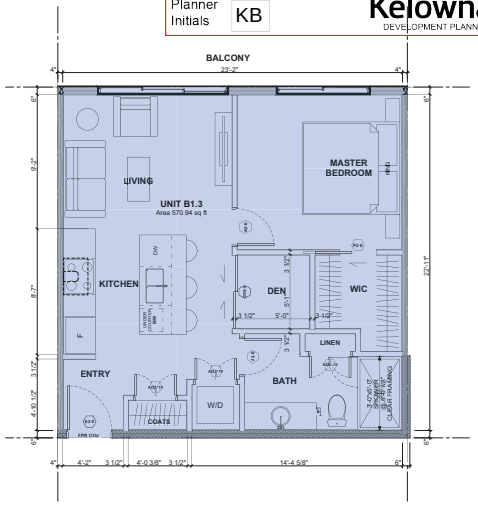
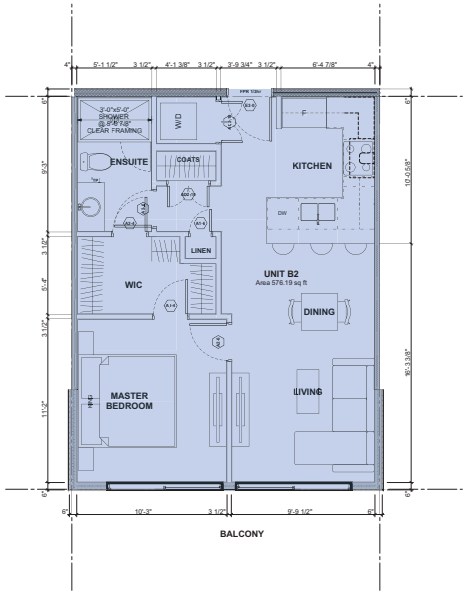
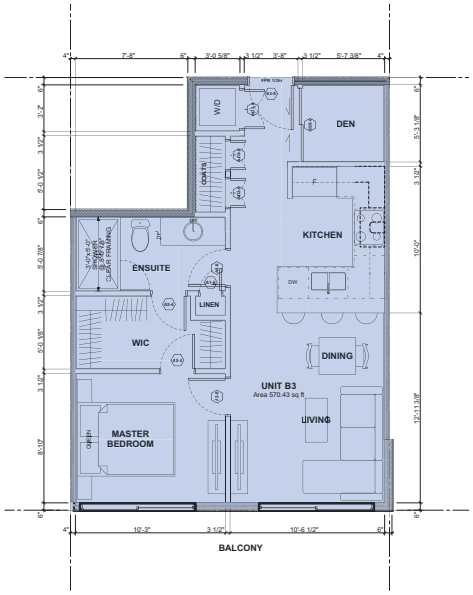


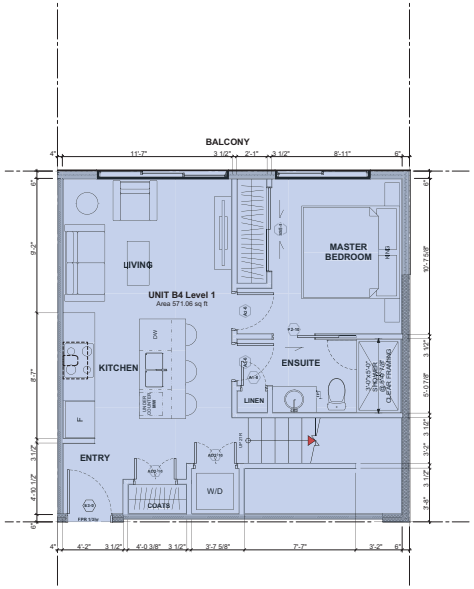
4 Unit B1.3
SCALE: 1/4" = 1'-0"



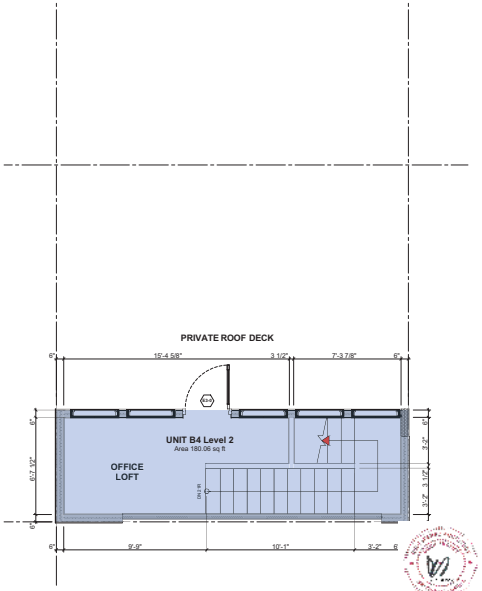
5 Unit B2
SCALE: 1/4" = 1'-0"



6 Unit B3
SCALE: 1/4" = 1'-0"



7 Unit B4 - Level 1
SCALE: 1/4" = 1'-0"



8 Unit B4 - Level 2
SCALE: 1/4" = 1'-0"

Slegner ARCHITECTURE

August 21, 2022
Issue 06 - DP Resubmission

011

Unit Plans

A-3.101

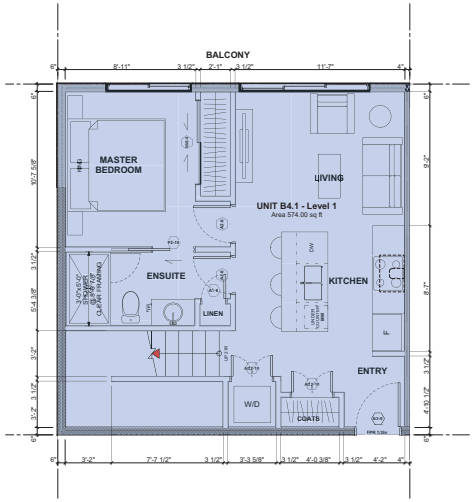
SCHEDULE B

This forms part of application

DP21-0130 DVP21-0131

Planner Initials KB

City of Kelowna
DEVELOPMENT PLANNING



1 Unit B4.1 - Level 1
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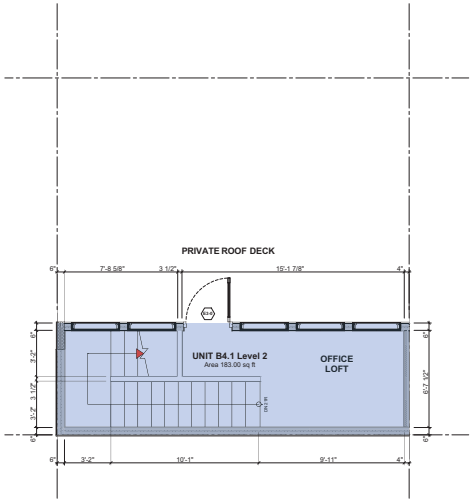

2 Unit B4.1 - Level 2
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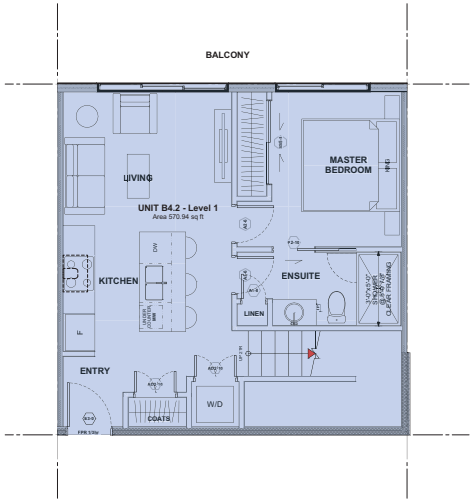
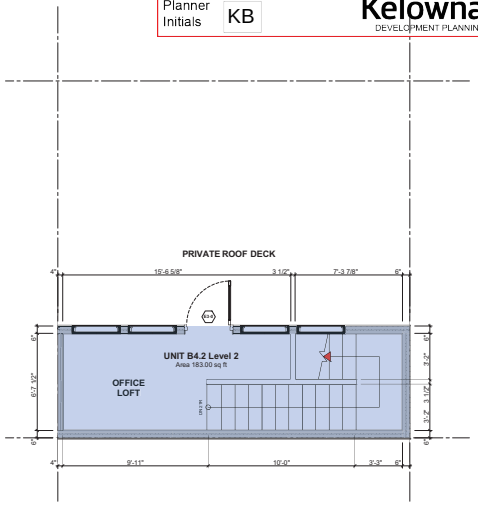
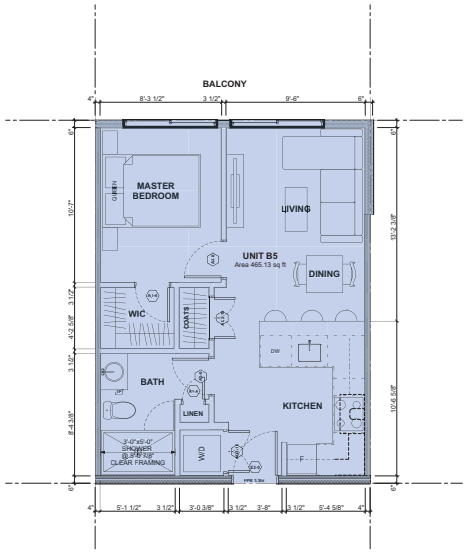


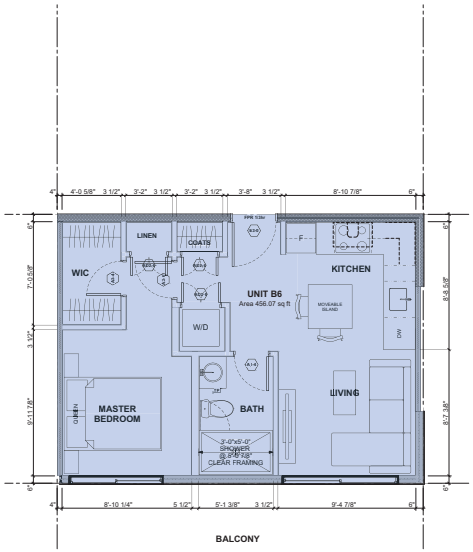
3 Unit B4.2 - Level 1
SCALE: 1/4" = 1'-0"



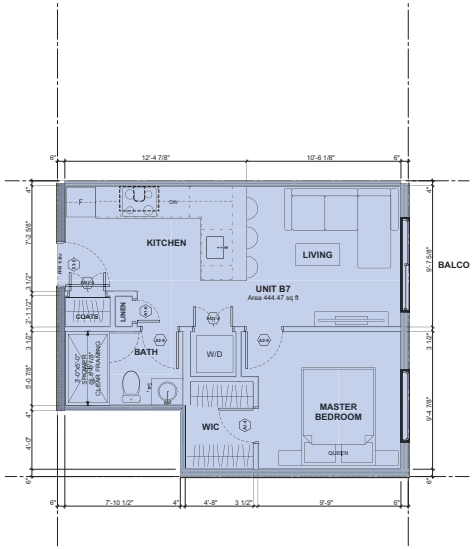
4 Unit B4.2 - Level 2
SCALE: 1/4" = 1'-0"



5 Unit B5
SCALE: 1/4" = 1'-0"



6 Unit B6
SCALE: 1/4" = 1'-0"



7 Unit B7
SCALE: 1/4" = 1'-0"

Slegner ARCHITECTURE

August 21, 2022
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Unit Plans

A-3.102

SCHEDULE B

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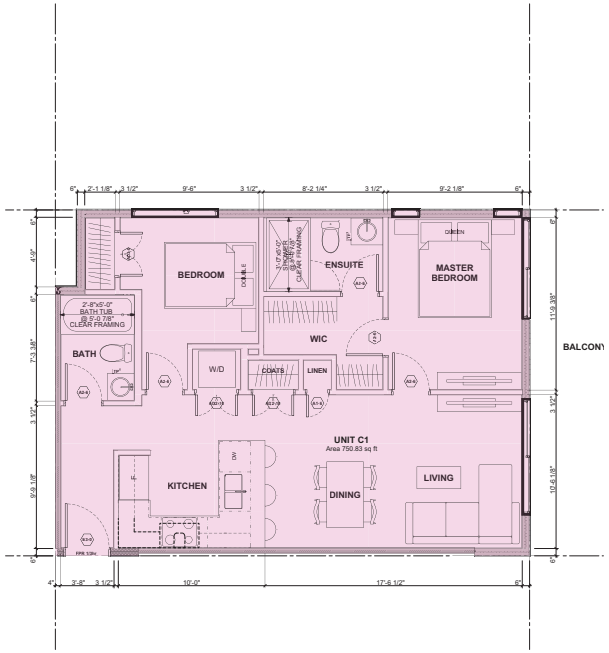
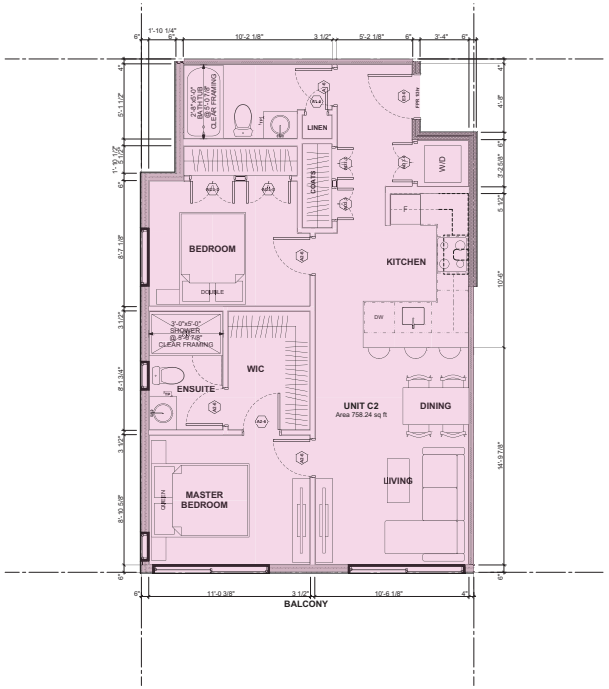
DP21-0130 DVP21-0131

City of Kelowna
DEVELOPMENT PLANNING

Planner Initials KB



1 Unit C1
SCALE: 1/4" = 1'-0"



2 Unit C2
SCALE: 1/4" = 1'-0"

Stephen ARCHITECTURE

August 21, 2022
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Unit Plans

A-3.103

SCHEDULE B

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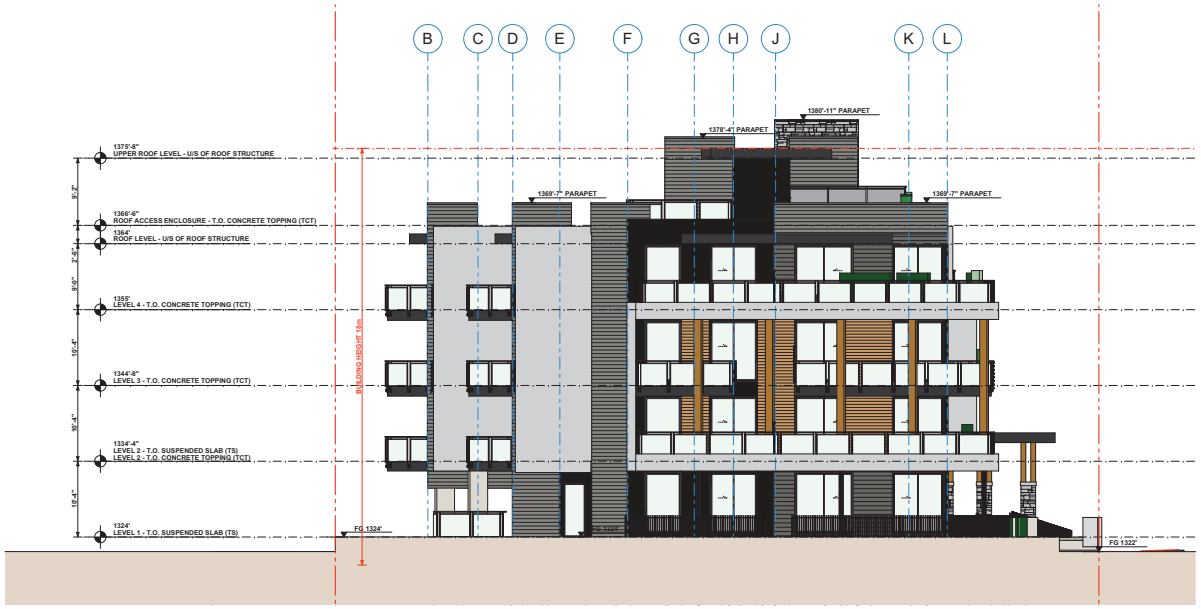
City of Kelowna
DEVELOPMENT PLANNING

1 West Elevation
SCALE: 1/8" = 1'-0"



2 North Elevation
SCALE: 1/8" = 1'-0"

MATERIAL AND COLOUR LEGEND

Note: All Materials are subject to change during Tender and/or Pricing phase of the project

	Colour	Product	Finish (to match)	Manufacturer	Location
1.0 CLADDING					
1.1	Orange Brown	Lap Siding w/ 4" Exposure	Mountain Cedar - Rustic Series by Woodtone	JamesHardie or Allura	Exterior Walls
1.2	Dark Grey	Lap Siding w/ 4" Exposure	Iron Grey	JamesHardie or Allura	Exterior Walls
1.3	Black	HardiePanel 2.0 (Panel Reveal System)	Black	JamesHardie	Exterior Walls
1.4	Light Grey	HardiePanel 2.0 (Panel Reveal System)	Grey Slate	JamesHardie	Exterior Walls & Fin Walls & Feature Roofs
1.5	Grey-Brown	ProFit Ledgestone	Platinum	Pro-Fit®	Exterior Walls
2.0 SOFFIT					
2.1	Cedar	Cementitious Board - Cedar Soffit	Cedar - PPG ColourMax	Allura™	Feature Roofs & entry Canopies
2.3	Light Grey	HardiePanel 2.0 (Panel Reveal System)	To Match 1.4	TBC	All Other Roofs
3.0 ROOFS					
3.1	Black	2-Layer SBS Membrane	Black	TBC	SBS Membrane at flat roofs
4.0 DOORS					
5.0 WINDOWS					
5.1	Charcoal Grey	Vinyl Windows	Glass - Frames To Match 1.3	TBC	Building 1-4 Windows
6.0 TRIMS					
6.2	Charcoal Grey	HARDIETRIM®BOARDS	To Match 1.3	JamesHardie	Roof Trims and Facias
7.0 RAILINGS					
7.2	Charcoal Grey	Aluminum Guard Railing	Glass - Frames To Match 1.3	TBC	Required Guard Rails Throughout
8.0 ACCESSORIES					
8.1	Charcoal Grey	Flashing, Gutters, and Down Spouts	Glass - Frames To Match 1.3	TBC	Building 5 - Sliding Shading Screens on Balconies
9.0 STRUCTURE					
9.1	Wood	Sawn Timber or Engineered Lumber	DECKplus™ Semi-Transparent Wood Stain - Cedar Naturaltone ST-533 - BEHR	TBC	Feature Columns
9.2	Concrete	Cast in Place Concrete Columns or Walls Exposed			Parking Level

Stuart ARCHITECTURE

August 21, 2022
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North & West Elevations

A-4.100

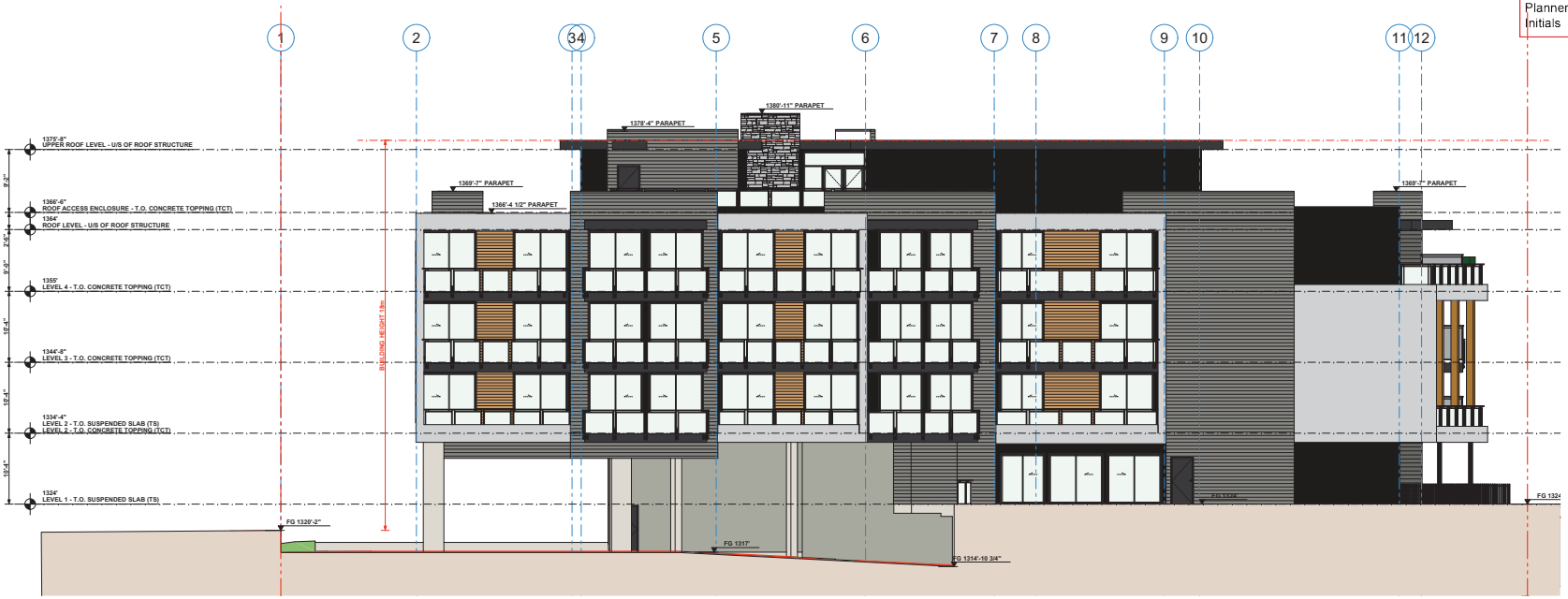
SCHEDULE B

This forms part of application

DP21-0130 DVP21-0131

Planner Initials KB

City of Kelowna
DEVELOPMENT PLANNING



1 East Elevation
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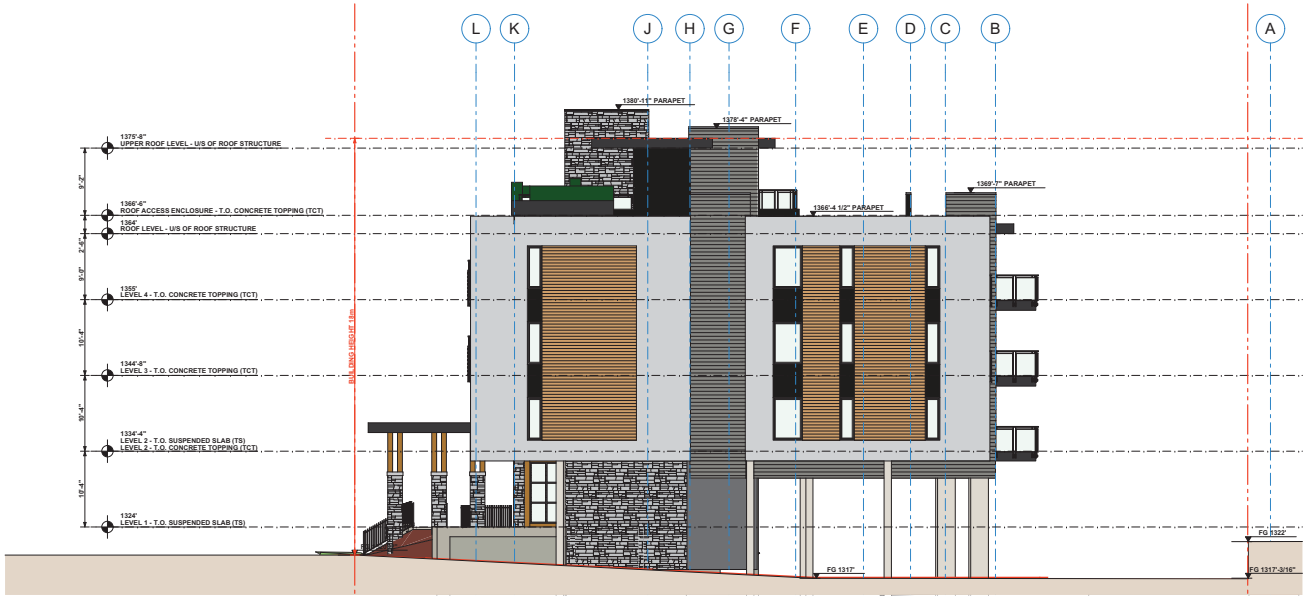


2 South Elevation
SCALE: 1/8" = 1'-0"

MATERIAL AND COLOUR LEGEND

Note: All Materials are subject to change during Tender and/or Pricing phase of the project

	Colour	Product	Finish (to match)	Manufacturer	Location
1.0 CLADDING					
1.1	Orange Brown	Lap Siding w/ 4" Exposure	Mountain Cedar - Rustic Series by Woodtone	JamesHardie or Allura	Exterior Walls
1.2	Dark Grey	Lap Siding w/ 4" Exposure	Iron Grey	JamesHardie or Allura	Exterior Walls
1.3	Black	HardiePanel 2.0 (Panel Reveal System)	Black	JamesHardie	Exterior Walls
1.4	Light Grey	HardiePanel 2.0 (Panel Reveal System)	Grey Slate	JamesHardie	Exterior Walls & Fin Walls & Feature Roofs
1.5	Grey-Brown	ProFit Ledgestone	Platinum	Pro-Fit®	Exterior Walls
2.0 SOFFIT					
2.1	Cedar	Cementitious Board - Cedar Soffit	Cedar - PPG ColourMax	Allura™	Feature Roofs & entry Canopies
2.3	Light Grey	HardiePanel 2.0 (Panel Reveal System)	To Match 1.4	TBC	All Other Roofs
3.0 ROOFS					
3.1	Black	2-Layer SBS Membrane	Black	TBC	SBS Membrane at flat roofs
4.0 DOORS					
5.0 WINDOWS					
5.1	Charcoal Grey	Vinyl Windows	Glass - Frames To Match 1.3	TBC	Building 1-4 Windows
6.0 TRIMS					
6.2	Charcoal Grey	HARDIETRIM®BOARDS	To Match 1.3	JamesHardie	Roof Trims and Facisa
7.0 RAILINGS					
7.2	Charcoal Grey	Aluminum Guard Railing	Glass - Frames To Match 1.3	TBC	Required Guard Rails Throughout
8.0 ACCESSORIES					
8.1	Charcoal Grey	Flashing, Gutters, and Down Spouts	Glass - Frames To Match 1.3	TBC	Building 5 - Sliding Shading Screens on Balconies
9.0 STRUCTURE					
9.1	Wood	Sawn Timber or Engineered Lumber	DECKplus™ Semi-Transparent Wood Stain - Cedar Naturaltone ST-533 - BEHR	TBC	Feature Columns
9.2	Concrete	Cast in Place Concrete Columns or Walls Exposed			Parking Level

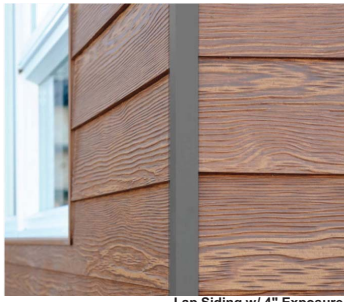
Stuart ARCHITECTURE

August 21, 2022
Issue 06 - DP Resubmission

011

South & East Elevations

A-4.200



1.1 Lap Siding w/ 4" Exposure
Mountain Cedar - Rustic Series by Woodtone

1.2 Lap Siding w/ 4" Exposure
Iron Grey - Hardie Board

1.3 HardiePanel 2.0 (Panel Reveal System)
Benjimin Moore - Wrought Iron 2124-10

1.4 HardiePanel 2.0 (Panel Reveal System)
Grey Slate

1.5 ProFit Ledgestone
Platinum

MATERIAL AND COLOUR LEGEND

Note: All Materials are subject to change during Tender and/or Pricing phase of the project

	Colour	Product	Finish (to match)	Manufacturer	Location
1.0 CLADDING					
1.1	Orange Brown	Lap Siding w/ 4" Exposure	Mountain Cedar - Rustic Series by Woodtone	JamesHardie or Allura	Exterior Walls
1.2	Dark Grey	Lap Siding w/ 4" Exposure	Iron Grey	JamesHardie or Allura	Exterior Walls
1.3	Black	HardiePanel 2.0 (Panel Reveal System)	Black	JamesHardie	Exterior Walls
1.4	Light Grey	HardiePanel 2.0 (Panel Reveal System)	Grey Slate	JamesHardie	Exterior Walls & Fin Walls & Feature Roofs
1.5	Grey-Brown	ProFit Ledgestone	Platinum	Pro-Fit®	Exterior Walls
2.0 SOFFIT					
2.1	Cedar	Cementitious Board - Cedar Soffit	Cedar - PPG ColourMax	Allura™	Feature Roofs & entry Canopies
2.3	Light Grey	HardiePanel 2.0 (Panel Reveal System)	To Match **1.4**	TBC	All Other Roofs
3.0 ROOFS					
3.1	Black	2-Layer SBS Membrane	Black	TBC	SBS Membrane at flat roofs
4.0 DOORS					
5.0 WINDOWS					
5.1	Charcoal Grey	Vinyl Windows	Glass - Frames To Match **1.3**	TBC	Building 1-4 Windows
6.0 TRIMS					
6.2	Charcoal Grey	HARDIETRIM®BOARDS	To Match **1.3**	JamesHardie	Roof Trims and Facisa
7.0 RAILINGS					
7.2	Charcoal Grey	Aluminum Guard Railing	Glass - Frames To Match **1.3**	TBC	Required Guard Rails Throughout
8.0 ACCESSORIES					
8.1	Charcoal Grey	Flashing, Gutters, and Down Spouts	Glass - Frames To Match **1.3**	TBC	Building 5 - Sliding Shading Screens on Balconies
9.0 STRUCTURE					
9.1	Wood	Sawn Timber or Engineered Lumber	DECKplus™ Semi-Transparent Wood Stain - Cedar Naturaltone ST-533 - BEHR	TBC	Feature Columns
9.2	Concrete	Cast in Place Concrete Columns or Walls Exposed			Parking Level

ARCHITECTURE

August 21, 2022
Issue 06 - DP Resubmission

011

Material Board

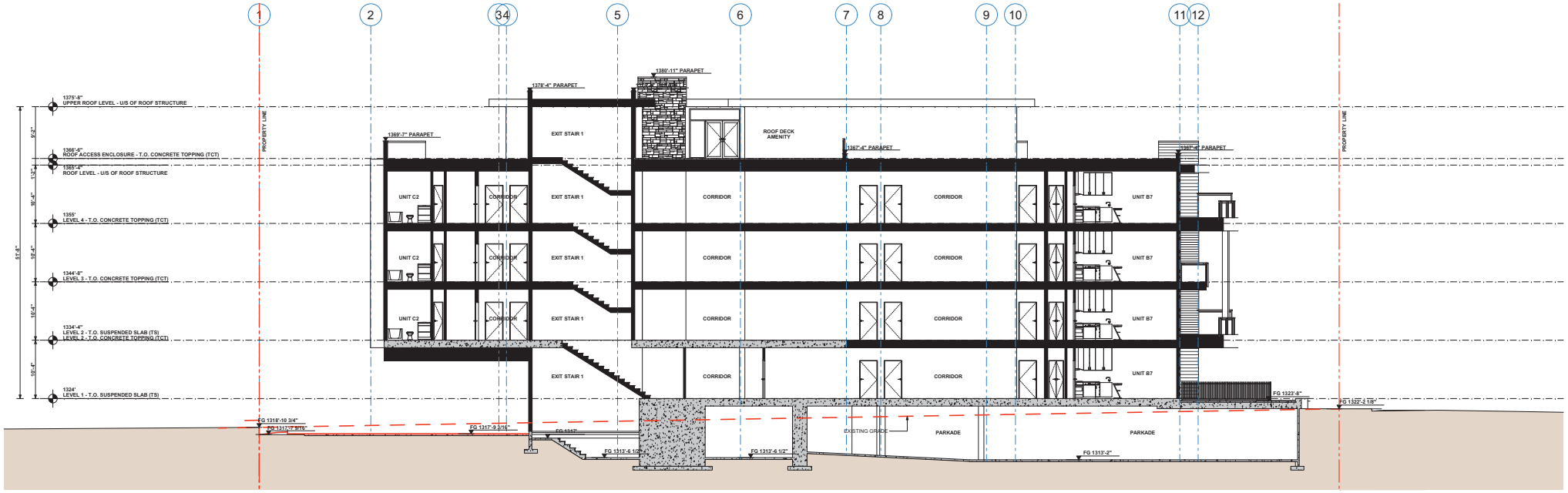
A-4.300

SCHEDULE B

This forms part of application
DP21-0130 DVP21-0131

City of Kelowna
DEVELOPMENT PLANNING

Planner Initials KB



1 Building Section 01

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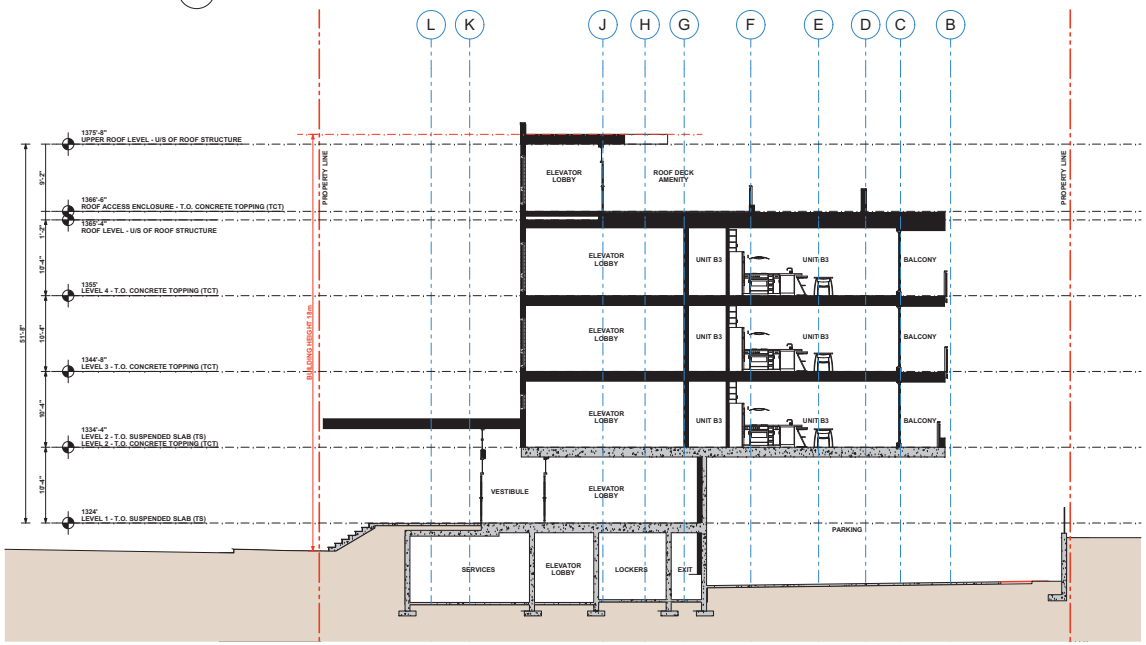

2 Building Section 02

SCALE: 1/8" = 1'-0"

SCHEDULE B

This forms part of application

DP21-0130 DVP21-0131

City of Kelowna

DEVELOPMENT PLANNING

Planner Initials KB

ARCHITECTURE

August 21, 2022

Issue 06 - DP Resubmission

011

Building Sections

A-5.110

NOTES

1. PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED THE CANADIAN NURSERY LANDSCAPE ASSOCIATION STANDARDS. ALL OFFSITE LANDSCAPE WORKS TO MEET CITY OF KELOWNA BYLAW 7900 STANDARDS.

2. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.

3. TREE AND SHRUB BEDS TO BE DRESSED IN A MINIMUM 75mm BLACK WOOD MULCH OR DECORATIVE ROCK MULCH, AS SHOWN IN PLANS. DO NOT PLACE WEED MAT UNDERNEATH TREE AND SHRUB BEDS IN WOOD MULCH AREAS.

4. TREE AND SHRUB BEDS TO RECEIVE A MINIMUM 300mm DEPTH TOPSOIL PLACEMENT.

5. TURF AREAS FROM SOD SHALL BE NO. 1 GRADE GROWN FROM CERTIFIED SEED OF IMPROVED CULTIVARS REGISTERED FOR SALE IN B.C. AND SHALL BE TOLERANT OF DROUGHT CONDITIONS. A MINIMUM OF 150mm DEPTH OF GROWING MEDIUM IS REQUIRED BENEATH TURF AREAS. TURF AREAS SHALL MEET EXISTING GRADES AND HARD SURFACES FLUSH.

6. SITE GRADING AND DRAINAGE WILL ENSURE THAT ALL STRUCTURES HAVE POSITIVE DRAINAGE, AND THAT NO WATER OR LOOSE IMPEDIMENTS WILL BE DISCHARGED FROM THE LOT ONTO ADJACENT PUBLIC, COMMON, OR PRIVATE PROPERTIES.

PLANT LIST

BOTANICAL NAME	COMMON NAME	QTY	SIZE/SPACING & REMARKS
TREES			
ACER PALMATUM 'BLOODGOOD'	BLOODGOOD JAPANESE MAPLE	1	6cm CAL.
ACER RUBRUM 'BOWHALL'	BOWHALL RED MAPLE	6	6cm CAL.
AMELANCHIER LAEVIS 'JFS-ARB'	SPRING FLURRY SERVICEBERRY	5	6cm CAL.
POPULUS TREMULOIDES 'ERECTA'	COLUMNAR SWEDISH ASPEN	16	6cm CAL.
TILIA AMERICANA 'REDMOND'	REDMOND LINDEN	6	6cm CAL. /9 cu.m. SOIL VOLUME PER TREE
SHRUBS			
BUXUS 'GREEN GEM'	GREEN GEM BOXWOOD	40	#02 CONT. /1.0M O.C. SPACING
CORNUS SERICEA 'KELSEYI'	KELSEY DOGWOOD	18	#02 CONT. /1.5M O.C. SPACING
EUONYMUS ALATUS 'SELECT'	DWARF BURNING BUSH	12	#02 CONT. /1.8M O.C. SPACING
HYDRANGEA PANICULATA 'JAN'	LITTLE LIME HYDRANGEA	18	#02 CONT. /1.5M O.C. SPACING
PINUS ABIES 'NIDIFORMIS'	NEST SPRUCE	12	#02 CONT. /1.8M O.C. SPACING
SALIX PUPUREA 'NANA'	DWARF ARCTIC WILLOW	12	#02 CONT. /1.8M O.C. SPACING
SPIREA BUMALDA 'ANTHONY WATERER'	ANTHONY WATERER SPIREA	18	#02 CONT. /1.5M O.C. SPACING
SYRINGA MEYERI 'PALIBIN'	DWARF KOREAN LILAC	12	#02 CONT. /1.8M O.C. SPACING
PERENNIALS, GRASSES & GROUNDCOVERS			
ACHILLEA MILLEFOLIUM 'SUMMER PASTELS'	SUMMER PASTELS YARROW	26	#01 CONT. /0.9M O.C. SPACING
ARCTOSTAPHYLOS UVA-URSI	KINNICKINNICK	26	#01 CONT. /0.9M O.C. SPACING
ARTEMISIA SCHMIDTIANA 'SILVER MOUND'	SILVER MOUND ARTEMISIA	15	#01 CONT. /1.2M O.C. SPACING
CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER REED GRASS	21	#01 CONT. /1.0M O.C. SPACING
ECHINACEA 'CHEYENNE SPIRIT'	CHEYENNE SPIRIT CONEFLOWER	26	#01 CONT. /0.9M O.C. SPACING
HEMEROCALLIS 'RUBY STELLA'	RUBY STELLA DAYLILY	26	#01 CONT. /0.9M O.C. SPACING
HOSTA 'NORTHERN EXPOSURE'	NORTHERN EXPOSURE HOSTA	15	#02 CONT. /1.2M O.C. SPACING
PENNISETUM ALOPECUROIDES	HOSTAFOUNTAIN GRASS	15	#02 CONT. /1.2M O.C. SPACING
PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	15	#02 CONT. /1.2M O.C. SPACING
SEDUM SPECTABILE 'AUTUMN JOY'	AUTUMN JOY STONECROP	26	#01 CONT. /0.9M O.C. SPACING

ecora
200-2045 Enterprise Way
Kelowna, BC V1Y 9T5
T (250) 469-9757
www.ecora.ca

SCHEDULE C
This forms part of application
DP21-0130 DVP21-0131
City of Kelowna DEVELOPMENT PLANNING
Planner Initials KB

N

PROJECT TITLE
301 & 305 DRYSDALE BLVD
Kelowna, BC

DRAWING TITLE
CONCEPTUAL LANDSCAPE PLAN

ISSUED FOR / REVISION

2	21.05.28	Review
3	22.03.10	Review
4	22.05.31	Review
5	22.06.15	Review
6	22.08.24	Review

PROJECT NO	21-106
DESIGN BY	FB
DRAWN BY	NG/MC/LA
CHECKED BY	FB
DATE	AUG. 24, 2022
SCALE	1:100
PAGE SIZE	24'x36'

SEAL

BRITISH COLUMBIA SOCIETY OF LANDSCAPE ARCHITECTS
REGISTERED MEMBER
FIONA BARTON
334

DRAWING NUMBER
L1/2

ISSUED FOR REVIEW ONLY

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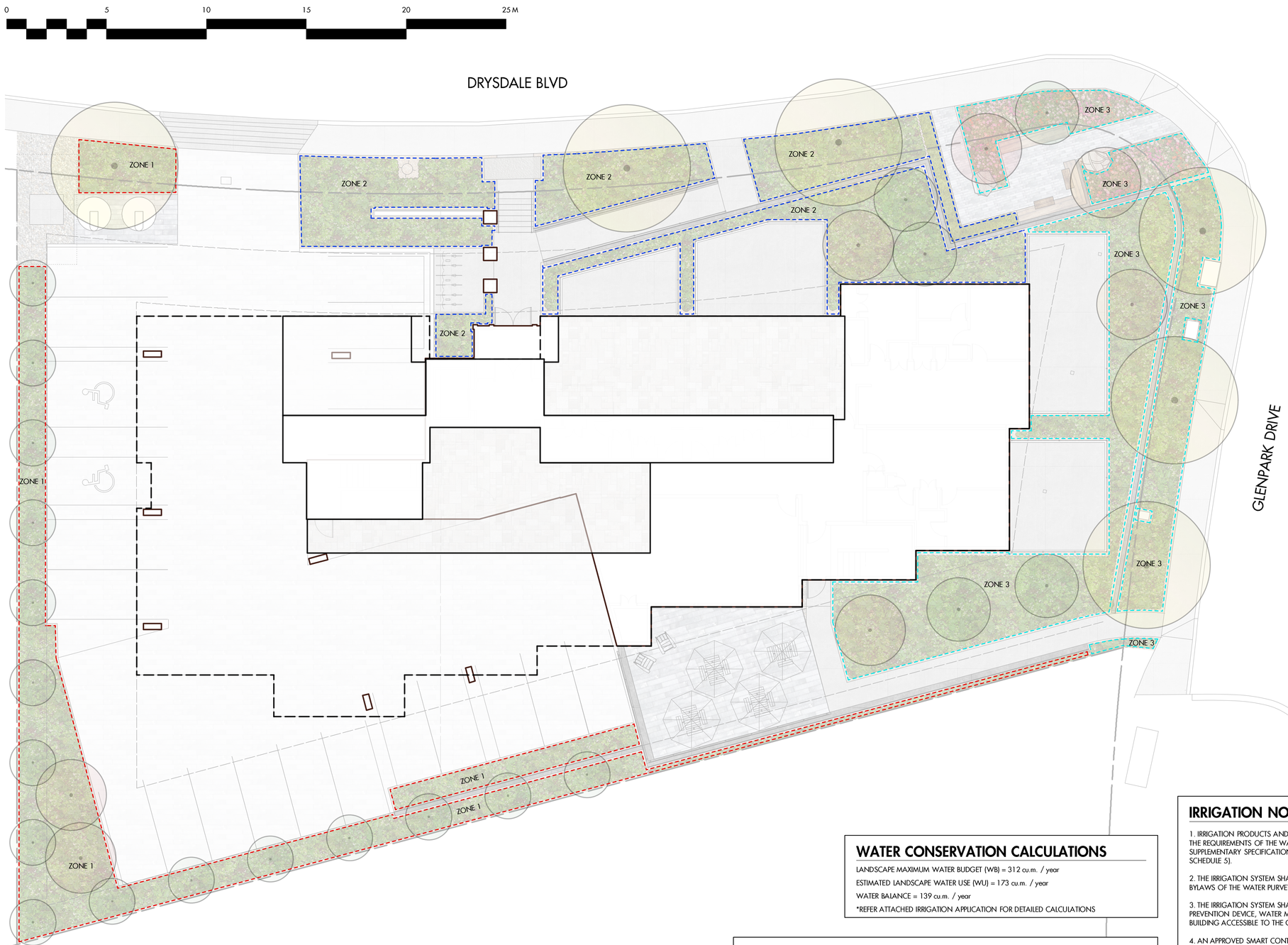

WATER CONSERVATION CALCULATIONS

LANDSCAPE MAXIMUM WATER BUDGET (WB) = 312 cu.m. / year

ESTIMATED LANDSCAPE WATER USE (WU) = 173 cu.m. / year

WATER BALANCE = 139 cu.m. / year

*REFER ATTACHED IRRIGATION APPLICATION FOR DETAILED CALCULATIONS

IRRIGATION LEGEND

ZONE #1: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 159 sq.m.
MICROCLIMATE: SOUTH EXPOSURE, PARTIALLY SHADED BY TREES
ESTIMATED ANNUAL WATER USE: 53 cu.m.

ZONE #2: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 165 sq.m.
MICROCLIMATE: NORTHEAST EXPOSURE, PARTIALLY SHADED BY TREES AND BUILDING
ESTIMATED ANNUAL WATER USE: 55 cu.m.

ZONE #3: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 196 sq.m.
MICROCLIMATE: NORTHEAST EXPOSURE, PARTIALLY SHADED BY TREES AND BUILDING
ESTIMATED ANNUAL WATER USE: 65 cu.m.

IRRIGATION NOTES

1. IRRIGATION PRODUCTS AND INSTALLATION METHODS SHALL MEET OR EXCEED THE REQUIREMENTS OF THE WATER USE REGULATION BYLAW NO. 10480 AND THE SUPPLEMENTARY SPECIFICATIONS IN THE CITY OF KELOWNA BYLAW 7900 (PART 6, SCHEDULE 5).

2. THE IRRIGATION SYSTEM SHALL MEET THE REQUIREMENTS, REGULATIONS, AND BYLAWS OF THE WATER PURVEYOR.

3. THE IRRIGATION SYSTEM SHALL BE EQUIPPED WITH AN APPROVED BACKFLOW PREVENTION DEVICE, WATER METER, AND SHUT OFF VALVE LOCATED OUTSIDE THE BUILDING ACCESSIBLE TO THE CITY.

4. AN APPROVED SMART CONTROLLER SHALL BE INSTALLED. THE IRRIGATION SCHEDULING TIMES SHALL UTILIZE A MAXIMUM ET VALUE OF 7" / MONTH (KELOWNA JULY ET), TAKING INTO CONSIDERATION SOIL TYPE, SLOPE, AND MICROCLIMATE.

5. DRIP LINE AND EMITTERS SHALL INCORPORATE TECHNOLOGY TO LIMIT ROOT INTRUSION.

6. IRRIGATION SLEEVES SHALL BE INSTALLED TO ROUTE IRRIGATION LINES UNDER HARD SURFACES AND FEATURES.

7. IRRIGATION PIPE SHALL BE SIZED TO ALLOW FOR A MAXIMUM FLOW OF 1.5m /SEC.

8. A FLOW SENSOR AND MASTER VALVE SHALL BE CONNECTED TO THE CONTROLLER AND PROGRAMMED TO STOP FLOW TO THE SYSTEM IN CASE OF AN IRRIGATION WATER LEAK.

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SCHEDULE C
This forms part of application
DP21-0130 DVP21-0131
City of Kelowna DEVELOPMENT PLANNING
Planner Initials KB

N

PROJECT TITLE
301 & 305 DRYSDALE BLVD
Kelowna, BC

DRAWING TITLE
WATER CONSERVATION/ IRRIGATION PLAN

ISSUED FOR / REVISION		
2	21.05.28	Review
3	22.03.10	Review
4	22.05.31	Review
5	22.06.15	Review
6	22.08.24	Review

PROJECT NO	21-106
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SEAL

BRITISH COLUMBIA SOCIETY OF LANDSCAPE ARCHITECTS
REGISTERED MEMBER
FIONA BARTON
334

DRAWING NUMBER
L2/2

ISSUED FOR REVIEW ONLY

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FORM & CHARACTER – DEVELOPMENT PERMIT GUIDELINES

Chapter 2 - The Design Foundations : apply to all projects and provide the overarching principles for supporting creativity, innovation and design excellence in Kelowna.

- Facilitate Active Mobility
- Use Placemaking to Strengthen Neighbourhood Identity
- Create Lively and Attractive Streets & Public Spaces
- Design Buildings to the Human Scale
- Strive for Design Excellence

The General Residential and Mixed Use Guidelines : provide the key guidelines that all residential and mixed use projects should strive to achieve to support the Design Foundations.

- The General Guidelines are supplement by typology-specific guidelines (e.g., Townhouses & Infill on page 18-19, High-Rise Residential and Mixed-Use on page 18-42), which provide additional guidance about form and character.

Chapter 2 - Design Foundations
Apply To All Projects
Page 18-8

Section 2.1 - General Residential and Mixed Use Design Guidelines
Page 18-9

Section 2.2 - Achieving High Performance
Page 18-17

Chapter 3 Townhouses & Infill	Chapter 4 Low & Mid-Rise Residential & Mixed Use	Chapter 5 High-Rise Residential & Mixed Use
Page 18-19	Page 18-34	Page 18-42

*Note: Refer to the Design Foundations and the Guidelines associated with the specific building typology.

ATTACHMENT B
This forms part of application
DP21-0130 DVP21-0131
City of Kelowna
DEVELOPMENT PLANNING
Planner Initials KB

FORM & CHARACTER - DEVELOPMENT PERMIT GUIDELINES

Consideration has been given to the following guidelines as identified in Chapter 18 of the City of Kelowna 2040 Official Community Plan:

RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE *(1 is least complying & 5 is highly complying)*	**N/A**	**1**	**2**	**3**	**4**	**5**
CHAPTER 4.0: LOW & MID-RISE RESIDENTIAL & MIXED USE						
4.1 Guidelines						
4.1.1 Relationship to the Street						
Lobby area and main building entrance is clearly visible from the fronting street and sidewalk.						✓
Wherever possible, blank walls at grade are not encouraged.						✓
Enclosed parking garages are located away from street frontages or public open space.			✓			
Ground oriented units with entries or glazing have been provided to avoid the blank/dead frontage along the street.				✓		
When unavoidable, blank walls have been screened with landscaping or have been incorporated with a patio/café or special materials have been provided to make them visually interesting.	✓					
Commercial & Mixed-use Buildings						
Proposed built form has a continuous active and transparent retail frontage at grade and provides a visual connection between the public and private realm.	✓					
Buildings have been sited using a common 'build to' line at or near the front property line to maintain a continuous street frontage. Some variation (1-3 m maximum) can be accommodated in ground level set backs to support pedestrian and retail activity by, for example, incorporating a recessed entryway, small entry plaza, or sidewalk café.	✓					
Frequent entrances (every 15 m maximum) into commercial street frontages have been incorporated to create punctuation and rhythm along the street, visual interest, and support pedestrian activity.	✓					
Residential and Mixed-use Buildings						
Residential buildings at the ground floor have a set back between 3-5 m from the property line to create a semi-private entry or transition zone to individual units and to allow for an elevated front entryway or raised patio.		✓				
A maximum 1.2 m desired height (e.g., 5-6 steps) for front entryways has been provided. Where the water table requires this to be higher, in these cases, larger patio has been provided and parking has been screened with ramps, stairs, and landscaping.			✓			
Ground floor units accessible from the fronting street or public open spaces have been provided with individual entrances.		✓				
Buildings are sited and oriented so that windows and balconies are overlooking public streets, parks, walkways, and shared amenity spaces while minimizing views into private residences.						✓

RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE *(1 is least complying & 5 is highly complying)*	**N/A**	**1**	**2**	**3**	**4**	**5**
4.1.2 Scale and Massing						
Proposed residential building façade has a length of 60 m (40 m length is preferred).						✓
Buildings over 40 m in length are incorporating significant horizontal and vertical breaks in façade.	✓					
Commercial building facades are incorporating significant break at approximately 35 m intervals.	✓					
Proposed residential building has a maximum width of 24 m.						✓
Seven to Twelve Storey Buildings						
Proposed building is provided with a 2-3 storey podium at the base of the building.	✓					
Built form's upper storeys have a minimum 2 m stepback and more generous upper storey terraces facing south, and west are provided.	✓					
Minimum 30 m building separation between primary building facades is provided.	✓					
Courtyards and mid-block connections within building sideyards are 6 m wide (minimum).	✓					
4.1.3 Site Planning						
On sloping sites, building floor levels are following the natural grade and avoiding the blank wall situation.		✓				
Buildings are sited to be parallel to the street and have a distinct front-to-back orientation to public street and open spaces and to rear yards, parking, and/or interior courtyards.					✓	
Building sides that are interfacing with streets, mid-block connections, and other open spaces (building fronts) are positively framing and activating streets and open spaces and supporting pedestrian activity.						✓
Larger buildings are broken up with mid-block connections which have public accessibility wherever possible.	✓					
Ground floors adjacent to mid block connections have entrances and windows facing the mid block connection.	✓					
4.1.4 Site Servicing, Access, and Parking						
Vehicular access is provided from the lane.	✓					
Where there is no lane, and where the re-introduction of a lane is difficult or not possible, access is provided from the street, provided: • Access is from a secondary street, where possible, or from the long face of the block; • Impacts on pedestrians and the streetscape is minimized; and, • There is no more than one curb cut per property.						✓
Above grade structure parking should only be provided in instances where the site or high water table does not allow for other parking forms.						✓

RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE *(1 is least complying & 5 is highly complying)*	**N/A**	**1**	**2**	**3**	**4**	**5**
When parking cannot be located underground due to the high water table and is to be provided above ground, screen the parking structure from public view as follows: • On portions of the building that front a retail or main street, line the above ground parking with active retail frontage; • On portions of the building that front onto non-retail streets, line the above ground parking with an active residential frontage, such as ground oriented townhouse units; • When active frontages are not able to be accommodated, screen parking structures by using architectural or landscaped screening elements; • On corner sites, screen the parking structure from public view on both fronting streets using the appropriate strategy listed above.			✓			
Buildings with ground floor residential may integrate half-storey underground parking to a maximum of 1.2 m above grade, with the following considerations: • Semi-private spaces should be located above to soften the edge and be at a comfortable distance from street activity; and • Where conditions such as the high water table do not allow for this condition, up to 2 m is permitted, provided that entryways, stairs, landscaped terraces, and patios are integrated and that blank walls and barriers to accessibility are minimized.					✓	
4.1.5 Publicly Accessible and Private Open Spaces						
Publicly accessible private spaces (e.g,. private courtyards accessible and available to the public) have been integrated with public open areas to create seamless, contiguous spaces.						✓
Semi-private open spaces have been located to maximize sunlight penetration, minimize noise disruptions, and minimize 'overlook' from adjacent units.						✓
Outdoor Amenity Areas: design plazas and parks to: • Contain 'three edges' (e.g., building frontage on three sides) where possible and be sized to accommodate a variety of activities; • Be animated with active uses at the ground level; and, • Be located in sunny, south facing areas.					✓	
Internal courtyard design provides: • amenities such as play areas, barbecues, and outdoor seating where appropriate. • a balance of hardscape and softscape areas to meet the specific needs of surrounding residents and/or users.			✓			
Mid-block connections design includes active frontages, seating, and landscaping.				✓		
Rooftop Amenity Spaces						

RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE *(1 is least complying & 5 is highly complying)*	**N/A**	**1**	**2**	**3**	**4**	**5**
Shared rooftop amenity spaces (such as outdoor recreation space and rooftop gardens on the top of a parkade) are designed to be accessible to residents and to ensure a balance of amenity and privacy by: • Limiting sight lines from overlooking residential units to outdoor amenity space areas through the use of pergolas or covered areas where privacy is desired; and • Controlling sight lines from the outdoor amenity space into adjacent or nearby residential units.					✓	
Reduce the heat island effect by including plants or designing a green roof, with the following considerations: • Secure trees and tall shrubs to the roof deck; and • Ensure soil depths and types are appropriate for proposed plants and ensure drainage is accommodated.		✓				
4.1.6 Building Articulation, Features & Materials						
Articulate building facades into intervals that are a maximum of 15 m wide for mixed-use buildings and 20m wide for residential buildings. Strategies for articulating buildings should consider the potential impacts on energy performance (see 2.2.1), and include: • Façade Modulation – stepping back or extending forward a portion of the façade to create a series of intervals in the facade; • Repeating window patterns at intervals that correspond to extensions and step backs (articulation) in the building facade; • Providing a porch, patio, deck, or covered entry for each interval; • Providing a bay window or balcony for each interval, while balancing the significant potential for heat loss through thermal bridge connections which could impact energy performance; • Changing the roof line by alternating dormers, stepped roofs, gables, or other roof elements to reinforce the modulation or articulation interval; • Changing the materials with the change in building plane; and • Provide a lighting fixture, trellis, tree, or other landscape feature within each interval.						✓
Break up the building mass by incorporating elements that define a building's base, middle and top.						✓
Use an integrated, consistent range of materials and colors and provide variety by, for example, using accent colors.						✓
Articulate the facade using design elements that are inherent to the building as opposed to being decorative. For example, create depth in building facades by recessing window frames or partially recessing balconies to allow shadows to add detail and variety as a byproduct of massing.						✓
Incorporate distinct architectural treatments for corner sites and highly visible buildings such as varying the roofline *(See Figure 41)*, articulating the facade, adding pedestrian space, increasing the number and size of windows, and adding awnings and canopies.						✓
Weather Protection						

RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE *(1 is least complying & 5 is highly complying)*	**N/A**	**1**	**2**	**3**	**4**	**5**
Provide weather protection (e.g. awnings, canopies, overhangs, etc.) along all commercial streets and plazas (*See Figure 42*), with particular attention to the following locations: • Primary building entrances, • Adjacent to bus zones and street corners where people wait for traffic lights; • Over store fronts and display windows; and • Any other areas where significant waiting or browsing by people occurs.	✓					
Architecturally-integrate awnings, canopies, and overhangs to the building and incorporate architectural design features of buildings from which they are supported.						✓
Place and locate awnings and canopies to reflect the building's architecture and fenestration pattern.						✓
Place awnings and canopies to balance weather protection with daylight penetration. Avoid continuous opaque canopies that run the full length						✓
Signage						
Provides attractive signage on commercial buildings that identifies uses and shops clearly but which is scaled to the pedestrian rather than the motorist. Some exceptions can be made for buildings located on highways and/or major arterials in alignment with the City's Sign Bylaw.	✓					
Avoid the following types of signage: • Internally lit plastic box signs; • Pylon (stand alone) signs; and • Rooftop signs.	✓					
Uniquely branded or colored signs are encouraged to help establish a special character to different neighbourhoods.	✓					