



**ANCE** Building Services Co.

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Planning Department  
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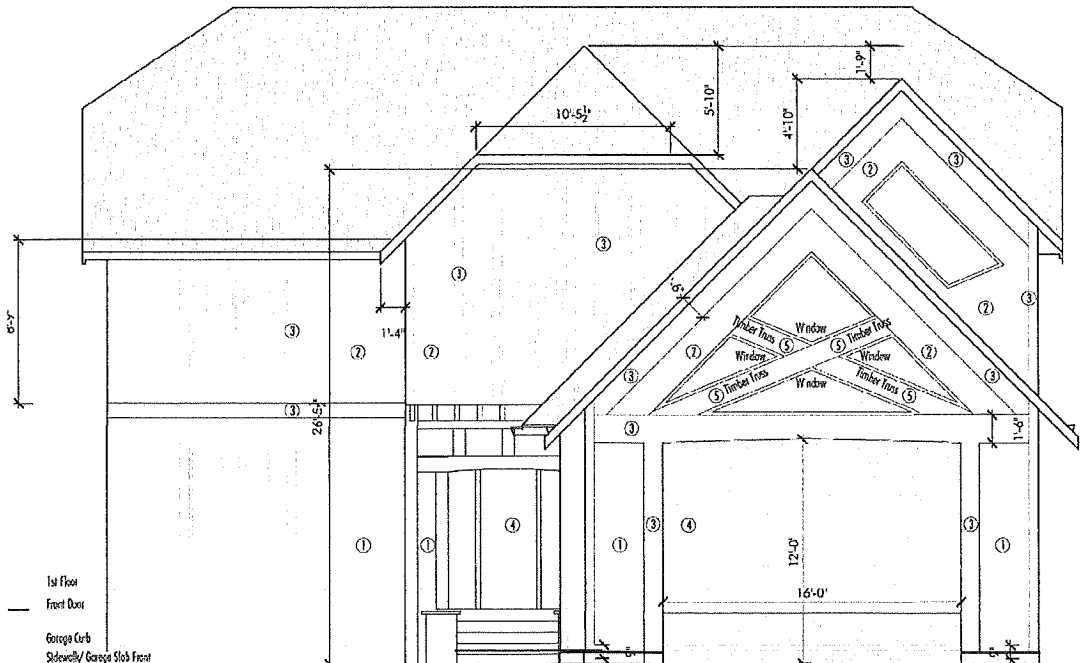
July 25, 2022

To whomever it may concern,

**RE: KH Designs Addition Proposal at 1978 McDougall Street - Kelowna**

This report is to comment on the appropriateness of the proposed addition at 1978 McDougall Street, a property within the Abbott Street Heritage Conservation Area which is also listed on the Kelowna Heritage Register. The below observations consider the proposal's alignment with both the HCA's Guidelines for new development as well as with the Standards & Guidelines for the Conservation of Historic Places in Canada.

I have worked with the owner and architect to fine-tune a preliminary addition proposal to ensure it doesn't negatively impact the heritage value of the property nor its character defining elements, while allowing the property to evolve to include new, relevant and ongoing uses. The proposed drawing set is a result of our collaboration.



**Drawing of the proposed rehabilitated Jennens House with new addition on front.**

source: KH Designs.

## **Brief history of development**

The subject house is a unique heritage asset on Kelowna's Heritage Register. It represents the interwar development period in Kelowna when, notwithstanding the Depression, families thriving from the local booming fruit industry built grand homes on lakefront properties. The interwar period also saw the introduction of new architectural styles to the city including Revival styles, which the subject house represents as well. The Revival designs involved a reemergence of classical styles, both as costume designs and in house catalogues of the 20th century. The Revival designs were more simplified, modern iterations of their 19th century predecessors as is the case with the Jennens House's simplified Tudor design.

## **Evaluating heritage values and significance**

The subject house is significant as a demonstration of the economic activity and wealth of Kelowna during the 1920s and 1930s when the fruit industry became the driving economic engine of the area. Its developer, Oliver Jennens (1890-1940), was a noted local businessman who worked as managing director with B.C. Growers Ltd. and with B.C. Orchards around the time the house was commissioned. Its siting right on the lake with a deep setback from the street gives the property the air of an estate.

Subsequent generations of the Jennens family, who continue to own and reside on the subject property today, have been involved in wood boat construction for decades. The location and use for the proposed addition are in fact a formalization of a boat-building workshop and depot for what started out as a Viking ship replica project initiated by Oliver Jennens' son, Eric Jennens. A boat workshop and depot structure, spanning the entire frontage of the property from the house to the street along the north edge of the lot, has stood on the subject property for approximately 50 years and has become a familiar element of the site.

The subject house is noted as a 'Tudor Revival' style house on the Style Register list the Abbott Street & Marshall Street Heritage Conservation Areas Development Guidelines (Appendix D - 1997) and as 'British Arts and Crafts' in its Statement of Significance. Both style names are legitimate, however it is important to note that certain elements of this design, which was built by local contractor Robert Rowley along with the Cookson and G.B. Hamilton houses in the same era, truly illustrate the 1920s and 1930s 'revival' interpretation of classical styles such as the Tudor Style. The Jennens House clipped gables (otherwise known as jerkin-head gables) are giveaways to its association with the Revival design tradition and era.

## **Identification of the character defining elements of the property**

The Statement of Significance lists the following CDEs:

- location on the east shore of Lake Okanagan and orientation to the lake, with large mature coniferous trees in yard;

- residential form, scale, and massing as expressed by its two and one-half storey height and symmetrical boxy proportions;
- high jerkin-headed roof with front and rear jerkin-headed gables, clad with cedar shingles;
- British Arts and Crafts details such as its half-timbering and roughcast stucco cladding, exposed beam ends, and a pronounced timber plat course between the storeys;
- additional exterior elements such as its arched front entry assembly with glazed door and sidelights on the front facade, and 12-light door on the lakeshore facade;
- regular and symmetrical fenestration: multiple assembly 6-over-1 double-hung wooden-sash windows on the lakefront ground floor, 12-over-1 double-hung wooden-sash windows on the front facade ground floor, 6-over-1 double-hung wooden-sash windows on the second storey, a large central window on the lakeshore facade ground level with a 24-pane transom; and
- associated garage, now converted for residential use.

Given the heritage values articulated in the previous section, it would be appropriate to also view the use of the northeast quarter of the lot for a wood boat workshop and storage, as a character defining element of the site.

### **Recommendations and strategies to inform the design of the addition**

Given the large size of the property, the relatively low site coverage, the now well-established use of the historic garage as a residence and the northeast quarter of the lot for boat building and storage, it is reasonable to propose an addition to accommodate formal workshop and garage spaces. The large property can handle additional uses and structures, as long as these are in keeping with Standards & Guidelines standard 11 - 'additions to historic places' which requires additions to be "physically and visually compatible with, subordinate to and distinguishable from the historic place<sup>1</sup>." The siting of the addition is not only where the existing workshop has been long established, but given the importance of the relationship of the historic house to the lake and its deep setback which cannot be altered, it was deemed to be the least disruptive location for an addition.

**Distinguishability** - The addition design has been simplified to read as a clearly contemporary structure, which is both honest (it doesn't create confusion about what is historic and what is new) and traditional (architects in the past never imitated traditional design but applied the trending designs of their time, which allows us to easily read and interpret historic and mixed-era streetscapes). The addition windows are single-light (rather than divided-light like the historic house) and the stucco cladding has no half timbering. The gables are not clipped. The exposed timber trusses that hold up the workshop roof are clear finished - a treatment that is clearly contemporary and not historic in Kelowna. Even though it is attached to the historic house, these simple distinctions help the addition to be clearly identified as separate from the original 1930 development.

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<sup>1</sup> Standards and Guidelines for the Conservation of Historic Places in Canada - page 23

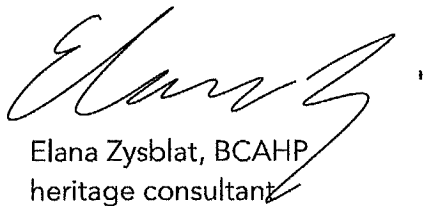
**Compatibility** - The addition design is compatible to the historic house in its gable roofs and their pitch, in its stucco cladding and historic colour scheme.

**Subordinate** - Additions can be large, but they must not 'steal the show' from the historic house. The addition lacks the ornamental windows sashes and half timbering of the historic house, making it not only distinguishable but also less intricate. The massing of the addition has been reduced and simplified to obscure less than half of the historic house facade, so that passersby can still perceive the Jennens House symmetrical design and architectural features even without a view of the northern elements of the facade.

### **Summary**

It is my professional opinion that the development proposed here by Terry Jennens and KH Designs, is a good model of conservation and evolution for a historic neighbourhood. Heritage Conservation is a tool for managing change in historic places and Heritage Conservation Areas. Historic properties should be able to thoughtfully change and evolve especially when these changes include relevant and sustainable uses. Although the addition design may appear bold or big to some, it reflects the heritage values of the property, follows the national standards for additions to historic places, and meets the Objectives of Kelowna's Heritage Conservation Areas.

Yours Truly,



Elana Zysblat, BCAHP  
heritage consultant