

DP 21-0098 / DVP 21-0099 2590 Richter Street

Development Permit and Development Variance Permit Applications

Proposal

- ▶ To issue a Development Permit for the form and character of a new five-unit development and to issue a Development Variance Permit to vary the rear yard setback and the rear yard parking setbacks.

Development Process

Apr 28th, 2021

Development Application Accepted



Staff Review & Circulation



July 12th, 2021

Public Notification Received



Oct 4th, 2021

Initial Consideration



Oct 25th, 2021

Second & Third Readings



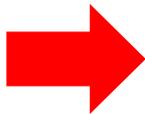
July 12th, 2022

Final Reading
DP & Variances

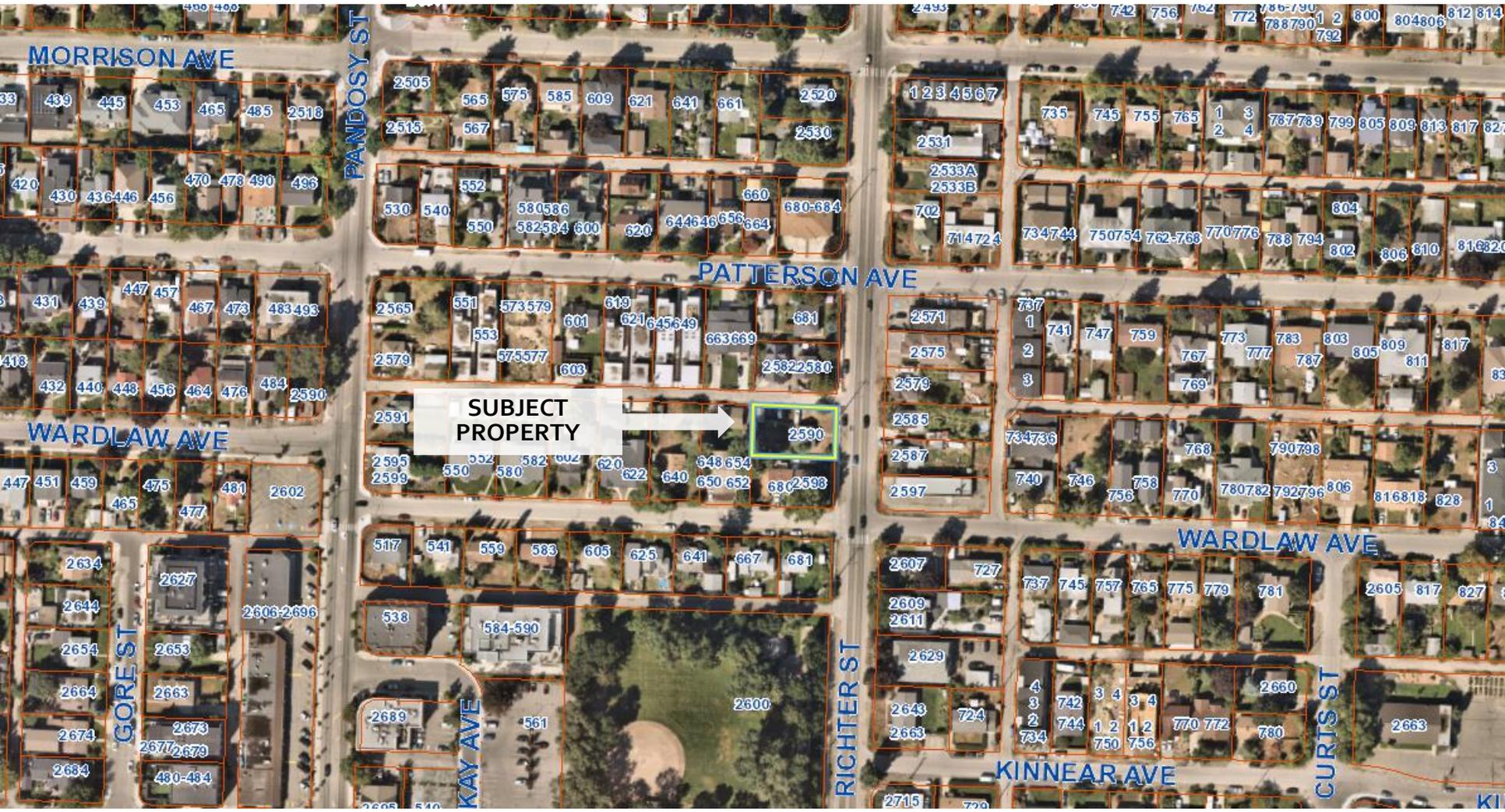


Building Permit

Council
Approvals



Context Map



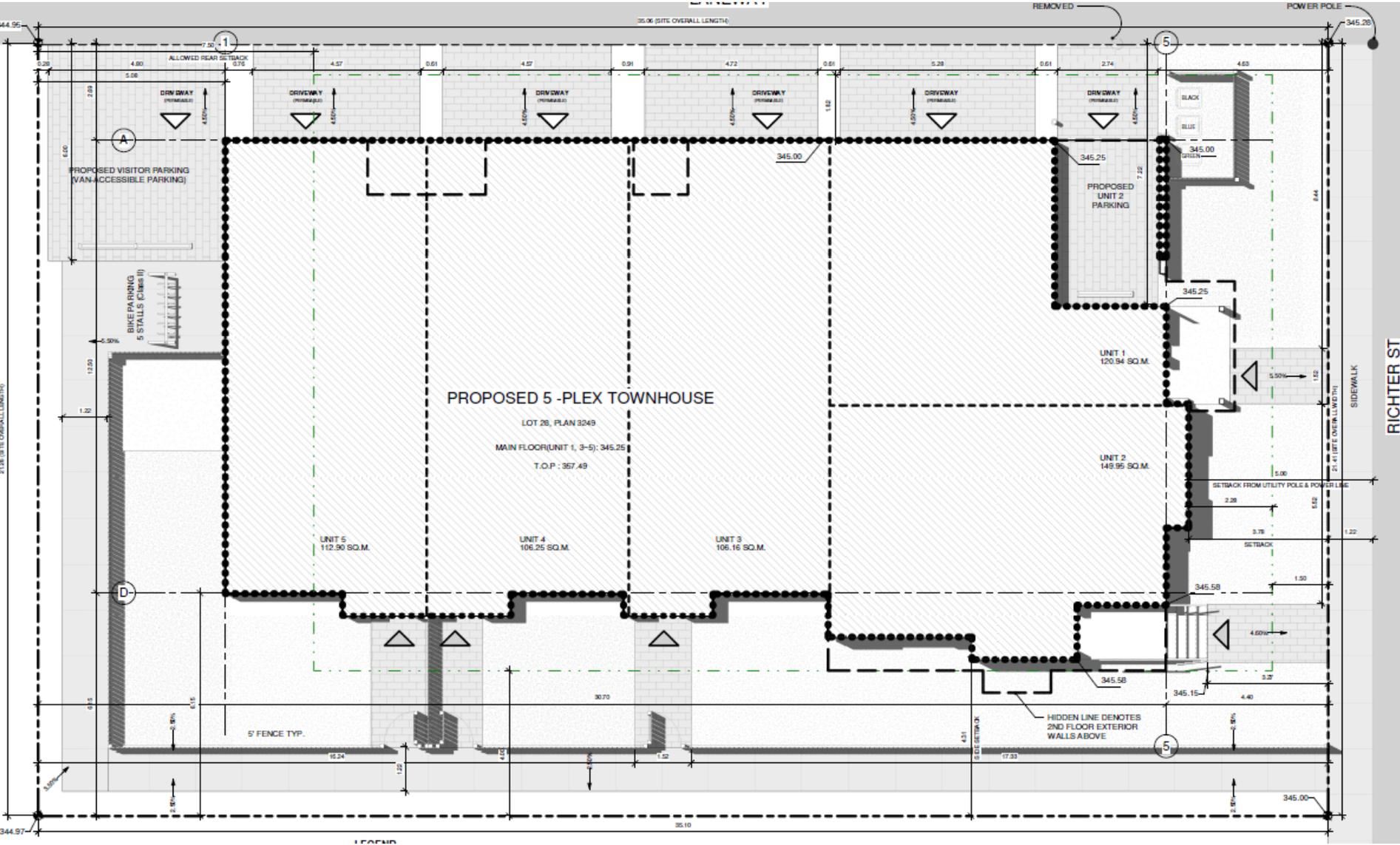
Subject Property Map



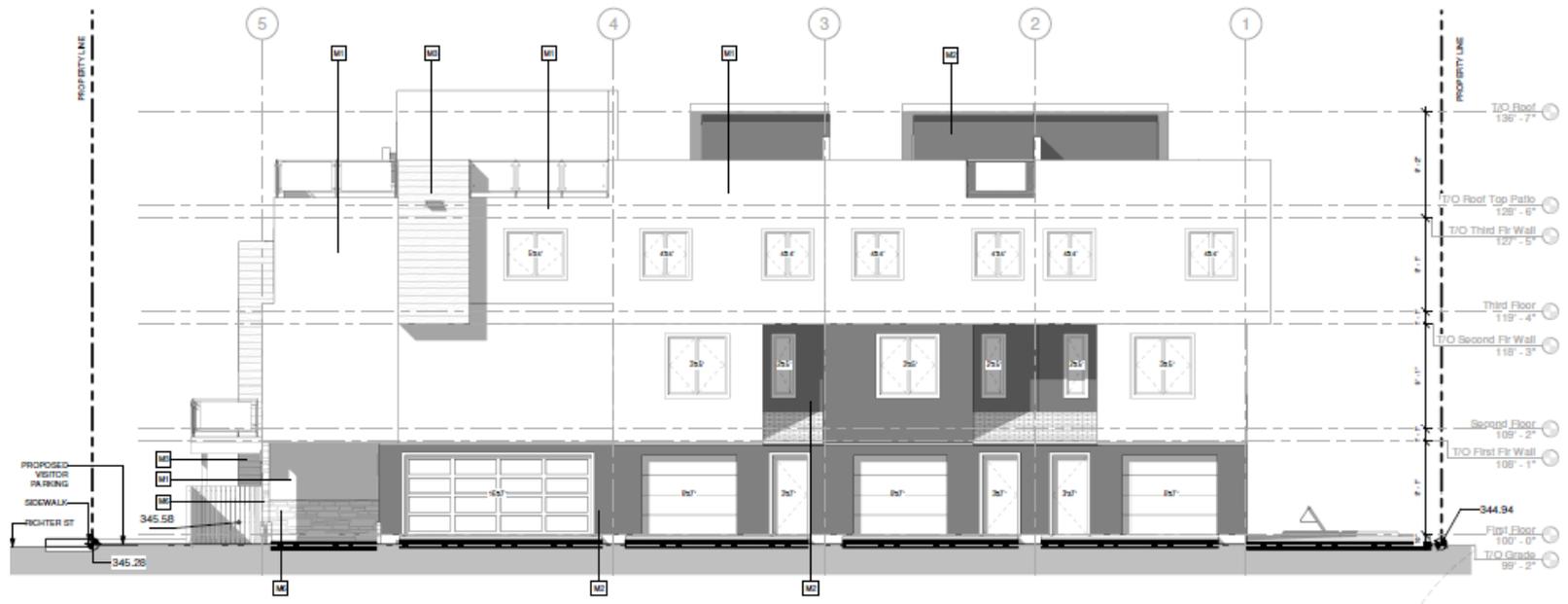
Project details

- ▶ Development Permit for five new residential dwelling units.
 - ▶ All five units will be contained in the one building.
 - ▶ Two of the units are ground-oriented to Richter Street.
- ▶ All properties have vehicle access off the laneway.
- ▶ Existing single-family dwelling to be removed.

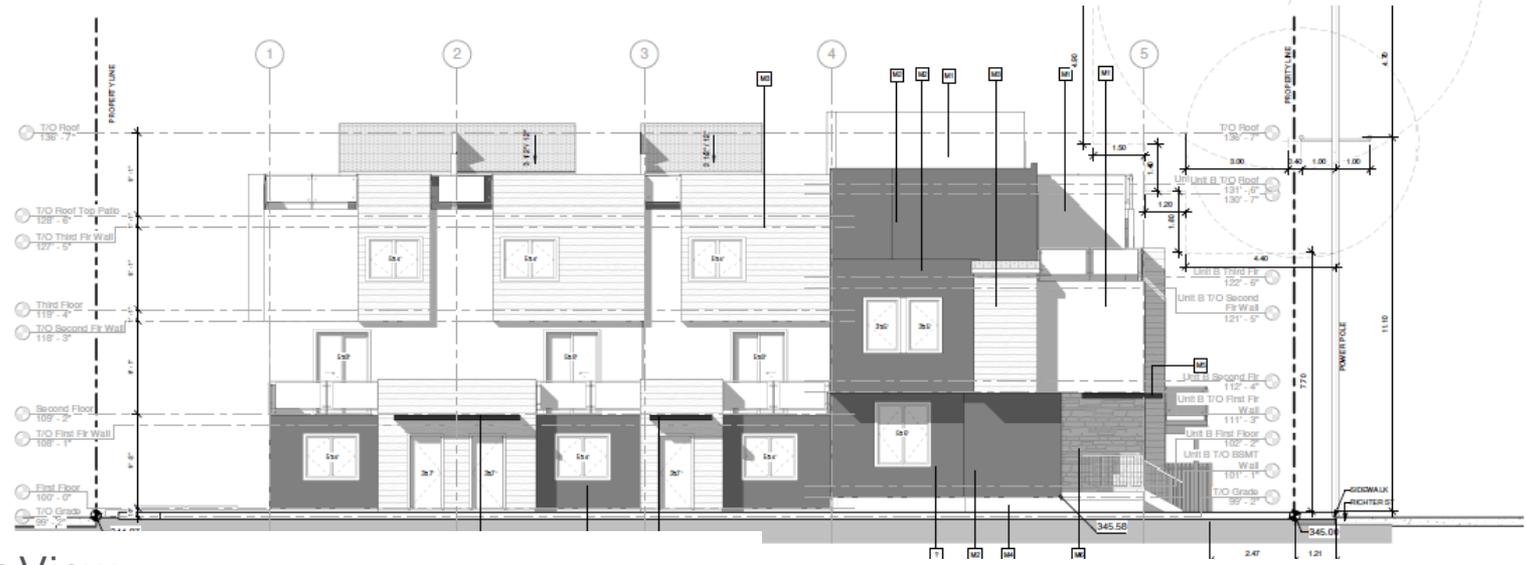
Site Plan



Elevations

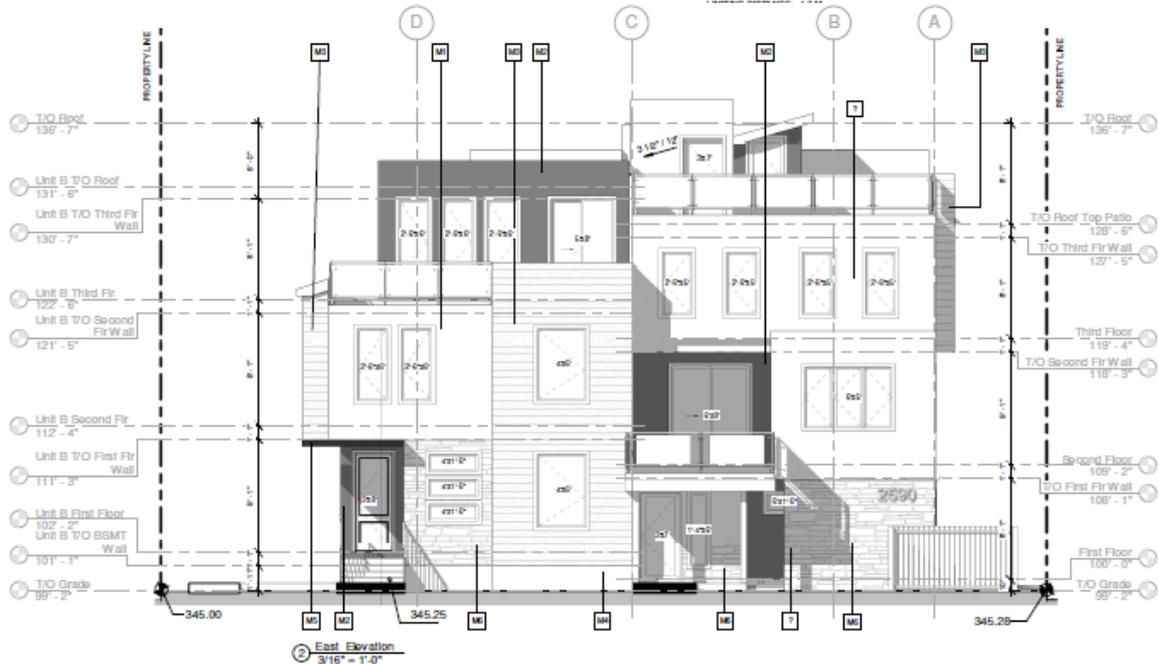
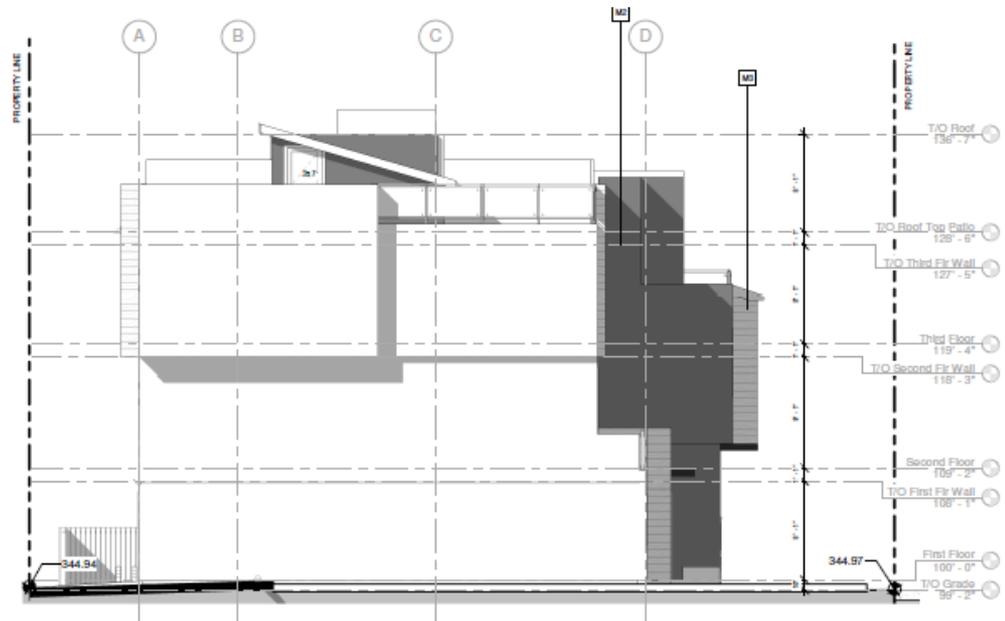


1 North Elevation
3/16" = 1'-0"



North and South View

Elevations



West and East View

East Elevation
3/16" = 1'-0"

Conceptual Renderings



City of Kelowna

Project details

- ▶ Applicant is requesting two variances for the five-plex:
 - ▶ The minimum rear yard setback from 7.5m required to 5.08m proposed.
 - ▶ The minimum side yard and rear yard setback from 1.5m required to 0.0m proposed

Development Policy

- ▶ Meets the Intent of the Official Community Plan (OCP)
 - ▶ Core-Area Neighbourhood Objectives
 - ▶ Density along Transit Supportive Corridor
 - ▶ Ground-Oriented Housing

Staff Recommendation

- ▶ Staff recommend support for the Development Permit and Development Variance Permit applications
 - ▶ Supported by policies in the OCP
 - ▶ Consistent with Core Area Neighbourhood
 - ▶ The impact of the variances are mitigated with the placement of windows, doorways and an increase in landscaping along the property line.



Conclusion of Staff Remarks