

Development Permit & Development Variance Permit DP21-0098 / DVP21-0099



This permit relates to land in the City of Kelowna municipally known as 2590 Richter Street

and legally known as Lot 28 District Lot 14 ODYD Plan 3249

and permits the land to be used for the following development:

RM3 – Low Density Multiple Housing

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council Decision July 12th, 2022
Decision By: COUNCIL
Development Permit Area: Form and Character Development Permit Area
Existing Zone: RM3 – Low Density Multiple Housing
Future Land Use Designation: C-NHD – Core Area Neighbourhood

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Linguo Zhang
Applicant: Calgreen Homes

Terry Barton
Development Planning Department Manager
Planning & Development Services

Date

ATTACHMENT A

This forms part of application
DP21-0098 / DVP21-0099

Planner Initials **TC**

City of Kelowna
DEVELOPMENT PLANNING

The logo for the City of Kelowna, featuring a stylized geometric pattern of overlapping squares forming a circular shape.

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.
- e) That variances to the following section of the Zoning Bylaw No. 8000 be granted in accordance with Schedule "A"

Section 8.2.2 – Off-Street Parking Regulations – Parking Setbacks:

To vary the required side yard and rear yard parking setback from 1.5m required to 0.0m proposed.

Section 13.9.6f – RM3 – Low Density Multiple Housing Regulations:

To vary the rear yard setback from 7.5m required to 5.08m proposed.

This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) An Irrevocable Letter of Credit **OR** certified cheque in the amount of **\$25,965.63**

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

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		 City of Kelowna DEVELOPMENT PLANNING

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**

DRAFT

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FORM & CHARACTER - DEVELOPMENT PERMIT GUIDELINES

Consideration has been given to the following guidelines as identified in Chapter 18 of the City of Kelowna 2040 Official Community Plan:

RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE <i>(1 is least complying & 5 is highly complying)</i>	N/A	1	2	3	4	5
3.3 Infill Guidelines						
3.3.1 Relationship to the Street						
Primary façade of built form is facing the street frontage. For lots with multiple frontages, buildings are oriented and designed to address flanking streets through architectural and landscape treatments including, but not limited to, front doors and windows.					✓	
Units are facing street frontage and have entries oriented and are clearly assessable and visible from the street.						✓
Primary entrance of the unit is clearly visible and directly accessible from a public street or public walkway. Main entrance has a prominent architectural feature such as stoops, porches, shared landings, patios, recessed entries, and canopies.					✓	
Where applicable, units are orienting towards the rear of the property to face laneways with prominent building entrances, lighting, landscaping to reinforce a safe and attractive public realm along the laneway.						✓
3.3.2 Scale and Massing						
Proposed higher density housing forms are replicating positive attributes of adjacent housing (e.g.: rooflines, front porches, entrance features).				✓		
Large buildings are breaking down their massing to reflect the scale of surrounding buildings by using sub-forms and façade articulations.			✓			
Building height, scale and setbacks are reinforcing a general consistent street rhythm. Overall design limits significant real or perceived height difference between new and existing development in the surrounding area.			✓			
Buildings with more than one unit have articulated individual units through integration of recessed entries, balconies, materials, and projections/recesses in façade. Symmetrical units are not recommended.					✓	
3.3.3 Site Planning						
Where possible, buildings are located on site to protect mature trees.	✓					
Where possible, built form is maintaining general consistency with established setbacks on primary and secondary streets.				✓		
Interior spaces and outdoor amenity areas have maximum sunlight access.					✓	
Storm drainage infrastructure, such as rock pits should be avoided.			✓			

RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE <i>(1 is least complying & 5 is highly complying)</i>	N/A	1	2	3	4	5
Main unit entrances are connected to public sidewalks and open space network.					✓	
Pedestrian pathways are provided to connect parking areas and unit entrances.						✓
Pedestrian pathways are providing linkages to adjacent pedestrian/trail/cycling networks (where applicable), and the common utility and water servicing location.						✓
Privacy of units on site and on adjacent properties is being maintained by minimizing overlook and direct sight lines from the building using following strategies: <ul style="list-style-type: none"> • Use of clearstory windows; • Use of landscaping or screening; and • Use of setbacks and articulation of the building. 				✓		
3.3.4 Open Spaces						
Units are designed to have easy direct access to high-quality, at grade private outdoor amenity space.			✓			
Landscaping has been provided at strategic locations to frame building entrances, soften edges, screen parking garages/areas, and break up long building facades.						✓
Private outdoor amenity spaces have access to sunlight, offer privacy and landscaped areas have been provided to soften the interface with the street or open spaces.						✓
Design of front patios provide an entrance to the unit and are creating a semi-private transition zone using landscape plantings or material changes, or modest (max. 0.6m) grade changes.			✓			
Design of rooftop patios are minimizing direct sight lines into nearby units, have access away from primary facades and have parapets with railings.					✓	
Permeable surfaces have been provided in all landscaped and open spaces (impermeable surfaces, such as poured-in-place concrete are discouraged).					✓	
Balconies are designed to inset or partially inset and offer privacy, shelter, reducing building bulk and minimize shadowing impact.					✓	
Internal driveways are serving as additional shared space and are paved with high quality permeable pavement materials, like interlocking permeable pavers.						✓
Low (1.06m max.) semi-transparent fencing or railings have been provided in the front yard to maintain transition between public and private realms.						✓
3.3.5 Site Servicing, Access, and Parking						
Site layout includes provisions for solid waste pick-up and bin storage that is enclosed or appropriately screened from public views.						

RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE <i>(1 is least complying & 5 is highly complying)</i>	N/A	1	2	3	4	5
Where possible, parking has been located directly adjacent to street/lane access points to reduce or eliminate driveways.						✓
Access points and windows are located to minimize impact of headlights on building interiors.						✓
3.3.6 Building Articulation, Features, and Materials						
Façade design provides articulations that differentiate the individual units by incorporating recesses or projections to highlight the identity of individual units.					✓	
Façade design provides articulations that differentiate the individual units by using entrance features, roofline features, or other architectural elements.					✓	
Overall architectural design of infill built form incorporates proportions, other characteristics, and materials similar or complementary to those found within the existing neighbourhood.				✓		
Blank walls along public views should be avoided.						✓
The ground floor has been emphasized by increasing ground floor height and by providing prominent entryway features (front porches), generous glazing and other architectural features.					✓	
Durable, low-maintenance materials that withstand the local climate (such as, wood, natural stone, masonry, metal panels, fiber cement siding or approved alternatives) have been provided.			✓			
Vinal siding, large areas of stucco, and imitation stone/rock are discouraged.			✓			
Maximum of two cladding materials have been provided.						✓
Changes in materials are incorporated by an appropriate trim and detailing and are occurring at significant changes in plane, including floor level and step backs.					✓	

ATTACHMENT B

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DEVELOPMENT PLANNING

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PROPOSED 5-PLEX TOWNHOUSE

(ISSUED FOR DEVELOPMENT PERMIT)

LAND USE BYLAW ANALYSIS

PROPERTY DESCRIPTION

Project Address: 2590 Richter Street, Kelowna, BC
 Legal Description: LOT 28, PLAN 3249
 Proposed Units: 5

ZONING ANALYSIS

Current: City of Kelowna RUG Zoning
 Proposed: City of Kelowna RM3 Zoning

SITE INFORMATION

Gross Site Area: 8,063 sq.ft. (749 sq.m.)

ARCHITECTURAL DRAWING LIST	
A000	Title Sheet
A001	Site Plan
A002	Site Landscape Plan
A101	Basement Plan
A102	First Floor Plan
A103	Second Floor Plan
A104	Third Floor Plan
A105	Roof Plan
A201	North & South Elevation
A202	East & West Elevation
A203	Renderings

	ALLOWABLE	PROPOSED
Floor Area Ratio (FAR)	0.75-0.05=0.8 8,063x0.8=6,450 sq.ft. (599 sq.m.)	6,417 / 8063 = 0.796 8,063x0.796=6,417 sq.ft. (596 sq.m.)
Building Site Coverage	50%; 4,035 sq.ft. (375 sq.m.) Increased to a maximum of 50% if private open space for each unit can be provided on a deck, patio, balcony or rooftop deck which exceeds the bylaw requirement by 10%.	43%; 3,494 sq.ft. (325 sq.m.)
Site Coverage	65%; 5,241 sq.ft. (487 sq.m.) The maximum site coverage of buildings, driveways, and parking areas is 65%. This may be increased by 5% (to a maximum of 65%) for permeable drive surfaces and parking.	64%; 5,212 sq.ft. (484 sq.m.) Permeable drive surfaces and parking provided.
Building Height	10.00 m	8.92 m + stairwell up to rooftop patio
Yard Setbacks	Front: 1.50 m (Min. 3.0 m landscape buffer) Side: 4.00 m / 1.20m (To Lane) (Min. 3.0 m landscape buffer) Rear: 7.50 m (Min. 3.0 m landscape buffer)	3.78 m 4.00 m / 2.69m (To Lane) 5.08 m (Variance)
Parking Calculation	1.5 Per Unit / 2 Bedrooms: 1.5 X 2 = 3 (Required) 2 Per Unit / 3 Bedrooms: 2 X 3 = 6 (Required) 0.14 Per Unit	10 5 Spaces
Bike	4 Spaces or 1 Per 5 Unit	4 Spaces

UNIT AREA CALCULATIONS

	FIRST LEVEL		SECOND LEVEL		THIRD LEVEL		TOTAL	
	SQ.FT.	SQ.M.	SQ.FT.	SQ.M.	SQ.FT.	SQ.M.	SQ.FT.	SQ.M.
UNIT 1	72.10	6.70	555.65	51.16	679.08	63.09	1301.83	120.94
UNIT 2	649.04	60.30	649.11	60.30	315.85	29.34	1614.00	149.95
UNIT 3	0.00	0.00	568.51	52.82	574.15	53.34	1142.66	106.16
UNIT 4	0.00	0.00	568.51	52.82	575.14	53.43	1143.65	106.25
UNIT 5	0.00	0.00	570.05	52.96	645.19	59.94	1215.24	112.90
TOTAL							6417.38	596.19

PRIVATE SPACE AREAS / ROOF DECK AREAS

	FIRST LEVEL		SECOND LEVEL		THIRD LEVEL		ROOF LEVEL		TOTAL	
	SQ.FT.	SQ.M.	SQ.FT.	SQ.M.	SQ.FT.	SQ.M.	SQ.FT.	SQ.M.	SQ.FT.	SQ.M.
UNIT 1	395.05	36.70	185.52	17.24	N/A	N/A	554.16	51.48	1,134.73	105.42
UNIT 2	609.85	56.66	N/A	N/A	270.81	25.16	N/A	N/A	880.66	81.82
UNIT 3	235.12	21.84	86.63	8.05	N/A	N/A	516.60	47.99	838.35	77.89
UNIT 4	235.24	21.85	87.23	8.10	N/A	N/A	523.17	48.60	845.64	78.56
UNIT 5	527.26	48.98	87.25	8.11	N/A	N/A	537.40	49.93	1,151.91	107.02
TOTAL									4,851.29	450.70



SCHEDULE A

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PERMIT NUMBERS:



DATE	NO.	REVISION	BY

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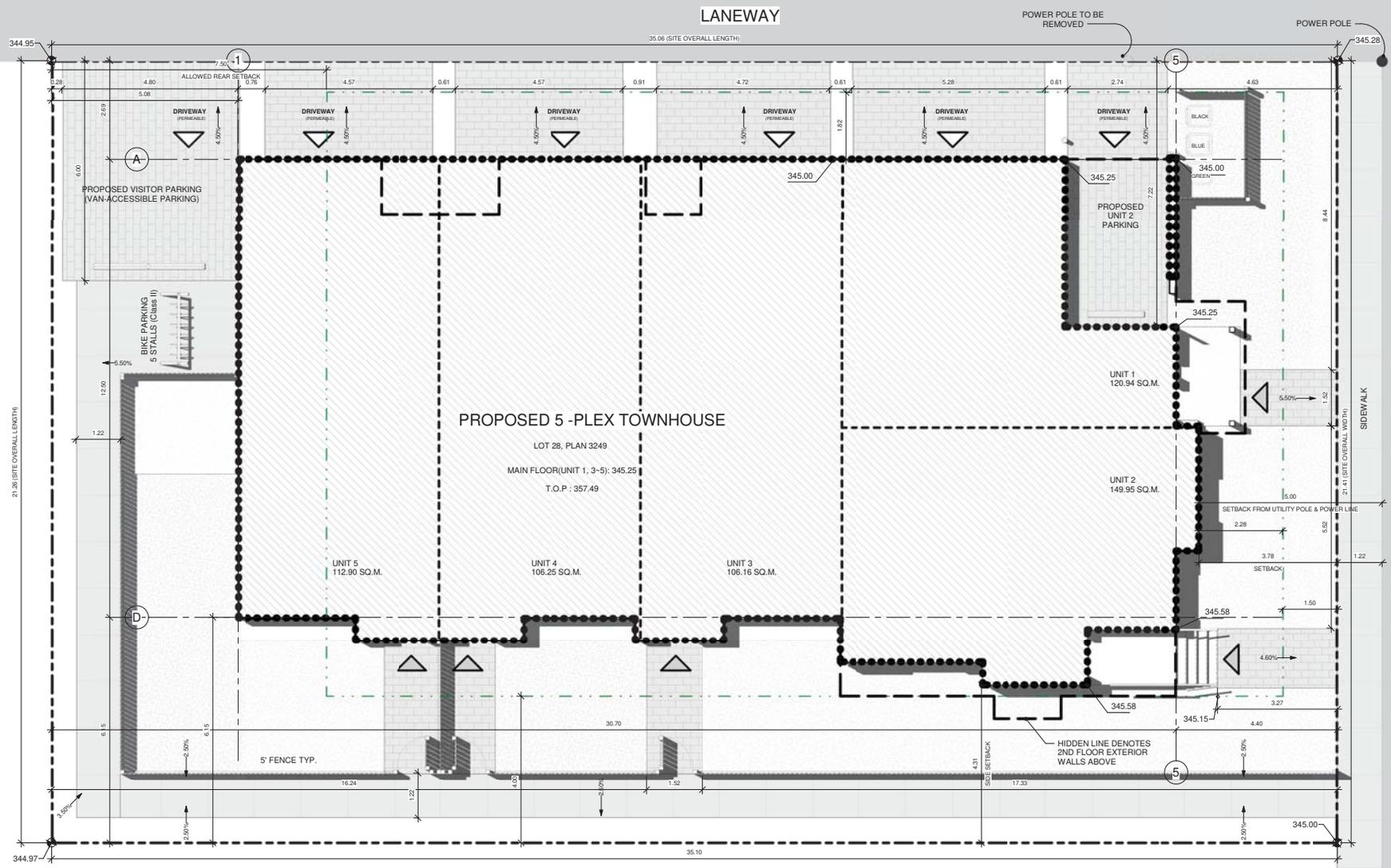
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CLIENT
Linteng

PROJECT
5-Plex Townhouse
 2590 Richter Street, Kelowna, BC

DRAWING	DWG No.
Title Sheet	A000

Unick Design
 Design & Build consulting
 Tel: 587-578-1425



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PERMIT NUMBERS:

UNICK DESIGN ARCHITECTURE & PLANNING
 2021-11-23

DATE	NO.	REVISION	BY

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DATE	2021-11-23 7:29:38 PM		
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PROJECT
5-Plex Townhouse
 2590 Richter Street, Kelowna, BC

DRAWING
 Site Plan
 DWG No.
A001

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 Design & Build Consulting
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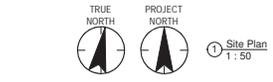
- LEGEND**
- PROPERTY LINE
 - - - SETBACK
 - - - EVAVES OUTLINE
 - 345.00 + Level of Existing Geotechnical Point
 - [Hatched Box] GRASS SWALE
 - - - PERFORATED PIPE UNDER PAVING
 - [Dotted Box] PROPOSED BUILDING
 - [Triangle] UNIT ENTRANCE / EXIT
 - [Triangle] GARAGE ENTRANCE / EXIT
 - [Circle] UTILITY POLE

SCHEDULE A

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City of Kelowna
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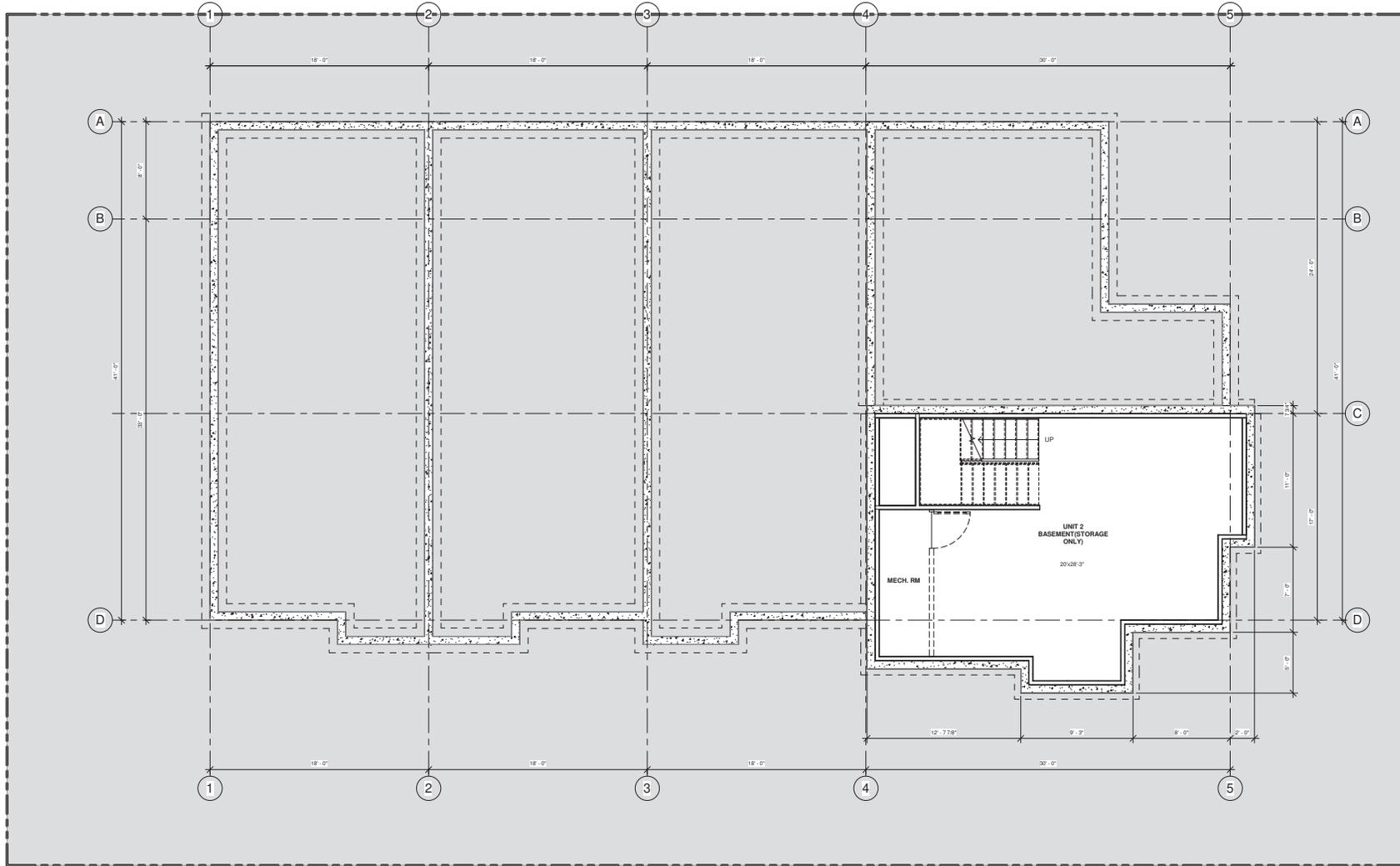
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PROJECT
5-Plex Townhouse
 2590 Richter Street, Kelowna, BC

DRAWING	DWG No.
Basement Plan	A101

Unick Design
 Design & Build consulting
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PROJECT NORTH
 ① Basement Floor
 1/4" = 1'-0"

SCHEDULE A

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SCALE: AS NOTED FILE: R2019-0201

DATE: 2021-11-23 7:29:55 PM

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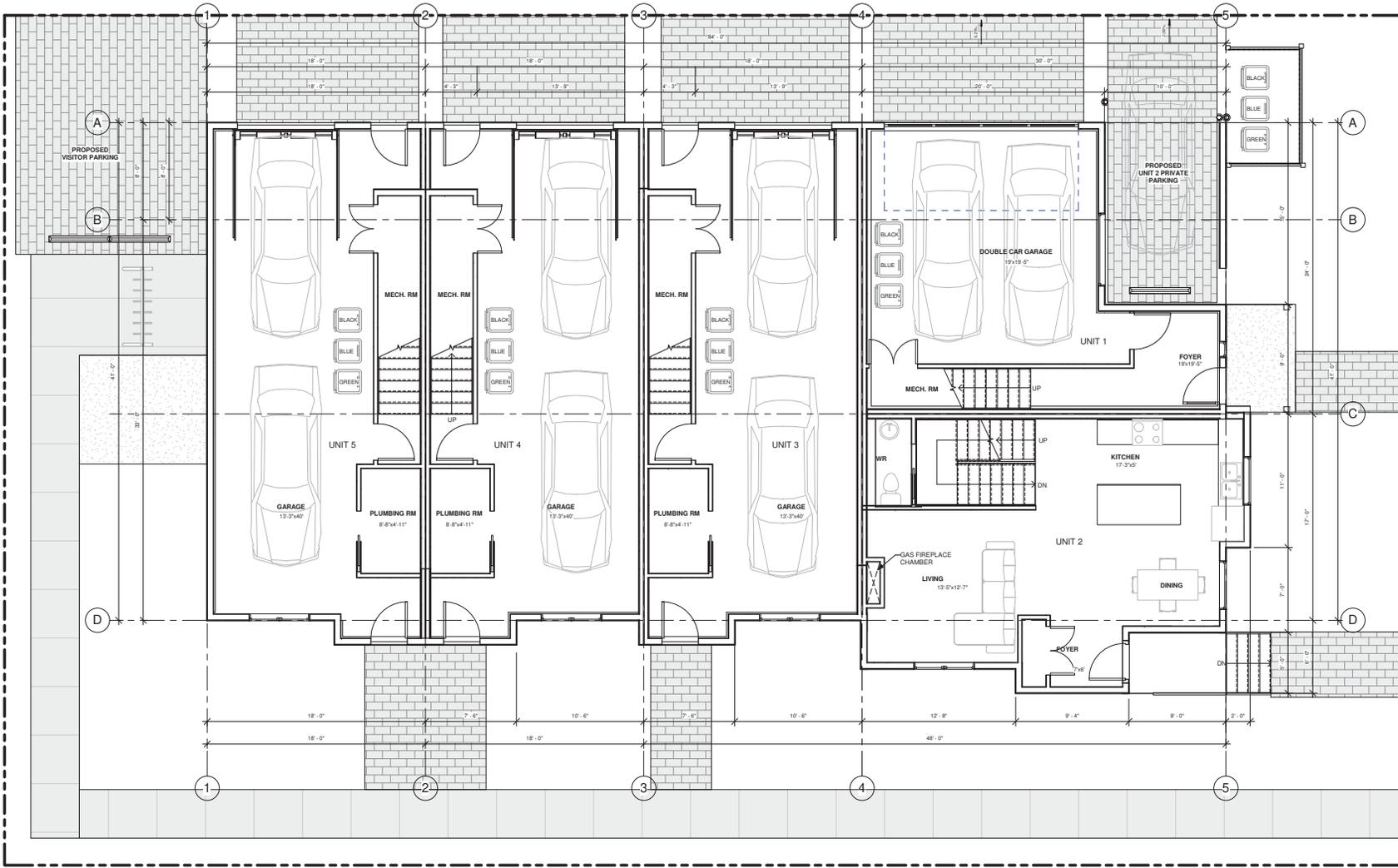
CLIENT: **Linteng**

PROJECT: **5-Plex Townhouse**

2590 Richter Street, Kelowna, BC

DRAWING: First Floor Plan DWG No. **A102**

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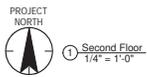
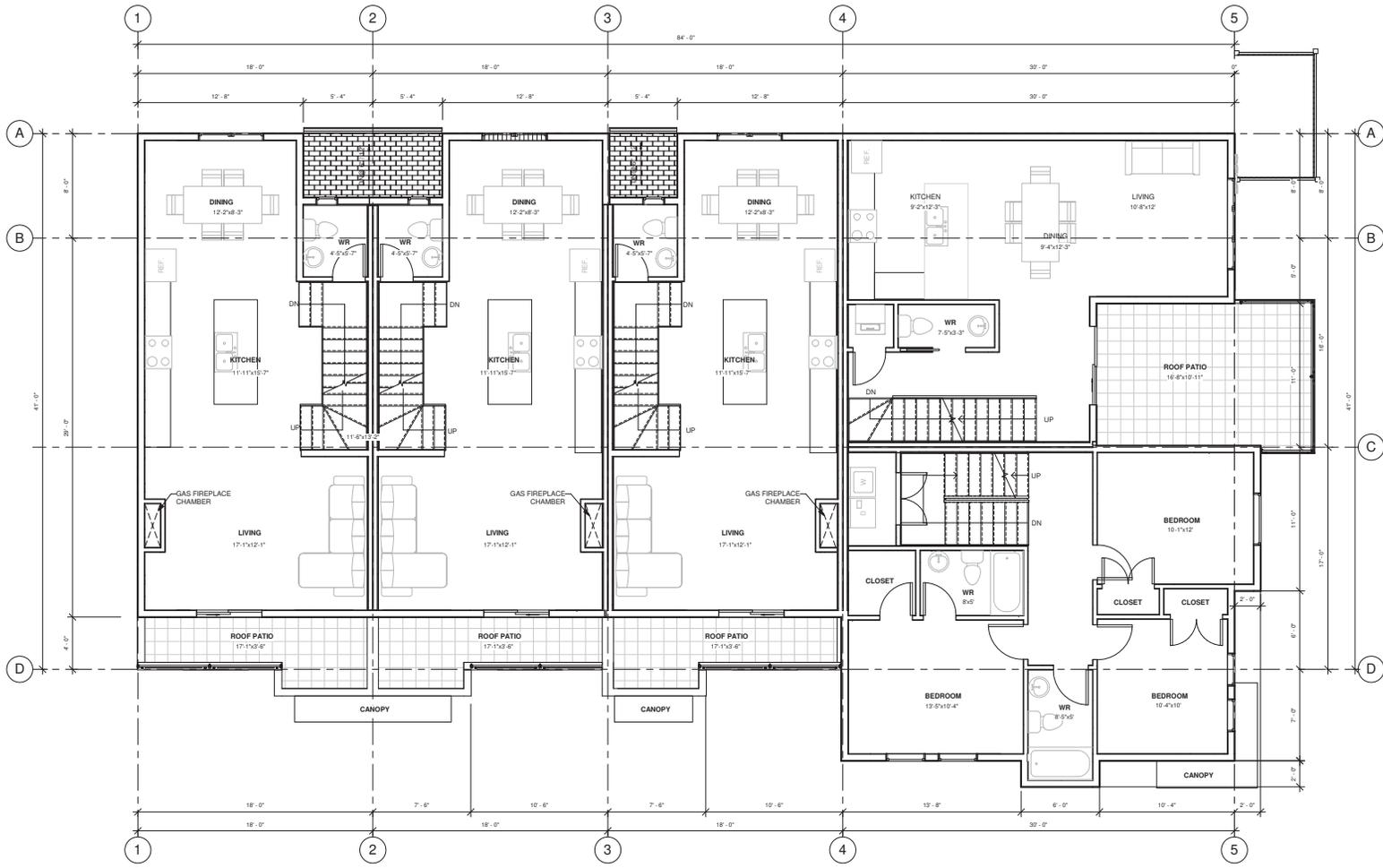
1 First Floor Plan
 1/4" = 1'-0"

SCHEDULE A

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City of **Kelowna**
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SCALE: AS NOTED FILE: R2019-2021

DATE: 2021-11-23 7:30:00 PM

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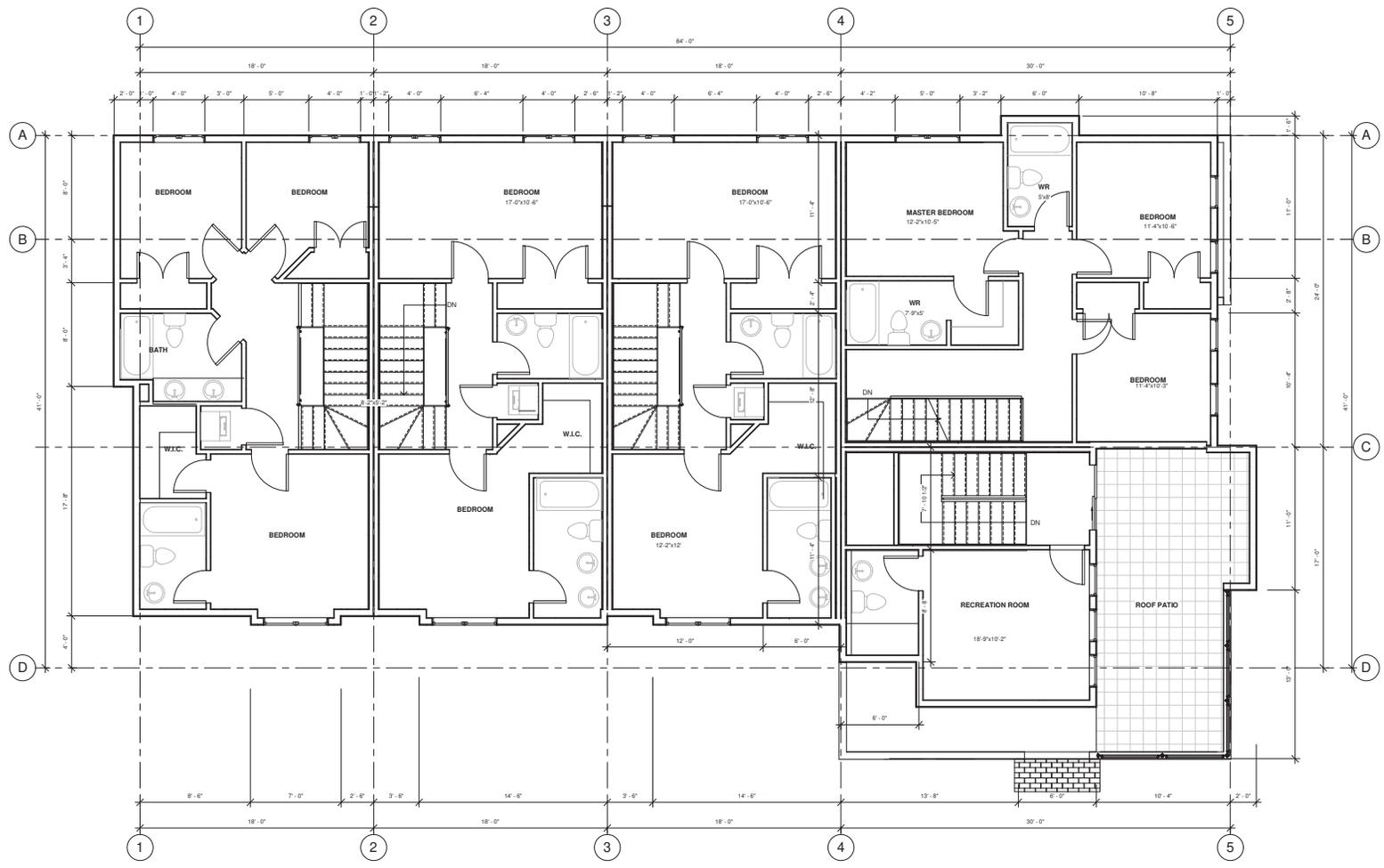
CLIENT: Linteng

PROJECT: 5-Plex Townhouse

2590 Richter Street, Kelowna, BC

DRAWING: Second Floor Plan DWG No. A103

Unick Design
Design & Build Consulting
Tel: 587-578-1425



PROJECT NORTH

 ① Third Floor
 1/4" = 1'-0"

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PERMIT NUMBERS:



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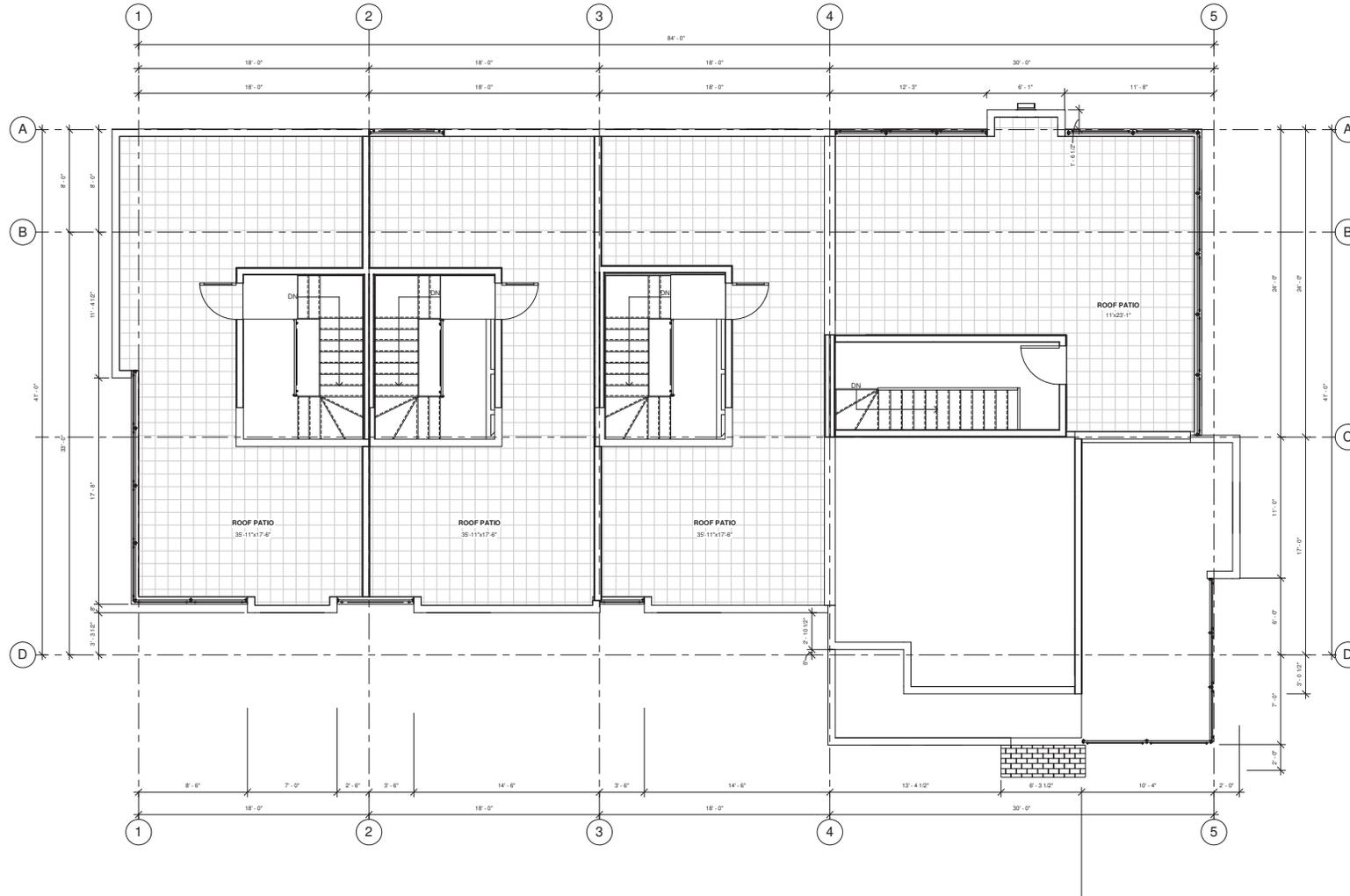
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PROJECT
5-Plex Townhouse
 2590 Richter Street, Kelowna, BC

DRAWING	Third Floor Plan	DWG No.	A104
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① Roof Plan
1/4" = 1'-0"

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DRAWN	Author	CHECKED	Checker

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PROJECT
5-Plex Townhouse
 2590 Richter Street, Kelowna, BC

DRAWING	Roof Plan	DWG No.	A105
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① North Elevation
3/16" = 1'-0"

MATERIAL NOTES	
M1	STUCCO-WHITE
M2	STUCCO-DARK GREY
M3	METAL BOARD (WOOD TEXTURE)
M4	CONCRETE
M5	METAL FLASHING - BLACK
M6	CULTURE STONE

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CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS ON THE JOB AND THIS OFFICE SHALL BE INFORMED OF ANY DISCREPANCIES AND VARIATIONS SHOWN ON DRAWING.

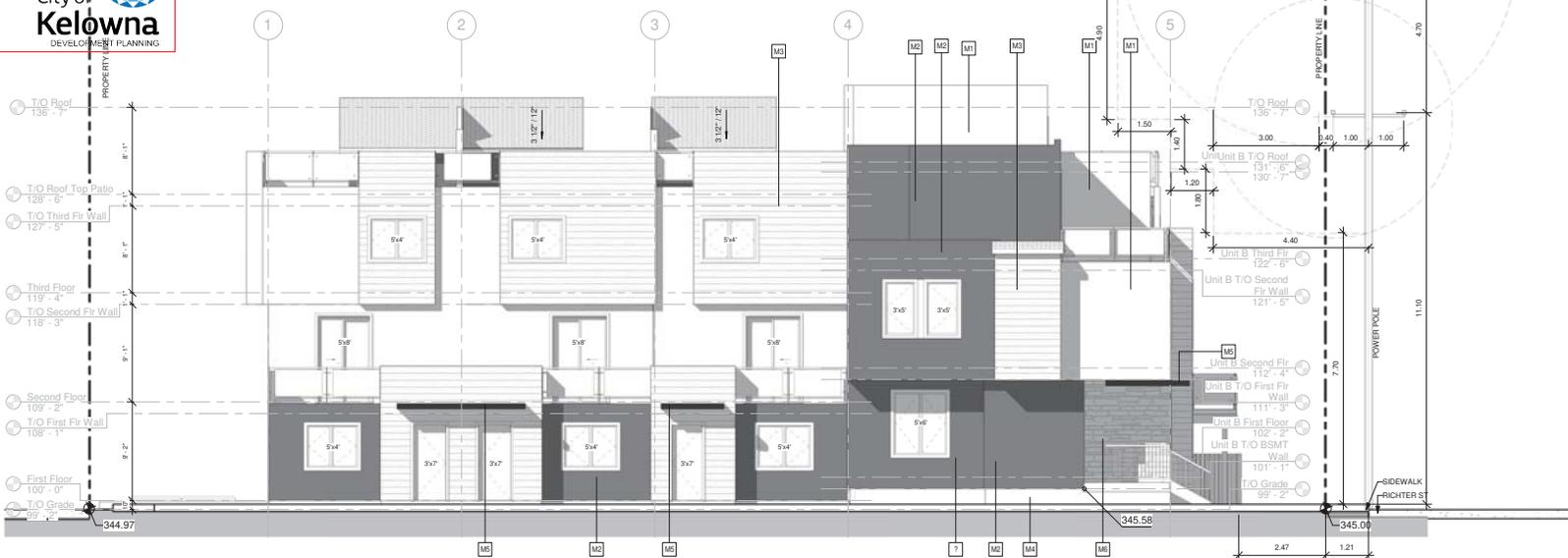
PERMIT NUMBERS:



SCHEDULE B

This forms part of application
DP21-0098 DVP21-0099

Planner Initials **TC**



② South Elevation
3/16" = 1'-0"

DATE	NO.	REVISION	BY

SHARON WANG
 REG. ARCH. (B.C.) 12023
 REG. ARCH. (A.B.C.) 18339
 REG. ARCH. (S.A.S.) 74023
 REG. ARCH. (S.A.S.) 955-042
 E-mail: sharon@sharonwangperitect.ca

SCALE	AS NOTED	FILE	R2019-0201
DATE	2021-11-23 7:30:23 PM	DRAWN	CHECKED
Author	Checker	Author	Checker

CLIENT
Linteng

PROJECT
5-Plex Townhouse
2590 Richter Street, Kelowna, BC

DRAWING	DWG No.
North & South Elevation	A201

Unick Design
 Design & Build consulting
 Tel: 587-578-1425

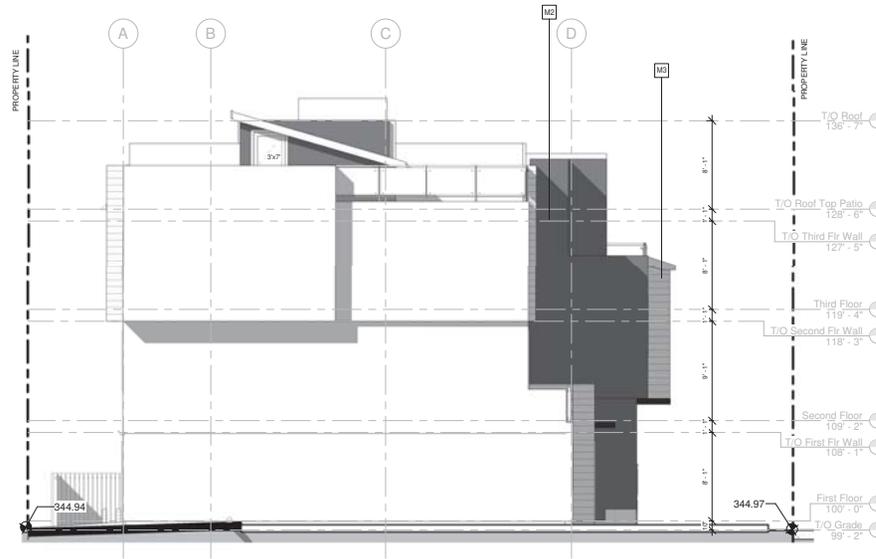
SCHEDULE B

This forms part of application
DP21-0098 DVP21-0099

Planner Initials **TC**



MATERIAL NOTES	
M1	STUCCO-WHITE
M2	STUCCO-DARK GREY
M3	METAL BOARD (WOOD TEXTURE)
M4	CONCRETE
M5	METAL FLASHING - BLACK
M6	CULTURE STONE



① West Elevation
3/16" = 1'-0"



② East Elevation
3/16" = 1'-0"

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PERMIT NUMBERS:



DATE	NO.	REVISION	BY

SHARON WANG
P. ENG. (ARCHITECTURE)
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TEL: 250-383-8842
E: sharon@sharonwangpengineer.ca

SCALE	NOTED	FILE
		R2019-0201

DATE: 2021-11-23 7:30:48 PM

DRAWN	CHECKED
Author	Checker

CLIENT
Linteng

PROJECT
5-Plex Townhouse

2590 Richter Street, Kelowna, BC

DRAWING: **East & West Elevation** DWG No: **A202**

Unick Design
Design & Build Consulting
Tel: 587-578-1425

SCHEDULE B

This forms part of application
 # DP21-0098 DVP21-0099



City of
Kelowna
 DEVELOPMENT PLANNING

Planner Initials TC



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 CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS ON THE JOB AND THIS OFFICE SHALL BE INFORMED OF ANY DISCREPANCIES AND VARIATIONS SHOWN ON DRAWING.

PERMIT NUMBERS:



DATE	No.	REVISION	BY

SHARON WANG
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SCALE: AS NOTED FILE: R2019-0201

DATE: 2021-11-23 7:31:05 PM

DRAWN: 李麗貞
 CHECKED: 李麗貞

CLIENT: Linteng

PROJECT: 5-Plex Townhouse

2590 Richter Street, Kelowna, BC

DRAWING: Renderings DWG No: A203

Unick Design
 Design & Build consulting
 Tel: 587-578-1425

SCHEDULE C

This forms part of application

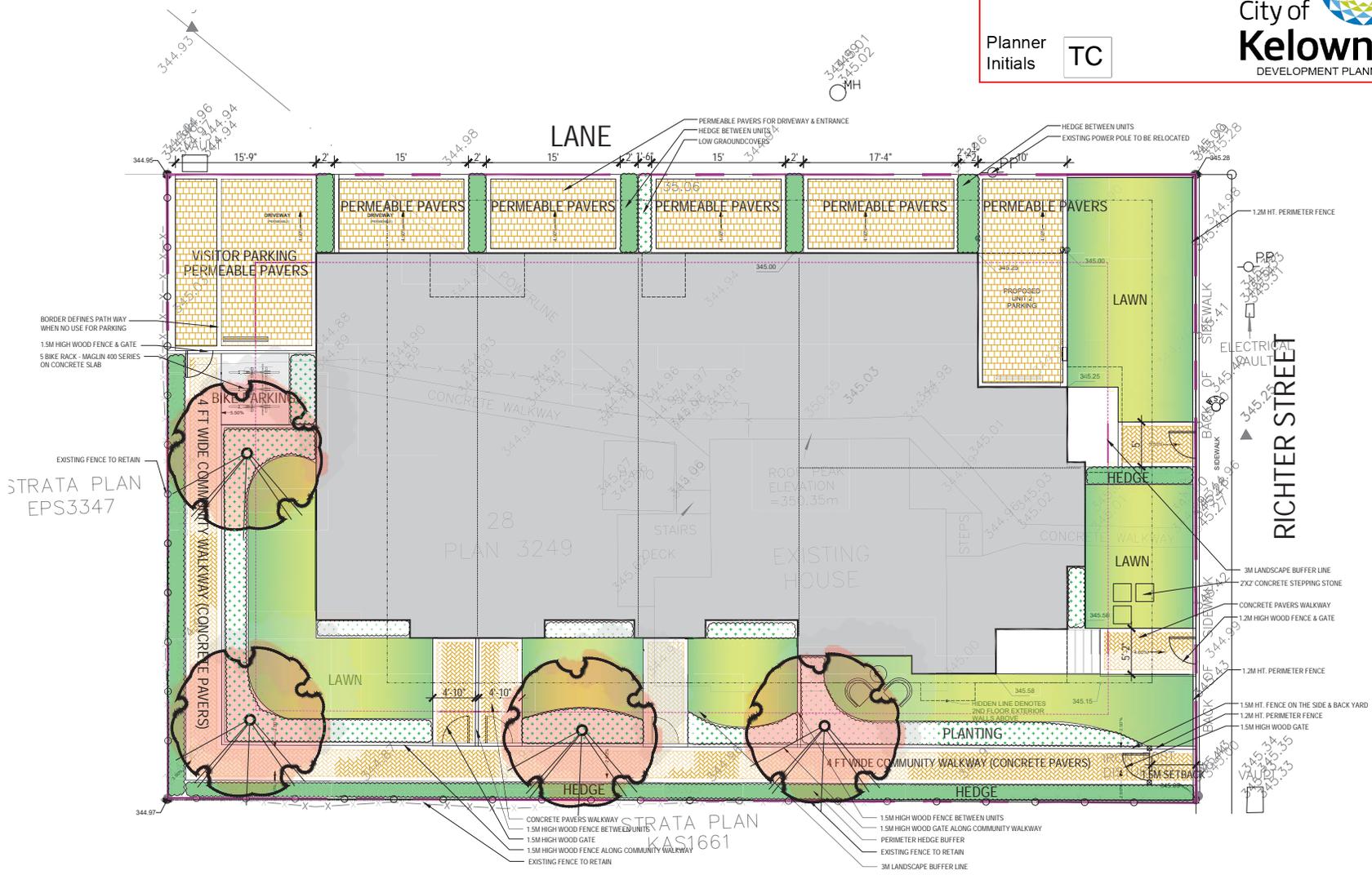
DP21-0098 DVP21-0099

Planner Initials **TC**



LEGEND:

- LAWN
- PLANTING BED
- HEDGE
- PERMEABLE PAVERS
- CONCRETE PAVERS
- PROPOSED NEW TREES



ISSUES	DATE
8	
7	
6	
5	
4	
3	ISSUED FOR OP 2021.10.07
2	ISSUED FOR OP 2021.09.03
1	ISSUED FOR OP 2021.08.24

PROJECT NUMBER	LG20
DRAWN BY	LZ/LX
CHECKED BY	LX
DATE CHECKED	

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 www.royalpl.com
 604-338-5035
 lu@royalpl.com

PROJECT
2590 RICHTER ST
 KELOWNA, BC

DRAWING TITLE
LANDSCAPE SITE PLAN

DRAWING No.
L1

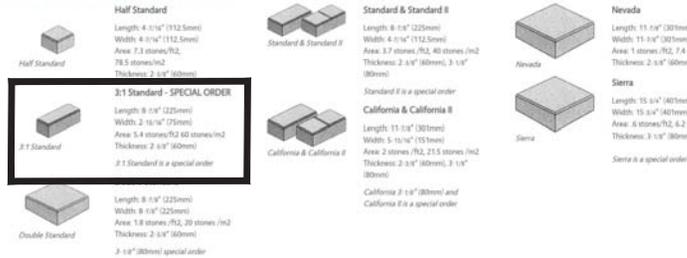
1 LANDSCAPE SITE PLAN
 SCALE 3/16" = 1'-0"



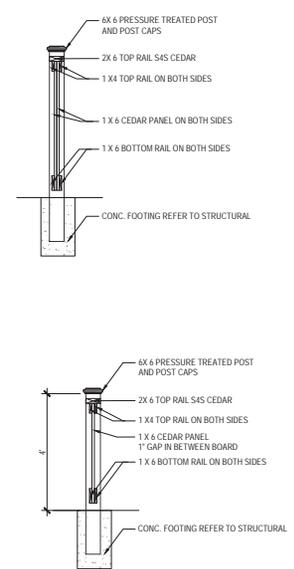
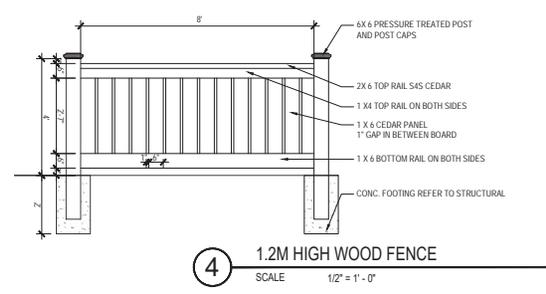
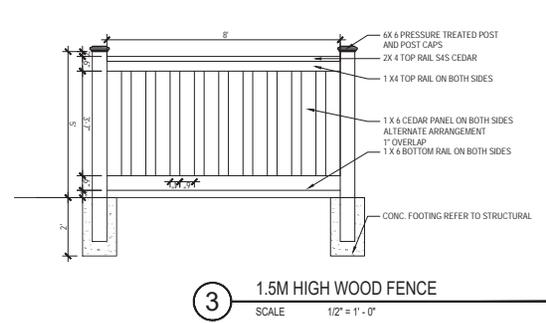
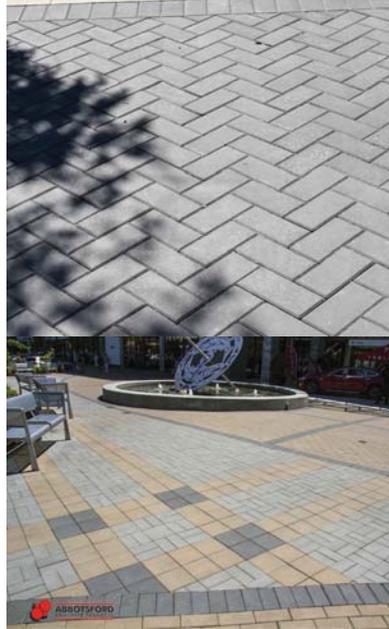


California Nevada and 3:1 Standard available in limited stock colors. While the colors shown here are represented as accurately as possible, they should only be used as a guide. Actual samples should be viewed before making a final color selection. *For best results, pavers should be installed from several pallets to ensure color consistency, especially with multi-color blends.

Classic Standard Series Sizes and Shapes

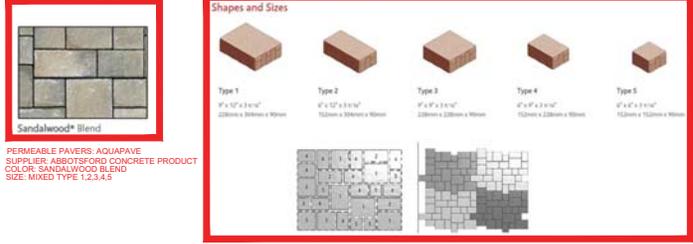


1 DRIVEWAY STANDARD 3:1 CONCRETE PAVERS
SCALE NTS



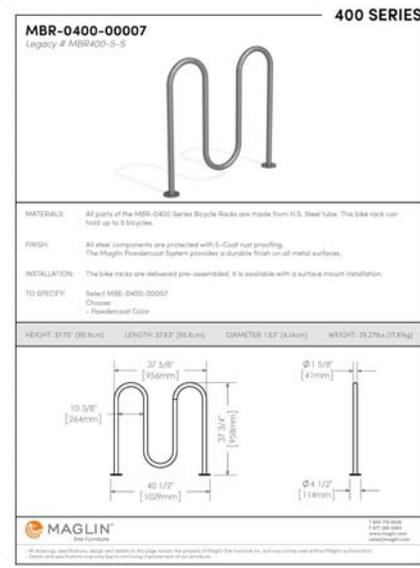
8		
7		
6		
5		
4		
3	ISSUED FOR OP	2021.10.07
2	ISSUED FOR OP	2021.09.05
1	ISSUED FOR OP	2021.08.24
ISSUES		DATE
PROJECT NUMBER		LG20
DRAWN BY		LZ/LX
CHECKED BY		LX
DATE CHECKED		

PERMEABLE PAVERS SPECIFICATION



PERMEABLE PAVERS MAINTENANCE SCHEDULE

Distress	Activity	Frequency
Cracking	Vacuum sweep surface to remove sediment.	1 to 2 times annually, adjust frequency based on sediment loading.
Cracks/Damaged Secondary Features	Clean out or repair secondary drainage features.	Annually, after major rain event.
Depressions	Repair all paver surface depressions, exceeding 0.5 in. (13 mm).	Annually, repair as needed.
Rutting	Repair all paver surface rutting, exceeding 0.6 in. (15 mm).	Annually, repair as needed.
Faulting	Repair all paver surface faulting, exceeding 0.25 in. (6 mm).	Annually, repair as needed.
Damage: Paver Units	Replace medium to high severity cracked, spalled or chipped paver units.	Annually, repair as needed.
Edge Reinforcement Damage	Repair pavers offset by more than 0.25 in. (6 mm) from adjacent units or curbs, inlets, etc.	Annually, repair as needed.
Excessive Joint Width	Repair pavers exhibiting joint widths exceeding 0.5 in. (13 mm).	Annually, repair as needed.
Joint Filler Loss	Refresh aggregate in joints.	As needed.
Horizontal Creep	Repair areas exhibiting horizontal creep exceeding 0.4 in. (10 mm).	Annually, repair as needed.
Additional Distresses	Missing pavers shall be replaced. A geotechnical investigation is recommended for pavement failures.	Annually, repair as needed.



5 BIKE RACK - MAGLIN 400 SERIES
SCALE NTS



THE APPLICANT WILL PROVIDE A LETTER OF CONFIRMATION FROM THE CERTIFICATED PERMEABLE SYSTEM INSTALLER, STATING THE PERMEABLE SYSTEM HAS BEEN INSTALLED ON SITE TO THE REQUIRED PRODUCT SPECIFICATIONS

SCHEDULE C

This forms part of application # DP21-0098 DVP21-0099

City of Kelowna DEVELOPMENT PLANNING

Planner Initials TC

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PROJECT
2590 RICHTER ST
KELOWNA, BC

DRAWING TITLE
LANDSCAPE DETAILS

DRAWING No.
L3