



City of  
Kelowna

A22-0003

1368 Teasdale Road

ALR Application for Non-Adhering Residential Use Permit

# Proposal

- ▶ To consider a non-adhering residential use permit to allow the replacement of a second dwelling that is no longer a suitable residence.

# Development Process

May 26, 2022

Development Application Submitted



Staff Review & Circulation



July 14, 2022

Agricultural Advisory Committee



Council Consideration

Council Approvals



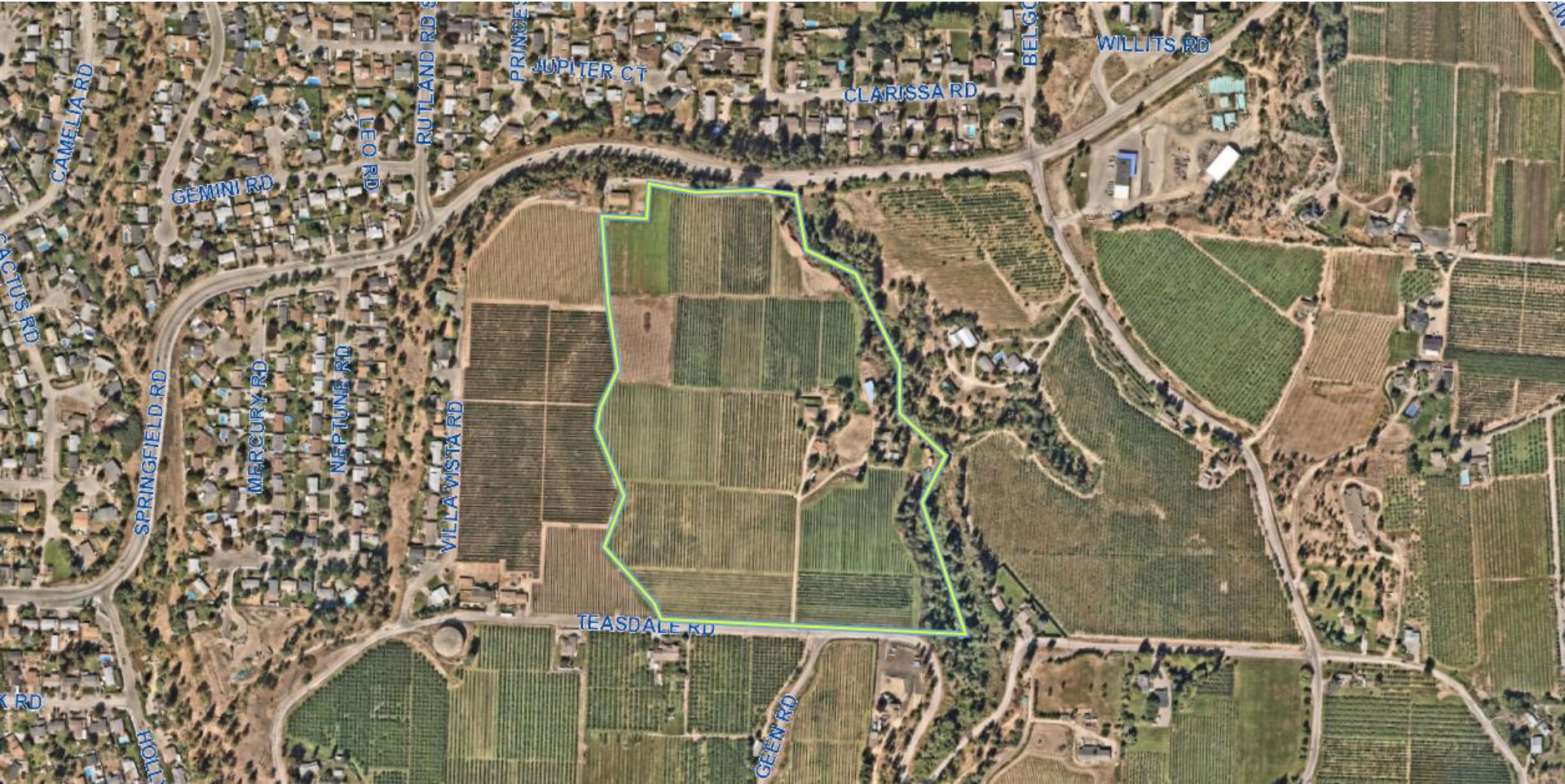
Agricultural Land Commission Consideration

If proposal is supported by Council & the ALC



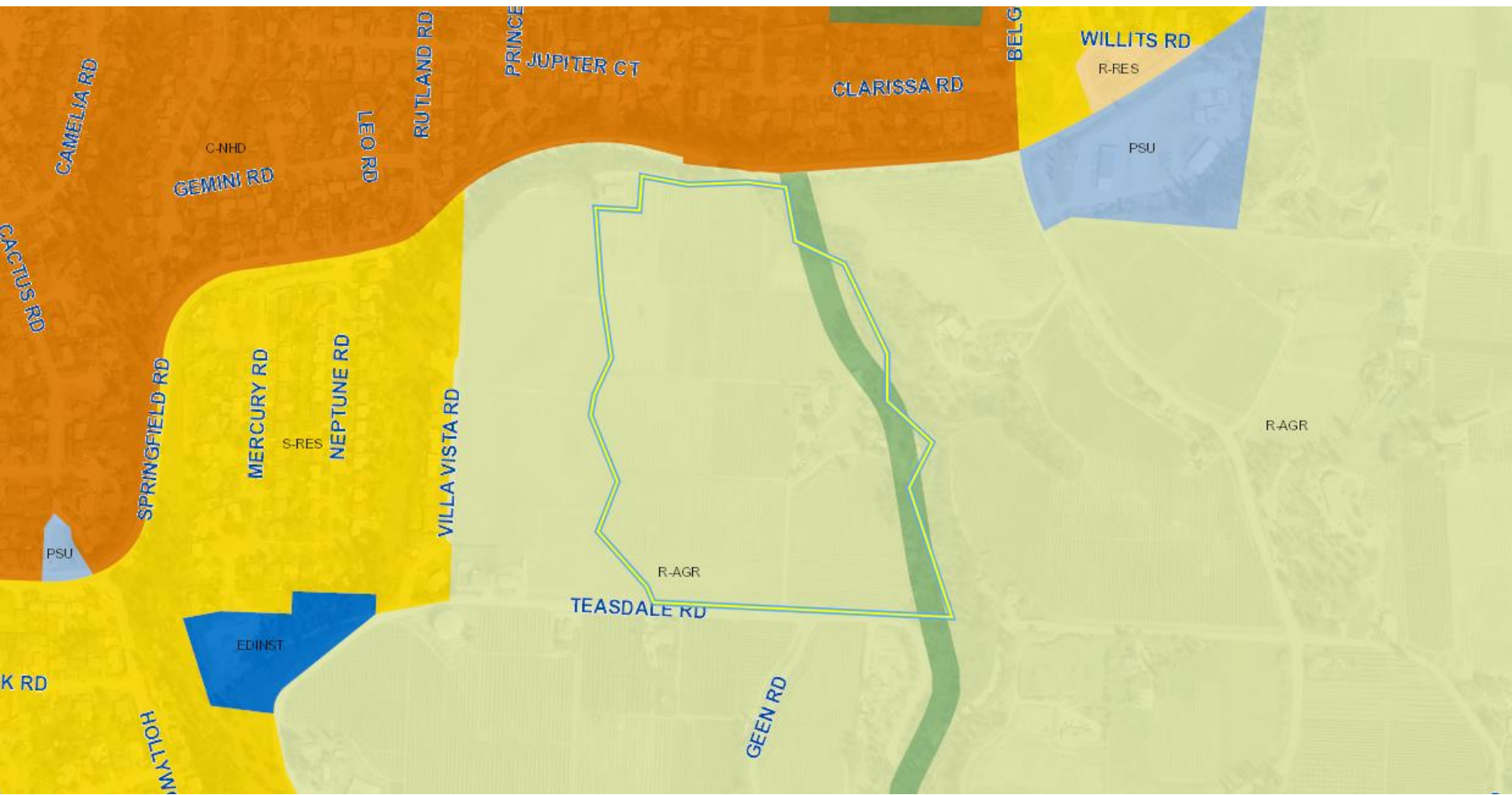
TFWH Permit Issuance and Building Permit

# Context Map

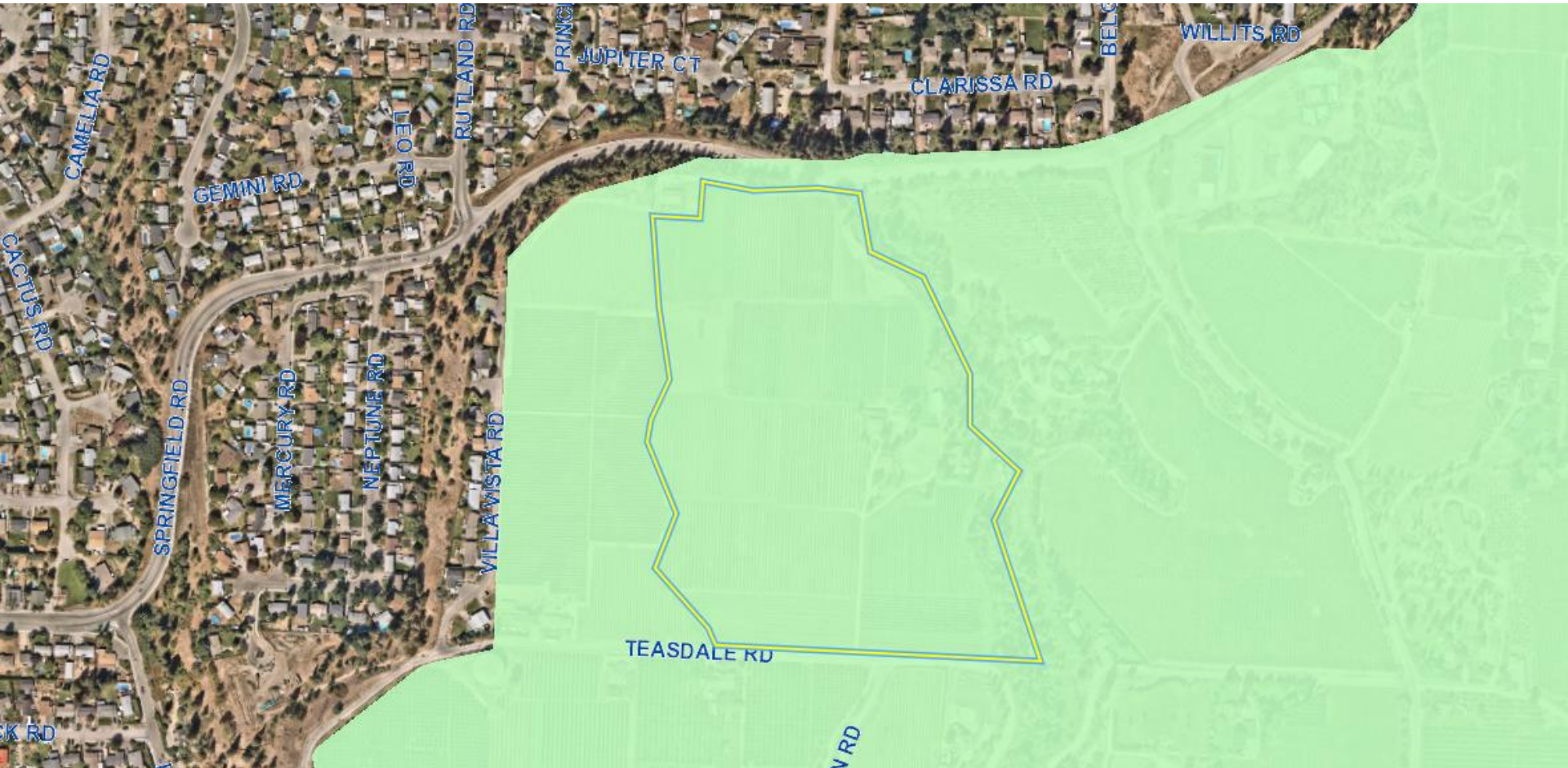


City of Kelowna

# OCP Future Land Use / Zoning



# Agricultural Land Reserve



# Aerial View



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# Project Details

- ▶ The applicant is seeking approvals to allow for the replacement of a second single-family dwelling.
  - ▶ The proposed dwelling would be 227.89m<sup>2</sup> in size.
  - ▶ Property currently has two dwellings on it.
- ▶ The application has indicated that the home was built in 1956 and is now infested with ants, termites and mold.
- ▶ The location would be in Grade D soil and closer to the existing residence.
- ▶ Property also has cabins that are using for TFWH.



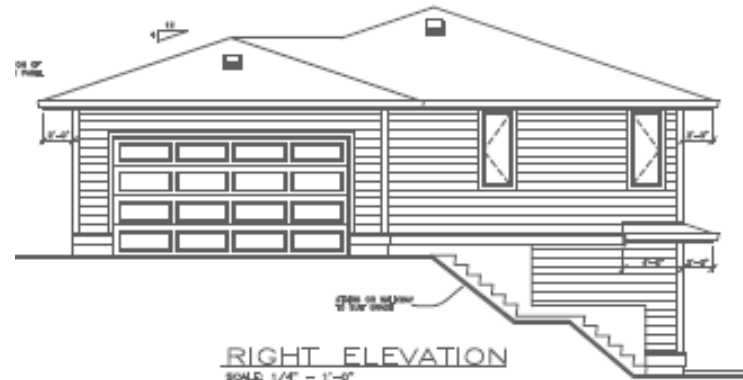
# Site Plan



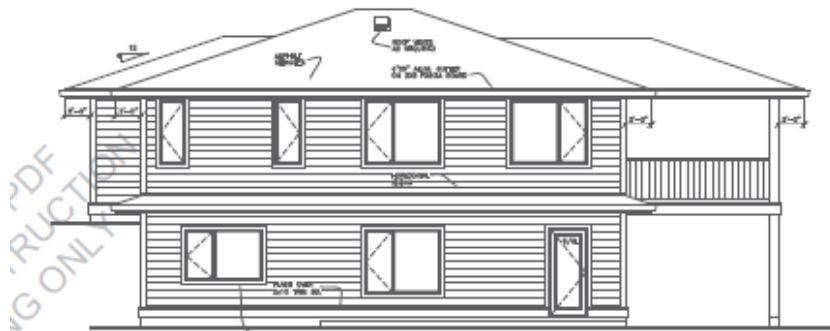
# Elevation Drawings



FRONT ELEVATION



RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"



REAR ELEVATION



LEFT ELEVATION  
SCALE: 1/4" = 1'-0"

# AAC Recommendation

- ▶ Request for AAC to provide a recommendation for Council of either support or non-support.
- ▶ Application will be forwarded to ALC should Council support it.

# Development Planning

- ▶ Staff brought forward a proposal to allow secondary residences, however, this would still require a Non-Adhering Residential Use Permit.
- ▶ Farm Residential Footprint covenant required.



*Conclusion of Staff Remarks*