



# Provincial Agricultural Land Commission - Applicant Submission

**Application ID:** 65230

**Application Status:** Under LG Review

**Applicant:** Brian Witzke

**Local Government:** City of Kelowna

**Local Government Date of Receipt:** 04/05/2022

**ALC Date of Receipt:** This application has not been submitted to ALC yet.

**Proposal Type:** Non-Adhering Residential Use - Additional Residence for Farm Use

**Proposal:** To replace a house that is no longer livable and provide a suitable residence for future family farming needs on this parcel.

**Mailing Address:**

1368 Teasdale Rd

Kelowna, BC

V1P 1C7

Canada

**Primary Phone:**

**Mobile Phone:**

**Email:**

## Parcel Information

### Parcel(s) Under Application

1. **Ownership Type:** Fee Simple

**Parcel Identifier:** 011-041-781

**Legal Description:** LOT 3 SECTION 23 TOWNSHIP 26 OSOYOOS DIVISION YALE DISTRICT PLAN 2329 EXCEPT PLANS 4697, 34964 AND H12752

**Parcel Area:** 13.7 ha

**Civic Address:** 1368 Teasdale Road

**Date of Purchase:** 11/26/1980

**Farm Classification:** Yes

**Owners**

1. **Name:** Brian Witzke

**Address:**

1368 Teasdale Rd

Kelowna, BC

V1P 1C7

Canada

**Phone:**

**Cell:**

**Email:**

<b>ATTACHMENT</b>	<b>A</b>
This forms part of application # A22-0003	
Planner Initials	TC
City of <b>Kelowna</b> DEVELOPMENT PLANNING	

**Applicant:** Brian Witzke

## Current Use of Parcels Under Application

### 1. Quantify and describe in detail all agriculture that currently takes place on the parcel(s).

*On this parcel High Quality Apple production currently consisting of varieties Royal gala, Pacific gala, Honey crisp, Ambrosia and Spartans. There is 27.73 acres of Grade A land and 4.74 acres of grade D land equaling a total of 32.47 acres. This 3rd generation farm was started in 1946 and as won multiple awards over the years for innovation and quality of apples produced. As well as being a leading example for the apple growing sector in B.C. hosting numerous international and domestic industry farm tours. The farm is currently in a stage of renewal with more apple blocks planned to be replanted as soon as trees become available. The parcel is farmed to its maximum land use potential and all structures are utilized for farming practices. Final note on the parcel current usage, this is not a agritourism business. This is a full scale 100% modern industrial orchard operating on the very edge of a ever growing city.*

### 2. Quantify and describe in detail all agricultural improvements made to the parcel(s).

*Over the past 50+ years this orchard has been constantly modernized as new training systems and new varieties became known and available to the local growing industry. Fully automated irrigation systems have been customized for this particular parcel given it's unique soil blends. Deer fencing has been installed in recent years to help mitigate animal and public trespassing. All housing is only used for temporary farm works or the two owners. Other buildings on this parcel are used for storage of farm equipment and seasonal supplies as well as maintenance and repair facilities.*

### 3. Quantify and describe all non-agricultural uses that currently take place on the parcel(s).

*"No non-agricultural activity".*

## Adjacent Land Uses

### North

**Land Use Type:** Residential

**Specify Activity:** Subdivision of Rutland

### East

**Land Use Type:** Industrial

**Specify Activity:** 2 cherry orchards and a Grow op

### South

**Land Use Type:** Agricultural/Farm

**Specify Activity:** U-pick cherry operation / apple orchard

### West

**Land Use Type:** Agricultural/Farm

**Specify Activity:** Vineyard

## Proposal

### 1. What is the purpose of the proposal?

*To replace a house that is no longer livable and provide a suitable residence for future family farming needs on this parcel.*

### 2. Describe the necessity for an additional residence for farm use and how it will support agriculture in the short or long term.

*The house being replaced was built in 1956 using building techniques of the time. Consisting of sawdust*

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for insulation in the walls, wood shavings in the attic and home poured concrete basement. The house is now infested with ants, termites as well as showing signs of mold and the foundation is crumbling. As this house was built before the ALR and is used as the second primary residence. The need to replace this structure is necessary to maintain appropriate housing for the parcel owners and their families. This not adding a residence but maintaining current numbers of residences on this parcel.

**3. Describe the size, type and number, as well as occupancy of all residential structures currently located on the property.**

There are two houses which are occupied year round by the owners. The first house is 176.52sq meters plus full basement. The second is 74 sq meters with a full basement. There are also three temporary farm worker houses. These only have workers present as seasonal work requirements demand. Cabin 1 is 41.62 sq meters, cabin 2 is 33.8 sq meters, cabin 3 is 33.8 sq meters and these cabins only have crawl spaces.

**4. What is the total floor area of the proposed additional residence in square metres?**

227.89 m<sup>2</sup>

**5. Describe the rationale for the proposed location of the additional residence.**

The location was chosen due to minimize its impact on current farmed areas on the parcel. The residence and its driveway will sit on a portion of the parcels grade D land. As well as give opportunity to better utilize the limited flat areas on the farm. Easier access for land working equipment and farm supplies that do not require covered storage. The new location comes with the benefit of close proximity to utilities. The small field the house will back onto is planned to be planted into soft fruits for the families personal needs. So there will be no negative impact on the overall farm operation.

**6. What is the total area of infrastructure necessary to support the additional residence?**

The total area utilized for this house, driveway, zero scape landscaping, parking and septic will be a proximately a 1/4 acre or .101 hectare

**7. Do you need to import any fill to construct the additional residence or infrastructure?**

No

**Applicant Attachments**

- Proposal Sketch-65230
- Site Photo-Build site
- Site Photo-Overall farm view
- Certificate of Title-011-041-781

**ALC Attachments**

None.

**Decisions**

None.

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Untitled Map  
Write a description for your map.

Legend



Google Earth  
Image Landsat / Copernicus



100 m

**ATTACHMENT** B

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# ATTACHMENT C

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# A22-0003



City of  
**Kelowna**  
DEVELOPMENT PLANNING

Planner  
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HEAD OFFICE:  
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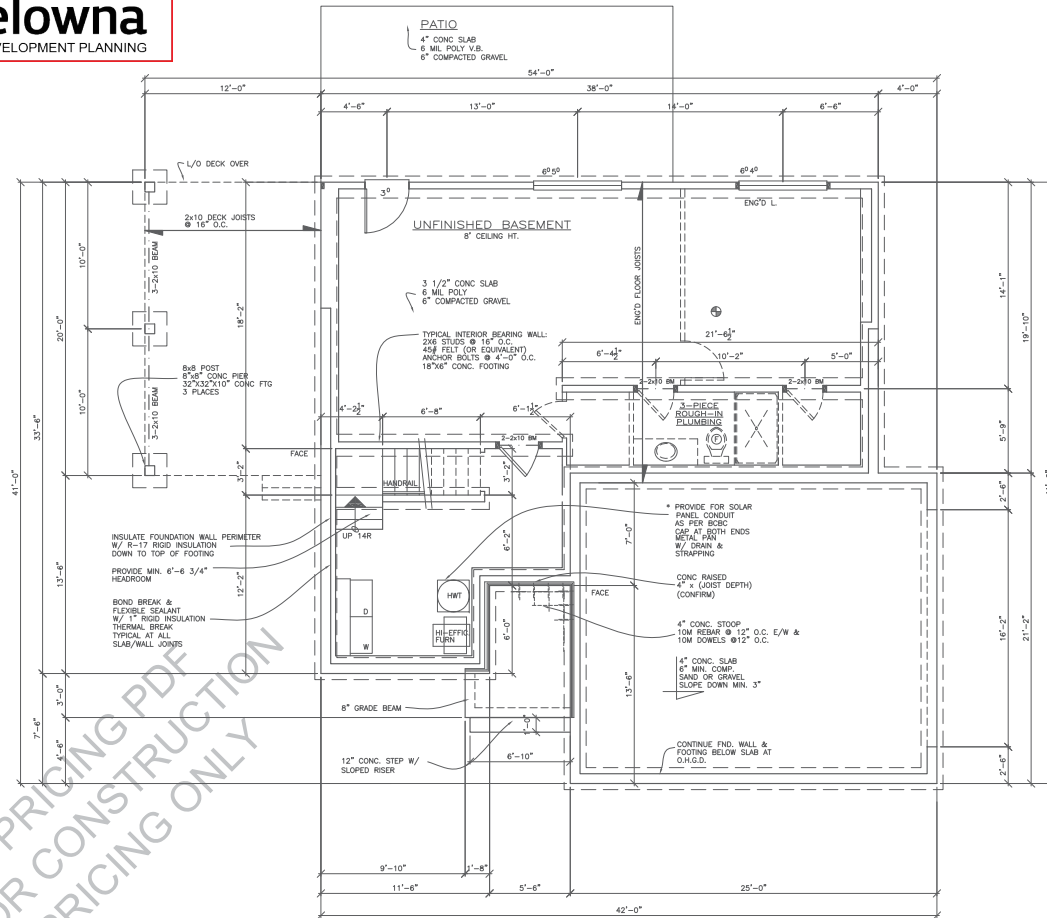
CHECKED:  
DJ

DATE:  
MARCH 2022

SCALE:  
1/4" = 1'-0"

SHEET:  
1 OF 5

PLAN NUMBER:  
5-2-885



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## BASEMENT/FOUNDATION PLAN

FINISHED AREA = 232 SQ. FT.  
UNFINISHED AREA = 739 SQ. FT.  
SCALE: 1/4" = 1'-0"

PROVIDE ROUGHIN SUBFLOOR DEPRESSURIZATION SYSTEM,  
4" GRANULAR FILL BELOW SLAB AND PROVIDE 4" PIPE WITH  
CONNECTION FOR FUTURE DEPRESSURIZATION EQUIPMENT AND AIRTIGHT CAP  
TO BE PASSIVELY VENTED TO EXTERIOR, TO BE TERMINATED OUTSIDE

# ATTACHMENT C

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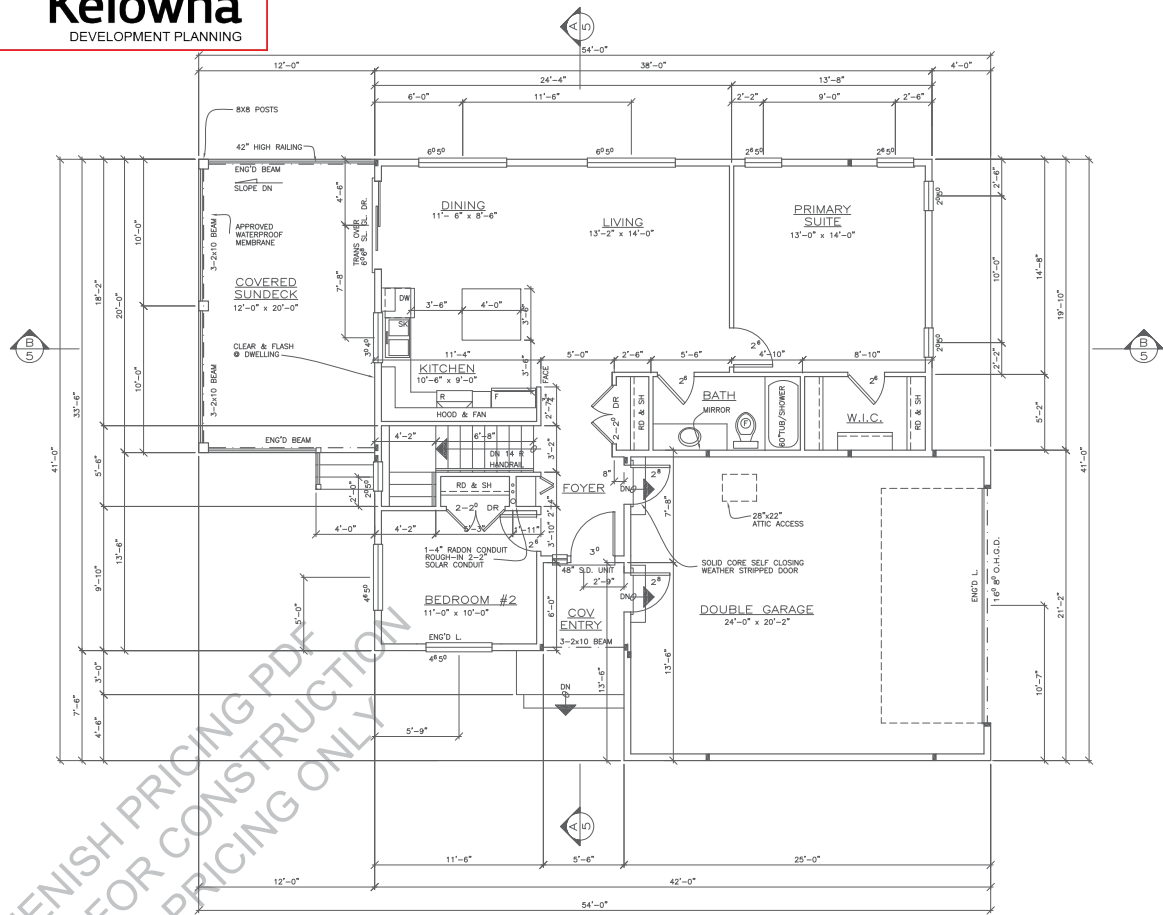
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2 OF 5  
PLAN NUMBER:  
5-2-665



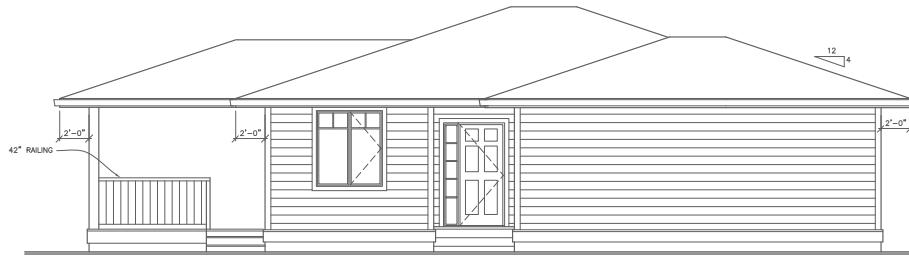
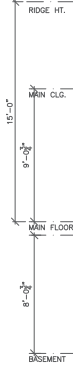
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**MAIN FLOOR PLAN**  
FINISHED AREA = 966 SQ. FT.  
GARAGE AREA = 516 SQ. FT.  
9'-0 3/4" CEILING HEIGHT

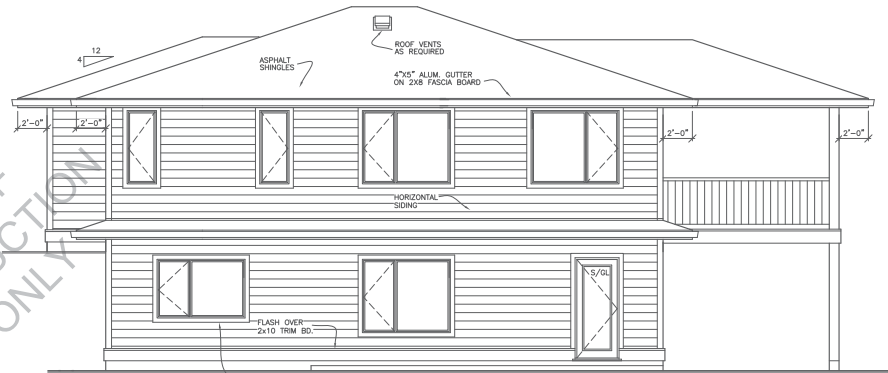
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FRONT ELEVATION



REAR ELEVATION

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SCALE:	1/4" = 1'-0"
SHEET:	3 OF 5
PLAN NUMBER:	5-2-885

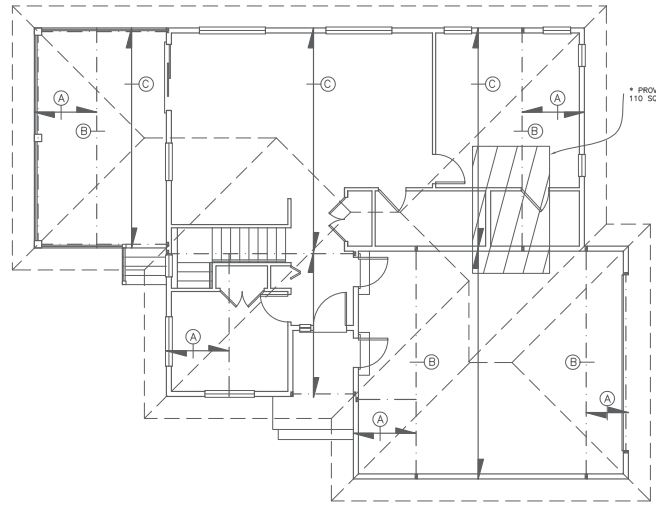
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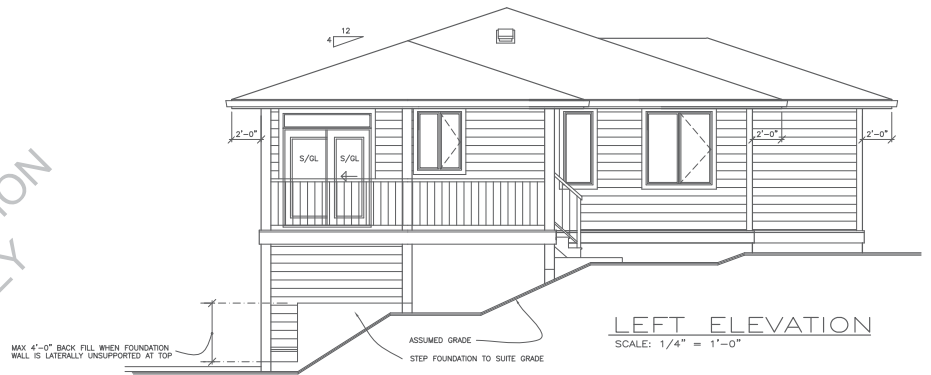
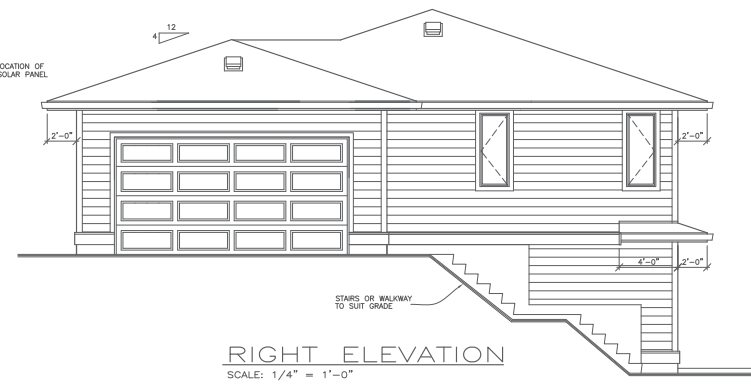
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SCALE:	AS NOTED
SHEET:	4 OF 5
PLAN NUMBER:	5-2-885



## ROOF FRAME PLAN

- SCALE: 3/16" = 1'-0"  
 \* TRUSS LAYOUT TO BE CHECKED, VERIFIED & ENGINEERED  
 BY TRUSS MANUFACTURER  
 \* PROVIDE FOR FUTURE LOCATION OF  
 110 SQ. FT. HOT WATER SOLAR PANEL
- Ⓐ— JACKS @ 24" O.C.
  - Ⓑ— LAST TRUSS
  - Ⓒ— TRUSSES @ 24" O.C.
  - Ⓓ— BOBTAIL LAST TRUSS
  - Ⓔ— SPECIAL LAST TRUSS (3 POINT BRG)
  - Ⓕ— SPECIAL TRUSSES @ 24" O.C. (3 POINT BRG.)
  - Ⓖ— BOBTAILED TRUSSES @ 24" O.C.
  - Ⓗ— SPECIAL TRUSSES @ 24" O.C.

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**ATTACHMENT C**

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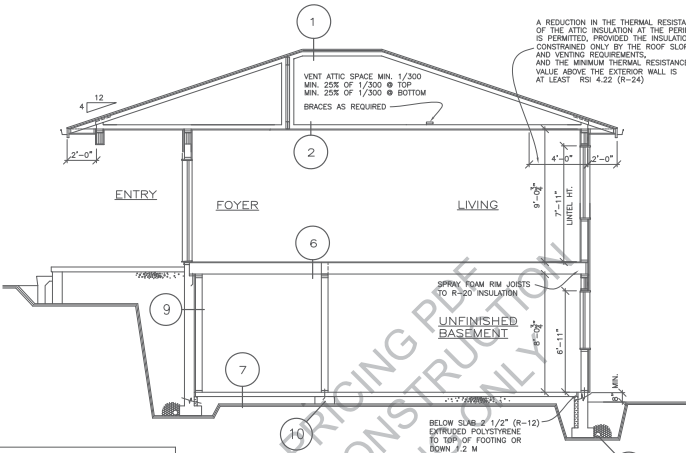
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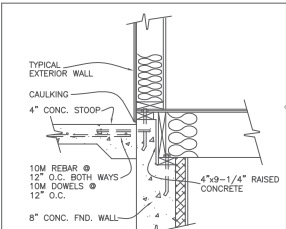
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CROSS SECTION (B/2)



CROSS SECTION (A/2)



STOOP DETAIL

1" = 1'-0"

- SPECIFICATIONS**
- 1 ROOF: ASPHALT SHINGLES BUILDING PAPER 3/8" PLY SHEATHING W/ 1/4" CLIPS END'S ROOF TRUSSES @ 24" o.c.
  - 2 CEILING: R-50 BATT INSULATION 6 MIL POLY V.B. 5/8" OPSIUM BOARD
  - 3 EXTERIOR WALL: HORIZONTAL SIDING BUILDING PAPER 3/8" PLY SHEATHING R-24 BATT INSULATION 2 x 6 STUDS @ 24" o/c 6 MIL POLY V.B. 1/2" OPSIUM BOARD
  - 4 FASCIA/SOFFIT: 4" x 5" ALUM. GUTTER ON 2 x 8 FASCIA BOARD PERFORATED ALUM. SOFFIT
  - 5 INTERIOR PARTITION: 1/2" OPSIUM BOARD EACH SIDE 2 x 4 STUDS @ 16" o/c
  - 6 MAIN FLOOR: FINISH FLOORING 3/4" PLYWOOD SUBFLOOR SUBFLOOR GULLED & SPOURED EN'DO FLOOR JOISTS BRACE AS REQ'D
  - 7 BASEMENT FLOOR: 3 1/2" CONC. SLAB 6 MIL POLY 6" COMPACTED GRAVEL
  - 8 GARAGE FLOOR: 4" CONC. SLAB 6" COMPACTED GRAVEL
  - 9A EXTERIOR FOUNDATION (ABOVE SLAB): 2 COATS ASPHALT EMULSION 8" CONC. FOUNDATION WALL R-20 RIGID INSULATION OR 1" AIRSPACE, 2x6 WALL @ 24" o.c. W/ R-20 BATT INSULATION
  - 9B EXTERIOR FOUNDATION (BELOW SLAB): 2 COATS ASPHALT EMULSION 8" CONC. FOUNDATION WALL R-20 RIGID INSULATION OR 1" AIRSPACE, 2x6 WALL @ 24" o.c. W/ R-20 BATT INSULATION
  - 10 INTERIOR FOUNDATION: 2 x 6 STUDS @ 16" o/c 2 1/2" (R-12) EXTRUDED POLYSTYRENE DOWN 1.2 M OR TO TOP OF FOOTING 18" x 6" CONCRETE FOOTING
  - 11 DRAINAGE: 6" DIA. DRAIN ROCK COVER ON 4" DIA. DRAIN TILE PLATE TO FOUNDATION CONNECTION 1/2" DIA. ANCHOR BOLTS @ 5'-6" o.c. 2x6 PLATE ON 4x8 FELT OR APPROVED DAMPPROOFING
  - 12 STAIRS: 14 EQUAL RISERS RUNS 9-1/2" w/ 1" NOSING 34" HIGH HANDRAIL 6"-8 3/4" MIN. HEADROOM 2-2x10 STRINGERS

NOTE: ENGINEER'S ADDENDUMS, STRUCTURAL DETAILS, AND NOTES SUPERCEDE THOSE NOTED ON THIS GENERAL NOTE SHEET DEPENDING ON LOCAL CONDITIONS.

**GENERAL NOTES**

**STANDARD NOTES**

- THE FOLLOWING NOTES ARE TO BE INCLUDED WITH AND BECOME PART OF THE ATTACHED PLANS.
- BY COMMENCING CONSTRUCTION OF A BUILDING FROM THESE PLANS, THE OWNER AND/OR BUILDER ACCEPTS THESE PLANS AS DRAWING AND HAS READ AND UNDERSTANDS THE GENERAL NOTES THAT FOLLOW.
- THIS DRAWING WAS PREPARED IN ACCORDANCE WITH THE CURRENT EDITION OF THE BC BUILDING CODE. IT IS THE RESPONSIBILITY OF THE OWNER/BUILDER TO INSURE THAT SUBSEQUENT CHANGES TO THE CURRENT BC BUILDING CODE AND/OR LOCAL BUILDING CODES AND BYLAWS THAT MAY TAKE PRECEDENCE.
- ALL WORK SHALL BE EQUAL IN ALL RESPECTS TO GOOD BUILDING PRACTICE.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS.
- JENSH HOUSE DESIGN LIMITED SHALL NOT BE RESPONSIBLE FOR ANY VARIANCES FROM THE STRUCTURAL DRAWINGS AND SPECIFICATIONS, OR ADJUSTMENTS REQUIRED RESULTING FROM CONDITIONS ENCOUNTERED AT THE JOB SITE AND IS THE SOLE RESPONSIBILITY OF THE OWNER OR CONTRACTOR.
- CONSTRUCTION LOADS ON THE STRUCTURE CAUSED BY INTERIM STORAGE OF MATERIALS OR USE OF EQUIPMENT SHALL NOT BE ALLOWED TO EXCEED THE DESIGN LOAD.
- THE BUILDER SHALL BE RESPONSIBLE FOR MAINTAINING A NEAT AND ORDERLY CONSTRUCTION SITE AT ALL TIMES.
- AT END OF CONSTRUCTION THE BUILDER SHALL BE RESPONSIBLE FOR CLEANING THE JOB SITE AND BUILDINGS) OF ANY REFUSE AND MAKING GOOD ANY DAMAGE TO BUILDINGS INCURRED DURING CONSTRUCTION.
- PRIOR TO COMMENCING EXCAVATION WORK THE BUILDER SHALL BE RESPONSIBLE FOR ESTABLISHING THE LOCATION OF AND CLEARLY MARKING EXISTING SERVICES AND IMMEDIATELY NOTIFYING APPLICABLE AUTHORITIES OF ANY DISCREPANCIES.
- TOPSOIL AND EXCAVATED MATERIAL TO BE STOCKPILED SEPARATELY ON SITE.

**ERRORS AND OMISSIONS**

- JENSH HOUSE DESIGN LIMITED MAKES EVERY EFFORT TO PROVIDE COMPLETE AND ACCURATE HOME PLANS. HOWEVER, WE ASSUME NO LIABILITY FOR ANY ERRORS OR OMISSIONS THAT MAY AFFECT CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE BUILDER TO CHECK AND VERIFY ALL DIMENSIONS AND DETAILS BEFORE PROCEEDING WITH CONSTRUCTION.
- IF SHOULD ANY DISCREPANCIES BE FOUND ON THESE PLANS PLEASE ADVISE OUR OFFICE AT YOUR EARLIEST CONVENIENCE. BY DOING SO WE WILL BE ABLE TO MAKE CORRECTIONS TO THE DRAWINGS AND REPLACE ANY PLANS PURCHASED IF NECESSARY. IN THIS WAY WE CAN BETTER SERVE YOU AND PREVENT ERRORS FROM OCCURRING.

**STRUCTURAL DESIGN AND ENGINEERING**

- TO PROVIDE OUR CLIENTS WITH DISTINCTIVE AND ATTRACTIVE DESIGNS IT HAS BEEN NECESSARY IN SOME INSTANCES TO USE BEAM SIZES AND FRAMING DETAILS NOT SPECIFIED IN PART OF THE BC BUILDING CODE. THE CITY OR MUNICIPAL BUILDING DEPARTMENT MAY REQUIRE A CERTIFIED STRUCTURAL ENGINEER WHOSE IT IS THE RESPONSIBILITY OF OWNER OR BUILDER TO PROVIDE.
- ASSUMED ROOF DESIGN LOAD (LAE AND DEAD) - 50 POUNDS PER SQUARE FOOT (2.5 KVA/SD).
- ASSUMED SOIL BEARING CAPACITY - 2500 P.S.F. (117.3 KVA/SD).
- CONCRETE FOUNDATIONS AND SLABS ON GRADE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 20 MPA AT 28 DAYS.
- FRAMING LUMBER TO BE #2 S.P.F. AND BETTER UNLESS OTHERWISE NOTED.
- BEAMS TO BE #2 S.P.F. AND BETTER.

**NOTE:**

- IF SOIL CONDITIONS ARE LESS OR FLOOR AND ROOF LOADS ARE GREATER THAN THIS PLAN IS DESIGNED FOR, YOUR BUILDING DEPARTMENT MAY REQUIRE ADJUSTMENTS TO THE PLANS OR THAT THE ENGINEER BE CONSULTED BY A CERTIFIED STRUCTURAL ENGINEER. IT IS BEST THAT AN ENGINEER FAMILIAR WITH LOCAL CONDITIONS BE CONSULTED.

**SITE PLAN NOTES**

- IF A SITE PLAN IS NOT PROVIDED BY JENSH HOUSE DESIGN LIMITED, THE OWNER OR BUILDER SHALL BE RESPONSIBLE FOR THE CORRECT SITING OF THIS HOME ON THE PROPERTY. JENSH HOUSE DESIGN LIMITED ASSUMES NO LIABILITY FOR PLANS COMPLYING WITH ZONING REGULATIONS OR LOT CONDITIONS.
- OWNER SHALL SUPPLY ANY MISSING INFORMATION ON SITE PLAN, I.E. DIMENSIONS, ELEVATIONS OF LOT, LEGAL DESCRIPTION, SITE ADDRESS, NORTH DIRECTION, AND LOCATION OF SERVICES, EASEMENTS AND RIGHT OF WAY. ALL MEASUREMENTS ON SITE PLAN TO BE COVERED AND APPROVED BY AUTHORITIES HAVING JURISDICTION BEFORE STARTING CONSTRUCTION.
- WELLS AND SEPTIC DISPOSAL SYSTEMS TO BE LOCATED AND CONTRIBUED IN ACCORDANCE WITH HEALTH AUTHORITIES HAVING JURISDICTION.

**FOUNDATIONS**

- FOUNDATIONS SHALL BE CONCRETE ON SOLID UNDISTURBED BEARING AND BELOW FROST LINE.
- FOUNDATIONS WALLS SHALL NOT BE BACK FILLED UNLESS CONCRETE HAS REACHED ITS SPECIFIED 28-DAY STRENGTH AND THE FLOOR SYSTEM INCLUDING SHOOTING HAS BEEN INSTALLED OR UNITS ACCIDENTALLY SUBJECT TO APPROVAL BY AUTHORITY HAVING JURISDICTION.
- GRADES SHOWN ON PLANS ARE ESTIMATED. FOUNDATION WALL HEIGHTS MAY REQUIRE ADJUSTMENT TO SUIT SITE CONDITIONS.
- ALL CONCRETE AND MASONRY FOUNDATION WALLS EXCEEDING HEIGHT LIMITS SPECIFIED BY CURRENT BUILDING CODES REQUIRE ENGINEERING.
- PERIMETER DRAINAGE SHALL BE INSTALLED WHERE REQUIRED TO THE APPROVAL OF LOCAL AUTHORITIES.
- IT IS RECOMMENDED THAT ALL FOUNDATION WALLS 24" (600 MM) AND HIGHER SHALL HAVE ONE 12 MM (1/2" DIAMETER) REINFORCING BAR CENTERED 3" FROM TOP CORNER REINFORCING TO BE LAPPED MINIMUM 24".

**WOOD FRAMING**

- DIMENSIONS ARE FROM OUTSIDE FACE OF EXTERIOR STUDS TO CENTER OF PARTITION WALLS UNLESS OTHERWISE NOTED. FACE OF EXTERIOR STUD WALL FOUNDATION SHALL BE FLOOR.
- JOISTS SHALL BE DOUBLED UNDER PARALLEL PARTITIONS OVER 6'-0" LONG JOISTS TO BE PLACED TO ACCOMMODATE HEATING, PLUMBING, ETC.
- ALL LINTELS SHALL BE 2 - 2 X 10'S UNLESS OTHERWISE NOTED.
- WOOD IN CONTACT WITH CONCRETE TO BE DAMPPROOFED WITH 45 LBS. FELTS, LAY POLY OR OTHER APPROVED METHOD. PLATES TO BE ANCHORED TO CONCRETE WITH 1/2" DIAMETER ANCHOR BOLTS AT MAXIMUM 6'-0" O.C. OR OTHER APPROVED METHOD. EXTERIOR CONCRETE SILL PLATES TO BE LEVEL AND UNDERSEAL.
- FLOOR JOISTS AND ROOF JOISTS WITH SPANS MORE THAN 7'-0" SHALL BE CROSSGRADED AT MID SPAN OR AT 7'-0" O.C. UNLESS SHEATHING OR STRAPPED BOTH SIDES WITH WOOD. BRIDGING SHALL BE 2 X 2 DIAGONAL TYPE WHENEVER POSSIBLE.
- ROOF TRUSSES REQUIRE ENGINEER'S CERTIFICATE FOR PREHABITATED TRUSSES MUST OBTAIN CERTIFICATE FROM MANUFACTURER.

**INSULATION AND VENTILATION**

- MINIMUM INSULATION REQUIREMENTS:  
 ROOF (ATTC) R-50 (R.S.I. - 8.43)  
 ROOF/CEILING (SLOPING) R-28 (R.S.I. - 4.83)  
 WALLS R-24 (R.S.I. - 3.87)  
 INSULATION REQUIREMENTS 4000 DEGREE DAVE OR GREATER  
 R-60 (R.S.I. - 10.56)  
 R-24 (R.S.I. - 4.23)
- 6 MIL ULTRAVIOLET RESISTANT POLY AIR BARRIER SHALL BE INSTALLED ON THE WARM SIDE OF INSULATION.
- ALL ROOF SPACES SHALL BE VENTILATED WITH SOFFIT, ROOF, OR GABLE VENTS; OR A COMBINATION OF THESE EQUALLY DISTRIBUTED BETWEEN TOP OF ATTC SPACE AND OVERHANGING SOFFIT.
- PROVIDE BATTLES FOR AIR SPACE (IDEA TO SOFFIT) VENTING INSULATION AND ROOF SHEATHING AT EXTERIOR WALL LINE.
- NOTES ON ROOF SPACES TO BE VENTED MINIMUM 1/300 OF AREA. UNHEATED CRAWLSPACES TO BE VENTED MINIMUM 1/500 OF AREA WITH CLOSABLE VENTS.

**FINISHING**

- OWNER SHALL SPECIFY ALL INTERIOR AND EXTERIOR FINISHING. OWNER SHALL CONFIRM ANY FINISHING SHOWN ON PLANS.
- EXTERIOR DOORS SHALL BE SOLID CORE/INSULATED AND WEATHER-STRIPPED. GARAGE DOORS TO DRILLING TO BE AS ABOVE AND SELF-CLOSING.
- FLUSH AT ALL HORIZONTAL CHANGES IN EXTERIOR FINISHING AND CHALK AROUND ALL EXTERIOR OPENINGS. FLUSH OVER ALL UNIMPACTED OPENINGS.
- WINDOW SIZES ARE SHOWN IN FEET AND INCHES.  
 4'-0" x 4'-0" = 4'-0" WIDE BY 3'-4" HIGH  
 DOOR SIZES ARE WHICH SHOWN BY 6'-0" HIGH  
 LE 2P = 2" x 6" WIDE BY 6'-0" HIGH
- OPENINGS IN PARTITIONS SHOWN WITHOUT DOORS ARE FULL HEIGHT UNLESS SHOWN AS AN ARCH. ARCHES ARE FRAMED 7'-0" HIGH UNLESS OTHERWISE NOTED.
- COAT AND CLOTHES CLOSETS SHALL HAVE ONE ROD AND SHEET. LUBEN CLOSETS SHALL HAVE 5 ADJUSTABLE SHELVES WHERE POSSIBLE. BROODEN CLOSETS SHALL HAVE ONE SHELF.
- ALL BATHROOMS SHALL HAVE A WALL MIRROR AND ONE LOCKABLE DRESSING CABINET.

**HEATING**

- INSTALLATION OF EXTER HEATING SYSTEM MUST COMPLY WITH MANUFACTURER'S DIRECTIONS (WHERE APPLICABLE) AND CONFORM WITH LOCAL CODES AND REGULATIONS IN ALL RESPECTS.
- Gas CONNECTION WILL REQUIRE SEPARATE PERMIT AND INSPECTION.
- FUEL BURNING APPLIANCES INCLUDING FURNACES, HEATERS AND STOVES, TO BE PROVIDED WITH COMBUSTION AIR SUPPLY FROM EXTERIOR.

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**ELECTRICAL SYMBOLS**

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
[Symbol]	SURFACE MOUNTED LIGHT FIXTURE	[Symbol]	DOUBLE RECEPTACLE NUMBER	[Symbol]	GARAGE DOOR OPERATOR
[Symbol]	RECESSED LIGHT FIXTURE	[Symbol]	DOOR OPERATOR	[Symbol]	DOOR OPERATOR
[Symbol]	RECESSED LIGHT FIXTURE	[Symbol]	DOOR OPERATOR	[Symbol]	DOOR OPERATOR
[Symbol]	RECESSED LIGHT FIXTURE	[Symbol]	DOOR OPERATOR	[Symbol]	DOOR OPERATOR
[Symbol]	RECESSED LIGHT FIXTURE	[Symbol]	DOOR OPERATOR	[Symbol]	DOOR OPERATOR

**JENSH HOUSE DESIGN LIMITED**  
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REFERENCE: CUSTOM  
 DRAWING: TB  
 CHECKED: DJ  
 DATE: MARCH 2022  
 SCALE: 1/4" = 1'-0"  
 SHEETS: 5 OF 5  
 PLAN NUMBER: 5-2-685



June 13, 2022

**ATTACHMENT**      **D**

This forms part of application  
# **A22-0003**

Planner Initials **TC**

City of **Kelowna**  
DEVELOPMENT PLANNING

Local Government File:      A22-0003

Tyler Caswell  
City of Kelowna  
1435 Water Street  
Kelowna, B.C. V1Y 4J4  
[planninginfo@kelowna.ca](mailto:planninginfo@kelowna.ca)

**RE: Non-Adhering Residential Use, 1368 Teasdale Rd, PID 011-041-781**

Dear Tyler Caswell,

Thank you for providing Ministry of Agriculture and Food (Ministry) staff the opportunity to comment on the referenced application. We have reviewed the documents provided and offer the following comments:

- Ministry staff understand that there are currently two dwellings (176.52 m<sup>2</sup> and 74 m<sup>2</sup>, respectively) on the property; both are owner occupied. This application proposes that one of the houses remain and a new, larger dwelling is built. The application notes that the smaller dwelling that is proposed for replacement is unliveable, citing a cracked foundation. Ministry staff assume that this house will be demolished following construction of the new house, although this was not explicitly stated in the application materials.
- The agricultural capability of the property is mapped as a mix of improved classes 2 and 3. The dominant limitations are soil moisture deficiency and topography.
- Ministry staff note a reasonably large-scale apple orchard and Temporary Farm Worker accommodation, consisting of small cabins, on the parcel.
- The new dwelling will not be located on the same footprint as the one it is replacing, but will be located closer to the existing dwelling that will remain. This will result in the two dwellings being sited on a contiguous residential footprint, consistent with the ministry's [Guide for Bylaw Development in Farming Areas](#).
- Assuming that the older dwelling will be demolished following construction, ministry staff have no objection to the application proceeding to the Agricultural Land Commission (ALC) for decision.

**ATTACHMENT**          **D**

This forms part of application  
# A22-0003

Planner Initials TC

City of   
**Kelowna**  
DEVELOPMENT PLANNING

If you have any questions, please contact us directly.

Sincerely,



Alison Fox  
Land Use Agrologist  
Ministry of Agriculture and Food  
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