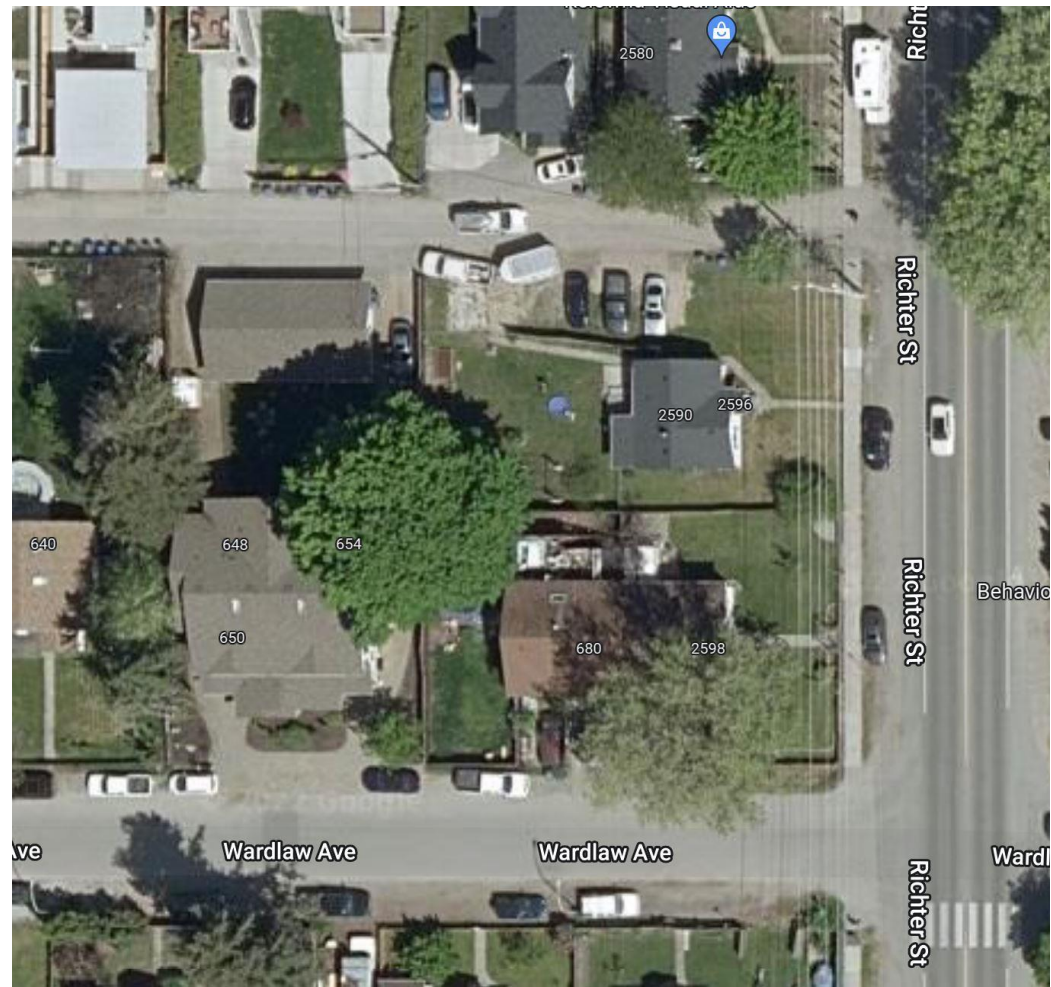


An architectural rendering of a modern, multi-story townhouse building. The building features a mix of light and dark grey panels, large windows, and balconies with glass railings. The text "Proposed 5-Units Townhouse" is overlaid in white. A white horizontal line is positioned below the title. The address "2590 Richter Street Kelowna" is written in white below the line. The building is set on a flat, light grey base with a fence in the foreground.

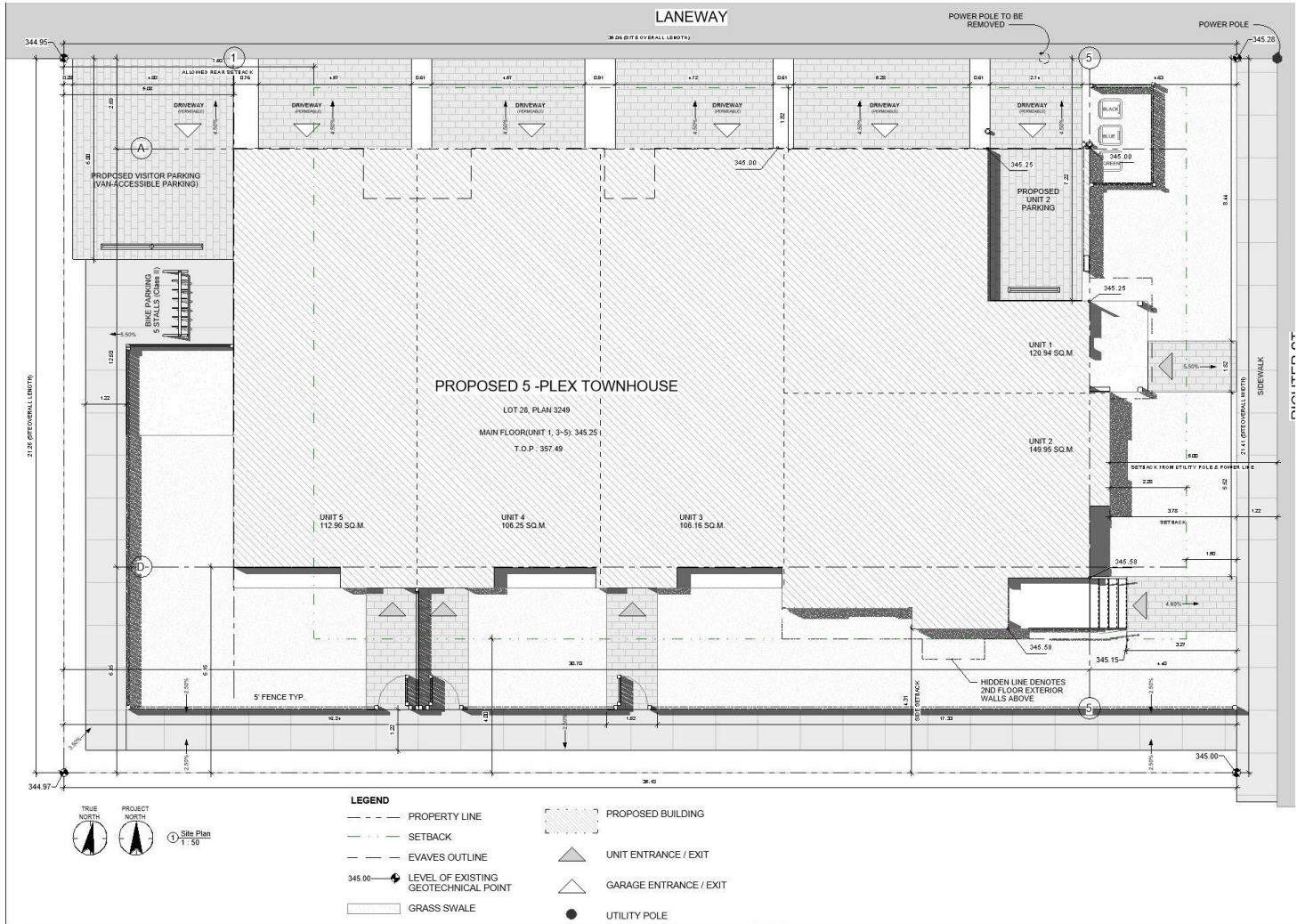
# Proposed 5-Units Townhouse

2590 Richter Street Kelowna



2590 Richter Street Kelowna, BC

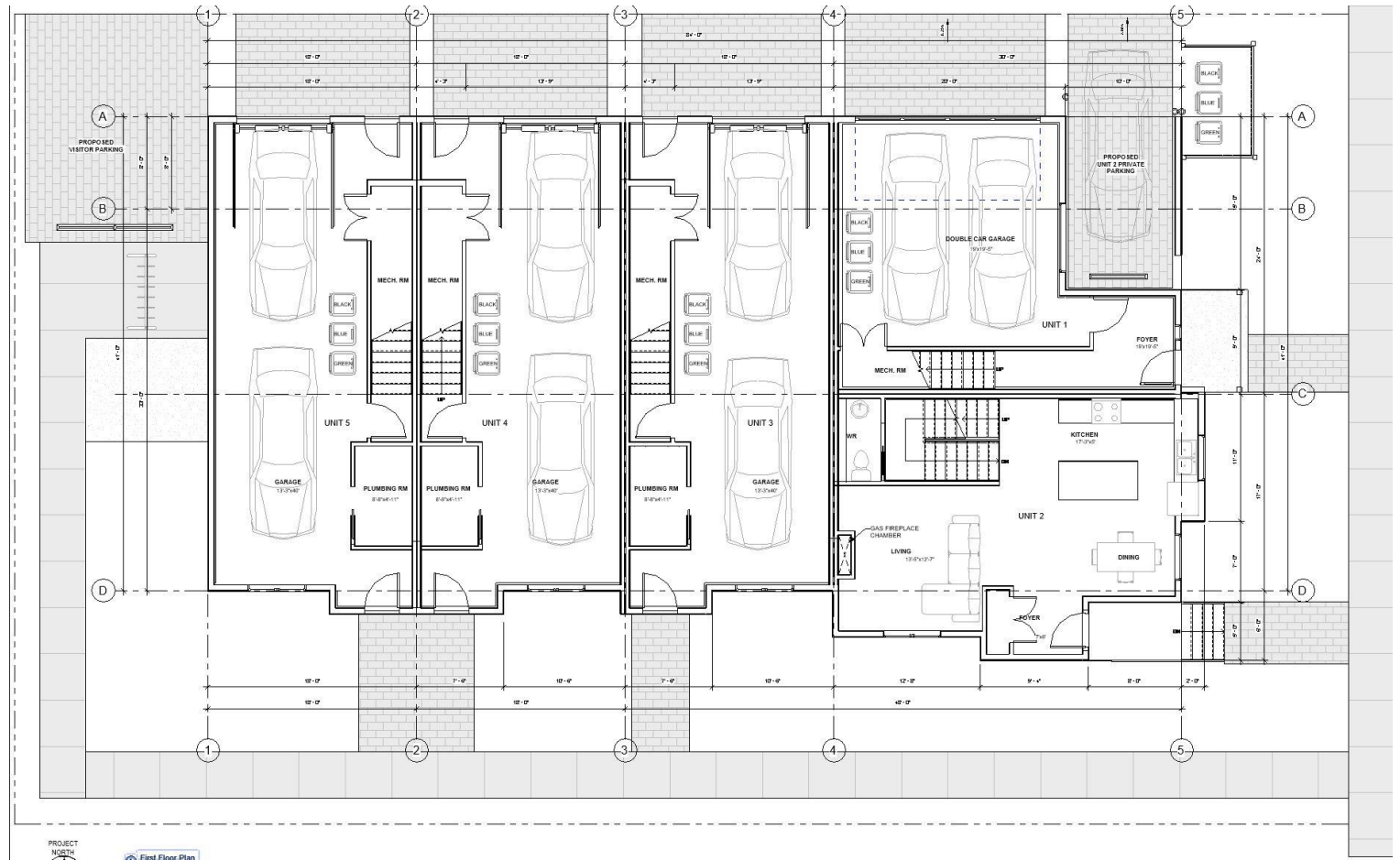
# SITE PLAN



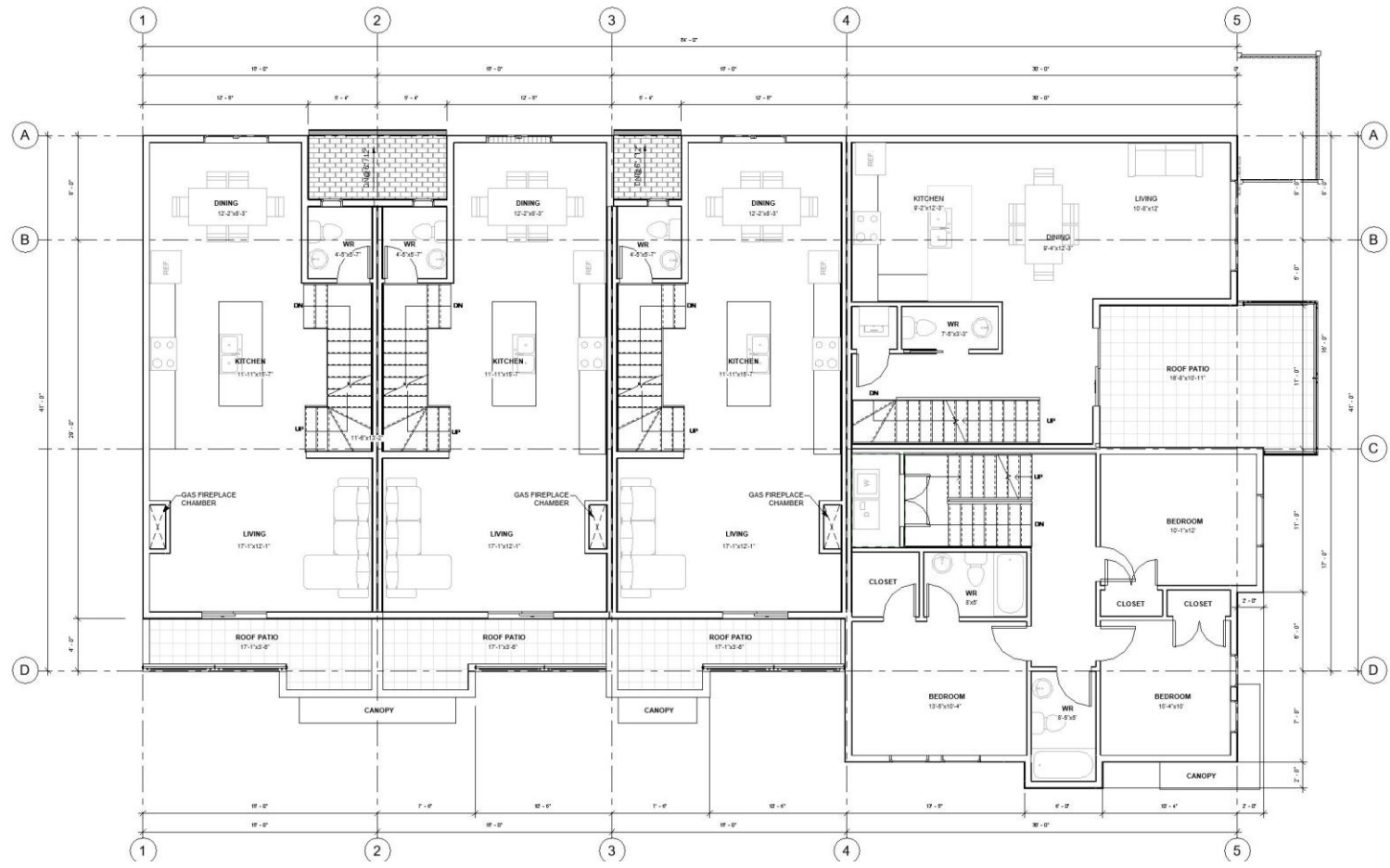




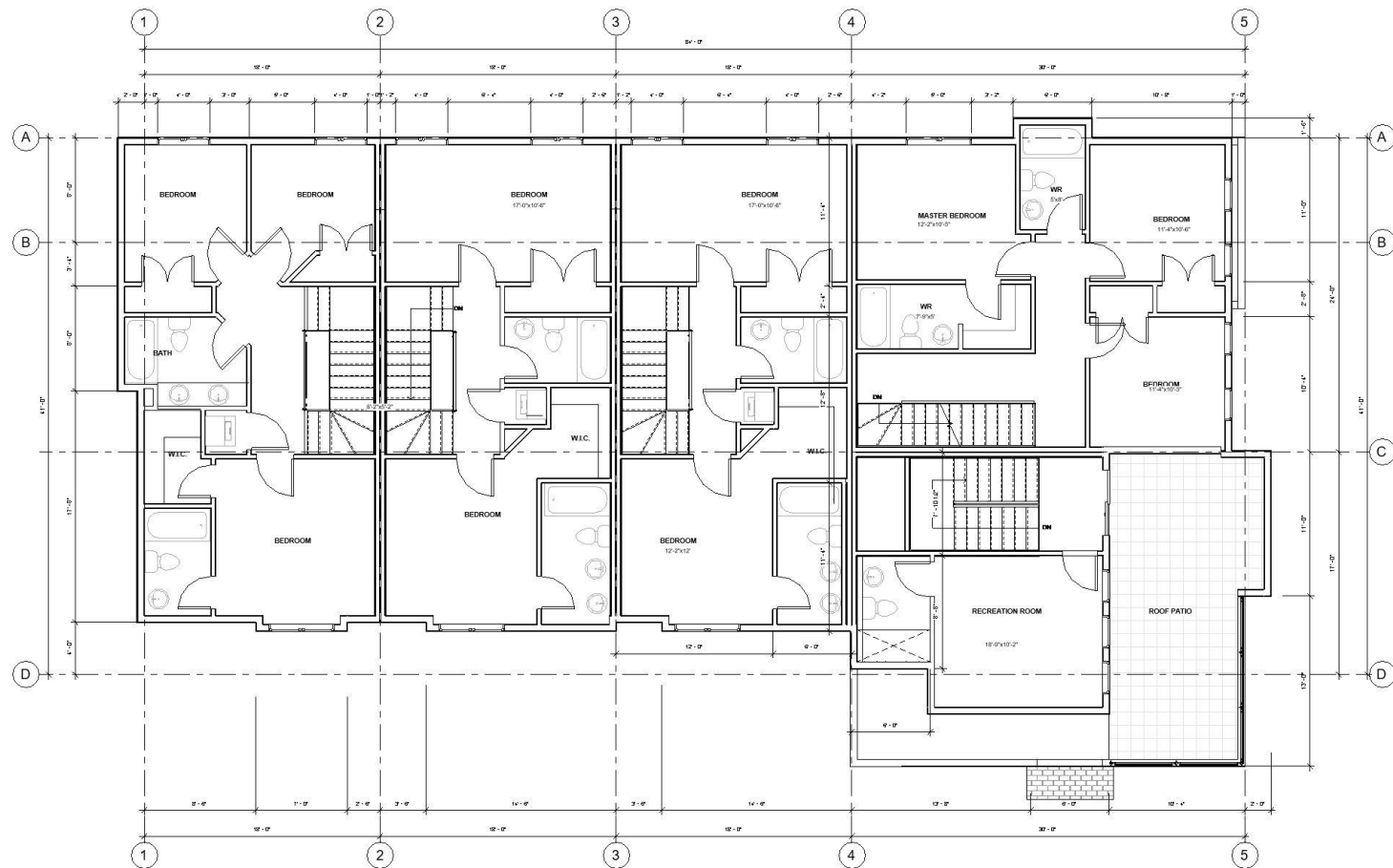
# First Floor Plan



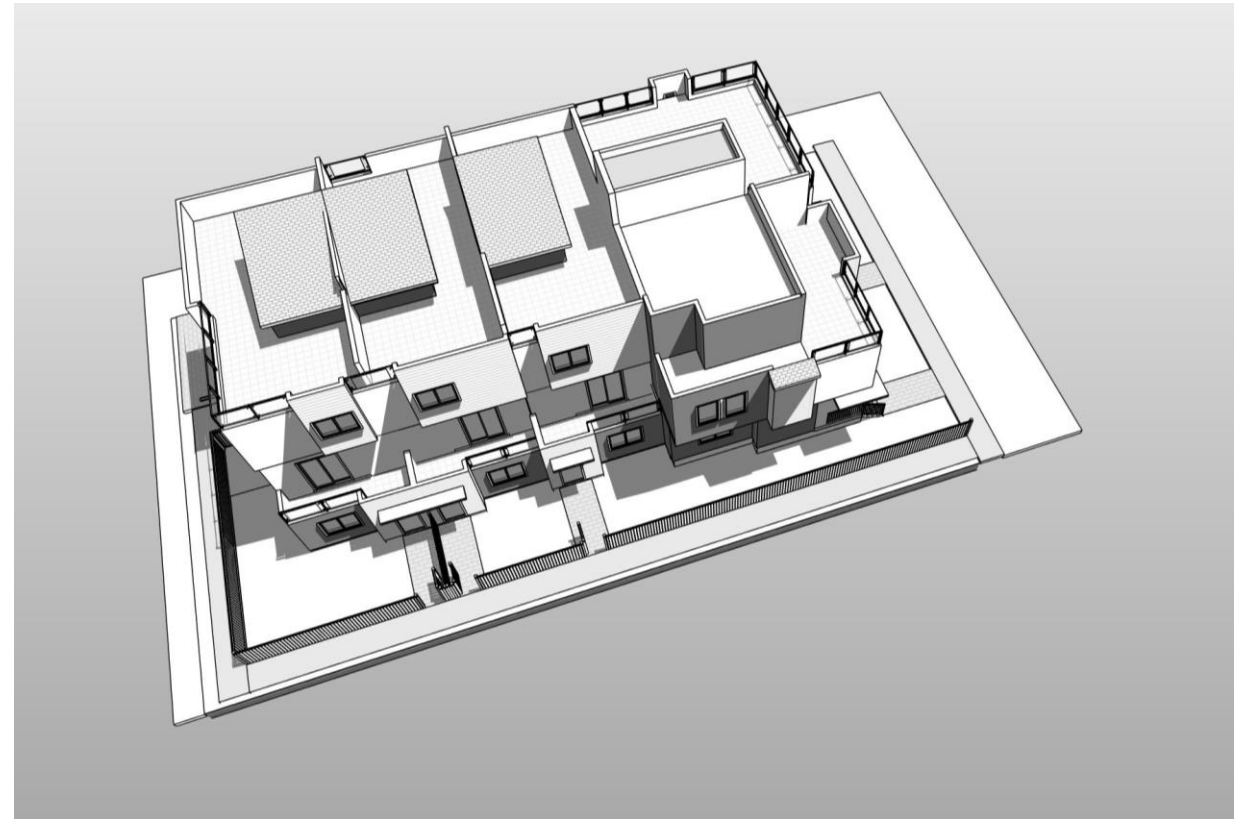
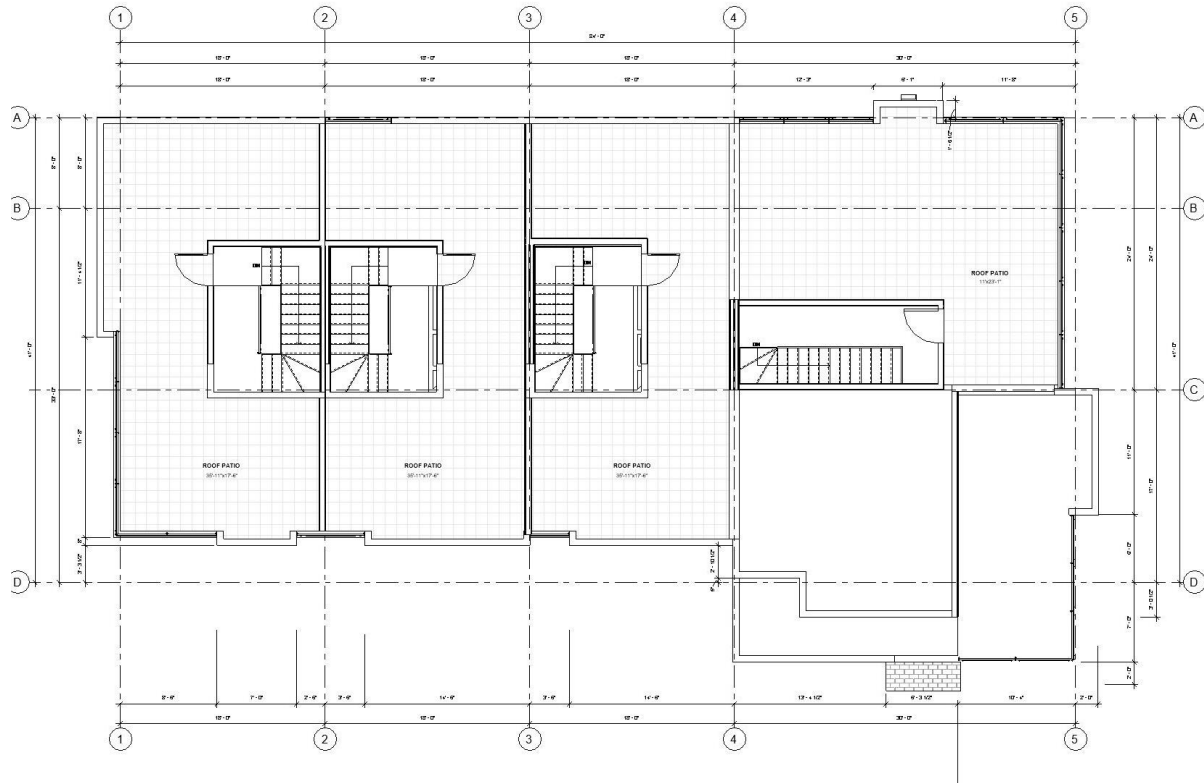
# Second Floor Plan



# Third Floor Plan

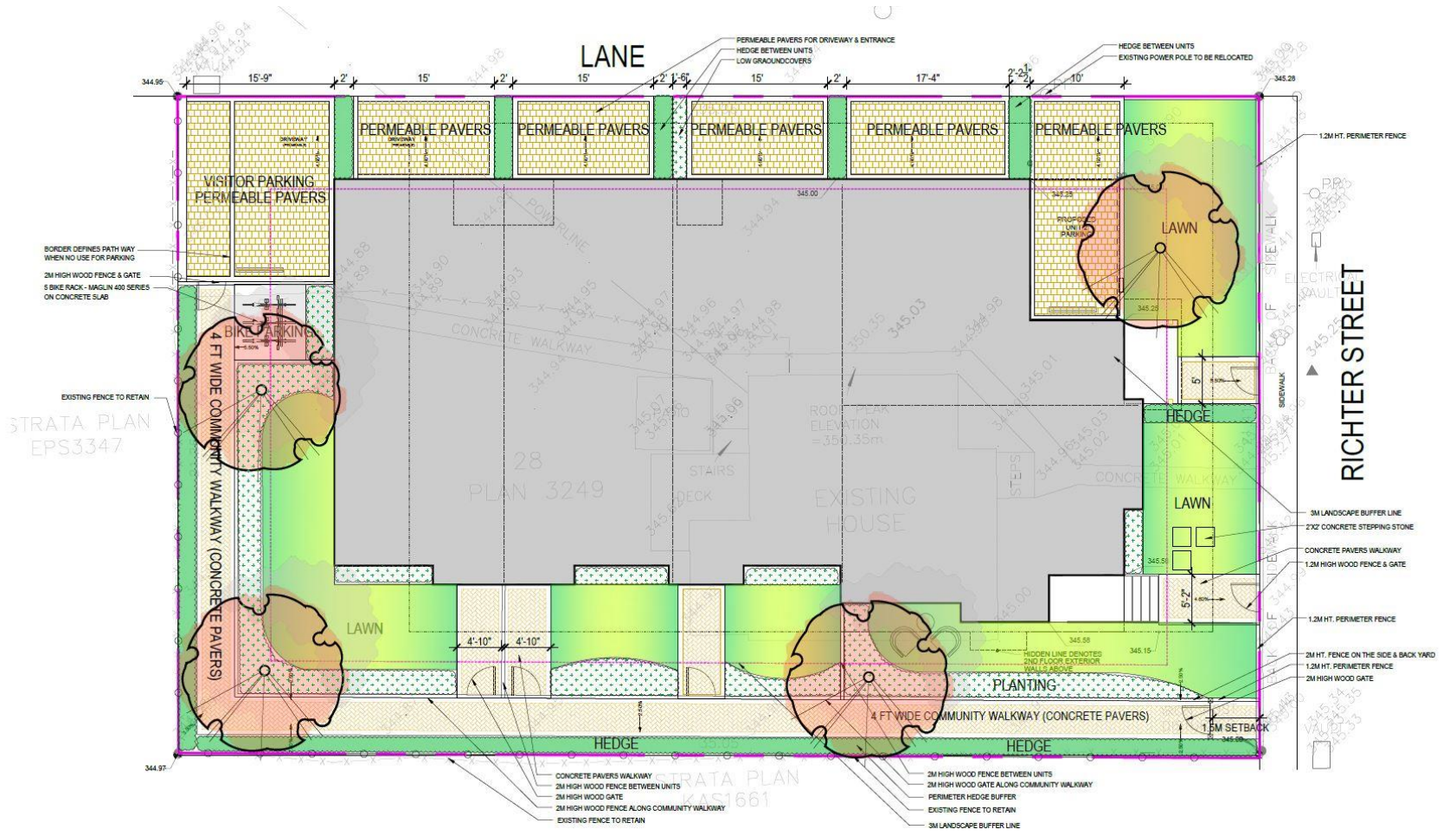


# Roof top Patio





# Landscaping



**1** LANDSCAPE SITE PLAN

SCALE 3/16" = 1'-0"

# Landscaping

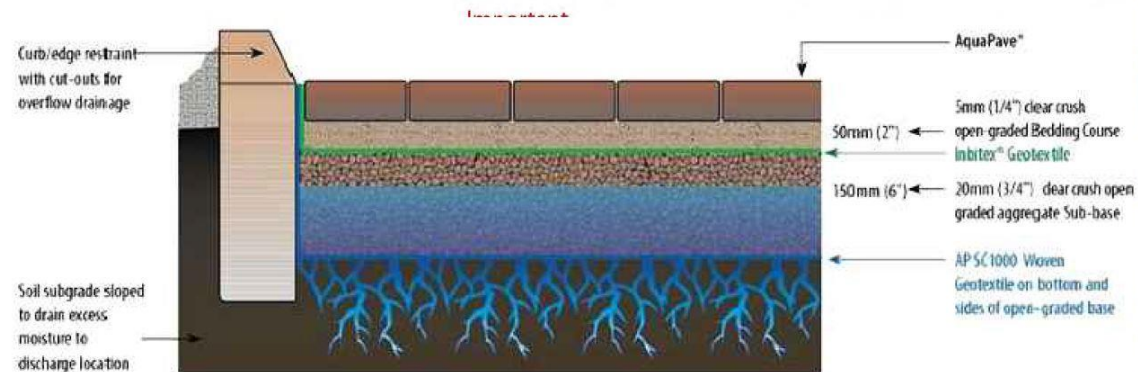
## PERMEABLE PAVERS SPECIFICATION



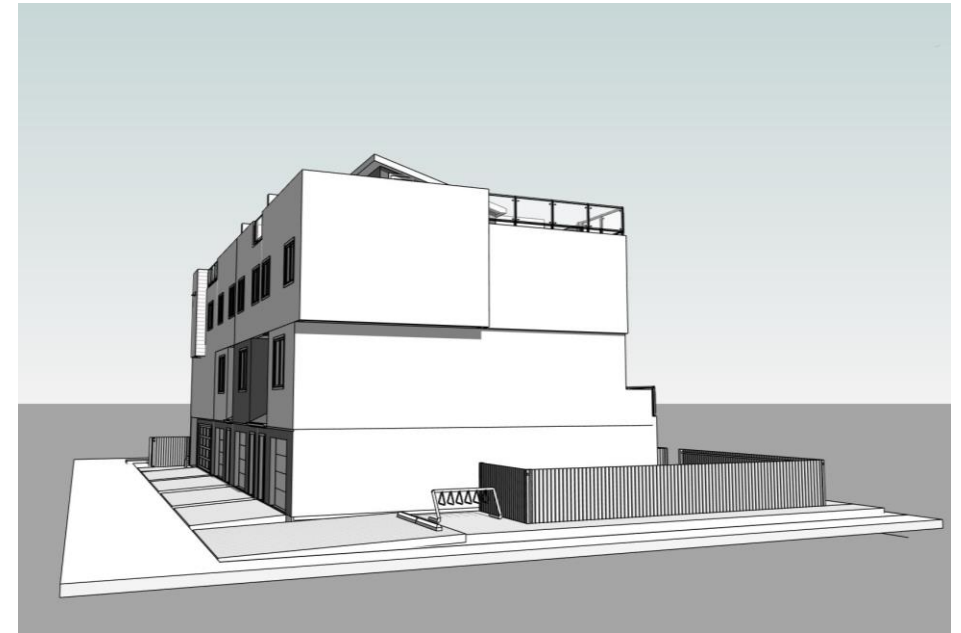
PERMEABLE PAVERS: AQUAPAVE  
 SUPPLIER: ABBOTSFORD CONCRETE PRODUCT  
 COLOR: SANDALWOOD BLEND  
 SIZE: MIXED TYPE 1,2,3,4,5

Shapes and Sizes

Type 1	Type 2	Type 3	Type 4	Type 5
9" x 12" x 3 9/16" 228mm x 304mm x 90mm	6" x 12" x 3 9/16" 152mm x 304mm x 90mm	9" x 9" x 3 9/16" 228mm x 228mm x 90mm	6" x 9" x 3 9/16" 152mm x 228mm x 90mm	6" x 6" x 3 9/16" 152mm x 152mm x 90mm



		ALLOWABLE	PROPOSED
Floor Area Ratio (FAR)		0.75+0.05=0.8 8,063X0.8=6,450 sq.ft. (599 sq.m.)  <b>Parking Spaces</b> are screened from public review.	6,417 / 8063 = 0.796 8,063X0.796=6,417 sq.ft. (596 sq.m.)
Building Site Coverage		50%; 4,035 sq.ft. (375 sq.m.)  Increased to a maximum of 50% if <b>private open space</b> for each unit can be provided on a deck, patio, balcony or rooftop deck which exceeds the bylaw requirement by 10%.	43%; 3,494 sq.ft. (325 sq.m.)
Site Coverage		65%; 5,241 sq.ft. (487 sq.m.) The maximum site coverage of buildings, driveways, and parking areas is 60%. This may be increased by 5% (to a maximum of 65%) for permeable drive surfaces and parking.	64%; 5,212 sq.ft. (484 sq.m.)  Permeable drive surfaces and parking provided.
Building Height		10.00 m	8.92 m + stairwell up to rooftop patio
Yard Setbacks	Front	1.50 m (Min. 3.0 m landscape buffer)	3.78 m
	Side	4.00 m / 1.20m (To Lane) (Min. 3.0 m landscape buffer)	4.00 m / 2.69m (To Lane)
	Rear	7.50 m (Min. 3.0 m landscape buffer)	5.08 m ( <b>Variance</b> )
Parking Calculation	1.5 Per Unit / 2 Bedrooms	1.5 X 2 = 3 (Required)	10  Variance for Visitor parking setback.
	2 Per Unit / 3 Bedrooms	2 X 3 = 6 (Required)	
	0.14 Per Unit / Visitor	0.14 X 5 ≈ 1 (Required)	
Bike	4 Spaces or 1 Per 5 Unit	4 Spaces	5 Spaces





An architectural line drawing of a modern, multi-story residential building. The building features a mix of light and dark grey panels, numerous windows of various sizes, and balconies with glass railings. A fence runs along the front of the property, and a set of stairs leads to an entrance. The number '2500' is visible on the building's facade. The entire scene is rendered in a clean, minimalist style with a dark grey background.

Thank you.