

SCHEDULE

A

This forms part of application
DP22-0054



City of
Kelowna
DEVELOPMENT PLANNING

Planner
Initials **WM**



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Architect



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MERIDIAN
DEVELOPMENT



630 BOYNTON PLACE
LOT A, SECTION 31 TOWNSHIP 26 OSOYOOS DIVISION
YALE DISTRICT PLAN EPP98227

21-010

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REVISION:

DEVELOPMENT PROPOSAL
DATE 12/09/21
DRAWN 8890
CHECKED 8890

COVER SHEET
A000

PROJECT TEAM

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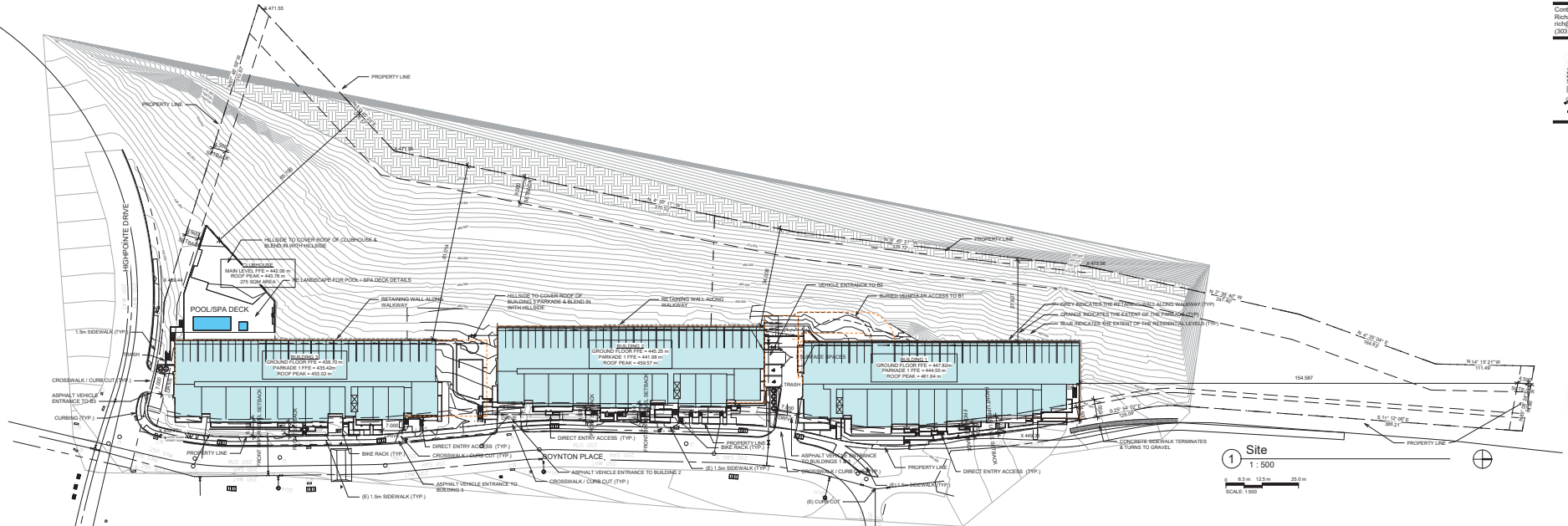
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(250) 808-5113

ARCHITECTURE				CIVIL		LANDSCAPE	
Sheet Number	Sheet Name	Sheet Number	Sheet Name	Sheet Number	Sheet Name	Sheet Number	Sheet Name
A000	COVER SHEET	A133	BUILDING 3 - LEVEL 1	SK-01-1	BUILDING 1 PRELIMINARY GRADING	L-0	COVER PAGE
A100	SITE PLAN	A134	BUILDING 3 - LEVEL 2	SK-01-2	BUILDING 2 PRELIMINARY GRADING	L-1	LANDSCAPE PLAN - NORTH ENLARGEMENT
A101	SITE PLAN - BUILDING 1	A135	BUILDING 3 - LEVEL 3	SK-01-3	BUILDING 3 PRELIMINARY GRADING	L-2	LANDSCAPE PLAN - SOUTH ENLARGEMENT
A102	SITE PLAN - BUILDING 2	A136	BUILDING 3 - ROOF PLAN	SK-01-4	PRELIMINARY GRADING SECTIONS	L-3	HYDROZONE PLAN
A103	SITE PLAN - BUILDING 3	A150	CLUBHOUSE PLAN	SK-02	PRELIMINARY SITE SERVICING		
A111	BUILDING 1 - PARKADE 1	A300	STREETSCAPE COLORED ELEVATIONS				
A112	BUILDING 1 - GROUND FLOOR	A301	STREETSCAPE ELEVATIONS				
A113	BUILDING 1 - LEVEL 1	A310	BUILDING 1 - COLORED ELEVATIONS				
A114	BUILDING 1 - LEVEL 2	A311	BUILDING 1 - ELEVATIONS				
A115	BUILDING 1 - LEVEL 3	A320	BUILDING 2 - COLORED ELEVATIONS				
A116	BUILDING 1 - ROOF PLAN	A321	BUILDING 2 - ELEVATIONS				
A121	BUILDING 2 - PARKADE 1	A330	BUILDING 3 - COLORED ELEVATIONS				
A122	BUILDING 2 - GROUND FLOOR	A331	BUILDING 3 - ELEVATIONS				
A123	BUILDING 2 - LEVEL 1	A340	CLUBHOUSE - COLORED ELEVATIONS				
A124	BUILDING 2 - LEVEL 2	A341	CLUBHOUSE - ELEVATIONS				
A125	BUILDING 2 - LEVEL 3	A400	BUILDING 1 SECTIONS				
A126	BUILDING 2 - ROOF PLAN	A401	BUILDING 2 SECTIONS				
A131	BUILDING 3 - PARKADE 1	A402	BUILDING 3 SECTIONS				
A132	BUILDING 3 - GROUND FLOOR	A400	SOULAR STUDY - KELOWNA				



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CURRENT ZONING = RM4
PROPOSED ZONING = RM4

RM4 ZONING NOT WITHIN THE URBAN CENTER:
STUDIO REQUIRES 1.00 PARKING SPACE PER UNIT
1-BR REQUIRES 1.25 PARKING SPACES PER UNIT
2-BR REQUIRES 1.5 PARKING SPACES PER UNIT
3-BR REQUIRES 2.0 PARKING SPACES PER UNIT

BUILDING 1 MIX
14 STUDIOS (REQUIRES 14 PARKING SPACES)
40 1-BEDROOM (REQUIRES 50 PARKING SPACES)
23 2-BEDROOM (REQUIRES 35 PARKING SPACES)
TOTAL LEVELS = 77 UNITS PER BUILDING
77 UNITS REQUIRE 99 PARKING SPACES + 11 VISITOR SPACES TOTAL = 110 TOTAL PARKING SPACES / BUILDING 1

BUILDING 2 MIX
11 STUDIOS (REQUIRES 12 PARKING SPACES)
39 1-BEDROOM (REQUIRES 47.5 PARKING SPACES)
26 2-BEDROOM (REQUIRES 39 PARKING SPACES)
TOTAL LEVELS = 76 UNITS PER BUILDING
76 UNITS REQUIRE 99 PARKING SPACES + 11 VISITOR SPACES TOTAL = 110 TOTAL PARKING SPACES / BUILDING 2

BUILDING 3 MIX
12 STUDIOS (REQUIRES 12 PARKING SPACES)
35 1-BEDROOM (REQUIRES 43.75 PARKING SPACES)
27 2-BEDROOM (REQUIRES 40.5 PARKING SPACES)
TOTAL LEVELS = 74 UNITS PER BUILDING
74 UNITS REQUIRE 96 PARKING SPACES + 10 VISITOR SPACES TOTAL = 106 TOTAL PARKING SPACES / BUILDING 3

BUILDING 1 PARKADE CONTAINS 99 PARKING SPACES OVER 1.5 LEVELS (INCLUDES 1 VAN AND 2 ACCESSIBLE SPACES)
BUILDING 2 PARKADE CONTAINS 97 PARKING SPACES OVER 1.5 LEVELS (INCLUDES 1 VAN AND 1 ACCESSIBLE SPACE)
BUILDING 3 PARKADE CONTAINS 124 PARKING SPACES OVER 1.5 LEVELS (INCLUDES 0 VAN AND 1 ACCESSIBLE SPACE)

TOTAL REQUIRED PARKING = 294 RESIDENTS + 32 GUESTS = 326 SPACES
PER KELOWNA ZONING 8.2.19 ACCESSIBLE PARKING STANDARDS, IF THERE ARE 326 PARKING SPACES ON SITE, THEN THERE SHALL BE 7 ACCESSIBLE SPACES AND 2 VAN SPACES.

PROVIDED PARKING = 320 PARKADE SPACES + 7 SURFACE SPACES = 327 SPACES

MAX SITE COVERAGE ALLOWED = 50%
SITE AREA = 31,680 sm
BUILDING 1 = 2,475 sm, BUILDING 2 = 2,475 sm, BUILDING 3 = 2,846 sm, CLUBHOUSE/POOL DECK = 845 sm, TOTAL = 8,641 sm
SITE COVERAGE = 8,641 sm / 31,680 sm = 27.28%
INCLUDING PAVING/PARKING = 29.1%

MAX FLOOR AREA RATIO ALLOWED = 0.65 (OR 0.85 IF KELOWNA CONSIDERS ALL SPACES SCREENED)
BUILDING 1 = 5,907 sm, BUILDING 2 = 6,050 sm, BUILDING 3 = 6,076 sm, CLUBHOUSE = 257 sm TOTAL = 18,290 sm
FLOOR AREA RATIO = 18,290 sm / 31,680 sm = .58

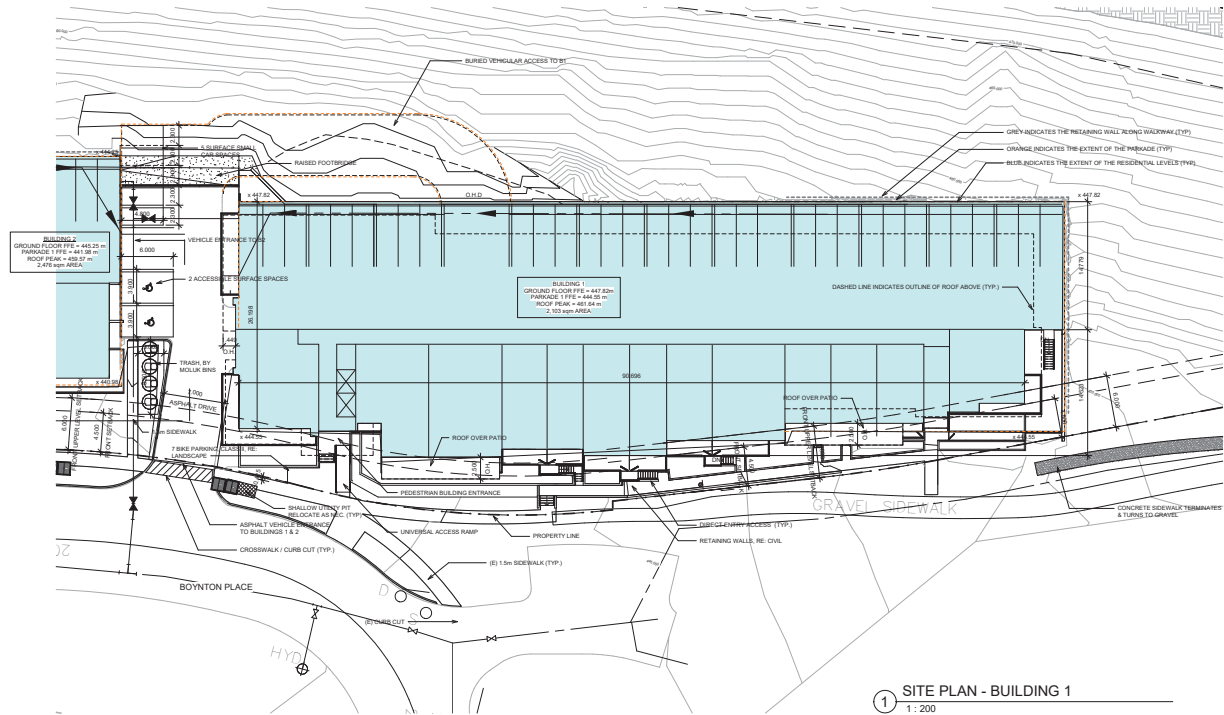
ZONING BYLAW SUMMARY

SITE	REQUIRED	PROPOSED
ZONE	RM4	RM4
PRINCIPAL USE	MULTIPLE DWELLING UNIT	MULTIPLE DWELLING UNIT
MINIMUM LOT WIDTH	30m	47.3m
MINIMUM LOT DEPTH	30m	148m
MINIMUM LOT AREA	900 sq m	31,680 sq m
MAXIMUM HEIGHT	LESSER OF 13.0m OR 3 STOREYS	3 STOREYS
BUILDING SETBACKS		
MINIMUM FRONT YARD	4.5m	4.5m
MINIMUM SIDE YARD	4.5m	4.5m
MINIMUM REAR YARD	9.0m	9.0m
PRIVATE OPEN SPACE	7.5 sq m / STUDIO 15.0 sq m / 1 BEDROOM 25.0 sq m / 2 BEDROOM	MET MET MET
DRIVE AISLE WIDTH	7.0m	7.0m
REGULAR PARKING STALL	2.5m x 6.0m	2.5m x 6.0m
BICYCLE PARKING INSIDE	0.75 / 2 BEDROOM OR LESS	1 PER UNIT IN GARAGE STORAGE
BICYCLE PARKING OUTSIDE	+1 FOR EVERY 5 UNITS OVER 70	7 FOR BUILDING 1 7 FOR BUILDING 2 / 6 FOR BUILDING 3

630 BOYNTON PLACE
LOT A SECTION 31 TOWNSHIP 28 OSOYOOS DIVISION
YALE DISTRICT PLAN EPP982Z7
21-010

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DRAWN 8894
CHECKED 8897



1 SITE PLAN - BUILDING 1
1:200

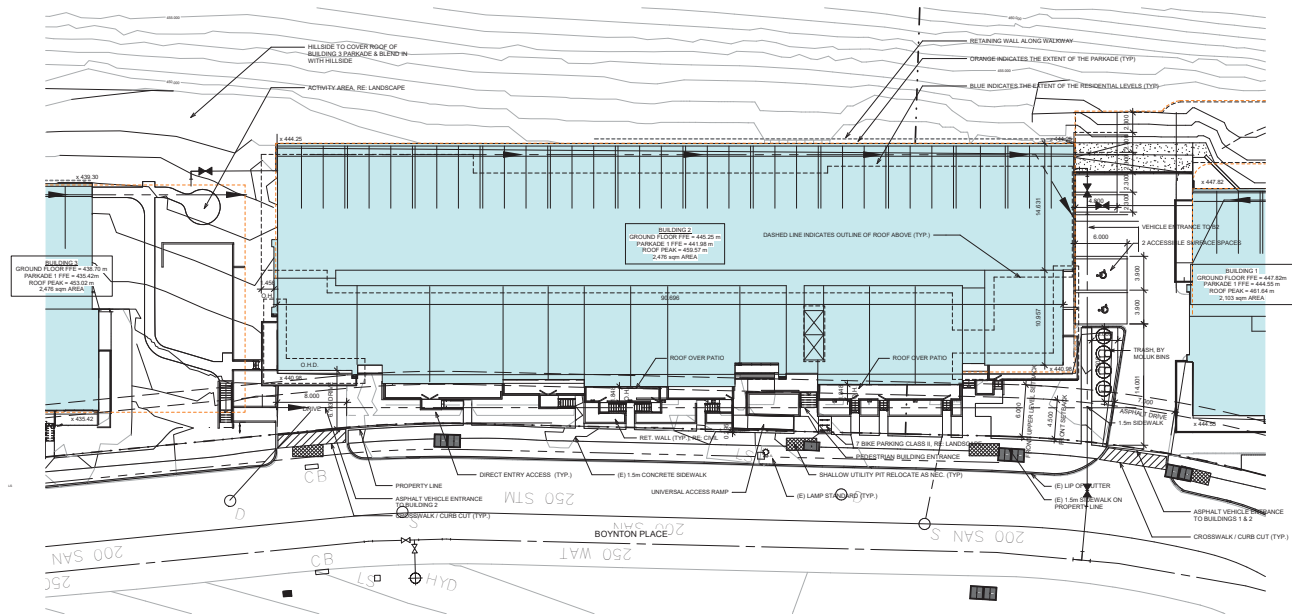


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SITE PLAN -
BUILDING 1
A101



1 SITE PLAN - BUILDING 2
1 : 200



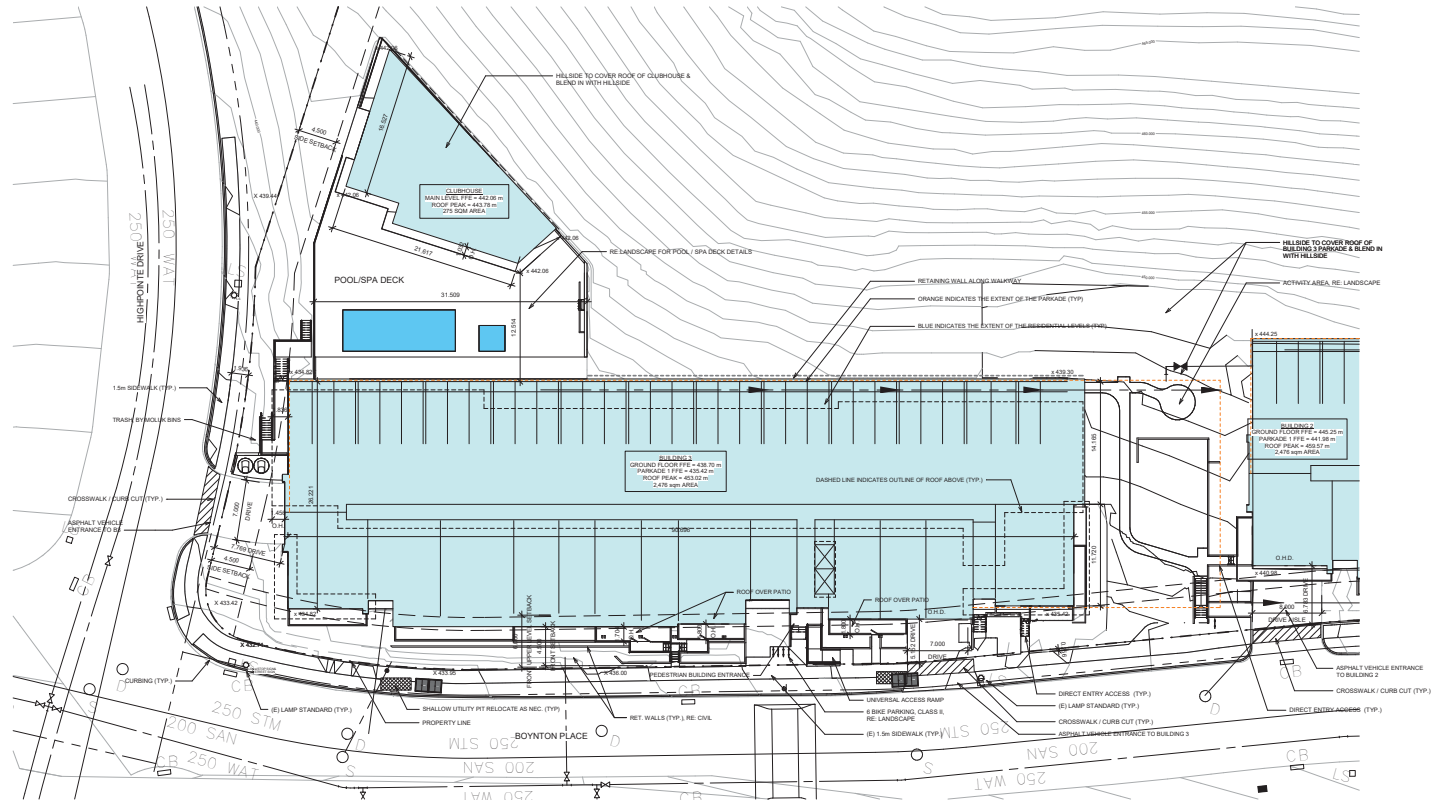
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DRAWN	BY	8894
CHECKED	BY	8897

SITE PLAN -
BUILDING 2
A102



1 SITE PLAN - BUILDING 3
AND CLUBHOUSE
1:200

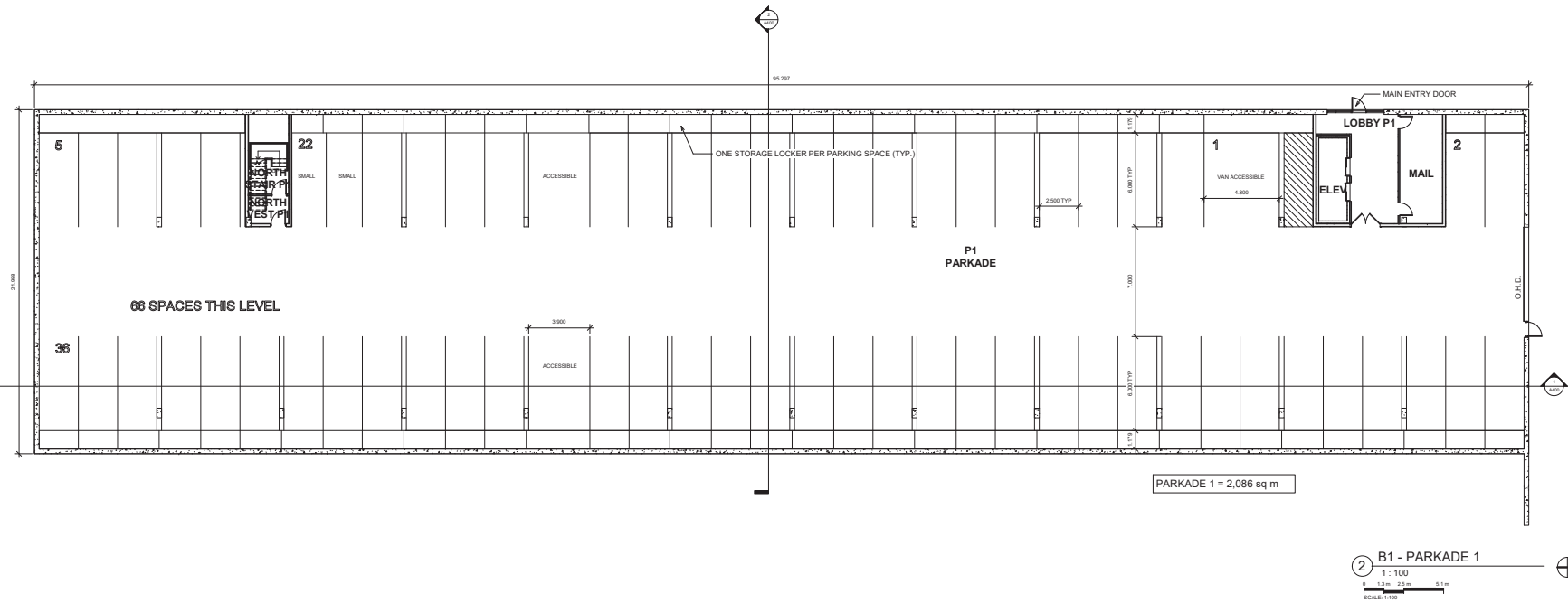


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YALE DISTRICT PLAN EPP982Z7
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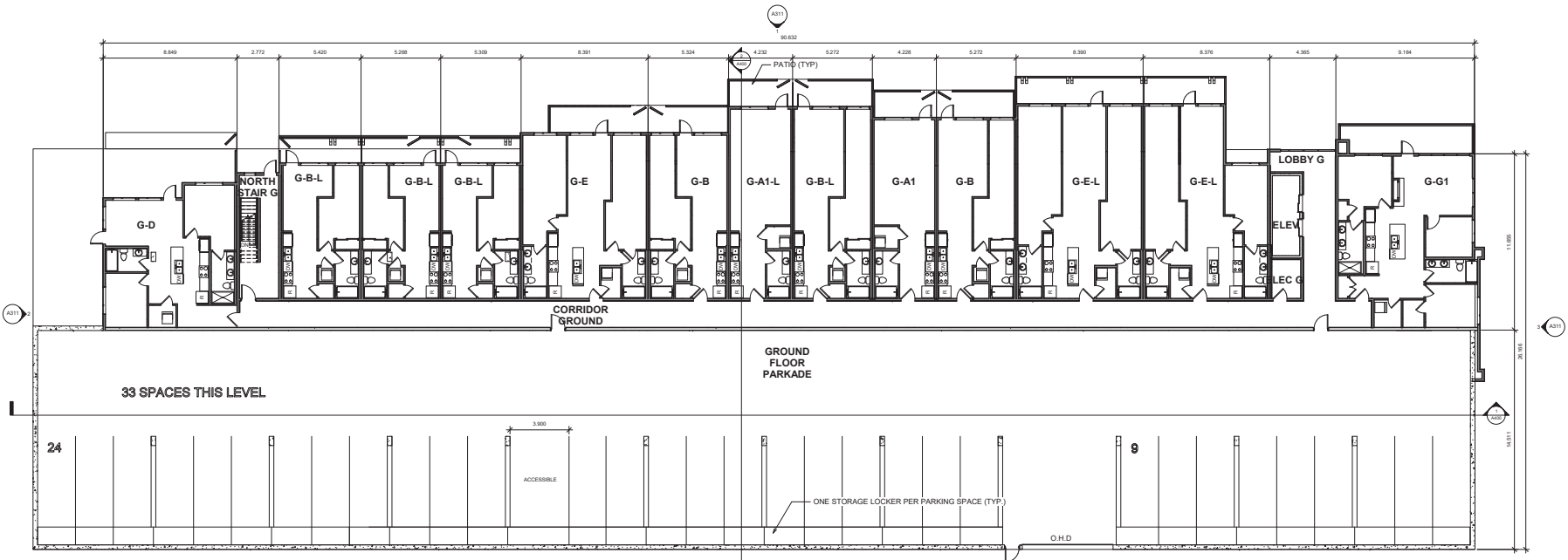
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DRAWN 9804
CHECKED 8897

SITE PLAN -
BUILDING 3
A103

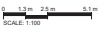


② B1 - PARKADE 1
1:100
0 15' 30' 45'
SCALE 1/8" = 1'-0"



13 RESIDENTIAL UNITS, 1,141 sq m
PARKADE 1 = 1,334 sq m

1 B1 - GROUND FLOOR
1:100

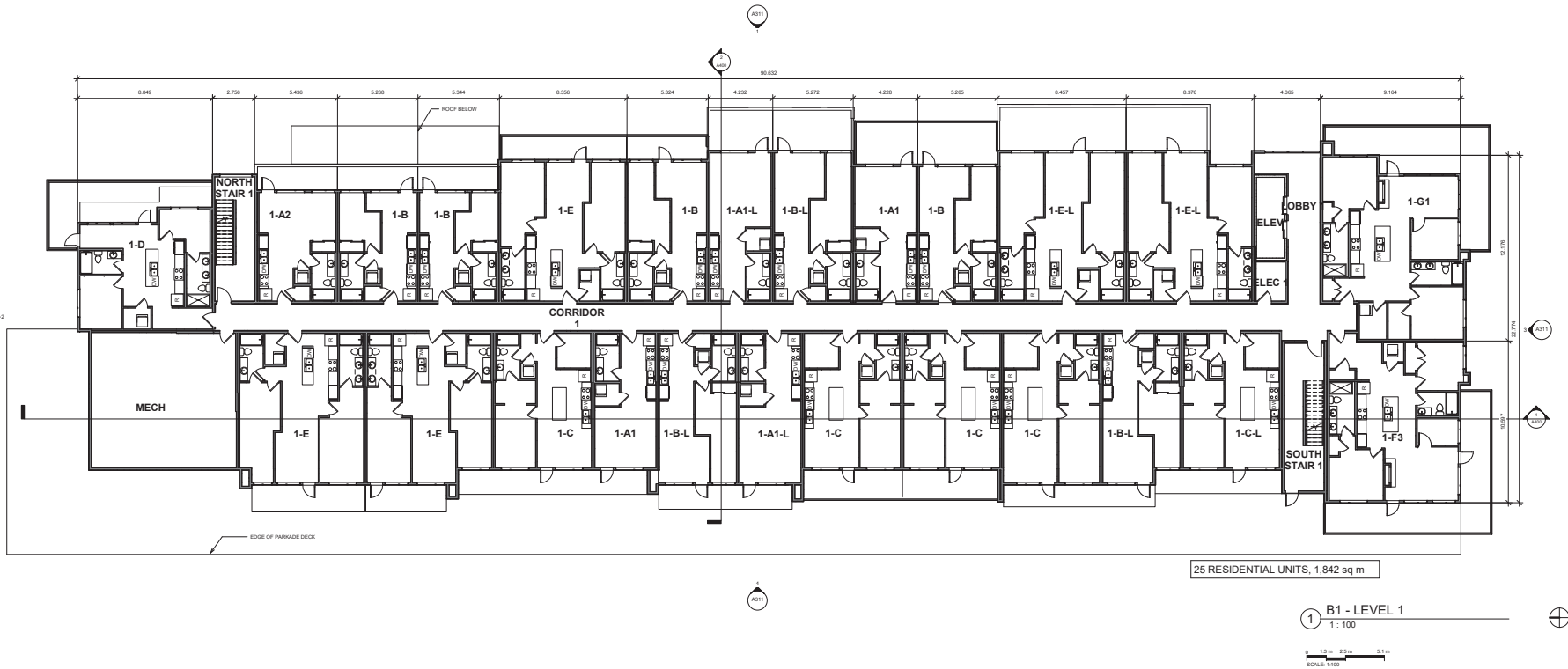


630 Boynton Place
LOT A SECTION 31 TOWNSHIP 28 OSOYOOS DIVISION
YALE DISTRICT PLAN EPP9827

21-010

Development Proposal
DATE: 12/09/21
DRAWN: 8984
CHECKED: 8987

BUILDING 1 -
GROUND FLOOR
A112



630 Boynton Place
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BUILDING 1 -
LEVEL 1
A113



26 RESIDENTIAL UNITS, 1,842 sq m

1 B1 - LEVEL 2
1:100

0 13m 25m 51m
SCALE 1:100

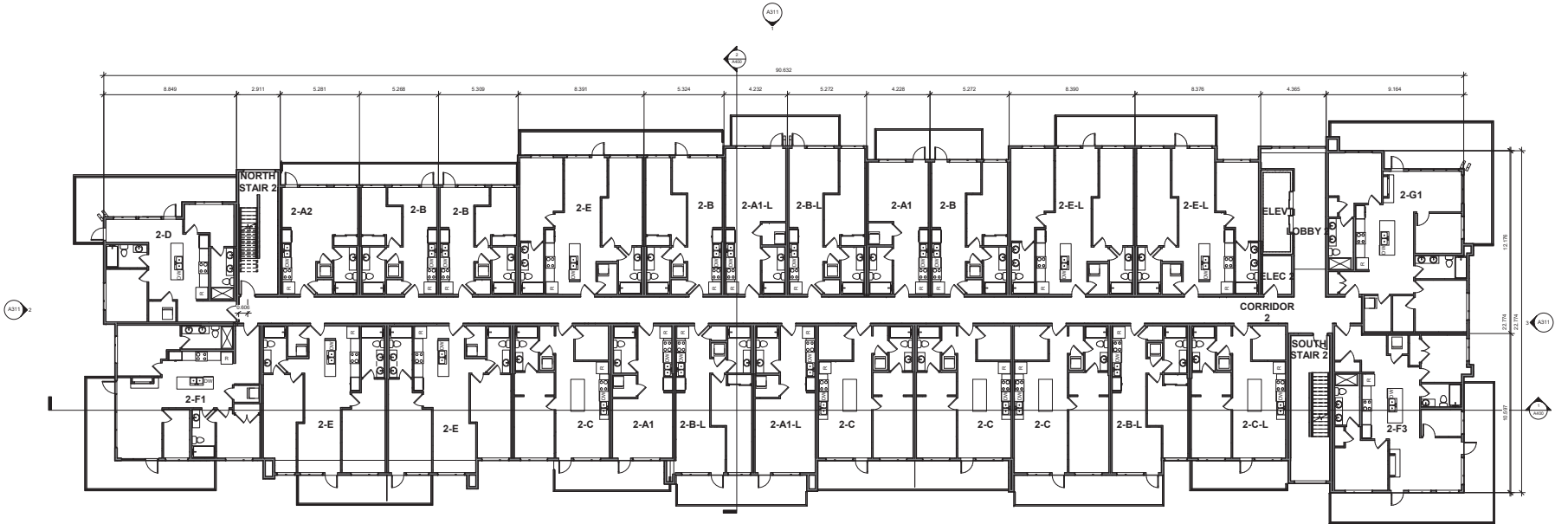
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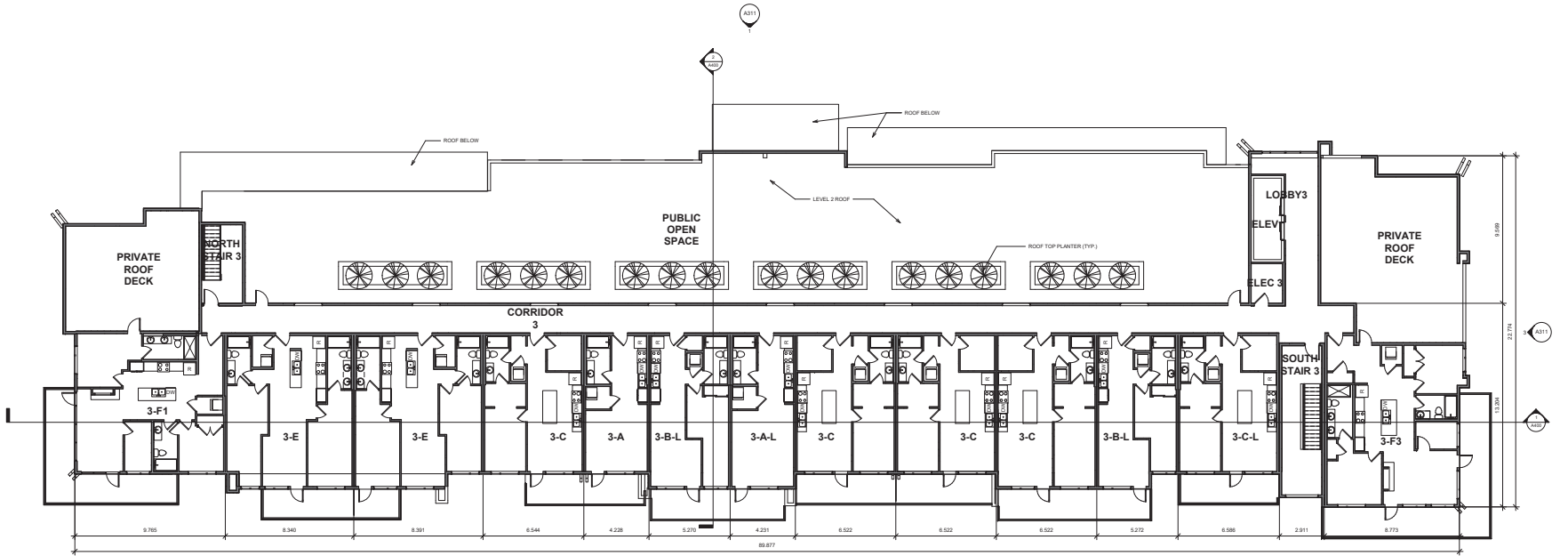
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BUILDING 1 -
LEVEL 2

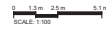
A114





13 RESIDENTIAL UNITS, 1,082 sq m

1 B1 - LEVEL 3
1 : 100



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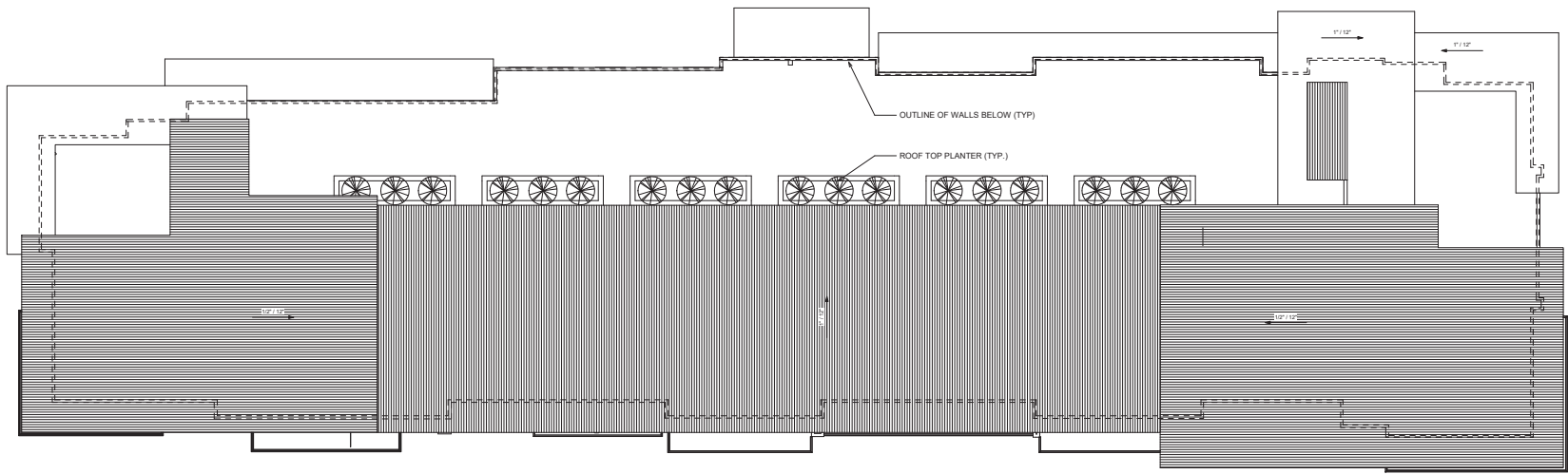
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BUILDING 1 -
LEVEL 3

A115

A111



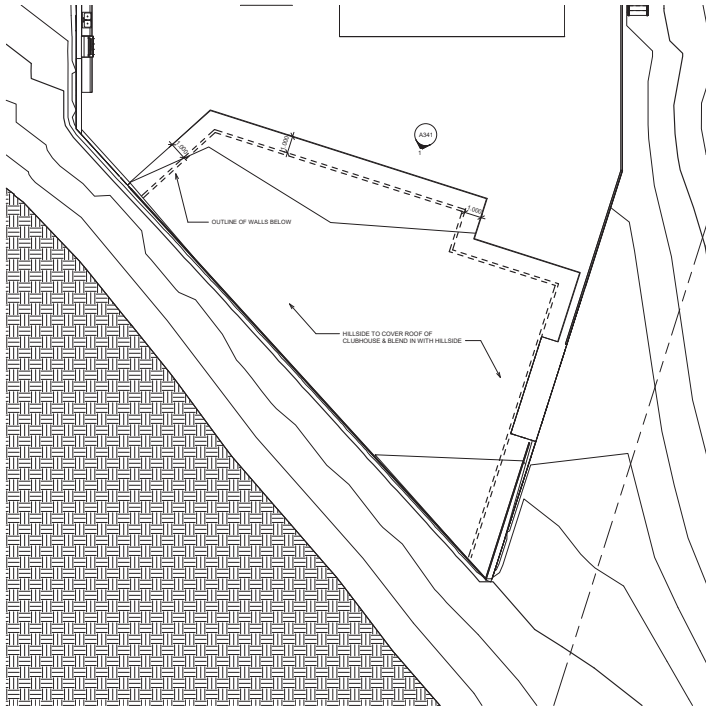
A111

1 B1 - ROOF
1:100



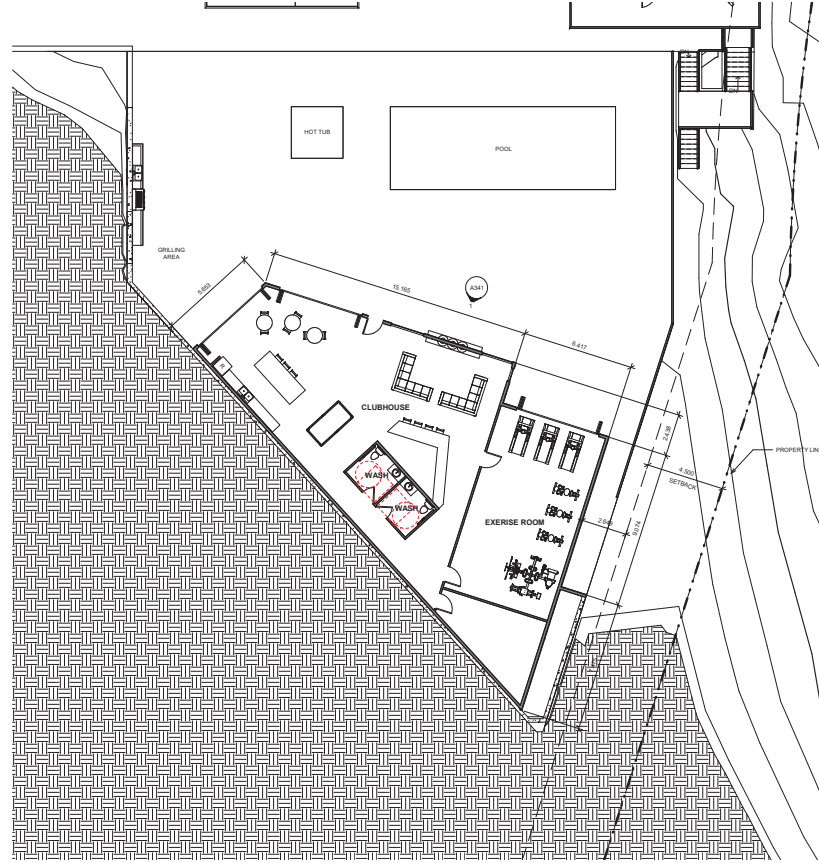
A111

⊕



2 CLUBHOUSE ROOF
1:100

0 1.3m 2.5m 5.0m
SCALE 1:100



1 CLUBHOUSE
1:100

0 1.3m 2.5m 5.0m
SCALE 1:100

SCHEDULE B

This forms part of application
DP22-0054



City of
Kelowna
DEVELOPMENT PLANNING

Planner
Initials **WM**

Richard Muller
Architect

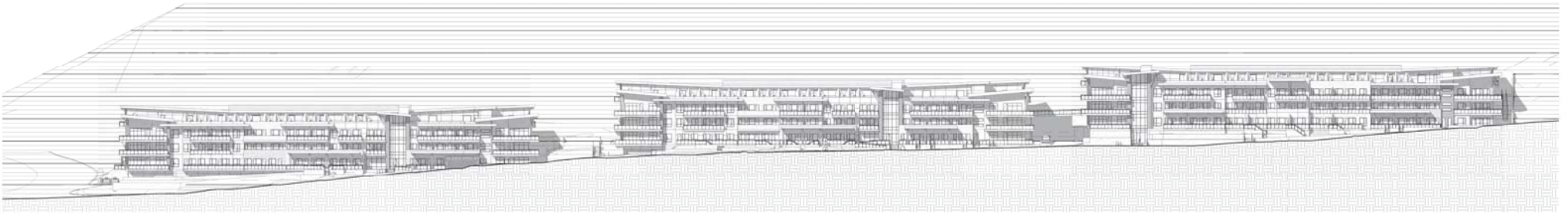


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APPLICATION INFORMATION:
APPLICANT:
REVISION DEVELOPMENT
CONTACT INFORMATION:
330-4502, 200-5555 NORTH
STREET, SUITE 100, SASKATCHEWAN
S4N 2C1
(306) 241-6441



1 BOYNTON STREETScape
1:300

630 BOYNTON PLACE
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DATE: 12/08/21
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STREETScape
ELEVATIONS
A301



EAST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION



WEST ELEVATION

COLOUR SCHEME:

- | | | | | | | |
|--|--|---|--|--|--|--|
| A CEMENT BOARD 1:
JAMES HARDIE
VERTICAL SIDING
COLOUR: CEDAR BARK | C CEMENT BOARD 3:
JAMES HARDIE
LAP SIDING
COLOUR: BEAVER TAIL | D2 CEMENT BOARD 5:
JAMES HARDIE
VERTICAL SIDING
COLOUR: CLASSIC BLACK | F DECORATIVE WOOD BRACKETS:
HEAVY TIMBER WITH STAIN | H SOFFIT:
LONGBOARD 6" V- GROOVE
COLOUR: LIGHT NATIONAL
WALNUT | I SBS ROOF SYSTEM:
COLOUR: BLACK | L STOREFRONT WINDOW SYSTEM:
COLOUR: BLACK FRAME |
| B CEMENT BOARD 2:
JAMES HARDIE
VERTICAL SIDING
COLOUR: AGED PEWTER | D1 CEMENT BOARD 4:
JAMES HARDIE
LAP SIDING
COLOUR: CLASSIC BLACK | E CEMENT BOARD 6:
JAMES HARDIE
LAP SIDING - RUSTIC SERIES
COLOUR: ASPEN RIDGE | G MANUFACTURED STONE:
ENVIRONMENTAL
STONEWORKS - HACKETT
COLOUR: BLACK | J METAL TRIM, FLASHING
& CEMENT BOARD FASCIA
COLOUR: BLACK | K PVC DOOR & WINDOW:
COLOUR: BLACK | M RAILING & GATE:
METAL FRAME W/ TEMPERED GLASS
COLOUR: BLACK FRAME |
| | | | | | | N PRIVACY SCREEN:
TEMPERED FROSTED GLASS |

SCALE: 1/8" = 1'-0"
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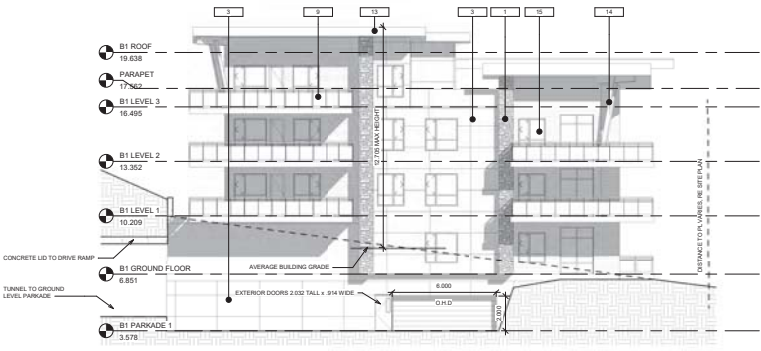
BUILDING 1 -
COLORED
ELEVATIONS

A310

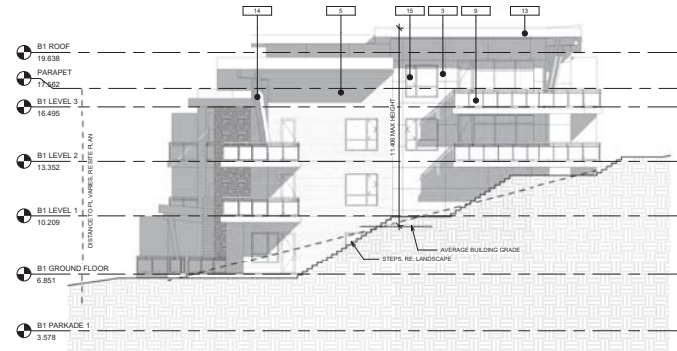


① East
1:100
0 1.3m 2.5m 5.0m
SCALE 1:100

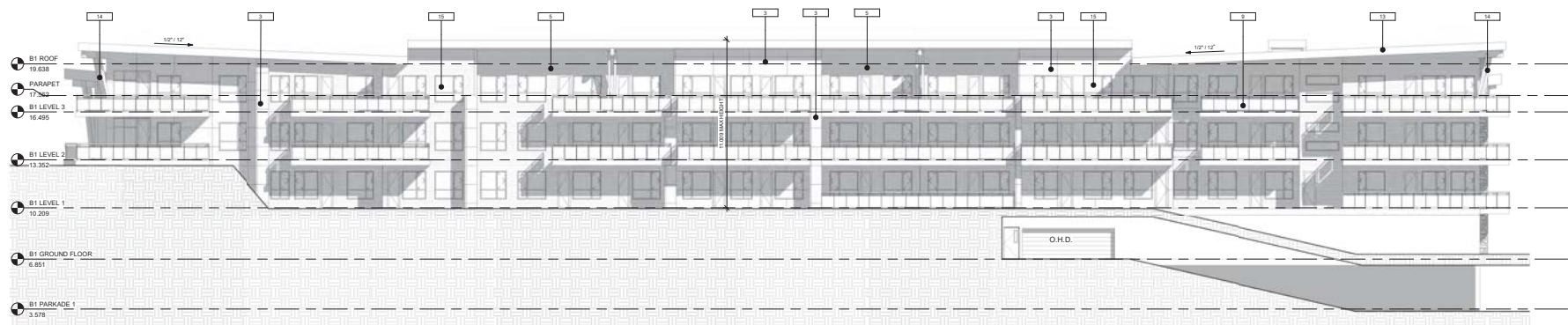
Keynote Legend	
Key Value	Keynote Text
1	STONE VENEER - BLACK
3	CEMENTITIOUS PANEL 148 GRID - CEDAR, PEWTER OR BLACK - SEE COLOR BOARD
5	CEMENTITIOUS HORIZONTAL LAP SIDING - BEAVER TAIL, BLACK OR ASPEN RIDGE - SEE COLOR BOARD
7	LOW SLOPE, SIS ROOFING
9	GLASS RAILING - METAL FRAME WITH CLEAR GLASS
10	STOREFRONT WINDOW SYS TEM - BLACK FRAME WITH CLEAR GLASS
13	CEMENTITIOUS FASCIA BOARDS - BLACK
14	WOOD STRUCTURE - WALNUT STAIN
16	WINDOW AS SCHEDULED - BLACK FRAME WITH CLEAR GLASS
16	DOOR AS SCHEDULED



③ South
1:100
0 1.3m 2.5m 5.0m
SCALE 1:100



② North
1:100
0 1.3m 2.5m 5.0m
SCALE 1:100



④ West
1:100
0 1.3m 2.5m 5.0m
SCALE 1:100



EAST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION



WEST ELEVATION

COLOUR SCHEME:

- | | | | | | | |
|--|--|---|---|--|--|--|
| A CEMENT BOARD 1:
JAMES HARDIE
VERTICAL SIDING
COLOUR: CEDAR BARK | C CEMENT BOARD 3:
JAMES HARDIE
LAP SIDING
COLOUR: BEAVER TAIL | D2 CEMENT BOARD 5:
JAMES HARDIE
VERTICAL SIDING
COLOUR: CLASSIC BLACK | F DECORATIVE WOOD BRACKETS:
HEAVY TIMBER WITH STAIN | H SOFFIT:
LONGBOARD 6" V. GROOVE
COLOUR: LIGHT NATIONAL
WALNUT | I SBS ROOF SYSTEM:
COLOUR: BLACK | L STOREFRONT WINDOW SYSTEM:
COLOUR: BLACK FRAME |
| B CEMENT BOARD 2:
JAMES HARDIE
VERTICAL SIDING
COLOUR: AGED PEWTER | D1 CEMENT BOARD 4:
JAMES HARDIE
LAP SIDING
COLOUR: CLASSIC BLACK | E CEMENT BOARD 6:
JAMES HARDIE
LAP SIDING - RUSTIC SERIES
COLOUR: ASPEN RIDGE | G MANUFACTURED STONE:
ENVIRONMENTAL
STONWORKS - HACKETT
COLOUR: BLACK | J METAL TRIM, FLASHING
& CEMENT BOARD FASCIA
COLOUR: BLACK | K PVC DOOR & WINDOW:
COLOUR: BLACK | M RAILING & GATE:
METAL FRAME W/ TEMPERED GLASS
COLOUR: BLACK FRAME |
| | | | | | | N PRIVACY SCREEN:
TEMPERED FROSTED GLASS |

SCALE: 1/8" = 1'-0"

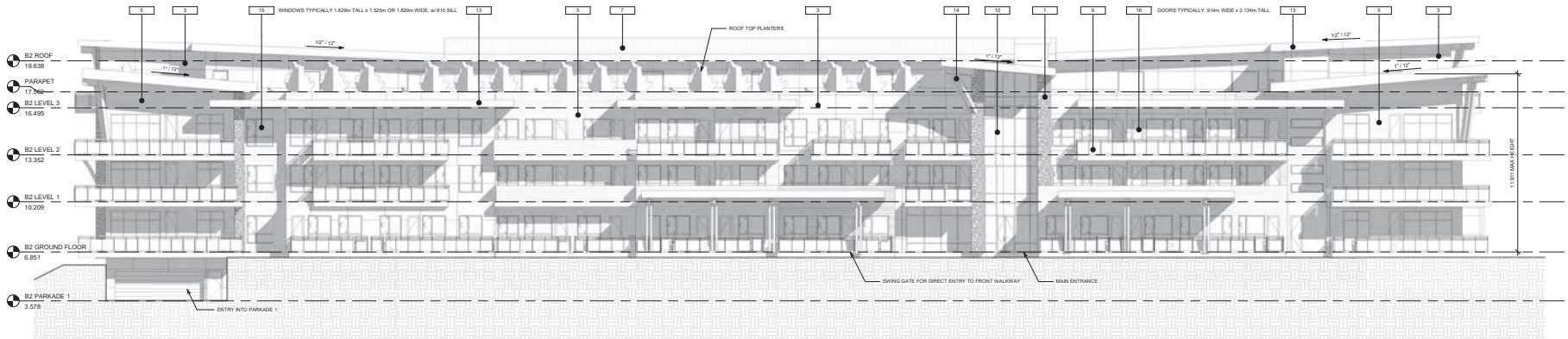
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DRAWN: 9892
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BUILDING 2 -
COLORED
ELEVATIONS

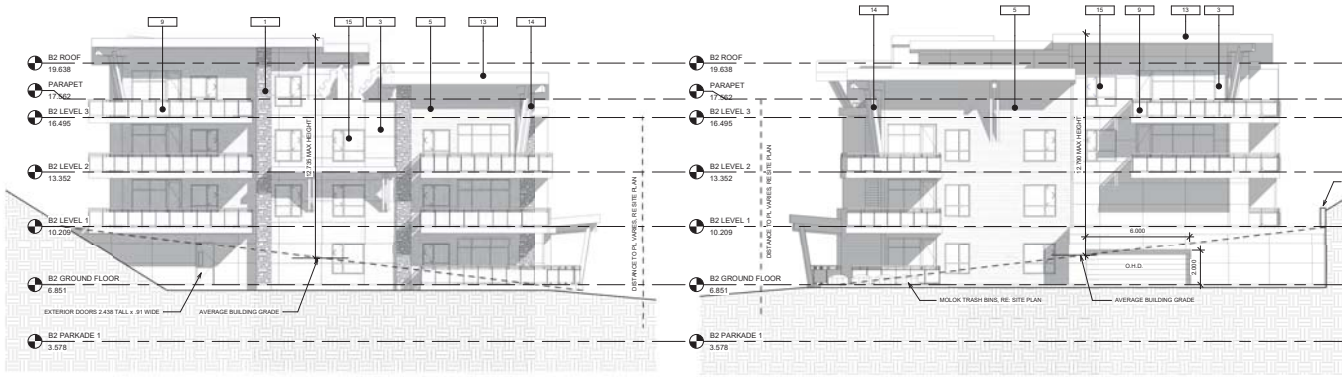
A320



① BUILDING 2 - East
1 : 100



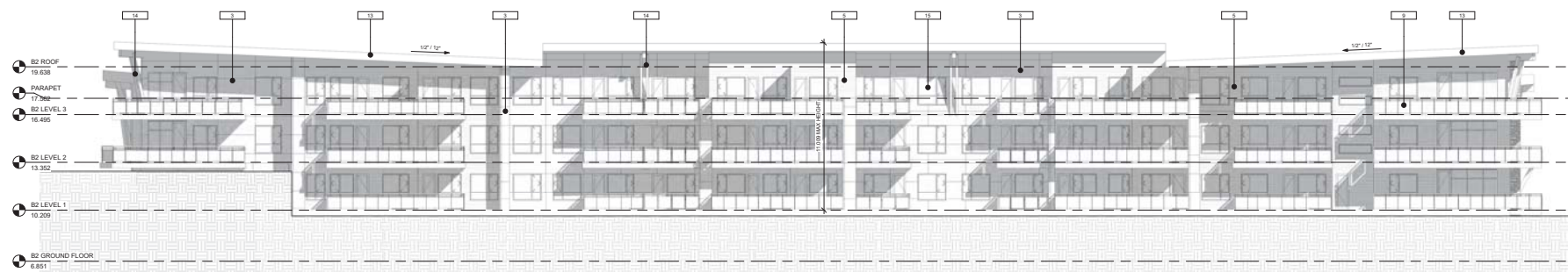
Keynote Legend	
Key Value	Keynote Text
1	STONE VENEER - BLACK
3	CEMENTITIOUS PANEL 4x8 GRID - CEDAR, PEWTER OR BLACK - SEE COLOR BOARD
5	CEMENTITIOUS HORIZONTAL LAP SIDING - BEAVER TAIL, BLACK OR ASPEN RIDGE - SEE COLOR BOARD
7	LOW-SLOPE SBS ROOFING
9	GLASS RAILING - METAL FRAME WITH CLEAR GLASS
10	STOREFRONT WINDOW SYSTEM - BLACK FRAME WITH CLEAR GLASS
13	CEMENTITIOUS FASCIA BOARDS - BLACK
14	WOOD STRUCTURE - WALNUT STAIN
15	WINDOW AS SCHEDULED - BLACK FRAME WITH CLEAR GLASS
16	DOOR AS SCHEDULED



③ BUILDING 2 - South
1 : 100



② BUILDING 2 - North
1 : 100



④ BUILDING 2 - West
1 : 100





COLOUR SCHEME:

- | | | | | | | |
|--|--|---|--|--|--|--|
| A CEMENT BOARD 1:
JAMES HARDIE
VERTICAL SIDING
COLOUR: CEDAR BARK | C CEMENT BOARD 3:
JAMES HARDIE
LAP SIDING
COLOUR: BEAVER TAIL | D2 CEMENT BOARD 5:
JAMES HARDIE
VERTICAL SIDING
COLOUR: CLASSIC BLACK | F DECORATIVE WOOD BRACKETS:
HEAVY TIMBER WITH STAIN | H SOFFIT:
LONGBOARD 6" V. GROOVE
COLOUR: LIGHT NATIONAL
WALNUT | I SBS ROOF SYSTEM:
COLOUR: BLACK | L STOREFRONT WINDOW SYSTEM:
COLOUR: BLACK FRAME |
| B CEMENT BOARD 2:
JAMES HARDIE
VERTICAL SIDING
COLOUR: AGED PEWTER | D1 CEMENT BOARD 4:
JAMES HARDIE
LAP SIDING
COLOUR: CLASSIC BLACK | E CEMENT BOARD 6:
JAMES HARDIE
LAP SIDING - RUSTIC SERIES
COLOUR: ASPEN RIDGE | G MANUFACTURED STONE:
ENVIRONMENTAL
STONEWORKS - HACKETT
COLOUR: BLACK | J METAL TRIM, FLASHING
& CEMENT BOARD FASCIA
COLOUR: BLACK | K PVC DOOR & WINDOW:
COLOUR: BLACK | M RAILING & GATE:
METAL FRAME w/ TEMPERED GLASS
COLOUR: BLACK FRAME |
| | | | | | | N PRIVACY SCREEN:
TEMPERED FROSTED GLASS |

13m 25m 50m
SCALE 1:100
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REVISION:
DEVELOPMENT PROPOSAL
DATE: 12/05/21
DRAWN: 9892
CHECKED: 9892

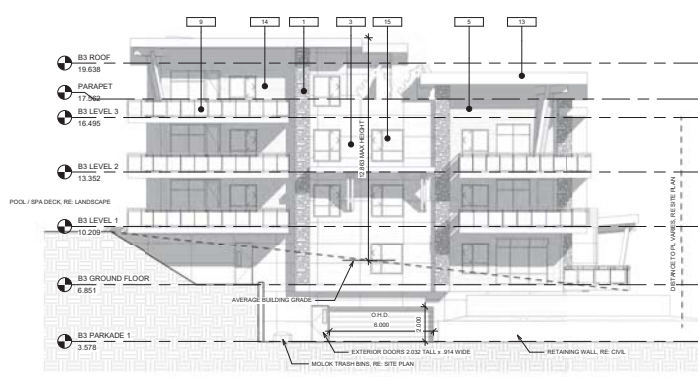
BUILDING 3 -
ELEVATIONS
A330



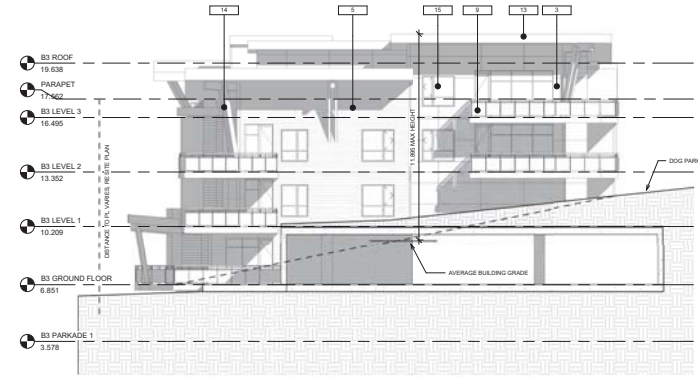
1 BUILDING 3 - East
1 : 100



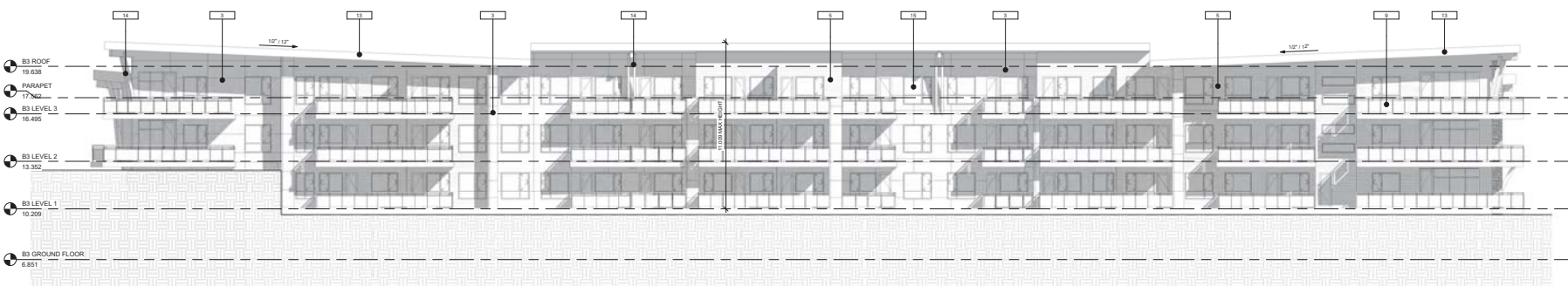
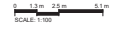
Keynote Legend	
Key Value	Keynote Text
0	STONE VENEER - BLACK
3	CEMENTITIOUS PANEL 498 GRID - CEDAR, PEWTER OR BLACK - SEE COLOR BOARD
5	CEMENTITIOUS HORIZONTAL LAP SIDING - BEAVER TAIL, BLACK OR ASPEN RIDGE - SEE COLOR BOARD
7	LOW-SLOPE SBS ROOFING
9	GLASS RAILING - METAL FRAME WITH CLEAR GLASS
10	STOREFRONT WINDOW SYSTEM - BLACK FRAME WITH CLEAR GLASS
13	CEMENTITIOUS FASCIA BOARDS - BLACK
14	WOOD STRUCTURE - WALNUT STAIN
15	WINDOW AS SCHEDULED - BLACK FRAME WITH CLEAR GLASS
16	DOOR AS SCHEDULED



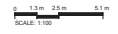
3 BUILDING 3 - South
1 : 100



2 BUILDING 3 - North
1 : 100



4 BUILDING 3 - West
1 : 100





CLUBHOUSE - FRONT ELEVATION



CLUBHOUSE - EAST ELEVATION

COLOUR SCHEME:

- | | | | |
|--|--|---|--|
| <p>A2 CEMENT BOARD 1:
JAMES HARDIE
LAP SIDING
COLOUR: CEDAR BARK</p> <p>G MANUFACTURED STONE:
ENVIRONMENTAL
STONEWORKS - HACKETT
COLOUR: BLACK</p> | <p>C CEMENT BOARD 3:
JAMES HARDIE
LAP SIDING
COLOUR: BEAVER TAIL</p> <p>H SOFFIT:
LONGBOARD 6" V- GROOVE
COLOUR: LIGHT NATIONAL
WALNUT</p> | <p>I GREEN ROOF SYSTEM</p> <p>J METAL TRIM, FLASHING
& CEMENT BOARD FASCIA
COLOUR: BLACK</p> <p>K PVC DOOR & WINDOW:
COLOUR: BLACK</p> | <p>L STOREFRONT WINDOW SYSTEM:
COLOUR: BLACK FRAME</p> <p>M RAILING & GATE:
METAL FRAME W/ TEMPERED GLASS
COLOUR: BLACK FRAME</p> <p>O INDOOR / OUTDOOR FIREPLACE</p> |
|--|--|---|--|

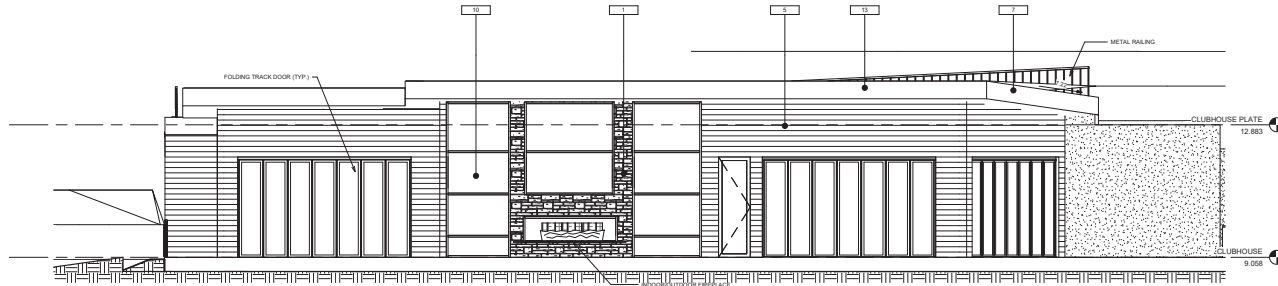
SCALE: 1/8"
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REVISION:
DEVELOPMENT PROPOSAL
DATE: 12/05/21
DRAWN: 8882
CHECKED: 8882

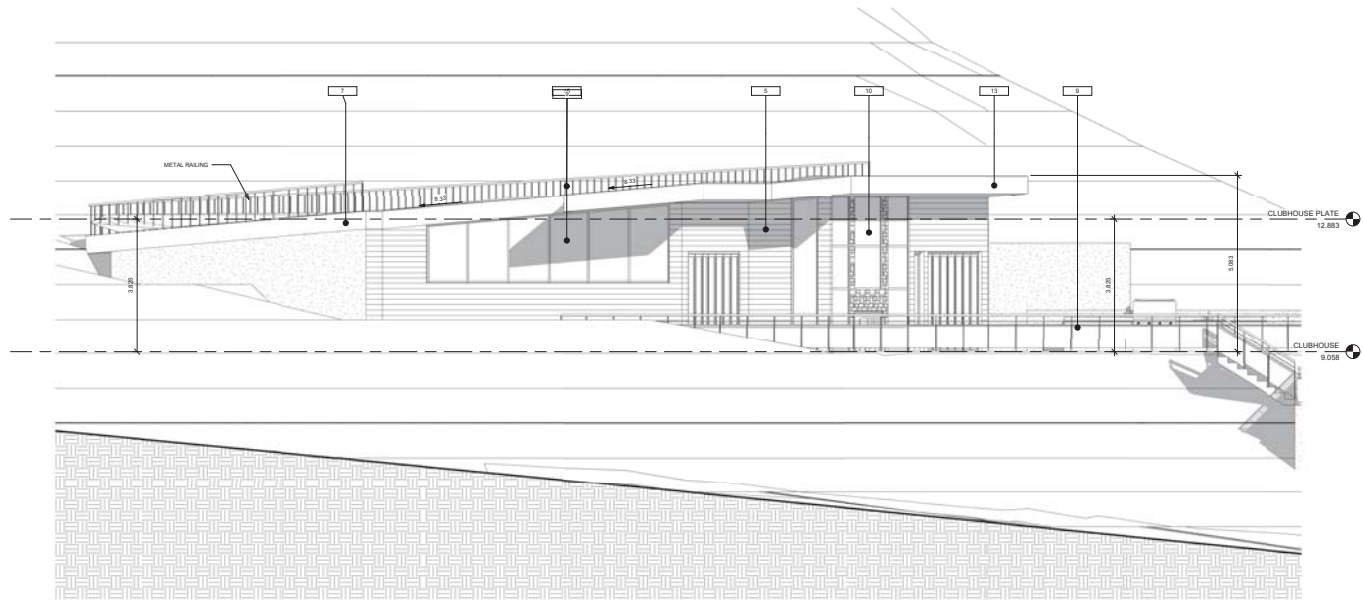
CLUBHOUSE -
COLORED
ELEVATIONS
A340



Keynote Legend	
Key Value	Keynote Text
1	STONE VENEER - BLACK
5	CEMENTITIOUS HORIZONTAL LAP SIDING - BEAVER TAIL, BLACK OR ASPEN RIDGE - SEE COLOR BOARD
7	LOW-SLOPE SBS ROOFING
9	GLASS RAILING - METAL FRAME WITH CLEAR GLASS
10	STOREFRONT WINDOW SYSTEM - BLACK FRAME WITH CLEAR GLASS
13	CEMENTITIOUS FASCIA BOARDS - BLACK
15	WINDOW AS SCHEDULED - BLACK FRAME WITH CLEAR GLASS



① CLUBHOUSE - FRONT
1 : 50



② CLUBHOUSE - South
1 : 50

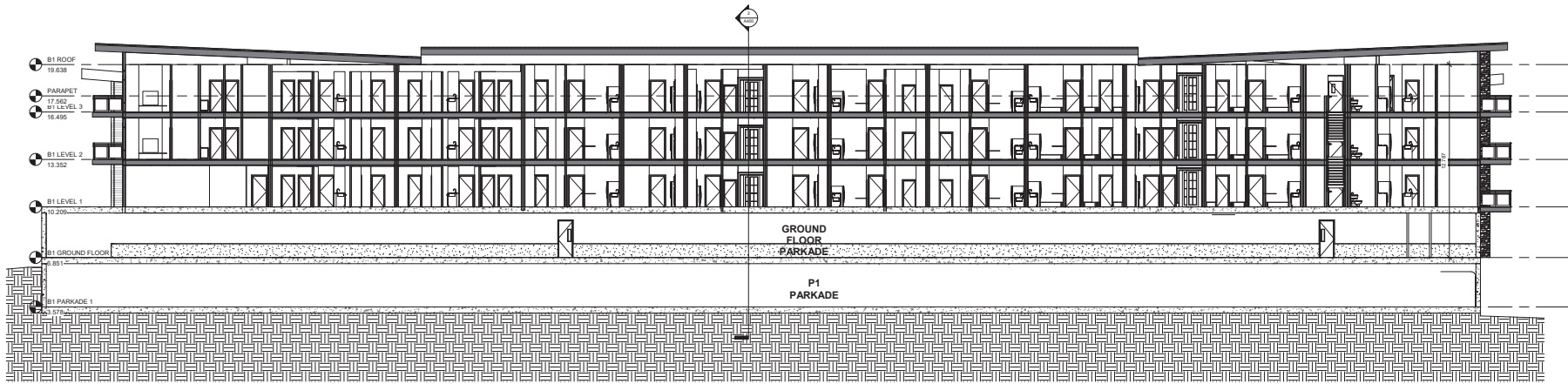
630 BOYNTON PLACE
LOT A SECTION 31 TOWNSHIP 28 OSOYOOS DIVISION
YALE DISTRICT PLAN EPP982Z7
21-010

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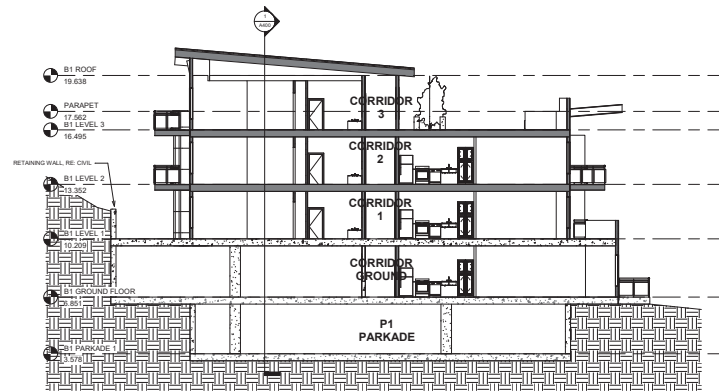
REVISION:
DEVELOPMENT PROPOSAL
DATE 12/08/21
DRAWN 8984
CHECKED 8987

CLUBHOUSE -
ELEVATIONS

A341



1 BUILDING 1 - SECTION 1
1:100



2 BUILDING 1 - SECTION 2
1:100

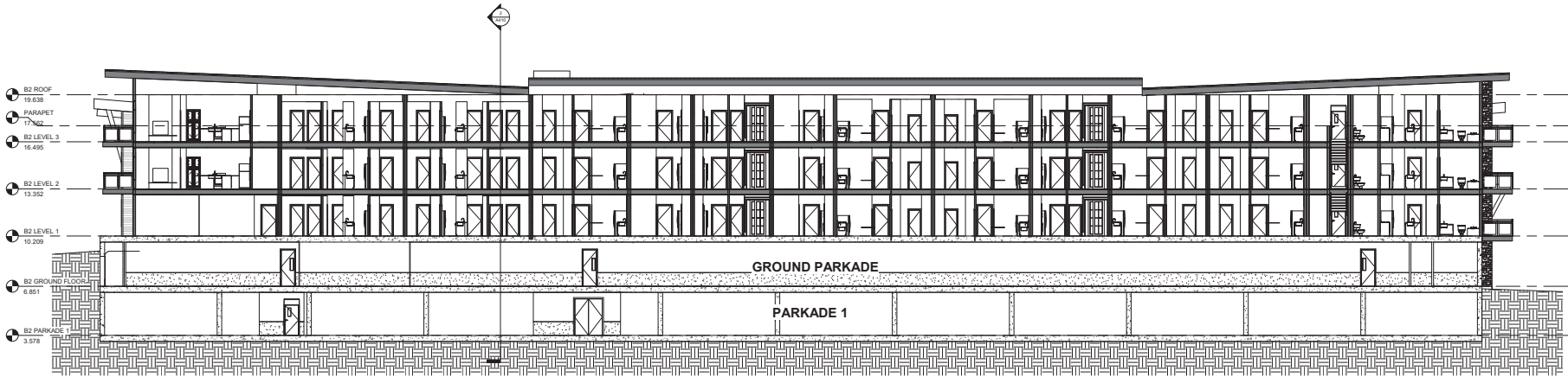


630 Boynton Place
LOT A SECTION 31 TOWNSHIP 26 OSOYOOS DIVISION
YALE DISTRICT PLAN EPP9827
21-010

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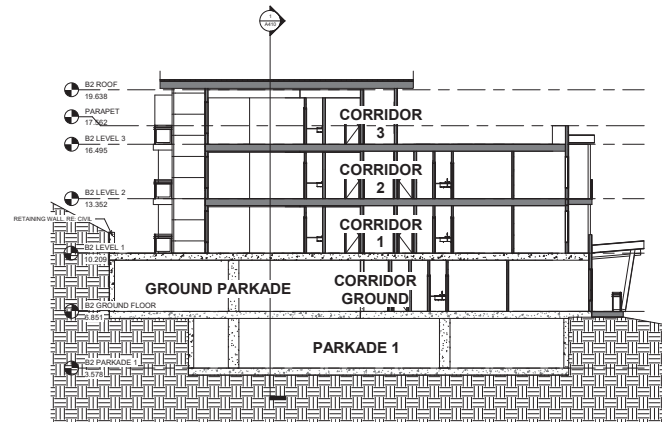
Development Proposal
DATE: 12/09/21
DRAWN: 8864
CHECKED: 8867

BUILDING 1 -
SECTIONS
A400



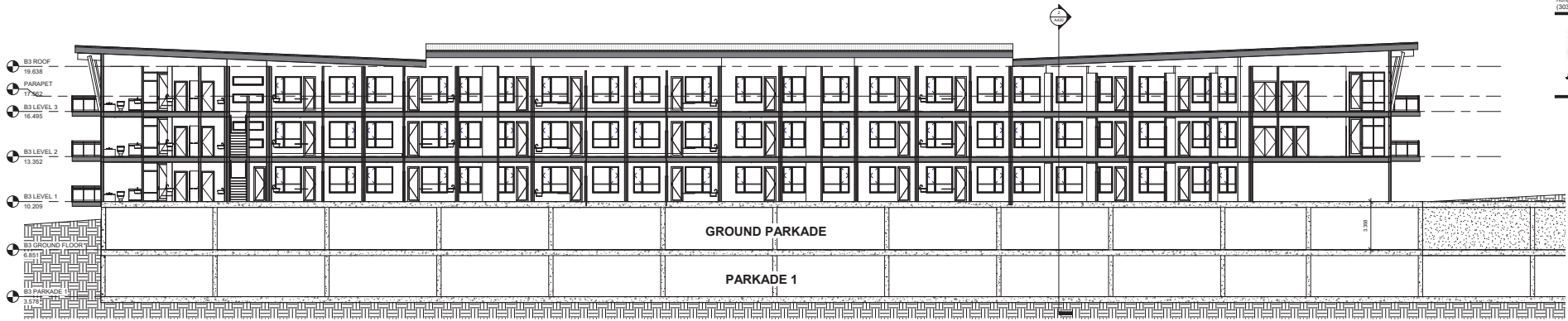
1 BUILDING 2 - SECTION 1

1:100
0 1.2m 2.4m 5.1m
SCALE 1/8"=1'-0"



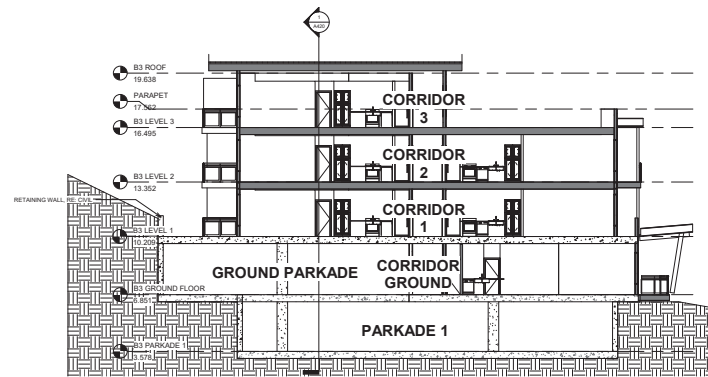
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1:100
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SCALE 1/8"=1'-0"



① BUILDING 3 - SECTION 1
1:100

SCALE 1:100



② BUILDING 3 - SECTION 2
1:100

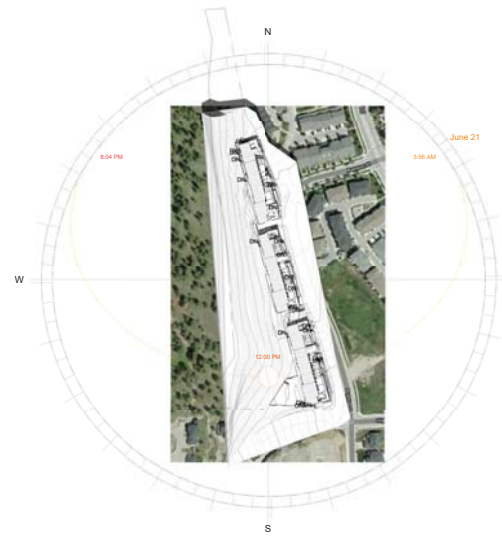
SCALE 1:100

630 Boynton Place
LOT A SECTION 31 TOWNSHIP 28 OSOYOOS DIVISION
YALE DISTRICT PLAN EPP982Z7
21-010

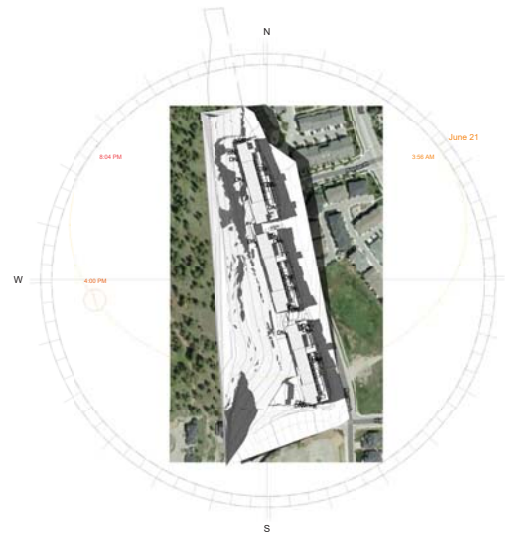
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REVISION:

DEVELOPMENT PROPOSAL
DATE 12/09/21
DRAWN 8894
CHECKED 8897

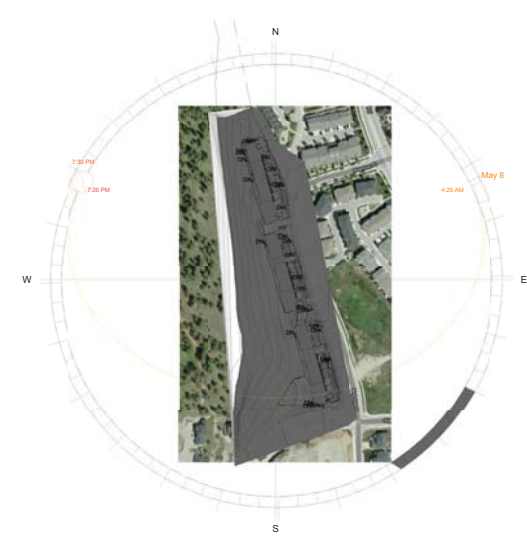
BUILDING -
SECTIONS
A420



☉ SOLAR - SUMMER SOLSTICE, NOON
1:2000



☉ SOLAR - SUMMER SOLSTICE, 4pm
1:2000



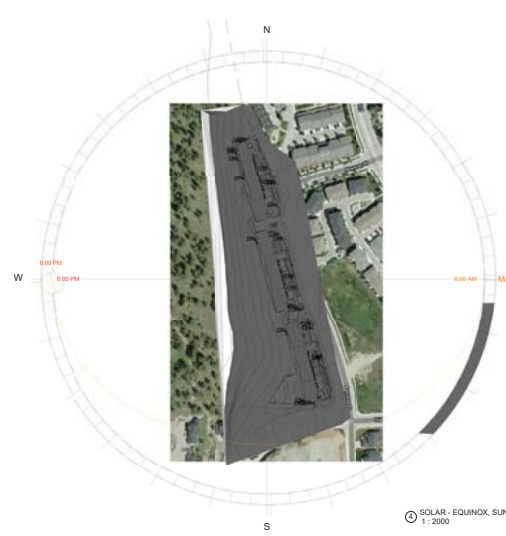
☉ SOLAR - SUMMER SOLSTICE, SUNDOWN
1:2000

SUMMER SOLSTICE

EQUINOX

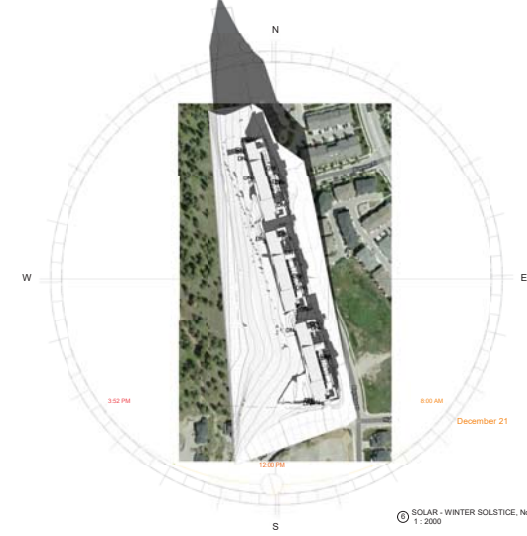


☉ SOLAR - EQUINOX, Noon
1:2000



☉ SOLAR - EQUINOX, SUNDOWN
1:2000

WINTER SOLSTICE



☉ SOLAR - WINTER SOLSTICE, Noon
1:2000

630 BOYNTON PLACE
LOT A SECTION 31 TOWNSHIP 26 OSOYOS DIVISION
YALE DISTRICT PLAN EPP962Z7
21-010

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REVISION:

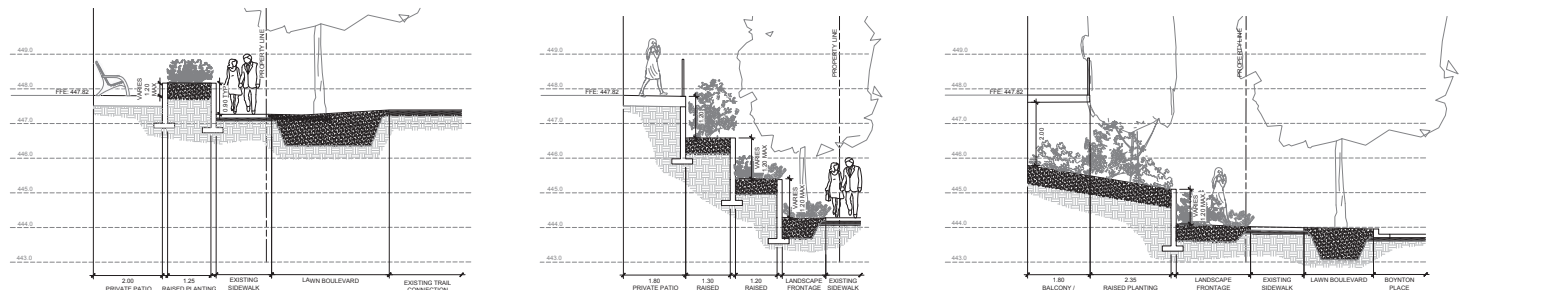
DEVELOPMENT PROPOSAL	DATE	12/08/21
DRAWN	BY	8864
CHECKED	BY	8867

SOLAR STUDY -
EQUINOX

A900

GENERAL LEGEND

- DECIDUOUS TREE
- MULTI-STEMMED TREE
- ORNAMENTAL PLANTING
- RESTORATION PLANTING
- COMPACTED AGGREGATE PAVING
- SOODED LAWN
- ROCK MULCH
- PRIVATE PATIO
- C.I.P. CONCRETE PAVING
- BENCH
- BIKE RACK



DOOR LEGEND

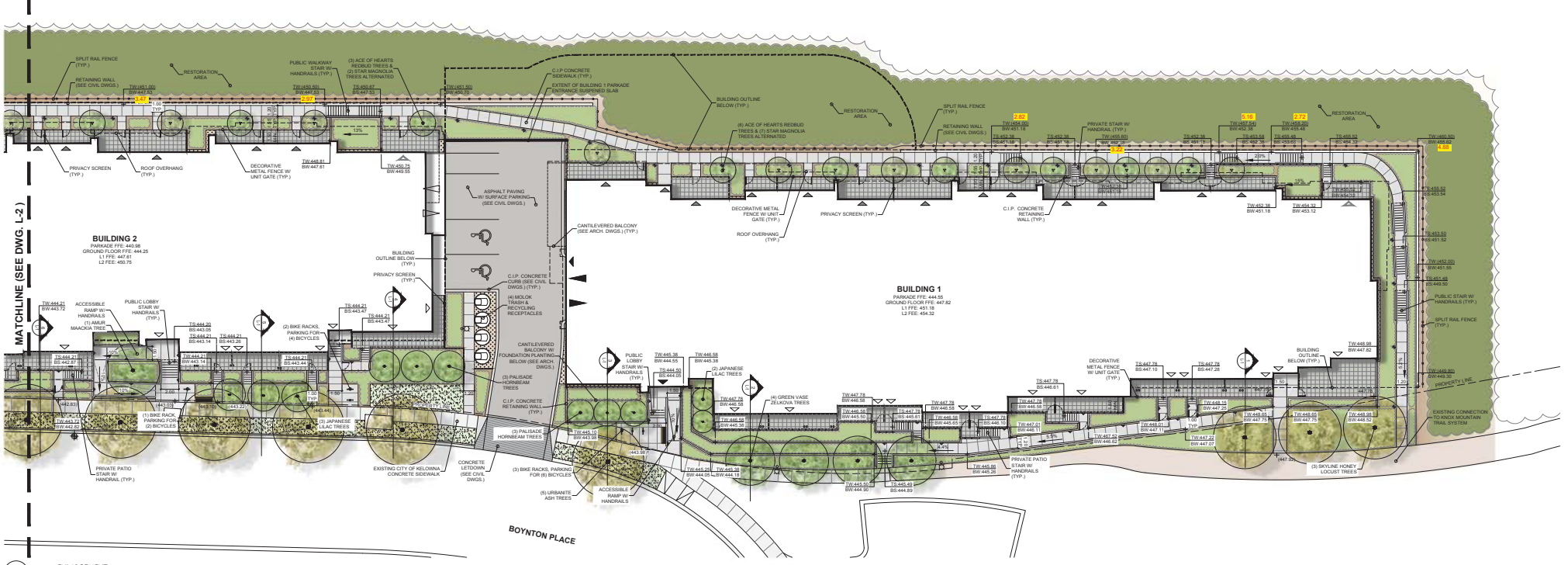
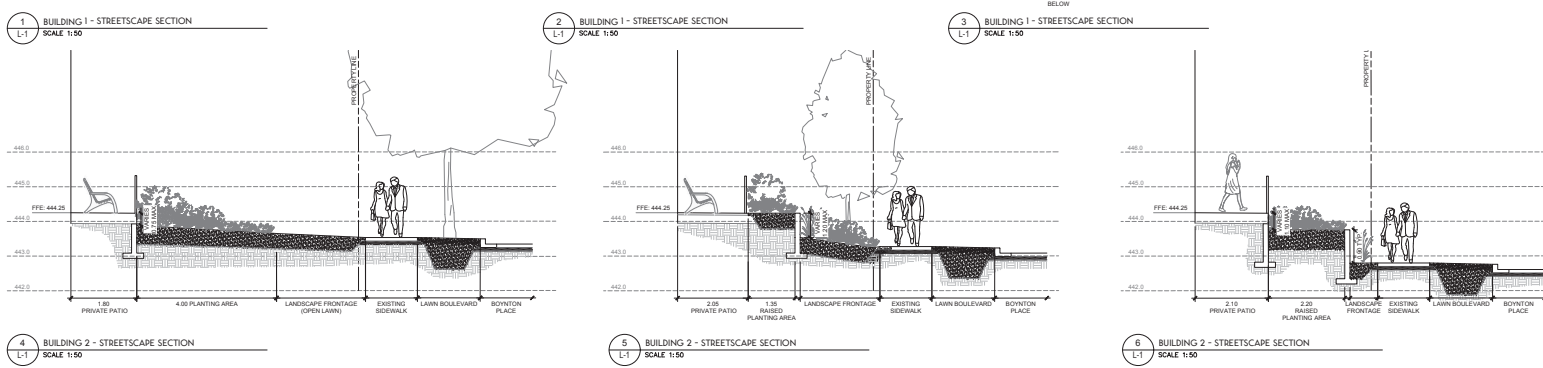
- PARKADE VEHICULAR ENTRY/EXIT
- PARKADE MAN DOOR
- GROUND FLOOR VEHICULAR ENTRY/EXIT
- GROUND FLOOR MAN DOOR
- L1 MAN DOOR
- L2 MAN DOOR

LIGHTING LEGEND

- WALL LIGHT
- LIGHT BOLLARD
- POLE-STREAM-SCALE LIGHT POLE
- EXISTING STREET LIGHT

GRADING LEGEND

- EXISTING OR CIVIL ELEVATION (IN METRES)
- PROPOSED ELEVATION (IN METRES)
- TOP OF WALL ELEVATION (IN METRES)
- BOTTOM OF WALL ELEVATION (IN METRES)
- TOP OF STAIR ELEVATION (IN METRES)
- BOTTOM OF STAIR ELEVATION (IN METRES)
- SLOPE SECTION AND PERCENTAGE



REV.	DATE	DESCRIPTION
1	2024-10-10	ISSUED FOR PERMITTING
2	2024-10-15	REVISED FOR COMMENTS
3	2024-10-20	REVISED FOR PERMITTING
4	2024-10-25	ISSUED FOR CONSTRUCTION
5	2024-11-01	ISSUED FOR CONSTRUCTION

PROJECT

630 BOYNTON PLACE
 LOT A SECTION 31 TOWNSHIP 20 OSOYOOS DIVISION
 YALE DISTRICT PLAN EPP160277

CLIENT/OWNER & CONTACT INFO

MERIDIAN DEVELOPMENT CORP.
 100-450 2ND AVE. NORTH, S7K 3C3
 SASKATOON, SASKATCHEWAN, CANADA

KARL MILLER
 karl.miller@meridiandevelopment.ca
 (306) 244-0451

NOT FOR CONSTRUCTION

SCALE: 1:150

NORTH

BENCH

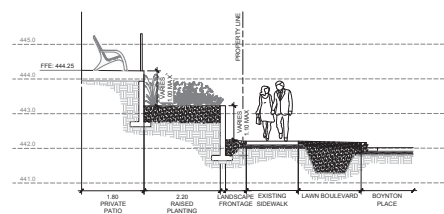
LANDSCAPE PLAN
 NORTH ENLARGEMENT
 L-1

14-1525 Visher Street Kelowna BC V1Y 1T1 (250) 860-6796

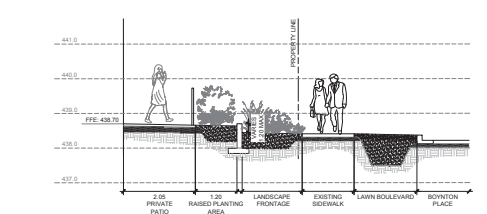
AS SHOWN

PLANETREE/CORPORATION - PROJECT/2023/171-24 - 630 BOYNTON PLACE - PRODUCTION - 2024 - 1/24 - 1:50 - L2 - CONCEPT LAYOUTS - 2024

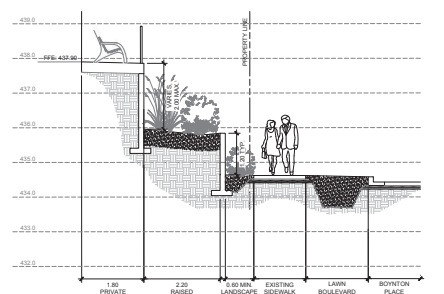
- | GENERAL LEGEND: | DOOR LEGEND: | GRAING LEGEND: | LIGHTING LEGEND: |
|--------------------------|----------------------------|--|-----------------------------|
| RECREOUS TREE | COMPACTED AGGREGATE PAVING | EXISTING OR OVAL ELEVATION (IN METRES) | WALL LIGHT |
| MULTI-STEMMED TREE | SCORED LAWN | PROPOSED ELEVATION (IN METRES) | LIGHT BOLLARD |
| UPRIGHT CONIFEROUS SHRUB | BARK MULCH | TOP OF WALL ELEVATION (IN METRES) | RECREATION-SCALE LIGHT POLE |
| ORNAMENTAL PLANTING | ROCK MULCH | TOP OF STAIR ELEVATION (IN METRES) | EXISTING STREET LIGHT |
| RESTORATION PLANTING | PRIVATE PATIO | BOTTOM OF WALL ELEVATION (IN METRES) | |
| | C.I.P. CONCRETE PAVING | BOTTOM OF STAIR ELEVATION (IN METRES) | |
| | BENCH | SLOPE DIRECTION AND PERCENTAGE | |
| | BIKE RACK | | |



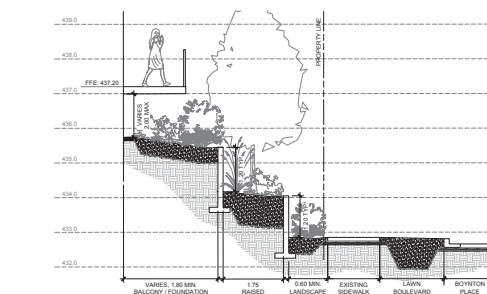
1 BUILDING 2 - STREETScape SECTION
L2 SCALE 1:50



2 BUILDING 3 - STREETScape SECTION
L2 SCALE 1:50



3 BUILDING 3 - STREETScape SECTION
L2 SCALE 1:50



4 BUILDING 3 - STREETScape SECTION
L2 SCALE 1:50



5 SOUTH ENLARGEMENT
L2 SCALE 1:150

NO.	REVISION / ISSUED	DATE
7	REV: C.I.P. SUBMISSION SET	2024-07-24
6	REV: ARCH. PLAN SUBMISSION SET	2024-07-19
5	REV: CONCEPT LAYOUTS	2024-07-11
4	REV: CONCEPT LAYOUTS	2024-07-11
3	REV: CONCEPT LAYOUTS	2024-07-11
2	REV: CONCEPT LAYOUTS	2024-07-11
1	REV: CONCEPT LAYOUTS	2024-07-11

PROJECT:
630 BOYNTON PLACE
LOT A SECTION 31 TOWNSHIP 20 OSOBYOS DIVISION
YALE DISTRICT PLAN EPI90227

CLIENTS AND CONTACT INFO:
MERIDIAN DEVELOPMENT CORP.
100-450 2ND AVE. NORTH, 87K 2C23
SASKATOON, SASKATCHEWAN, CANADA

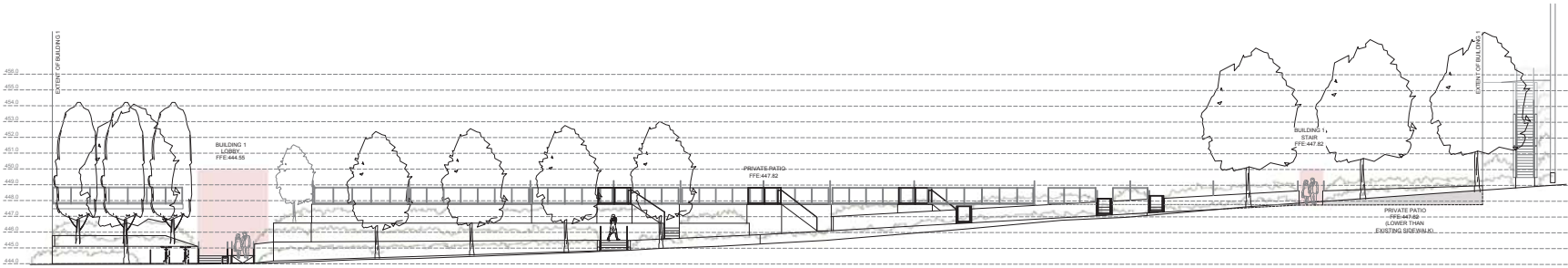
KARL MILLER
karl.miller@meridiandevelopment.ca
(306) 384-0431

NOT FOR CONSTRUCTION
SCALE: 1:150

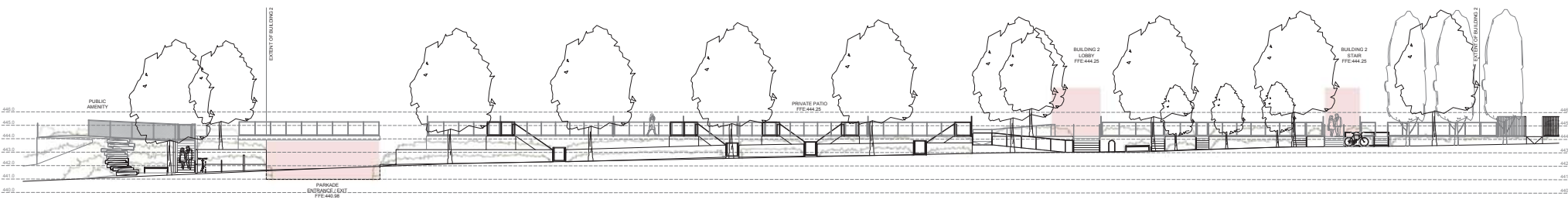
BENCH LANDSCAPE PLANS
SOUTH ENLARGEMENT
L-2
141563 Weber Street, Kelowna BC V1Y 1J2 (250 860 6796)

DATE: 2024-07-24
REVISION: 7
SCALE: L-2
DRAWN: AS SHOWN

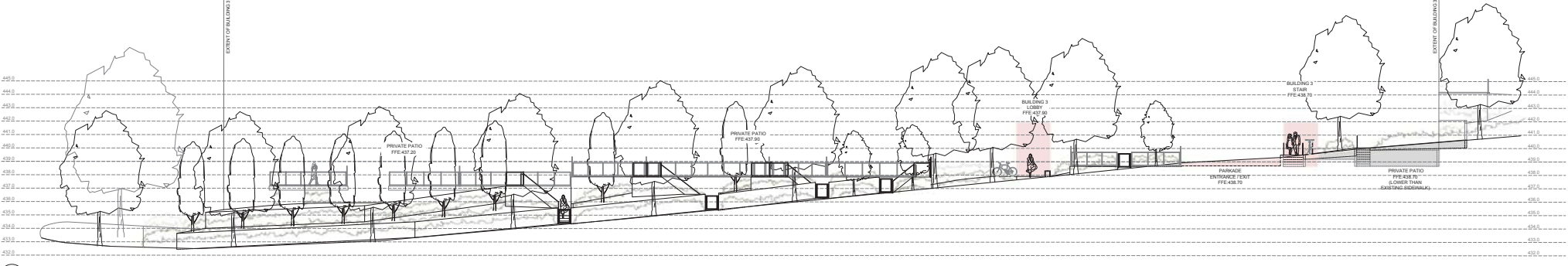
PROJECT NO: 17-01 - COMMUNITY DEVELOPMENT - PRODUCTION PLAN - 17-01-01 - COMMUNITY DEVELOPMENT - PRODUCTION PLAN - 17-01-01 - COMMUNITY DEVELOPMENT - PRODUCTION PLAN



1 BUILDING 1 - STREETSCAPE ELEVATION
 SCALE 1:100



2 BUILDING 2 - STREETSCAPE ELEVATION
 SCALE 1:100



3 BUILDING 3 - STREETSCAPE ELEVATION
 SCALE 1:100

NO.	DATE	DESCRIPTION
1	REV 1	ISSUED FOR PERMIT
2	REV 2	REVISED FOR SUBMISSION
3	REV 3	REVISED FOR SUBMISSION
4	REV 4	REVISED FOR SUBMISSION
5	REV 5	REVISED FOR SUBMISSION

PROJECT
 630 BOYNTON PLACE
 LOT 4 SECTION 31 TOWNSHIP 20 SOYOYOS DIVISION
 YALE DISTRICT PLAN EP1906277

CLIENT/OWNER & CONTACT INFO
MERIDIAN DEVELOPMENT CORP.
 100-450 2ND AVE. NORTH, 8TH FL.
 SASKATOON, SASKATCHEWAN, CANADA
 (306) 384-0421
KARL MILLER
 karl.miller@meridiantdevelopment.ca

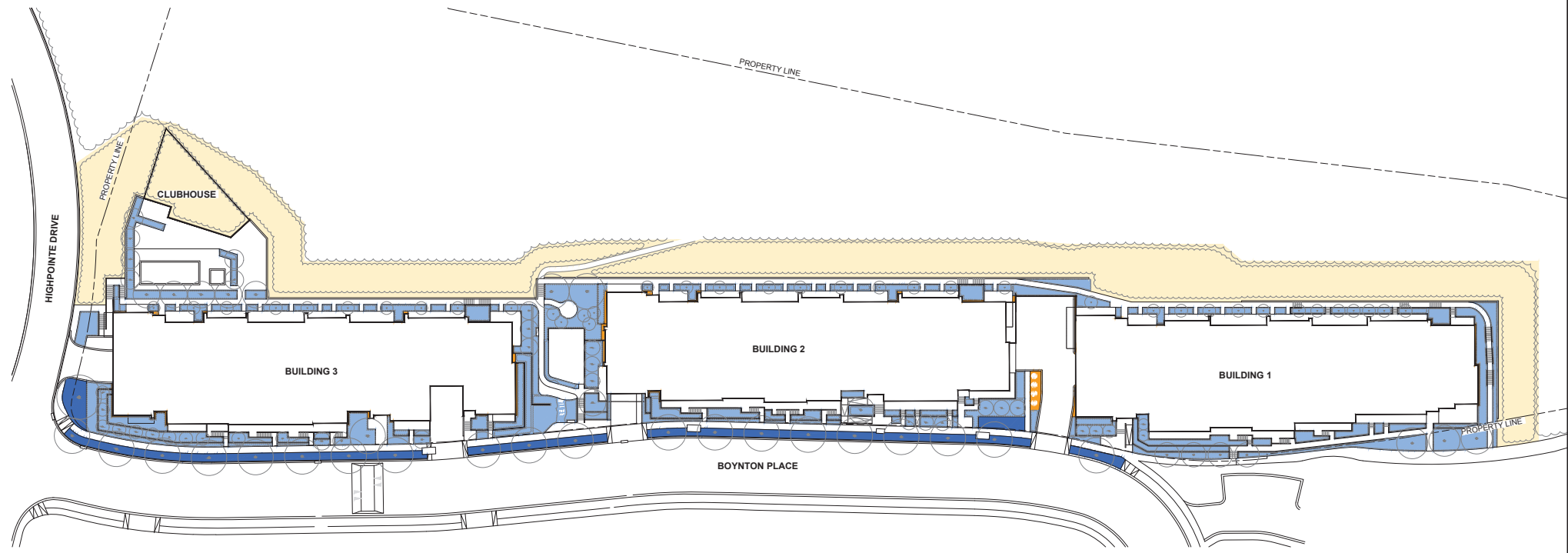
NOT FOR CONSTRUCTION



SHEET TITLE	
LANDSCAPE FRONTAGE ELEVATIONS	
SHEET NO.	REVISION #
L-3	01-004
DATE	BY
	AS SHOWN

PROJECT: 2023/17-24 - KENNEDY/BOYNTON DEVELOPMENT - PRODUCTION PLAN - 20000/20 - CONCEPTUALIZATION FOR CONSTRUCTION - 21-024 - DISTRICT PLAN

- GENERAL LEGEND:**
- HIGH WATER USE (LAWN)
 - MEDIUM WATER USE (ORNAMENTAL PLANTING AREA)
 - ESTABLISHMENT IRRIGATION ONLY (RESTORATION PLANTING AREA)
 - UNWATERED PREVIOUS AREA (ROCK WILLOW)



NO.	DATE	DESCRIPTION
7	REV. 10/19/2023	REVISED FOR APPROVAL
6	REV. 09/20/2023	REVISED FOR APPROVAL
5	REV. 09/15/2023	REVISED FOR APPROVAL
4	REV. 09/12/2023	REVISED FOR APPROVAL
3	REV. 09/08/2023	REVISED FOR APPROVAL
2	REV. 09/08/2023	REVISED FOR APPROVAL
1	REV. 09/08/2023	REVISED FOR APPROVAL

PROJECT

630 BOYNTON PLACE
 LOT A SECTION 31 TOWNSHIP 20 S05Y00DS DIVISION
 YALE DISTRICT PLAN EPP196227

CLIENT/OWNER & CONTACT INFO:

MERIDIAN DEVELOPMENT CORP.
 100-400 2ND AVE. NORTH, S7N 2C2
 SASKATOON, SASKATCHEWAN, CANADA

KARL MILLER
 karl.miller@meridiandevelopment.ca
 (306) 384-0421

NOT FOR CONSTRUCTION

NORTH

0 3 6 9 30m

SCALE: 1:300

BENCH

141563 Water Street, Kelowna BC V1Y 1J7 | 250 860 6796 |

SHEET TITLE
 HYDROZONE PLAN

PROJECT NO. 21-024

SCALE 1:300

L-4