

1290 Pasadena Road, Kelowna

Rezoning Application

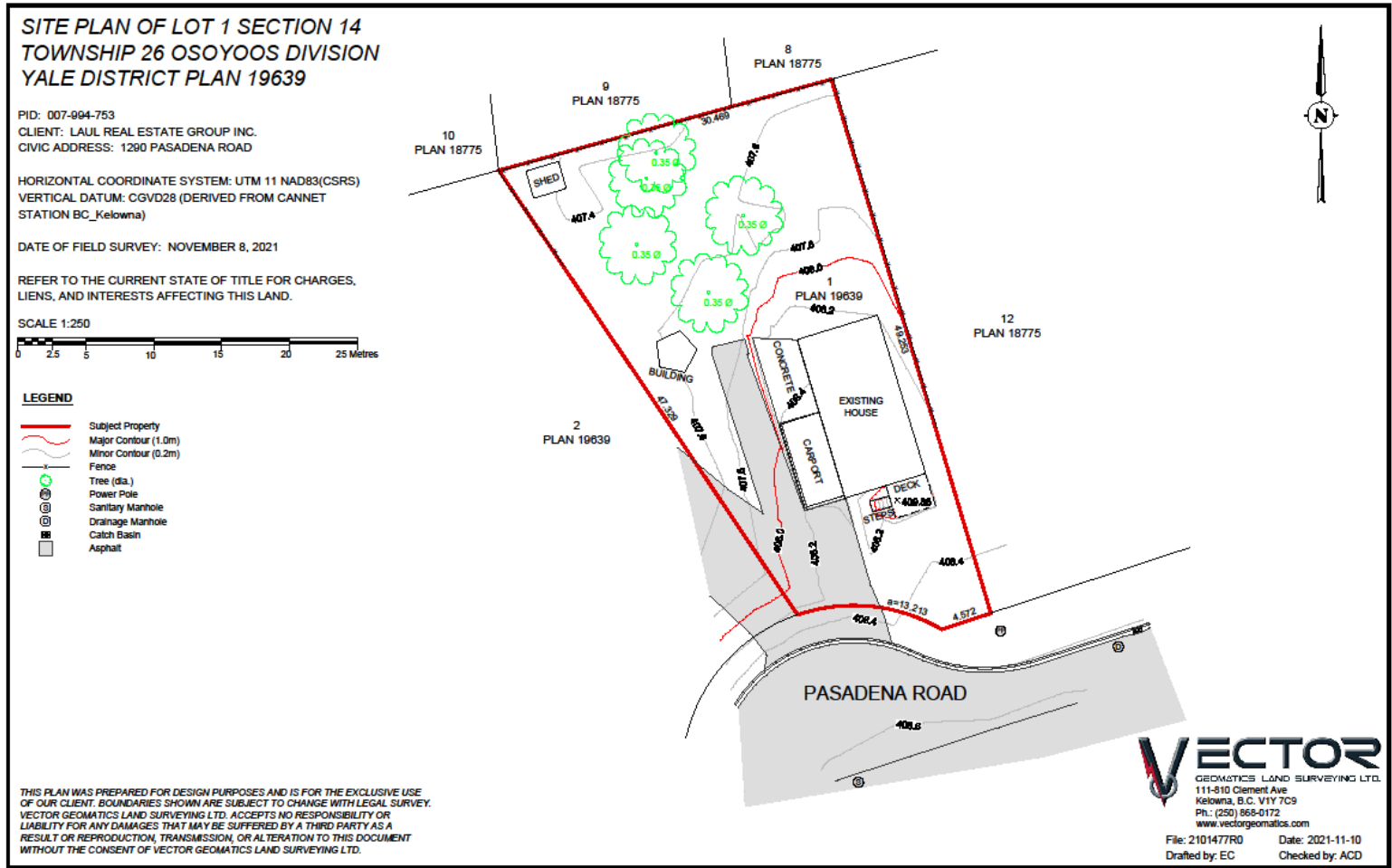
PROJECT OWNERS

- Laul Real Estate Group has multiple properties in BC and have future plans to do quality development in the province.
- This group has a vision of re- developing and propose projects which everyone would admire.

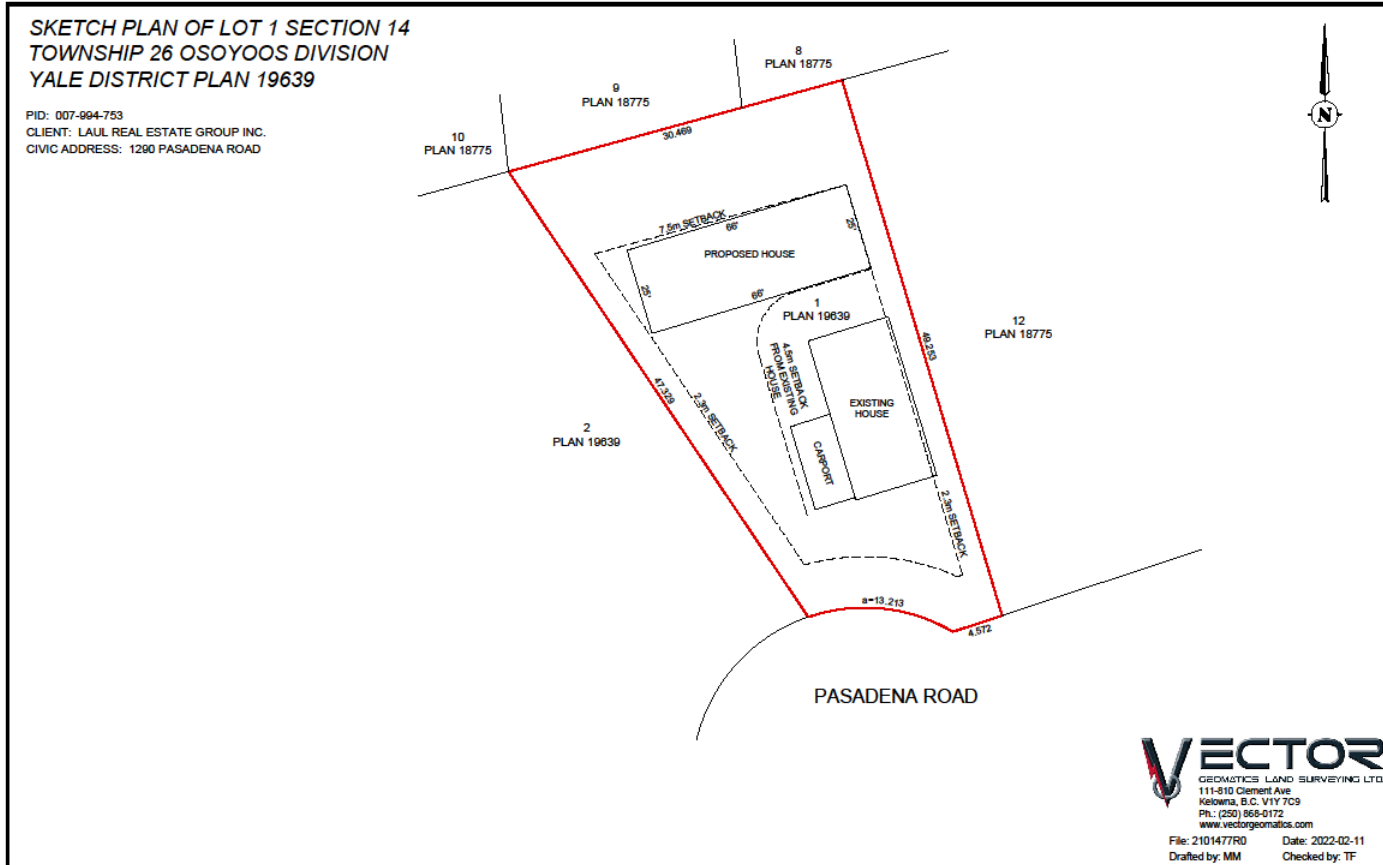
CONTRACTOR

- Conceptive Homes is an established Kelowna based builder.
- We strive to build high quality housing
- Please check conceptivehomes.com for more information on our past projects

PROPOSED PROJECT- CURRENTLY



PROPOSED PROJECT – FUTURE PLAN



REFERENCE SECOND HOUSE

FRONT ELEVATION

LEFT ELEVATION

GENERAL NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE B.C. BUILDING CODE AND ALL LOCAL LAWS AND BYLAWS.
- BEFORE CONSTRUCTION COMMENCES IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK ALL DETAILS AND DIMENSIONS TO CONFIRM ACCURACY AND TO ASSURE THERE ARE NO DISCREPANCIES.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR FOR THE CORRECT SETTING OF THE BUILDING TO COORDINATE WITH NECESSARY DETACHMENTS.
- ALTHOUGH EVERY EFFORT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE DRAWINGS WE CANNOT ELIMINATE THE POSSIBILITY OF HUMAN ERROR. THEREFORE MILLINS DRAFTING & DESIGN WILL NOT BE LIABLE FOR ANY ERRORS OR OMISSIONS.

SPECIFICATIONS

<p>ROOF</p> <p>LAMINATE SHINGLES (S119) TYPICAL SHEETING BUSINESSGRADE ROOF TRUSSES R-19 INSULATION 6 MIL. 15' POLY. 1/2" STYROFOAM</p> <p>SOFFIT & FASCIA</p> <p>1/2" FASCIA BUTTER 2x6 SHED FASCIA 3/4" STIPPED FASCIA 1x6 SHED FASCIA BOARD VENTED SOFFIT</p> <p>EXT. WALL</p> <p>MORTAR FINISHED HORIZONTAL CEDAR STUCCO TYP. WALL BRICKLAYS 2x4 STUDS @ 16" OC R-13 BATT INSULATION 6 MIL. 15' POLY. 1/2" STYROFOAM</p>	<p>INT. WALL</p> <p>5/8" STUCCO @ 16" OC 1/2" STYROFOAM BATH BARS</p> <p>FLOOR SYSTEM</p> <p>3/4" T&G SHEETING ENGINEERED JOIST</p> <p>DECK CONSTRUCTION</p> <p>2" CONIC. SLAB 4" ALL IN POLY. 1" DRAINAGE GRID</p> <p>STARTE CONSTRUCTION</p> <p>1/2" CONIC. SLAB 2x8x8x12" @ 16" OC PORTS & REBAR AS REQ. 4" DRAIN TILE 1" FIBRE REINFORCED CONCRETE DRY SHEETING PAPER</p>	<p>FOUNDATION</p> <p>8" CONIC. FOUNDATION 18" MIN. BEAM R-10 STYROFOAM INSULATION 6" POLY CONIC. FINISH</p> <p>CONIC. SLAB</p> <p>4" CONIC. SLAB 4" ALL IN POLY. 1" DRAINAGE GRID</p> <p>DRAINAGE TILE</p> <p>1" FIBRE REINFORCED CONCRETE DRY SHEETING PAPER</p>
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PROPOSED PROJECT FOR

570 MCKENZIE ROAD

RICK GROVER

UNIT 203 - 1889 SPALL RD.
Kelowna BC V1Y 4R2
Bus: (250) 717-3415
Cell: (250) 255-7819
E-mail: mullinsdrafting@shaw.ca

SHEET NUMBER

1/7

SCALE: 1/4" = 1'

DATE: APR-09-2019

MULLINS

DRAFTING & DESIGN

PURPOSE OF THE SECOND HOUSE

- Deal with new homes supply shortage
- Develop in alignment with new City of Kelowna OCP
- Increase housing/rental supply
- Revamp older neighborhood