



ATTACHMENT A

This forms part of application
 # OCP20-0003/Z20-0006

City of **Kelowna**
 DEVELOPMENT PLANNING

Planner Initials WM

Revisions

No.	Revision / Issued	yyyy.mm.dd
01	ISSUED FOR DP	2022.04.05

- IT IS THE CONTRACTORS RESPONSIBILITY TO:
- USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING.
 - VERIFY ALL DIMENSIONS AT THE SITE.
 - REPORT ALL DISCREPANCIES TO THE LANDSCAPE ARCHITECT AND AGREE BEFORE PROCEEDING
 - DETERMINE LOCATION OF ALL EXISTING SERVICES PRIOR TO EXCAVATION.
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Stamps

Project
 COURTYARD MARRIOTT - KELOWNA

3508 FLEET CT

Project No. 633-003

Drawing Title
 COVER SHEET

EDA
 Planning + Urban Design

5307 - 47 ST NW
 Edmonton, Alberta
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 Canada

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Date 2020-04-05

Scale AS NOTED

Drawn by GB/TN

Checked by WP

Approved by WP

Drawing No. **100**

COURTYARD BY MARRIOTT HOTEL- KELOWNA AIRPORT

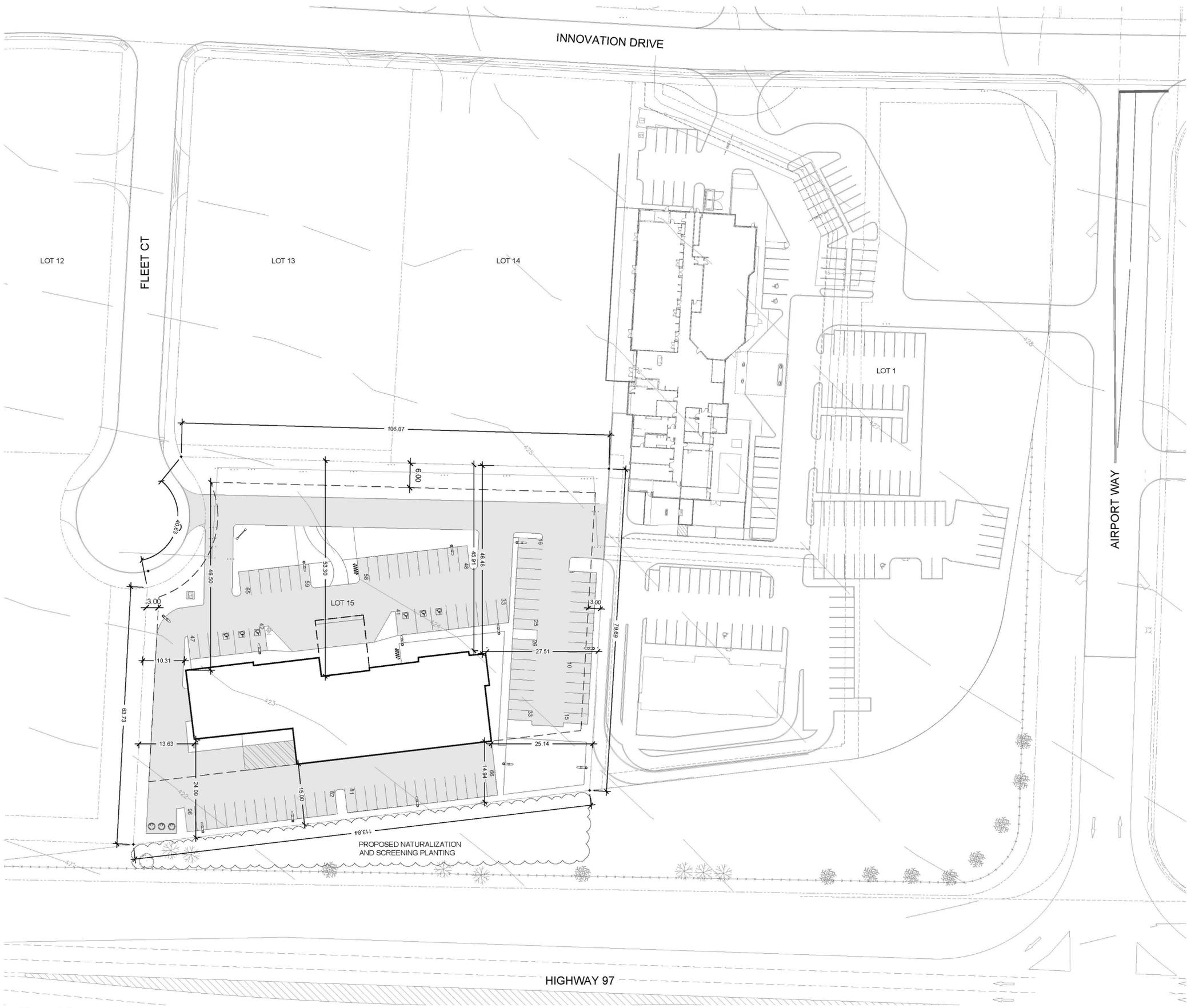
DRAWING LIST:

ARCHITECTURAL:
 100 COVER PAGE
 101 SITE PHOTOS
 200 FIRST FLOOR / LOBBY LEVEL PLAN
 201 SECOND FLOOR PLAN
 202 THIRD FLOOR PLAN

MECHANICAL:
 700 CRITERIA PLAN- HVAC
 701 CRITERIA PLAN- HVAC- LOBBY AREAS
 710 CRITERIA PLAN- PLUMBING

ELECTRICAL:
 720 CRITERIA PLAN ELECTRICAL
 721 CRITERIA PLAN- ELECTRICAL- TYPICAL
 GUESTROOM FLOOR

LANDSCAPE:
 800 SITE CONTEXT PLAN
 810 SITE DEVELOPMENT PLAN
 820 PLANTING PLAN
 830 IRRIGATION PLAN
 840 LANDSCAPE DETAILS





UTILITY SETBACK INFORMATION

TREES SHALL BE SETBACK A MINIMUM DISTANCE, MEASURED FROM THE CENTER OF THE TREE TRUNK, FROM ABOVE AND BELOW GRADE UTILITIES AND PROPERTY LINES AS FOLLOWS:

DISTANCE FROM LIGHT STANDARDS/POWER HARDWARE	3.5m
DISTANCE FROM FIRE HYDRANTS	3.5m
DISTANCE FROM STOP SIGNS	3.5m
DISTANCE FROM YIELD SIGNS	3.5m
DISTANCE FROM TRANSIT ZONES	3.5m*
DISTANCE FROM OTHER SIGNS	2.0m
DISTANCE FROM PRIVATE PROPERTY ON WALKWAY ROW	2.0m
DISTANCE FROM PRIVATE PROPERTY ON OPEN PARKLAND	3.0m
DISTANCE FROM PRIVATE PROPERTY ON BOULEVARDS	1.0m
DISTANCE FROM SHALLOW UNDERGROUND UTILITIES	1.0m
DISTANCE FROM GAS OR OIL ROW	CONTACT UTILITY
DISTANCE FROM DEEP UNDERGROUND UTILITIES	1.5m
DISTANCE FROM SANITARY AND STORM SEWERS	1.8m
DISTANCE TO SANITARY & STORM SEWERS & MANHOLES	2.0m
DISTANCE FROM WATER MAINS	2.5m

TREES SHALL BE SETBACK A MINIMUM DISTANCE, MEASURED FROM THE CENTER OF THE TREE TRUNK, TO WALKWAY AND ROADS AS FOLLOWS:

ARTERIAL ROAD MEDIAN CURB FACE	2.0m*
COLLECTOR ROAD MEDIAN CURB FACE	3.15m*
LOCAL ROAD MEDIAN CURB FACE	2.6m*
ARTERIAL ROAD BOULEVARD CURB FACE	2.0-3.0m**
COLLECTOR ROAD BOULEVARD CURB FACE	1.25m*
LOCAL ROAD BOULEVARD CURB FACE	1.25m*
INDUSTRIAL COLLECTOR ROAD MEDIAN CURB FACE	2.65m
INDUSTRIAL LOCAL ROAD MEDIAN CURB FACE	3.15m*
INDUSTRIAL COLLECTOR ROAD BLVD CURB FACE	1.65m
INDUSTRIAL LOCAL ROAD BOULEVARD CURB FACE	1.25m
DISTANCE FROM DRIVEWAYS	1.5m
DISTANCE FROM SIDEWALKS	1.0m

LEGEND

- PROPERTY BOUNDARY
- SETBACK LINE
- CANOPY LINE
- ▭ BUILDING
- ▨ PLANTING BED
- ▨ NATURALIZED LANDSCAPE BUFFER
- ▨ DECORATIVE CONCRETE PAVER
- ▨ DECORATIVE CONCRETE WALK
- ▨ ROAD AND PARKING
- MOLOK BIN
- BIKE RACK
- SIGN
- TRANSFORMER
- PEDESTRIAN LIGHT

SYMBOL	DESCRIPTION
1	DECORATIVE CONCRETE WALK
2	ENTRANCE PLAZA
3	PLANTING BED
4	AMENITY AREA
5	BIKE RACK
6	MOLOK WASTE RECEPTACLE
7	NATURALIZED LANDSCAPE BUFFER
8	LOADING AREA
9	CANOPY ABOVE
10	EXISTING TREE TO REMAIN AND BE PROTETED
11	LANDSCAPE MEDIAN
12	SIGN

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PLANTING SCHEDULE

TREES	QTY	COMMON NAME
	15	BIG LEAF MAPLE
	7	PAPER BIRCH
	6	AUTUMN PURPLE WHITE ASH
	10	SIBERIAN LARCH

SHRUBS	QTY	COMMON NAME
	108	GOLD PLATE FERNLEAF YARROW
	62	GOLDEN NUGGET JAPANESE BARBERRY
	227	KARL FOERSTER FEATHER REED GRASS
	96	ARCTIC FIRE RED TWIG DOGWOOD
	88	CONEFLOWER
	58	BURNING BUSH
	42	STELLA DE ORO DAYLILY
	102	PURPLE EULALIA GRASS
	153	DWARF MUGO PINE
	57	BRANDON ARBORVITAE

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