

PAINCHAUD FAMILY CARRIAGE HOUSE,
Carriage House,
445 Brighton Rd, Kelowna, BC
Zone: RU1
Lot: 83
Plan: KAP54631
PID: --

PROPERTY ZONE - RU1
MAXIMUM LOT COVERAGE FOR BUILDINGS: 40%
INCLUDING PARKING AREAS: 50%
LOT SIZE: 0.24acres (971sqm)
PROVIDED LOT COVERAGE: 24.4%
Existing House: 106.8sqm (1150sqft) = 10.9%
Driveway/Parking Areas: 75.3 sqm (811sqft) =7.7%
Carriage House: 56.57sqm (609sqft) = 5.8%

ACCESSORY BUILDING:
MAXIMUM BUILDING HEIGHT: 4.8m
PROPOSED BUILDING HEIGHT: 4.8m

REQUIRED FRONT YARD SETBACK (WEST): 9m
PROVIDED FRONT SETBACK (WEST): 33.7m

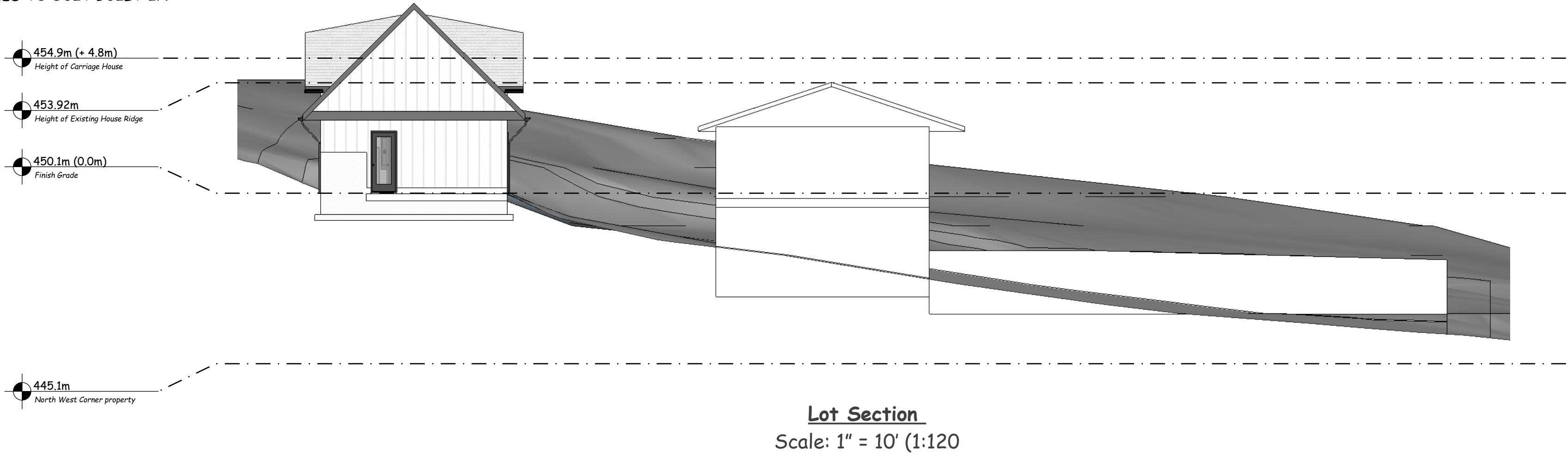
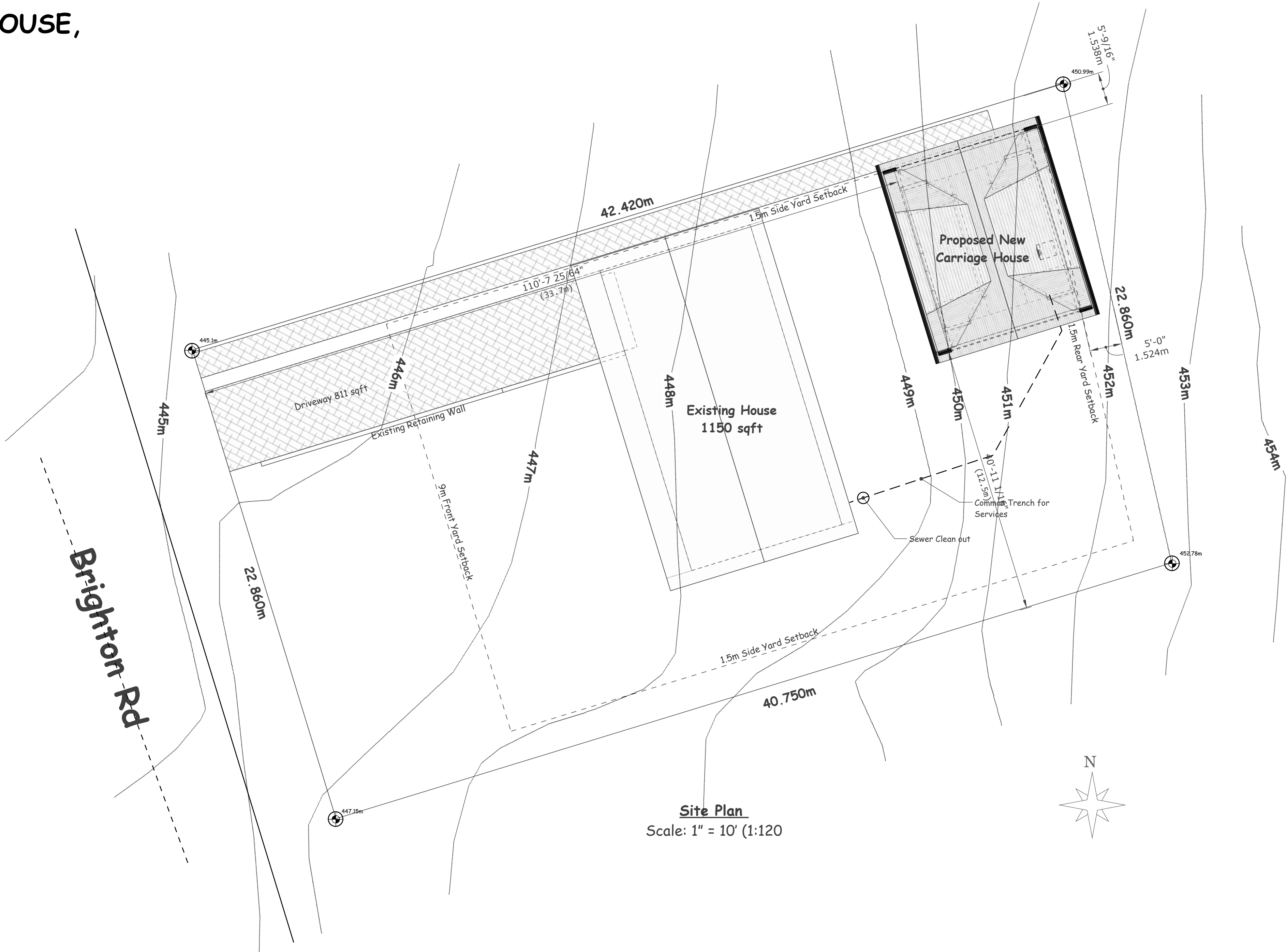
REQUIRED INTERIOR SIDE YARD SETBACK (SOUTH): 1.5m
PROVIDED INTERIOR SIDE YARD SETBACK (SOUTH): 12.5m

REQUIRED INTERIOR SIDE YARD SETBACK (NORTH): 1.5m
PROVIDED INTERIOR SIDE YARD SETBACK (NORTH): 1.538m

REQUIRED REAR YARD SETBACK (EAST): 1.5m
PROVIDED REAR YARD SETBACK (EAST): 1.524m

- GENERAL NOTES
1. DIMENSIONS ARE TO FACE OF WALL. DO NOT SCALE DRAWINGS. THE GENERAL CONTRACTOR IS TO CONFIRM ALL DIMENSIONS ON-SITE AND ADJUST DIMENSIONS AS REQUIRED TO SUIT BUILT-IN FIXTURES AND APPLIANCES. ANY SUCH DISCREPANCIES ARE TO BE REPORTED TO THE OWNER.
 2. ALL WORK TO CONFORM TO THE BCBC, LOCAL BYLAWS AND DEVELOPMENT PERMIT REQUIREMENTS. ALL WORK MUST MEET THE STANDARDS OF THE BCBC AND SUB-TRADE ASSOCIATIONS GOVERNING EACH TRADE INVOLVED IN THE PROJECT.
 3. ALL DRAWINGS ARE TO BE READ AS A COMPLETE SET IN CONJUNCTION WITH DRAWINGS AND SPECIFICATIONS FOR MECHANICAL, ELECTRICAL, GEO-TECH, AND CIVIL AS APPLICABLE.
 4. ONCE WORK COMMENCES ON THIS PROJECT BY ANY SUB-TRADE MEANS THAT THE ABOVE REQUIREMENTS HAVE BEEN REVIEWED.
 5. THE SUB-CONTRACTORS ARE RESPONSIBLE FOR THEIR SITE SAFETY AND ARE TO MEET ALL REQUIREMENTS OF THE WCB.
 6. THE SUB-CONTRACTOR IS TO ALL DIMENSIONS AFFECTING THEIR TRADE AND IN THE CASE OF DISCREPANCY THE GC IS TO BE NOTIFIED BEFORE WORK COMMENCES.
 7. GC TO PROVIDE WINDOW AND DOOR SCHEDULE IN CONJUNCTION WITH THESE DRAWINGS FOR CONSTRUCTION. CONTRACTOR TO ENSURE EGRESS MEETS THE CURRENT BCBC.
 8. SMOKE ALARMS AND CARBON DIOXIDE DETECTORS ARE TO BE INSTALLED AS PER THE CURRENT BCBC.
 9. ALL BATHROOMS ARE TO BE EQUIPPED WITH EXHAUST FAN AS PER THE CURRENT BCBC.
 10. INSTALL INTERCONNECTED SMOKE ALARMS AND CARBON MONOXIDE DETECTORS AS REQUIRED AND LOCATED AS PER BCBC.
 11. FLASH ALL EXTERIOR WALL PENETRATIONS AS PER BCBC.
 12. PROVIDE RADON MITIGATION AS PER BCBC.
 13. GRADES SHOWN ON PLANS ARE ESTIMATED. FOUNDATION WALL HEIGHTS MAY REQUIRE ADJUSTMENTS TO SUIT SITE CONDITIONS.
 14. THESE DRAWINGS HAVE BEEN CHECKED BY THE CONTRACTOR.

- NOTE:
1. ALL ROOF DRAINAGE TO BE DIRECTED TO ON-SITE APPROVED HOLDING TANK.
 2. ALL ON-SITE RUN-OFF AND SURFACE DRAINAGE TO BE CONTROLLED ON-SITE. APPROVED ABSORBENT LANDSCAPING MATERIAL.
 3. STORM WATER CALCULATIONS TO BE COMPLETED BY ENGINEER AS REQUIRED.
 4. ROCK PIT AND/OR HOLDING TANK SIZES TO BE PROVIDED BY ENGINEER AS REQUIRED.
 5. PROVIDE DRAINAGE AWAY FROM THE BUILDING FOUNDATION.
 6. MIN. SLOPE AWAY FROM BUILDING FOR AT LEAST 5'-0": 5% (APPROX. 3/4" PER 12")
- IF ROOF OVERHANG PROJECTS WITHIN 1.2 m OF PROPERTY LINE PROTECT SOFFIT (NON-VENTING SOFFIT) AS PER 9.10.15.5.(10) OF THE BCBC
- GRADE ELEVATIONS TO BE CONFIRMED ON SITE BY CONTRACTOR; ELEVATIONS HAVE NOT BEEN VERIFIED ON-SITE BY DESIGNER. FOUNDATION WALL HEIGHTS MAY REQUIRE ADJUSTMENT TO SUIT SITE CONDITIONS AND MANUFACTURER SPECIFICATIONS.



Notes:
Property distance and grading information are derived from documents supplied by the client and scaled mapping obtained from the C.O.K. GIS Web Map Services. All distances and grades to be confirmed on site



CITY OF KELOWNA

MEMORANDUM

Date: March 24, 2022
File No.: Z22-0023
To: Community Planning (GA)
From: Development Engineering Manager (NC)
Subject: 445 Brighton Rd

ATTACHMENT

A

This forms part of application

Z22-0023

Planner
Initials

GA

City of
Kelowna
DEVELOPMENT PLANNING



RU1 to RU1C

The Development Engineering Branch has the following comments and requirements associated with this application to rezone the subject lot RU1 to RU1c to facilitate the construction of a Carriage House. The utility upgrading requirements outlined in this report will be a requirement of this development.

1. General

- a. The following requirements are valid for two (2) years from the reference date of this memo, or until the application has been closed, whichever occurs first. The City of Kelowna reserves the rights to update/change some or all items in this memo once these time limits have been reached.
- b. There is a possibility of a high water table or surcharging of storm drains during major storm events. This should be considered in the design of the onsite system.
- c. This application is subject to comment from the Ministry of Transportation and Infrastructure.

2. Domestic Water and Fire Protection

- a. The subject lot is within the Black Mountain Irrigation District (BMID) water supply area. The Developer is required to make satisfactory arrangements with BMID for all water and fire protection-related issues. All charges for service connection(s) and upgrading costs, as well as any costs to decommission existing services, shall be the responsibility of the Developer.
- b. The Developer's Consulting Mechanical Engineer will determine the fire protection requirements of this proposed development and establish hydrant requirements and service needs. All fire flow calculations approved by BMID are to be shared with the Development Engineering Branch upon submittal of off-site civil engineering drawings.

3. Sanitary Sewer

- a. Our records indicate that this property is currently serviced with a 100mm-diameter sanitary sewer service off Brighton Rd. The Applicant's Consulting Mechanical Engineer will determine the requirements of the proposed development and establish the service needs. Only one service will be permitted. If required, the applicant will arrange for the removal and disconnection of the existing service and the installation of one new larger service at the applicants cost.
- b. Brooks Box, as per CoK SS-S9, is to be installed over inspection chamber for existing service connection.

4. Storm Drainage

- a. This property is located within an area identified by the City of Kelowna as having poor infiltration conditions. Service connection to the City Storm system may be required if site conditions do not provide for safe infiltration or dispersal of storm water on site. The safe use of infiltration is to be confirmed, at time of Building Permit, with submission of a geotechnical report provided by a Professional Engineer competent in the field of hydro-geotechnical engineering.
- b. If storm service connection is required, the Applicant can sign a Third-Party Work Order for the cost of the storm service and have the City complete installation. For estimate inquiries please contact Sarah Kelly, by e-mail skelly@kelowna.ca or phone, 250-469-8783.

5. Electric Power and Telecommunication Services

- a. It is the applicant's responsibility to make a servicing application with the respective electric power, telephone, and cable transmission companies to arrange for service upgrades to these services which would be at the applicant's cost.

6. Geotechnical Study

- a. At time of Building Permit, the Applicant is required to provide a comprehensive geotechnical report, prepared by a Professional Engineer competent in the field of hydro-geotechnical engineering to address the items below:
 - i. Area ground water characteristics, including any springs and overland surface drainage courses traversing the property. Identify any monitoring required.
 - ii. Site suitability for development.
 - iii. Site soil characteristics (i.e. fill areas, sulphate content, unsuitable soils such as organic material, etc.).
 - iv. Any special requirements for construction of roads, utilities, and building structures.
 - v. Recommendations for items that should be included in a Restrictive Covenant.
 - vi. Recommendations for roof drains and perimeter drains.
 - vii. Recommendations for erosion and sedimentation controls for water and wind.
 - viii. Any items required in other sections of this document.
- b. Geotechnical reports must be submitted to the Planning and Development Services Department (Planning & Development Officer) for distribution to the Works & Utilities Department and Inspection Services Division prior to submission of Engineering drawings or application for subdivision approval.

NOTE: The City is relying on the Geotechnical Engineer's report to prevent any damage to property and/or injury to persons from occurring as a result of problems with soil slippage or soil instability related to this proposed subdivision.

7. Site Access

- a. This property will be permitted only one driveway with a maximum width of 6m.


Nelson Chapman, P.Eng
Development Engineering Manager

Carriage House at 445 Brighton Rd

To whom it may concern,

ATTACHMENT		B
This forms part of application		
# Z22-0023		
Planner Initials	GA	 City of Kelowna DEVELOPMENT PLANNING

As long time Kelowna residents with a large, active family we are hoping to build a Carriage House on our existing property at 445 Brighton Rd. We plan for this building to provide more storage for our growing family as well as a small suite that we will rent or that may be used by our teenage boys for living space when they become adults and go to college.

With the current housing market in Kelowna, we felt that this was the best way to invest in our property and our children's future. We were disappointed to find that the most recent rezoning of the core area and rutland did not include our property.

The space at the back of our property is very rarely used and would provide more than adequate room to build a garage and carriage house. We have great access to that section of the yard with the perfect place for a lit walkway and lots of parking (as demonstrated in photos).

We have designed a building that follows all of the guidelines for a carriage house in Kelowna (as detailed in our plans).

Thank you for your time and consideration,

Heather Painchaud