

# DILWORTH SHOPPING CENTER REDEVELOPMENT

## PHASE 2

Issued for TRS Response

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### LANDSCAPE DRAWING INDEX PERMIT

Sheet No.	Sheet Name
L0.0	PH 2 - COVER SHEET
L0.1	PH 2 - GENERAL NOTES
L0.2	PH 2 - TREE MANAGEMENT PLAN
L0.3	PH 2 - OVERALL LANDSCAPE PLAN
L1.0	PH 2 - MATERIALS + LAYOUT PLAN - WEST
L1.1	PH 2 - MATERIALS + LAYOUT PLAN - EAST
L1.2	PH 2 - GRADING PLAN - WEST
L1.3	PH 2 - GRADING PLAN - EAST
L1.4	PH 2 - TREE PLANTING PLAN - WEST
L1.5	PH 2 - TREE PLANTING PLAN - EAST
L1.6	PH 2 - SHRUB PLANTING PLAN - WEST
L1.7	PH 2 - SHRUB PLANTING PLAN - EAST
L1.8	PH 2 - HYDROZONE PLAN - WEST
L1.9	PH 2 - HYDROZONE PLAN - EAST
L1.10	PH 2 - LIGHTING SCHEMATIC PLAN - WEST
L1.11	PH 2 - LIGHTING SCHEMATIC PLAN - EAST
L1.12	PH 2 - FENCE + GATE LOCATION PLAN - WEST
L1.13	PH 2 - FENCE + GATE LOCATION PLAN - EAST
L2.0	PH 2 - SECTIONS
L2.1	PH 2 - SECTIONS
L2.2	PH 2 - SECTIONS
L3.0	PH 2 - PLANT LIST
L3.1	PH 2 - PLANT IMAGES
L4.0	PH 2 - PRECEDENT IMAGES
L4.1	PH 2 - PRECEDENT IMAGES
L5.0	PH 2 - HARDSCAPE DETAIL - PAVING
L5.1	PH 2 - HARDSCAPE DETAIL - PAVING
L5.2	PH 2 - HARDSCAPE DETAIL - STAIRS AND RAMPS
L5.3	PH 2 - HARDSCAPE DETAIL - CURBS AND WALLS
L5.4	PH 2 - SITE FURNISHING DETAIL - FENCES
L5.5	PH 2 - SITE FURNISHING DETAIL - BENCHES AND SEATING
L5.6	PH 2 - SOFTSCAPE DETAIL - ON-GRADE PLANTING
L5.7	PH 2 - SOFTSCAPE DETAIL - ON-GRADE PLANTING
L5.8	PH 2 - SOFTSCAPE DETAIL - ON SLAB PLANTING
L5.9	PH 2 - SOFTSCAPE DETAIL - ON SLAB PLANTING
L6.0	PH 2 - APPENDIX A - HYDROZONE CALCULATIONS

## SCHEDULE C

This forms part of application  
# DP21-0155

Planner  
Initials

WM

City of  
**Kelowna**  
DEVELOPMENT PLANNING



### Project Stamp



### Issue

No.	Description	Date
F	Issued for Development Permit	21-05-30
G	Re-Issued for Development Permit	21-12-23
H	Issued for TRS Response	22-02-03

### Project Info

20168

### Dilworth Center

Mixed Use  
2339 Highway 97N  
Kelowna, BC

### Project Team

Client  
Peterson

Architect  
IBI Group

Landscape Architect  
LOCI Landscape Architecture + Urban Design

Drawn By  
JD

Checked By  
ME

PH 2 - COVER SHEET

L0.0

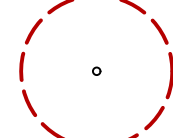
Rev. A revision

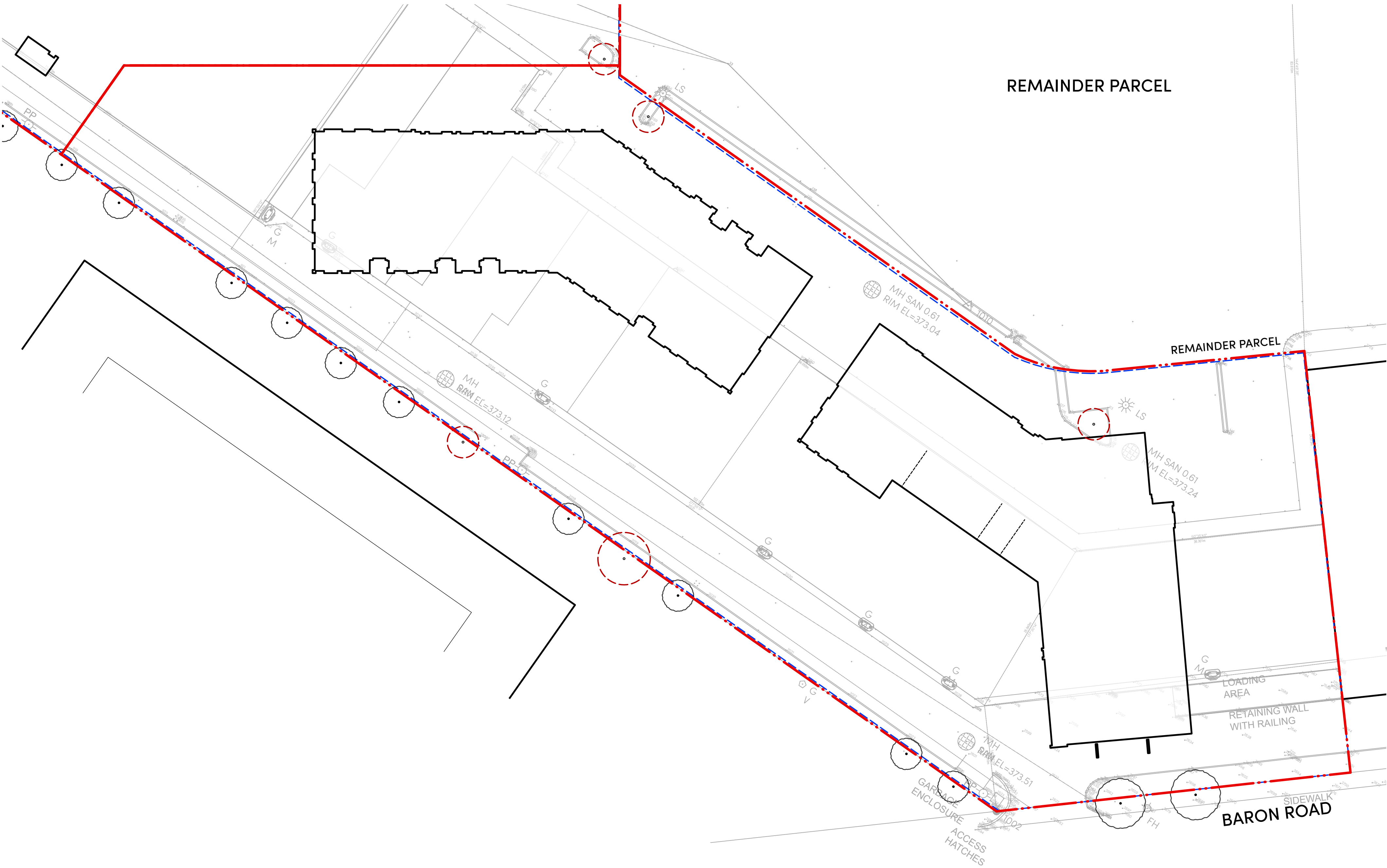


GENERAL TREE MANAGEMENT NOTES:

1. ALL COMPONENTS AND WORKMANSHIP TO CONFORM TO BCLNA STANDARDS TYPICAL.
2. POSITION TREE STAKES INTO DIRECTION OF PREVAILING WINDS IF MINIMUM UTILITY SETBACKS PERMIT.
3. ALL TREE STAKES TO HAVE A MINIMUM 1.0m CLEARANCE FROM ALL U/G POWER, TELEPHONE AND GAS ALIGNMENTS.
4. ALL ROOTBALL HOLES TO BE DUG BY HAND WHEN CLOSER TO 1.0M (40") TO U/G POWER, TELEPHONE AND GAS ALIGNMENTS. FOR TREES WITH DRIPLINES FROM FROM 3M - 5M (9' - 15') FROM CONSTRUCTION ACTIVITY;
5. PLACE STANDARD 'SAFETY ORANGE' SNOWFENCE MIN. OF 4.5M (14'8") FROM TREE TRUNK. EXACT SIZE/SHAPE TO BE DETERMINED ON SITE
6. FOR EXCAVATION WITHIN 1-3M (3' - 9') OF ANY TREE'S DRIPLINE, ROOT PRUNING REQUIRED TO A DEPTH OF 500MM (20"). IMMEDIATELY AFTER EXCAVATION, PRUNE ALL EXPOSED ROOTS FLUSH WITH THE EXCAVATION WALL.
7. A MAXIMUM OF 25% OF ANY TREE'S ROOTS AT THE DRIPLINE SHOULD BE IMPACTED BY EXCAVATION IF THE TREE IS EXPECTED TO SURVIVE.
8. INSTALL AND MAINTAIN HOARDING IN CLEAN AND SAFE CONDITION THROUGHOUT CONSTRUCTION PROCESS.
9. HOARDING REQUIREMENTS ARE ON ALL EXISTING TREES THROUGHOUT CONSTRUCTION. ALL EQUIPMENT, SOIL, BUILDING MATERIAL AND OTHER DEBRIS SHALL BE KEPT OUTSIDE THE HOARDING.
10. IF HOARDING IS PUNCTURED AND DAMAGE OCCURS TO HOARDED TREE(S), NOTIFY LANDSCAPE ARCHITECT.
11. THE BEST METHOD TO AVOID SOIL COMPACTION IS TO KEEP OFF. THIS INCLUDES RESTRICTING ALL TRAFFIC BOTH VEHICULAR AND PEDESTRIAN FROM CROSSING OVER THE ROOT ZONES, AND RESTRICTING EVEN TEMPORARY MATERIAL STORAGE UNDER TREES.
12. EXCAVATION AROUND TREES WITHIN DRIP LINE OF TREES ONLY WHERE INDICATED ON PLANS AND AS DIRECTED BY THE CONSULTANT.
13. DURING ANY EXCAVATION WITHIN THE DRIP LINE OF A TREE THE CONTRACTOR SHALL EXCAVATE AROUND TREE ROOTS AS DIRECTED BY THE CONSULTANT. DO NOT CUT TREE ROOTS UNLESS DIRECTED BY THE CONSULTANT.
14. TREES AND OTHER DESIRABLE VEGETATION TO BE TOTALLY FENCED. FENCING TO BE MAINTAINED FOR THE DURATION OF THE PROJECT.
15. EXCAVATION FOR NEW CONSTRUCTION WITHIN THE DRIP LINES OF TREES: HAND EXCAVATE TO MINIMIZE DAMAGE TO ROOT SYSTEMS
16. USE NARROW TINE SPADING FORKS TO PROBE AND COMB SOIL TO EXPOSE ROOTS;
17. RELOCATE ROOTS INTO BACKFILL AREAS WHENEVER POSSIBLE. IF LARGE MAIN LATERAL ROOTS ARE ENCOUNTERED, EXPOSE BEYOND EXCAVATION LIMITS AS REQUIRED TO BEND AND RELOCATE WITHOUT BREAKING.
18. UTILITY TRENCHING WITHIN THE DRIP LINES OF TREES: TUNNEL UNDER AND AROUND ROOTS BY HAND DIGGING;
19. DO NOT CUT MAIN LATERAL ROOTS;
20. CUTTING OF SMALLER ROOTS THAT INTERFERE WITH INSTALLATION OF NEW WORK SHALL BE DONE WITH CLEAN SHARP TREE PRUNING TOOLS;
21. ROOTS THAT ARE ENCOUNTERED IMMEDIATELY ADJACENT TO THE LOCATION OF NEW CONSTRUCTION AND ARE TOO DIFFICULT TO RELOCATE SHALL BE CUT 150MM (6") BACK FROM NEW CONSTRUCTION. USE CLEAN SHARP TREE PRUNING TOOLS;
22. PROTECTION OF EXPOSED ROOTS: DO NOT ALLOW EXPOSED ROOTS TO DRY OUT PRIOR TO PLACEMENT OF PERMANENT COVER.
23. PROVIDE ONE OF THE FOLLOWING TEMPORARY REMEDIAL MEASURES:
  - 24.A. PROVIDE TEMPORARY EARTH COVER. MAINTAIN MOISTURE.
  - 24.B. PACK WITH WET PEAT MOSS . MAINTAIN MOISTURE.
  - 24.C. PACK WITH FOUR LAYERS OF WET UNTREATED BURLAP. MAINTAIN MOISTURE.
25. TEMPORARILY SUPPORT AND PROTECT EXPOSED ROOTS FROM DAMAGE UNTIL PERMANENTLY RELOCATED AND COVERED WITH BACKFILL.
26. WATER PUDDLE BACKFILL AROUND ROOTS TO ELIMINATE VOIDS AND AIR POCKETS

TREE MANAGEMENT PLAN

SYMBOL	DESCRIPTION
	EXISTING TREE TO BE REMOVED
	EXISTING TREE TO BE RETAINED



1 TREE MANAGEMENT PLAN  
Scale: 1" = 30'-0"

Project Stamp



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IBI Group

Landscape Architect

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Drawn By

JD

Checked By

ME

PH 2 - TREE  
MANAGEMENT PLAN

L0.2

Rev. A revision





**1 OVERALL LANDSCAPE SITE PLAN**  
Scale: 1" = 30'-0"

**KEY LEGEND**

- |   |   |
|---|---|
| <b>A</b> BARON ROAD ENTRY DRIVE + PLAZA                                   | <b>C</b> POCKET PARK + PLAYGROUND (PUBLIC ACCESS)   |
| <b>1</b> GATHERING NODE WITH FEATURE PAVING, SEATING, POSSIBLE PUBLIC ART | <b>9</b> PIP RUBBER SURFACE + PLAY EQUIPMENT (5-12 YEARS OLD) WITH SEATING + SHADE CANOPY |
| <b>2</b> COMMERCIAL RETAIL FRONTAGE - SHADE TREES + SEATING               | <b>10</b> MULTI-USE PUBLIC PATH (7'-0" WIDE)  |
| <b>3</b> NEW TREE-LINED INTERNAL ROAD                                     | <b>D</b> SOUTH AMENITY DECK   |
| <b>B</b> INTERNAL STREETS + BUILDING FRONTAGE                             | <b>11</b> SOCIAL AREA WITH OUTDOOR LOUNGE AREAS   |
| <b>4</b> COMMERCIAL RETAIL FRONTAGE - SHADE TREES + SEATING               | <b>12</b> GAMES AREA - BOCCIE, PING PONG, ETC.  |
| <b>5</b> STREETSIDE PARKING AND PLANTED BOULEVARD + TREES                 | <b>13</b> RAISED POOL DECK + HOT TUB WITH PERIMETER SEATING                               |
| <b>6</b> PEDESTRIAN CROSSINGS AT KEY BUILDING ENTRIES                     | <b>14</b> OUTDOOR KITCHEN/BAR - COVERED AREA  |
| <b>7</b> PARKADE ENTRY  | <b>15</b> STAIRS + RAMP   |
| <b>8</b> PRIVATE PATIOS + UNIT WALK-UPS (RAISED) WITH BUFFER PLANTING     |   |

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<b>Drawn By</b>	<b>Checked By</b>
JD	ME

**PH 2 - OVERALL  
LANDSCAPE PLAN**

**L0.3**

Rev. A revision





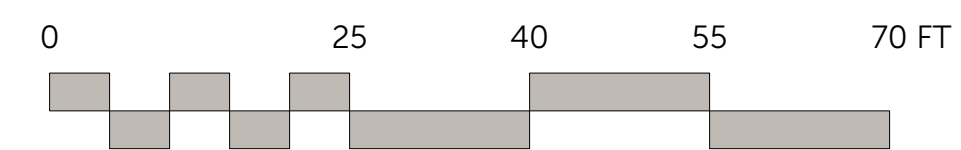
ALL RIGHTS RESERVED.  
PROPERTY OF LOCI LANDSCAPE ARCHITECTURE  
AND URBAN DESIGN. USE OR REPRODUCTION  
PROHIBITED WITH PRIOR WRITTEN CONSENT.



SYMBOL	DESCRIPTION
	<b>MOVABLE CAFE TABLES</b> Product by Owner, TBD
	<b>BANQUET TABLES</b> Product by Owner, TBD
	<b>POOL CABANA</b> Product by Owner, TBD
	<b>POOL LOUNGERS</b> Product by Owner, TBD
	<b>FIREPLACE</b> Product TBD
	<b>OUTDOOR FURNITURE - SOFA</b> Product TBD
	<b>BOCCIE COURT</b> Product TBD
	<b>BAR TABLE AND STOOL</b> Product TBD
	<b>PING PONG TABLE</b> Product TBD
	<b>PLAYGROUND PLAY STICKS</b> Product TBD
	<b>BIKE RACK</b> Product TBD
	<b>BOLLARDS</b> Product TBD
	<b>OVERHEAD TRELLIS</b> Product TBD

1. ALL DIMENSIONS ARE IMPERIAL UNLESS OTHERWISE NOTED. VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT FOR REVIEW AND RESPONSE.
2. ALL UTILITIES TO BE STAKED OUT BY CONTRACTOR AND PROTECTED FOR DURATION OF CONSTRUCTION PERIOD.
3. UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM 2% SLOPE ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS OR TO DRAINAGE STRUCTURES. MAXIMUM 3:1 SLOPE IN SOFT LANDSCAPE AREAS.
4. THE LAYOUT OF ALL HARDSCAPE ITEMS, SITE FURNISHINGS, BOULDERS, LANDSCAPE LIGHTING, PLANTING BEDS AND OTHER MATERIALS IS TO BE STAKED OUT BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
5. ALL SUBSTITUTIONS OF SPECIFIED MATERIALS TO BE APPROVED BY LANDSCAPE ARCHITECT.

Scale: 1/16" = 1'-0"



Rev. A revision



MATERIALS LEGEND

SYMBOL	KEY	DESCRIPTION	DETAIL
	P1	<b>PAVING TYPE 1: CONCRETE SIDEWALK</b> CIP Concrete on Slab 5'-0" Score Lines, TBD	
	P2	<b>PAVING TYPE 2: ENTRY MEWS PAVING</b> Custom Precast Pavers on Slab Size, TBD	
	P3	<b>PAVING TYPE 3: PRIVATE PATIO PAVING</b> Concrete Unit Pavers on Slab 24" X 24", Product TBD	
	P4	<b>PAVING TYPE 4: LOBBY PAVING</b> Porcelain Pavers on Slab 24" x 24", Product TBD	
	P5	<b>PAVING TYPE 5: AMENITY</b> Porcelain Pavers on Slab Product and Size, TBD	
	P6	<b>PAVING TYPE 6: POOL PAVING</b> Porcelain Pavers on Slab Product and Size, TBD	
	P7	<b>PAVING TYPE 7: FEATURE PLAZA PAVING</b> Concrete Unit Paving on Slab Product and Size, TBD	
	P8	<b>PAVING TYPE 8: FEATURE RETAIL PAVING</b> Concrete Unit Paving with Charcoal Bands Product and Size, TBD	
	P9	<b>PAVING TYPE 9: WOOD DECK / BLEACHERS</b> Thermally Modified Wood, White Ash or Approved Alternative, Size and Product TBD	
	L2	<b>PLANTING TYPE 2 - INSET PLANTING</b> Inset Planting on Slab Min. Soil Depth: 24" for Shrubs / 36" for Trees	
	L3	<b>PLANTING TYPE 3 - FOUNDATION PLANTING</b> Min. 24" Soil Depth for Shrubs Min. 36" Soil Depth for Trees	
	L4	<b>PLANTING TYPE 4 - MOVABLE METAL PLANTER</b> Min. 24" Soil Depth	
	L5	<b>PLANTING TYPE 5 - ORNAMENTAL PLANTING</b> Min. 24" Soil Depth	
	W1	<b>WALL TYPE 1 - CONCRETE FLUSH CURB/WALL</b> 6" Width, Flush to Finished Paving Rebars with Starter Curb On Slab	
	W2	<b>WALL TYPE 2 - CONCRETE RETAINING WALL</b> 6" Width, Height Varies - Max. 36" Exposed Wall Architectural Finish	
	W3	<b>WALL TYPE 3 - LANDSCAPE FEATURE WALL</b> 24" to 36" Ht. Stone Face, Illuminated	
		<b>LANDSCAPE FENCE</b> Refer to Fence + Gate Location Plan	
		<b>ARCHITECTURAL PRIVACY FENCE</b> Refer to Architecture	
	S1	<b>SEATING TYPE 1</b> Wood Top Bench	
	C1	<b>CIP CONCRETE STAIRS</b> 6" Rise x 12" Tread, Typ.	
	C2	<b>CIP CONCRETE RAMP</b>	
		<b>MOVABLE CAFE TABLES</b> Product by Owner, TBD	
		<b>BANQUET TABLES</b> Product by Owner, TBD	
		<b>POOL CABANA</b> Product by Owner, TBD	
		<b>POOL LOUNGERS</b> Product by Owner, TBD	
		<b>FIREPLACE</b> Product TBD	
		<b>OUTDOOR FURNITURE - SOFA</b> Product TBD	
		<b>BOCCIE COURT</b> Product TBD	
		<b>BAR TABLE AND STOOL</b> Product TBD	

SYMBOL	DESCRIPTION
	<b>OVERHEAD TRELLIS</b> Product TBD
	<b>LEISURE SWIMMING POOL</b> by Others
	<b>PMT</b> by Others

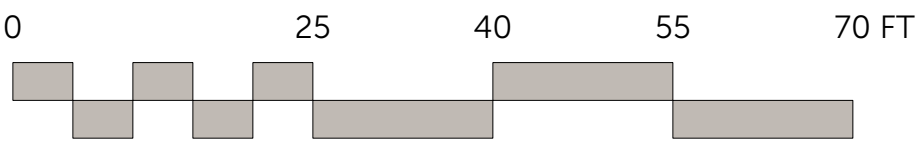


GENERAL LAYOUT + MATERIALS NOTES:

- ALL DIMENSIONS ARE IMPERIAL UNLESS OTHERWISE NOTED. VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT FOR REVIEW AND RESPONSE.
- ALL UTILITIES TO BE STAKED OUT BY CONTRACTOR AND PROTECTED FOR DURATION OF CONSTRUCTION PERIOD.
- UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM 2% SLOPE ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS OR TO DRAINAGE STRUCTURES. MAXIMUM 3:1 SLOPE IN SOFT LANDSCAPE AREAS.
- THE LAYOUT OF ALL HARDSCAPE ITEMS, SITE FURNISHINGS, BOULDERS, LANDSCAPE LIGHTING, PLANTING BEDS AND OTHER MATERIALS IS TO BE STAKED OUT BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL SUBSTITUTIONS OF SPECIFIED MATERIALS TO BE APPROVED BY LANDSCAPE ARCHITECT.

1

**MATERIALS + LAYOUT PLAN EAST**  
Scale: 1/16" = 1'-0"



Project Stamp



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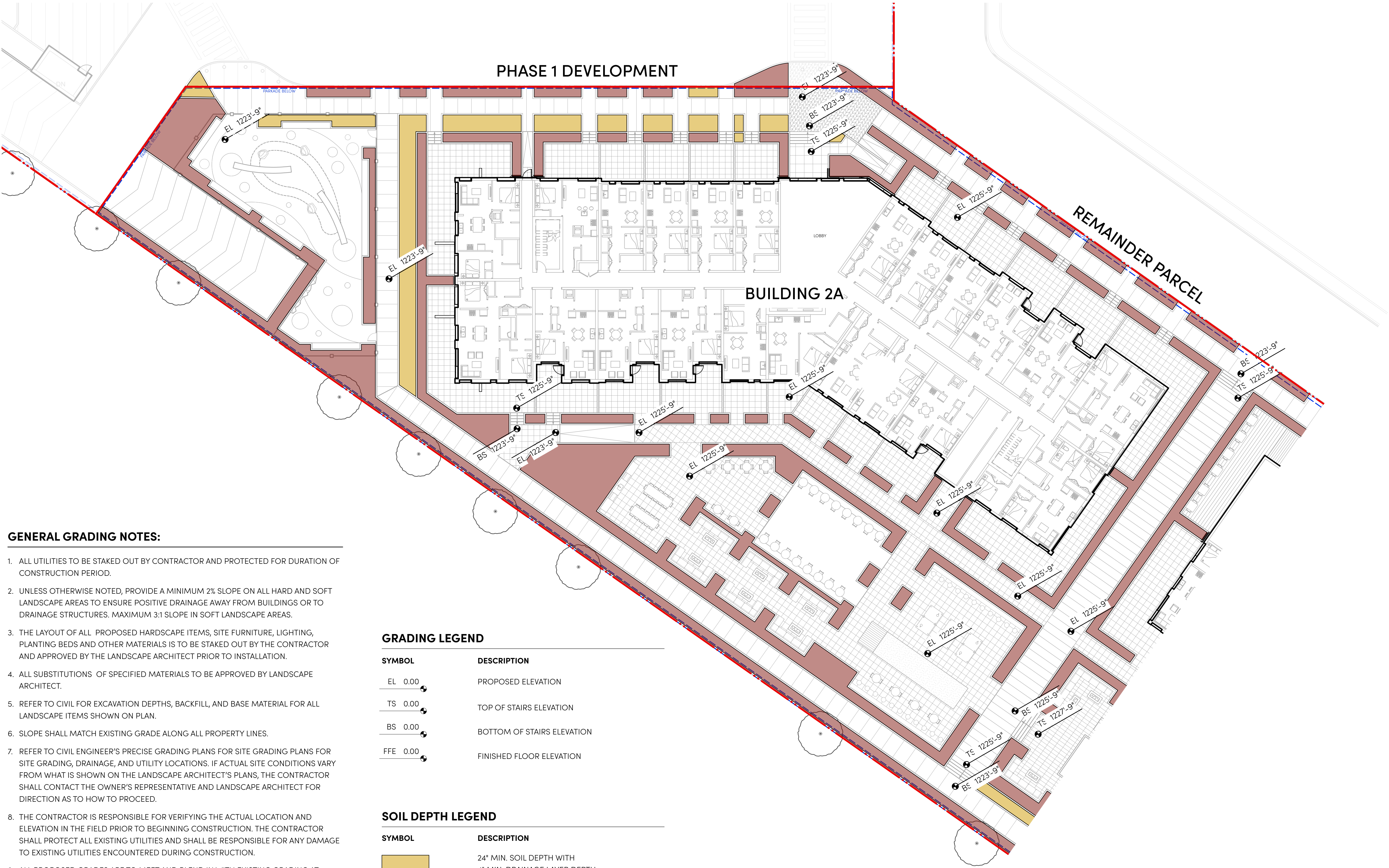
ME

**PH 2 - MATERIALS +  
LAYOUT PLAN - EAST**

**L1.1**

Rev. A revision





GENERAL GRADING NOTES:

1. ALL UTILITIES TO BE STAKED OUT BY CONTRACTOR AND PROTECTED FOR DURATION OF CONSTRUCTION PERIOD.
2. UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM 2% SLOPE ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS OR TO DRAINAGE STRUCTURES. MAXIMUM 3:1 SLOPE IN SOFT LANDSCAPE AREAS.
3. THE LAYOUT OF ALL PROPOSED HARDSCAPE ITEMS, SITE FURNITURE, LIGHTING, PLANTING BEDS AND OTHER MATERIALS IS TO BE STAKED OUT BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
4. ALL SUBSTITUTIONS OF SPECIFIED MATERIALS TO BE APPROVED BY LANDSCAPE ARCHITECT.
5. REFER TO CIVIL FOR EXCAVATION DEPTHS, BACKFILL, AND BASE MATERIAL FOR ALL LANDSCAPE ITEMS SHOWN ON PLAN.
6. SLOPE SHALL MATCH EXISTING GRADE ALONG ALL PROPERTY LINES.
7. REFER TO CIVIL ENGINEER'S PRECISE GRADING PLANS FOR SITE GRADING PLANS FOR SITE GRADING, DRAINAGE, AND UTILITY LOCATIONS. IF ACTUAL SITE CONDITIONS VARY FROM WHAT IS SHOWN ON THE LANDSCAPE ARCHITECT'S PLANS, THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT FOR DIRECTION AS TO HOW TO PROCEED.
8. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION AND ELEVATION IN THE FIELD PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION.
9. ALL PROPOSED GRADES ARE TO MEET AND BLEND IN WITH EXISTING GRADING AT PROJECT LIMITS, GRADING LIMITS, AND EXISTING SIDEWALK. PRECISE ELEVATIONS INDICATED ON PLANS TO BE VERIFIED IN FIELD TO AS-BUILT CONDITION.
10. THE DEBRIS CREATED BY LANDSCAPE GRADING OPERATIONS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF LEGALLY OFF SITE.
11. FINAL GRADING SHALL BE REVIEWED BY THE LANDSCAPE ARCHITECT IN THE FIELD PRIOR TO INSTALLATION OF PLANTING.

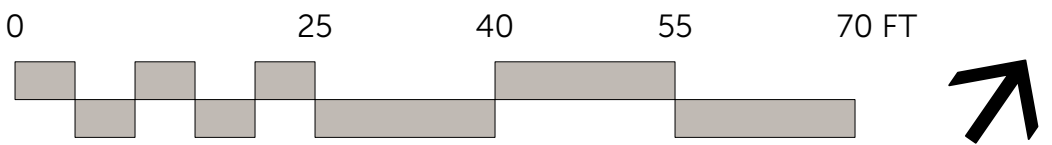
GRADING LEGEND

SYMBOL	DESCRIPTION
EL 0.00	PROPOSED ELEVATION
TS 0.00	TOP OF STAIRS ELEVATION
BS 0.00	BOTTOM OF STAIRS ELEVATION
FFE 0.00	FINISHED FLOOR ELEVATION

SOIL DEPTH LEGEND

SYMBOL	DESCRIPTION
	24" MIN. SOIL DEPTH WITH 4" MIN. DRAINAGE LAYER DEPTH
	36" MIN. SOIL DEPTH WITH 4" MIN. DRAINAGE LAYER DEPTH

1 GRADING PLAN WEST  
Scale: 1/16" = 1'-0"



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PH 2 - GRADING PLAN -  
WEST

L1.2

Rev. A revision



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1. ALL UTILITIES TO BE STAKED OUT BY CONTRACTOR AND PROTECTED FOR DURATION OF CONSTRUCTION PERIOD.
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GRADING LEGEND

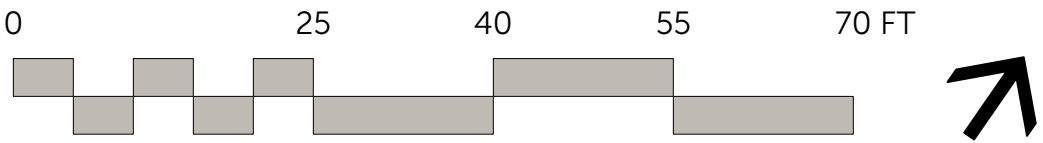
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EL 0.00	PROPOSED ELEVATION
TS 0.00	TOP OF STAIRS ELEVATION
BS 0.00	BOTTOM OF STAIRS ELEVATION
FFE 0.00	FINISHED FLOOR ELEVATION

SOIL DEPTH LEGEND

SYMBOL	DESCRIPTION
	24" MIN. SOIL DEPTH WITH 4" MIN. DRAINAGE LAYER DEPTH
	36" MIN. SOIL DEPTH WITH 4" MIN. DRAINAGE LAYER DEPTH



1 GRADING PLAN EAST  
Scale: 1/16" = 1'-0"



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PH 2 - GRADING PLAN -  
EAST

L1.3

Rev. A revision

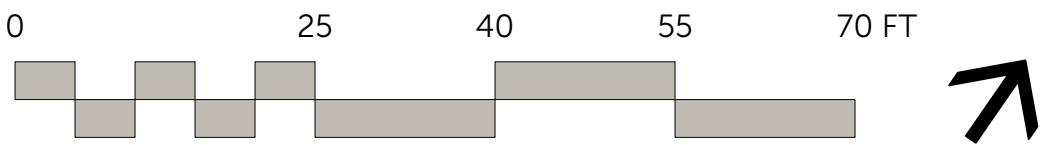




**GENERAL PLANTING NOTES:**

1. ALL PLANTING SHALL BE IN ACCORDANCE WITH BC LANDSCAPE STANDARD, LATEST EDITION
2. ALL TREE AND SHRUB AREAS TO BE MULCHED WITH 50MM (2") OF MEDIUM FINE MULCH, LESS THAN 50MM (2") DIAMETER.
3. ROOTZONE TO REST ON TAMPED PLANTING SOIL
4. SHRUBS: PREPARE PLANTING HOLES AS SPECIFIED. PLANT AT THE SAME GRADE AS NURSERY. WATER AND FERTILIZE AS SPECIFIED. ENSURE POSITIVE DRAINAGE THROUGHOUT PLANTING BED
5. TREE SIZE AND SPACING TO BE AS PER CITY OF VANCOUVER ARBORIST
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8. IN CASE OF A DISCREPANCY BETWEEN PLANT INFORMATION ON THE LIST AND ON THE PLAN, THE LATTER SHALL PREVAIL
9. ALL PLANT MATERIAL TO BE MANUALLY WATERED FROM START OF INSTALLATION THROUGH THE END OF THE WARRANTY PERIOD
10. INSTALL TREE PROTECTION FENCING AROUND ALL EXISTING TREES TO THE CITY STANDARDS. INSTALL TREE PROTECTION FENCING ON NEW PLANTING IF PHASED INSTALLATION IS REQUIRED.
11. ALL PLANTING BEDS TO RECEIVE AUTOMATIC DRIP IRRIGATION

**1 TREE PLANTING PLAN WEST**  
Scale: 1/16" = 1'-0"



**Project Stamp**



**Issue**

No.	Description	Date
F	Issued for Development Permit	21-05-30
G	Re-Issued for Development Permit	21-12-23
H	Issued for TRS Response	22-02-03

**Project Info**

20168

**Dilworth Center**

Mixed Use  
2339 Highway 97N  
Kelowna, BC

**Project Team**

Client  
Peterson

Architect  
IBI Group

Landscape Architect  
LOCI Landscape Architecture + Urban Design

Drawn By  
JD

Checked By  
ME

**PH 2 - TREE PLANTING  
PLAN - WEST**

**L1.4**

Rev. A revision





Peterson

Project Stamp



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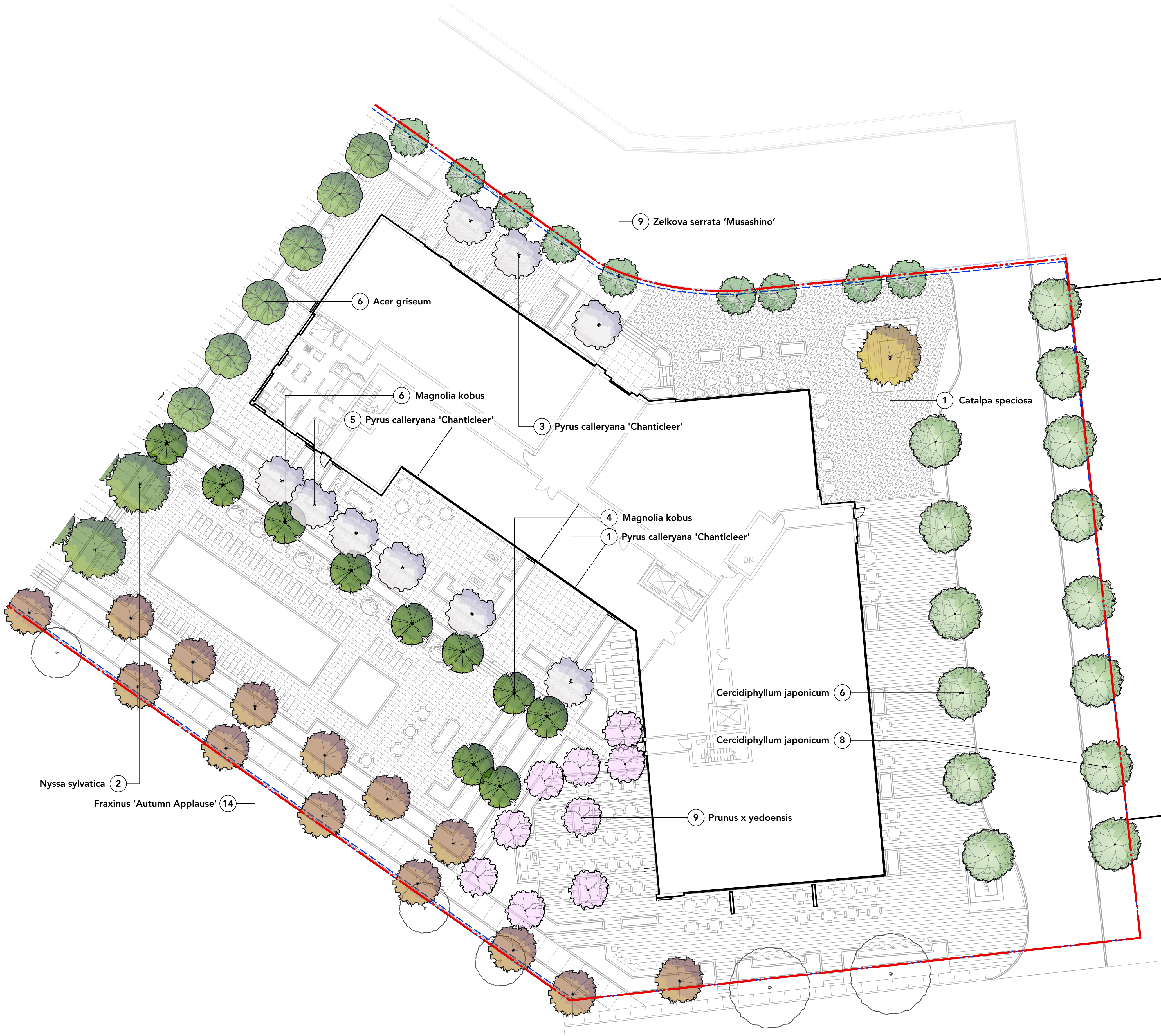
PH 2 - TREE PLANTING  
PLAN - EAST

L1.5

Rev. A revision

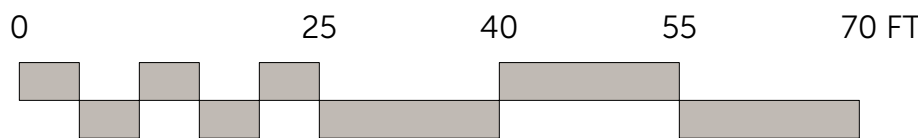
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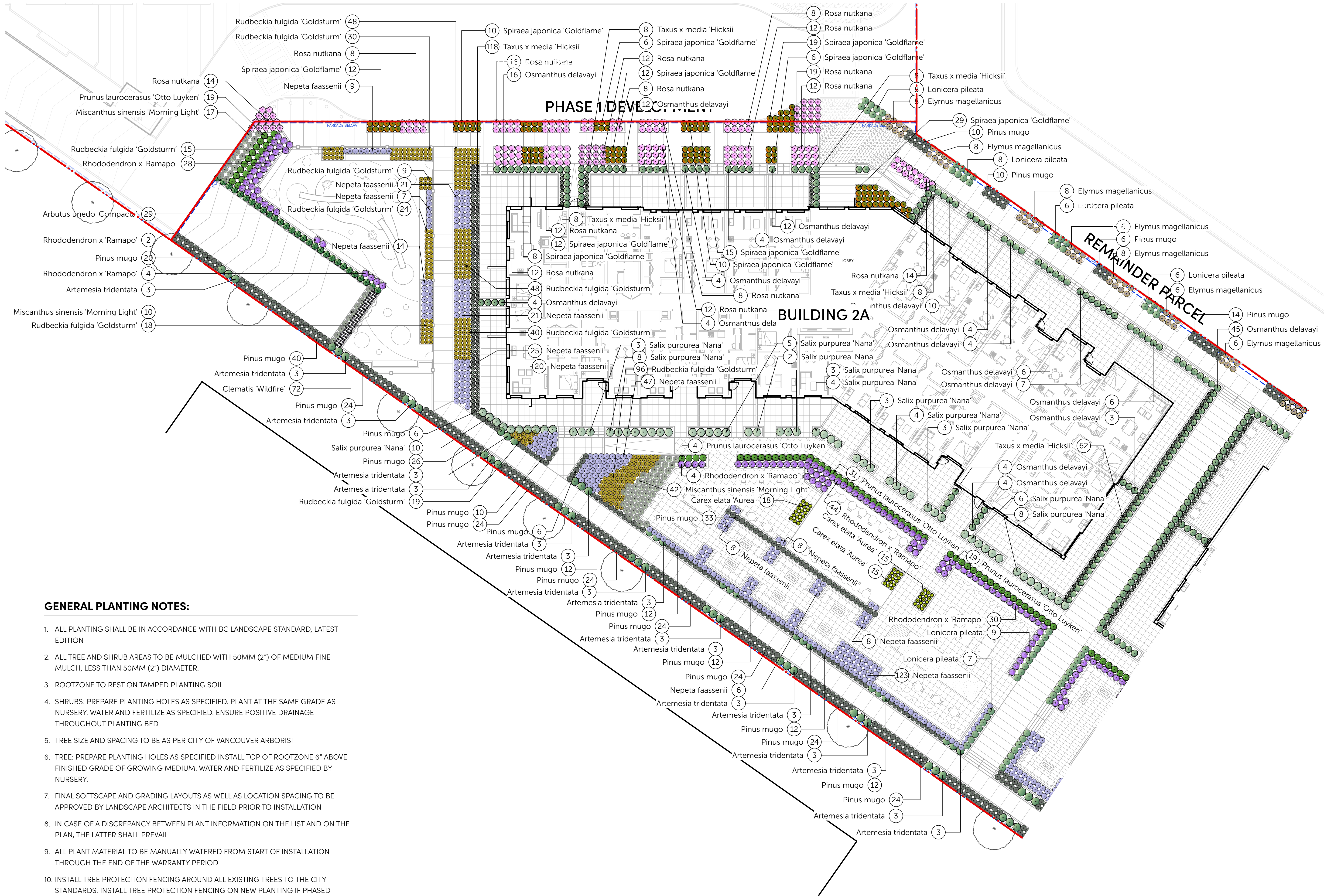


1 TREE PLANTING PLAN EAST

Scale: 1/16" = 1'-0"





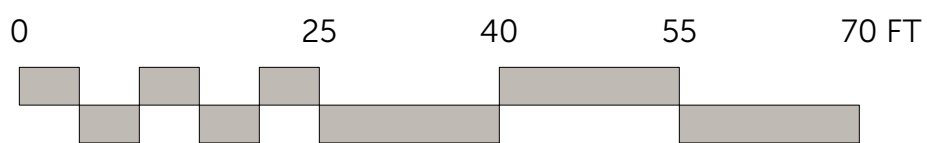


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### SHRUB PLANTING PLAN WEST

Scale: 1/16" = 1'-0"



### Project Stamp



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Landscape Architect  
LOCI Landscape Architecture + Urban Design

Drawn By  
JD

Checked By  
ME

PH 2 - SHRUB PLANTING  
PLAN - WEST

L1.6

Rev. A revision





Peterson

Project Stamp



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Landscape Architect

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Checked By

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PH 2 - SHRUB PLANTING  
PLAN - EAST

L1.7

Rev. A revision



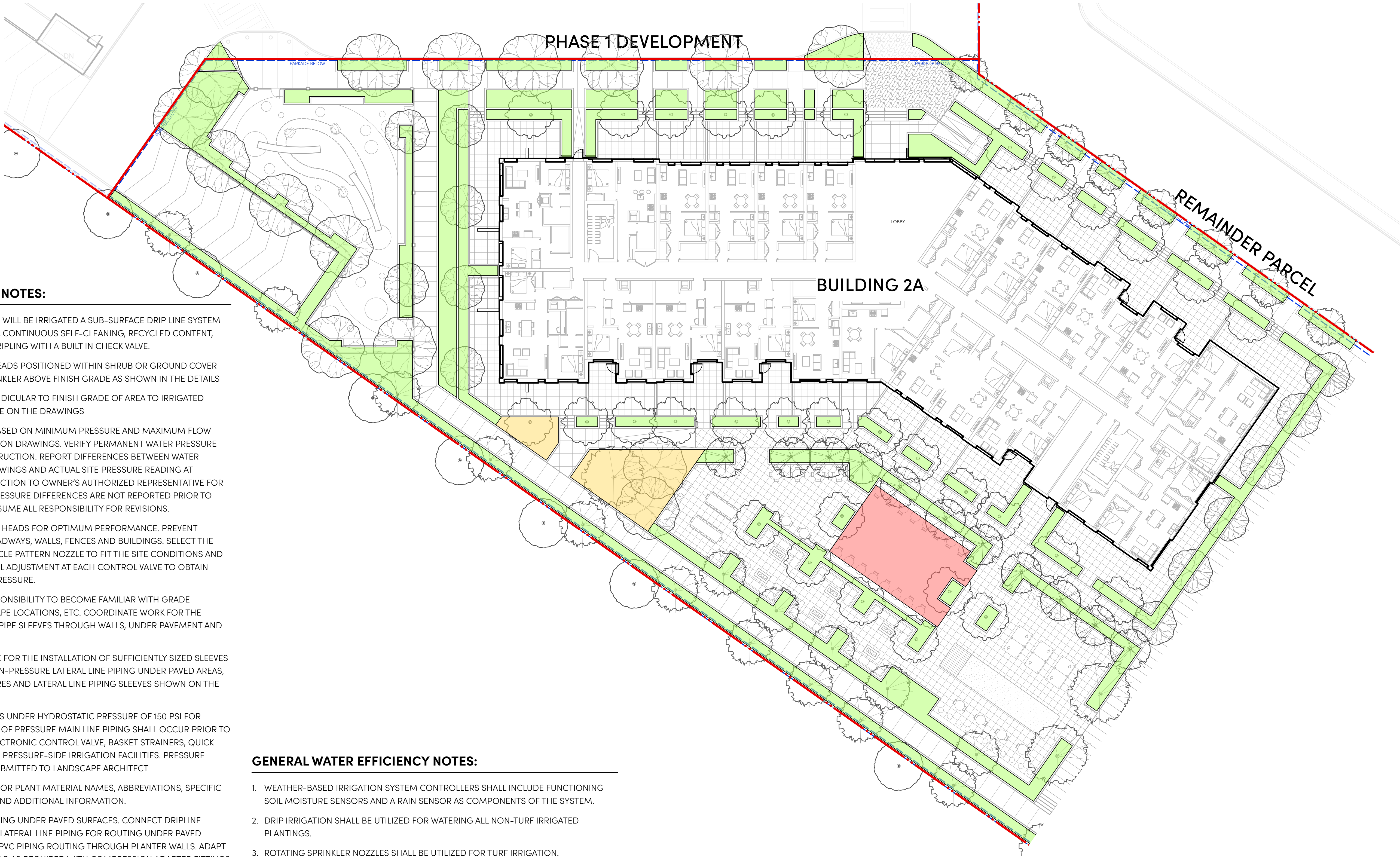
SHRUB PLANTING PLAN EAST

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- ALL PLANTING BEDS TO RECEIVE AUTOMATIC DRIP IRRIGATION





GENERAL IRRIGATION NOTES:

1. ALL HATCHED, PLANTED AREAS WILL BE IRRIGATED A SUB-SURFACE DRIP LINE SYSTEM BY NETAFIM USA. NETAFIM IS A CONTINUOUS SELF-CLEANING, RECYCLED CONTENT, PRESSURE COMPENSATING DRIPLING WITH A BUILT IN CHECK VALVE.
2. INSTALL POP-UP SPRINKLER HEADS POSITIONED WITHIN SHRUB OR GROUND COVER AREAS WITH THE TOP OF SPRINKLER ABOVE FINISH GRADE AS SHOWN IN THE DETAILS
3. SET SPRINKLER HEADS PERPENDICULAR TO FINISH GRADE OF AREA TO IRRIGATED UNLESS INDICATED OTHERWISE ON THE DRAWINGS
4. SPRINKLER SYSTEM WILL BE BASED ON MINIMUM PRESSURE AND MAXIMUM FLOW DEMAND SHOWN ON IRRIGATION DRAWINGS. VERIFY PERMANENT WATER PRESSURE BEFORE THE START OF CONSTRUCTION. REPORT DIFFERENCES BETWEEN WATER PRESSURE INDICATED ON DRAWINGS AND ACTUAL SITE PRESSURE READING AT IRRIGATION POINT-OF-CONNECTION TO OWNER'S AUTHORIZED REPRESENTATIVE FOR RESOLUTION. IN THE EVENT PRESSURE DIFFERENCES ARE NOT REPORTED PRIOR TO START OF CONSTRUCTION, ASSUME ALL RESPONSIBILITY FOR REVISIONS.
5. FLUSH AND ADJUST SPRINKLER HEADS FOR OPTIMUM PERFORMANCE. PREVENT OVERSPRAY ONTO WALKS, ROADWAYS, WALLS, FENCES AND BUILDINGS. SELECT THE MOST APPROPRIATE PART CIRCLE PATTERN NOZZLE TO FIT THE SITE CONDITIONS AND THROTTLE THE FLOW CONTROL ADJUSTMENT AT EACH CONTROL VALVE TO OBTAIN OPTIMUM SPRINKLER HEAD PRESSURE.
6. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH GRADE DIFFERENCES, WALL/HARDSCAPE LOCATIONS, ETC. COORDINATE WORK FOR THE INSTALLATION OF IRRIGATION PIPE SLEEVES THROUGH WALLS, UNDER PAVEMENT AND STRUCTURES ETC.
7. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF SUFFICIENTLY SIZED SLEEVES FOR CONTROL WIRES AND NON-PRESSURE LATERAL LINE PIPING UNDER PAVED AREAS, IN ADDITION TO CONTROL WIRES AND LATERAL LINE PIPING SLEEVES SHOWN ON THE DRAWINGS.
8. TEST ALL PRESSURE MAIN LINES UNDER HYDROSTATIC PRESSURE OF 150 PSI FOR PERIOD OF 3 HOURS. TESTING OF PRESSURE MAIN LINE PIPING SHALL OCCUR PRIOR TO THE INSTALLATION OF ANY ELECTRONIC CONTROL VALVE, BASKET STRAINERS, QUICK COUPLING VALVES AND OTHER PRESSURE-SIDE IRRIGATION FACILITIES. PRESSURE TESTING RESULTS SHALL BE SUBMITTED TO LANDSCAPE ARCHITECT
9. REFER TO PLANTING LEGEND FOR PLANT MATERIAL NAMES, ABBREVIATIONS, SPECIFIC SIZES, ON-CENTRE SPACING, AND ADDITIONAL INFORMATION.
10. DO NOT INSTALL DRIPLINE TUBING UNDER PAVED SURFACES. CONNECT DRIPLINE TUBING TO SCHEDULE 40 PVC LATERAL LINE PIPING FOR ROUTING UNDER PAVED SURFACES AND SCHEDULE 80 PVC PIPING ROUTING THROUGH PLANTER WALLS. ADAPT DRIPLINE TUBING TO PVC PIPING AS REQUIRED WITH COMPRESSION ADAPTER FITTINGS
11. CONNECT DRIPLINE PIPING TO PRESSURE REGULATOR UNITS WITH SCHEDULE 40 PVC MALE ADAPTER FITTINGS AND COMPRESSION ADAPTER FITTINGS
12. PROVIDE COMPRESSION SERIES FITTINGS FOR TUBING CONNECTIONS AND CONNECTIONS TO PVC PIPING AS INDICATED IN THE EQUIPMENT LEGEND IN THIS SHEET.
13. SYSTEM TO BE DESIGN BUILD. CONTRACTOR SHALL REFER TO SPECIFICATIONS FOR ALL WORK.
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15. IRRIGATION COMMAND CONTROLLER WITH RAIN SENSOR SYSTEM TO BE MOUNTED IN MECHANICAL ROOM.
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18. INSTALL PRECISION SOIL SENSOR ON SYSTEM
19. ALL PIPING RUNS ARE DIAGRAMMATIC, AVOID TRENCHING NEAR EXISTING TREE DRIP LINE.

GENERAL WATER EFFICIENCY NOTES:

1. WEATHER-BASED IRRIGATION SYSTEM CONTROLLERS SHALL INCLUDE FUNCTIONING SOIL MOISTURE SENSORS AND A RAIN SENSOR AS COMPONENTS OF THE SYSTEM.
2. DRIP IRRIGATION SHALL BE UTILIZED FOR WATERING ALL NON-TURF IRRIGATED PLANTINGS.
3. ROTATING SPRINKLER NOZZLES SHALL BE UTILIZED FOR TURF IRRIGATION.
4. OVERHEAD SPRAY IRRIGATION SHALL NOT BE USED TO WATER NON-TURF LANDSCAPING, INCLUDING TREES AND SHRUBS.
5. IRRIGATION SYSTEMS SHALL OPERATE WITH AT LEAST 70 PERCENT EFFICIENCY.
6. RAINWATER COLLECTION/IRRIGATION SYSTEMS ARE ENCOURAGED TO SUPPLEMENT IRRIGATION FOR NEW LANDSCAPING. NEW STRUCTURES SHALL BE ENCOURAGED TO INCLUDE ONE OR MORE RAINWATER CISTERNS AND A SYSTEM TO PROVIDE AT LEAST 75 PERCENT OF EXTERIOR IRRIGATION DURING NORMAL RAINFALL YEARS. SYSTEMS MUST BE COMPLIANT WITH LOCAL CATCHMENT SYSTEM STANDARDS.
7. GREYWATER COLLECTION/IRRIGATION SYSTEMS ARE ENCOURAGED TO SUPPLEMENT IRRIGATION FOR NEW LANDSCAPING. SYSTEMS MUST BE COMPLIANT WITH LOCAL CATCHMENT SYSTEM STANDARDS, INCLUDING MONTEREY COUNTY DEPARTMENT OF ENVIRONMENTAL HEALTH.
8. ALL SITES UTILIZING A GREYWATER REUSE SYSTEM SHALL INSTALL AND MAINTAIN A BACKFLOW PREVENTION DEVICE AS REQUIRED BY ANY WATER DISTRIBUTION SYSTEM OPERATOR THAT SUPPLIES WATER TO THE SITE.
9. THE IMPLEMENTATION OF WATER CONSERVATION BEST MANAGEMENT PRACTICES SHALL BE INTEGRATED INTO CONSTRUCTION AND OPERATION OF THE PROJECT TO THE EXTENT POSSIBLE.

1 HYDROZONE + IRRIGATION PLAN WEST  
Scale: 1/16" = 1'-0"

HYDROZONES LEGEND

SYMBOL	DESCRIPTION	PLANT FACTOR	IRRIGATION EFFICIENCY
	LOW WATER USE AREA WITH DRIP IRRIGATION	0.3	0.9
	MEDIUM WATER USE AREA WITH DRIP IRRIGATION	0.5	0.9
	WATERED TURF AREA WITH SPRAY IRRIGATION	1.0	0.7
	SWIMMING POOL AREA	1.0	1.0
	IMPERVIOUS AREA + BUILDING FOOTPRINT	N/A	N/A

NOTE: REFER TO LANDSCAPE WATER USE APPLICATION AND IRRIGATION APPLICATION FORMS FOR HYDROZONE AREA CALCULATIONS

Project Stamp



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IBI Group

Landscape Architect  
LOCI Landscape Architecture + Urban Design

Drawn By  
JD

Checked By  
ME

PH 2 - HYDROZONE PLAN  
- WEST

L1.8

Rev. A revision



HYDROZONES LEGEND

SYMBOL	DESCRIPTION	PLANT FACTOR	IRRIGATION EFFICIENCY
<div></div>	LOW WATER USE AREA WITH DRIP IRRIGATION	0.3	0.9
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<div></div>	IMPERVIOUS AREA + BUILDING FOOTPRINT	N/A	N/A

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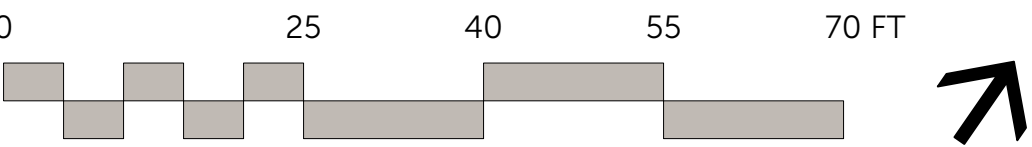
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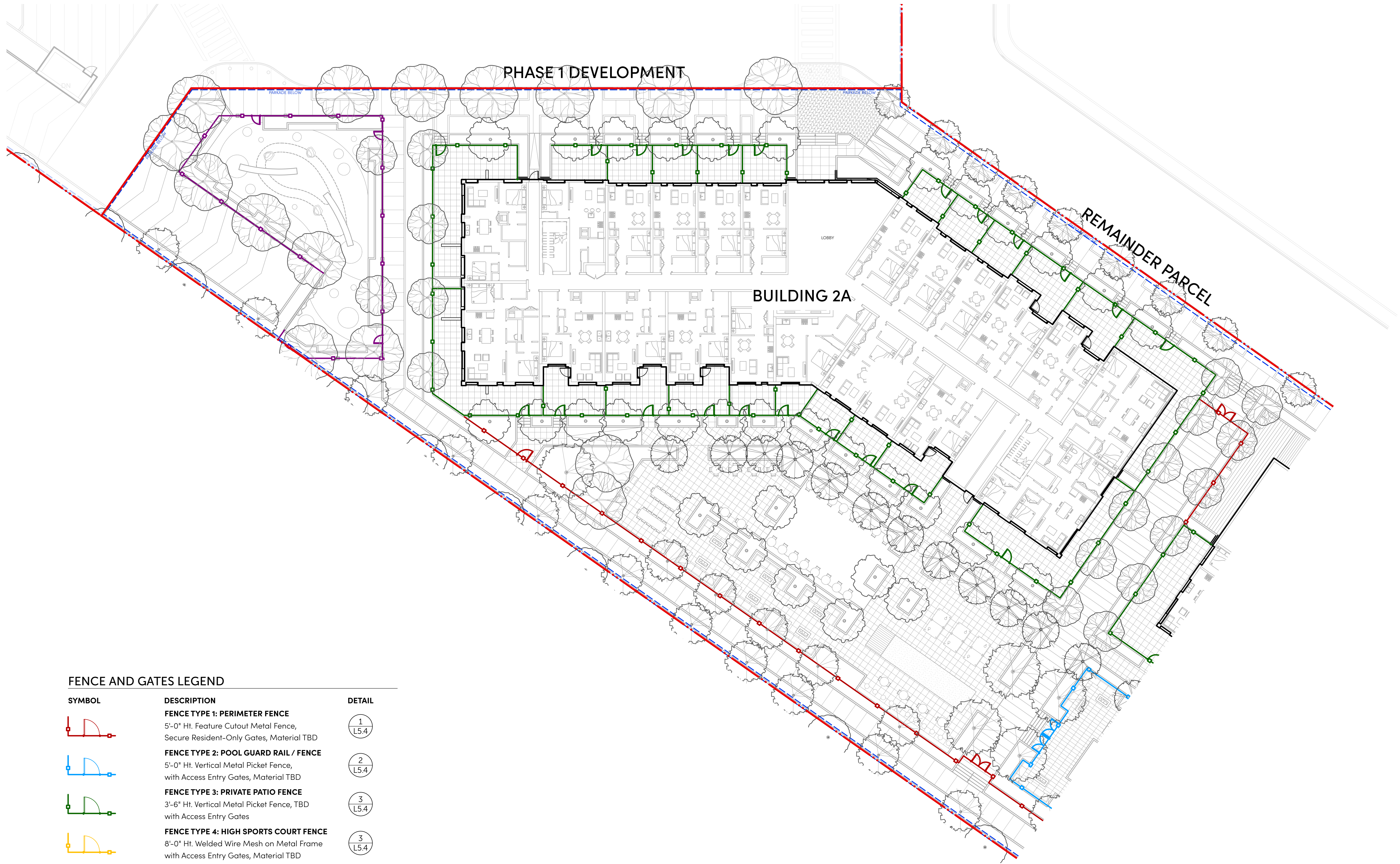
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PH 2 - HYDROZONE PLAN  
- EAST

L1.9

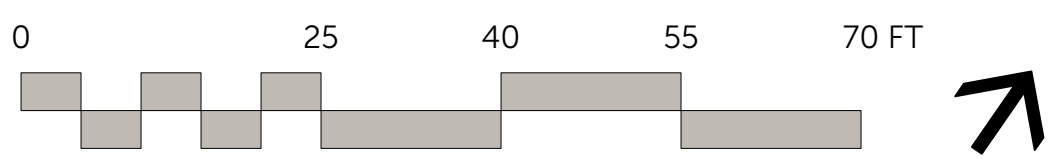
Rev. A revision





FENCE AND GATES LEGEND		
SYMBOL	DESCRIPTION	DETAIL
	<b>FENCE TYPE 1: PERIMETER FENCE</b> 5'-0" Ht. Feature Cutout Metal Fence, Secure Resident-Only Gates, Material TBD	
	<b>FENCE TYPE 2: POOL GUARD RAIL / FENCE</b> 5'-0" Ht. Vertical Metal Picket Fence, with Access Entry Gates, Material TBD	
	<b>FENCE TYPE 3: PRIVATE PATIO FENCE</b> 3'-6" Ht. Vertical Metal Picket Fence, TBD with Access Entry Gates	
	<b>FENCE TYPE 4: HIGH SPORTS COURT FENCE</b> 8'-0" Ht. Welded Wire Mesh on Metal Frame with Access Entry Gates, Material TBD	
	<b>FENCE TYPE 5: KIDS PLAY FENCE</b> 5'-0" Ht. Vertical Metal Picket Fence, with Access Entry Gates, Material TBD	

1 FENCE + GATE PLAN WEST  
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Landscape Architect  
LOCI Landscape Architecture + Urban Design

Drawn By	Checked By
JD	ME





Peterson

Project Stamp



Issue

No.	Description	Date
F	Issued for Development Permit	21-05-30
G	Re-Issued for Development Permit	21-12-23
H	Issued for TRS Response	22-02-03

Project Info

20168

Dilworth Center

Mixed Use  
2339 Highway 97N  
Kelowna, BC

Project Team

Client

Peterson

Architect

IBI Group

Landscape Architect

LOCI Landscape Architecture + Urban Design

Drawn By

JD

Checked By

ME

PH 2 - FENCE + GATE  
LOCATION PLAN - EAST

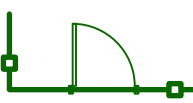
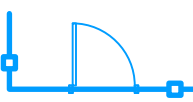
L1.13

Rev. A revision



FENCE AND GATES LEGEND

SYMBOL



DESCRIPTION

**FENCE TYPE 1: PERIMETER FENCE**

5'-0" Ht. Feature Cutout Metal Fence,  
Secure Resident-Only Gates, Material TBD

**FENCE TYPE 2: POOL GUARD RAIL / FENCE**

5'-0" Ht. Vertical Metal Picket Fence,  
with Access Entry Gates, Material TBD

**FENCE TYPE 3: PRIVATE PATIO FENCE**

3'-6" Ht. Vertical Metal Picket Fence, TBD  
with Access Entry Gates

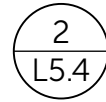
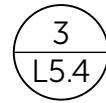
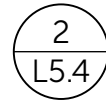
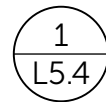
**FENCE TYPE 4: HIGH SPORTS COURT FENCE**

8'-0" Ht. Welded Wire Mesh on Metal Frame  
with Access Entry Gates, Material TBD

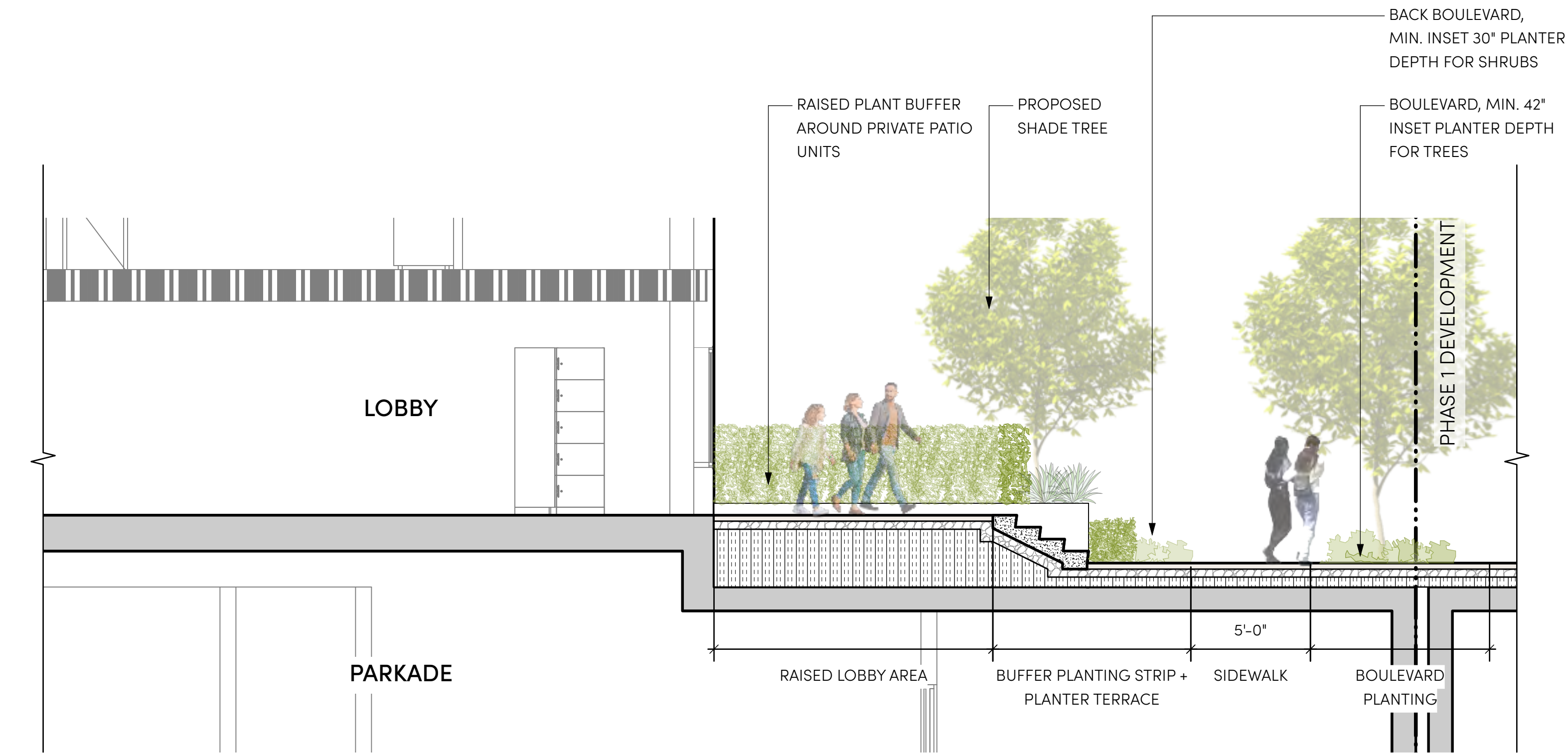
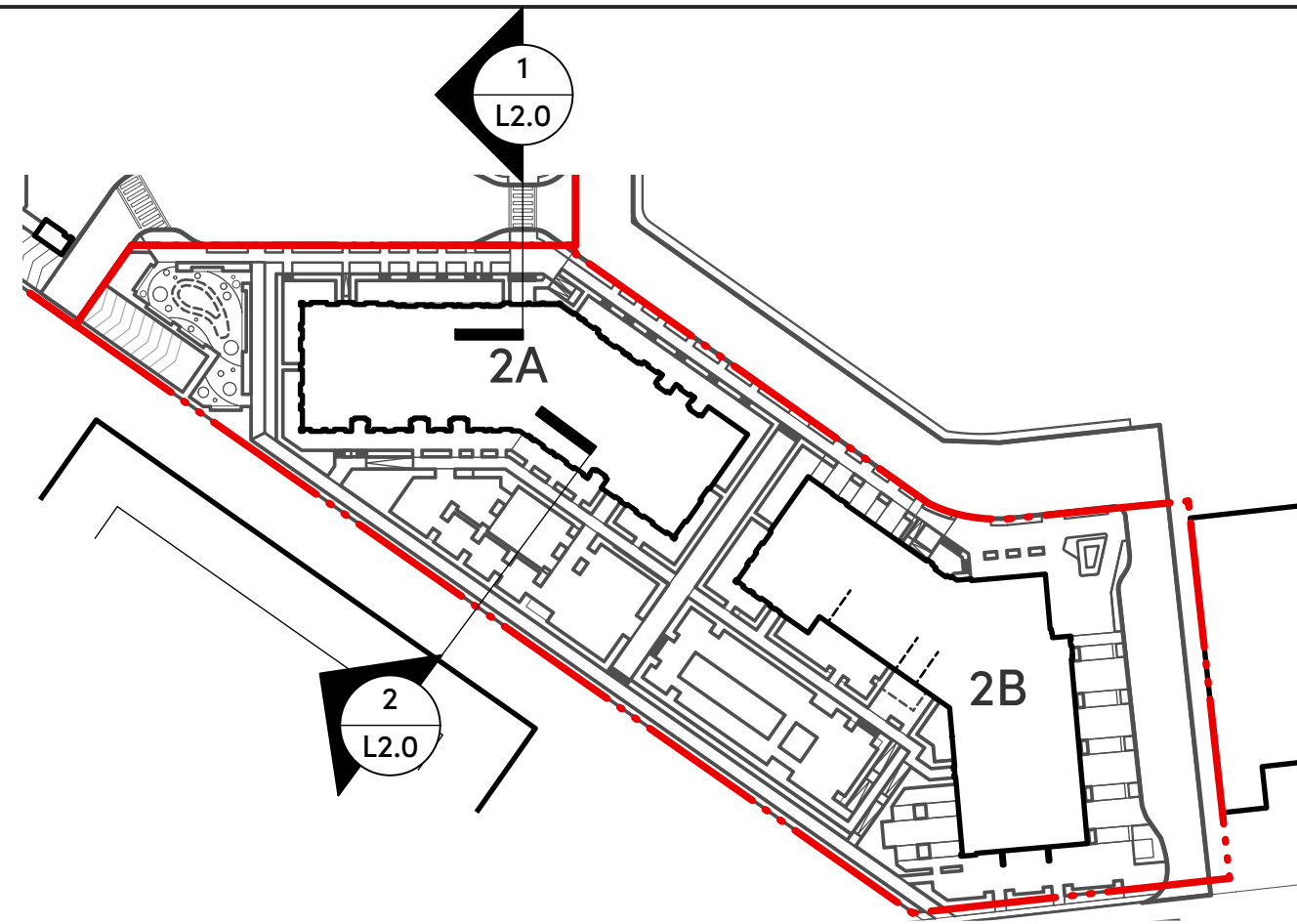
**FENCE TYPE 5: KIDS PLAY FENCE**

5'-0" Ht. Vertical Metal Picket Fence,  
with Access Entry Gates, Material TBD

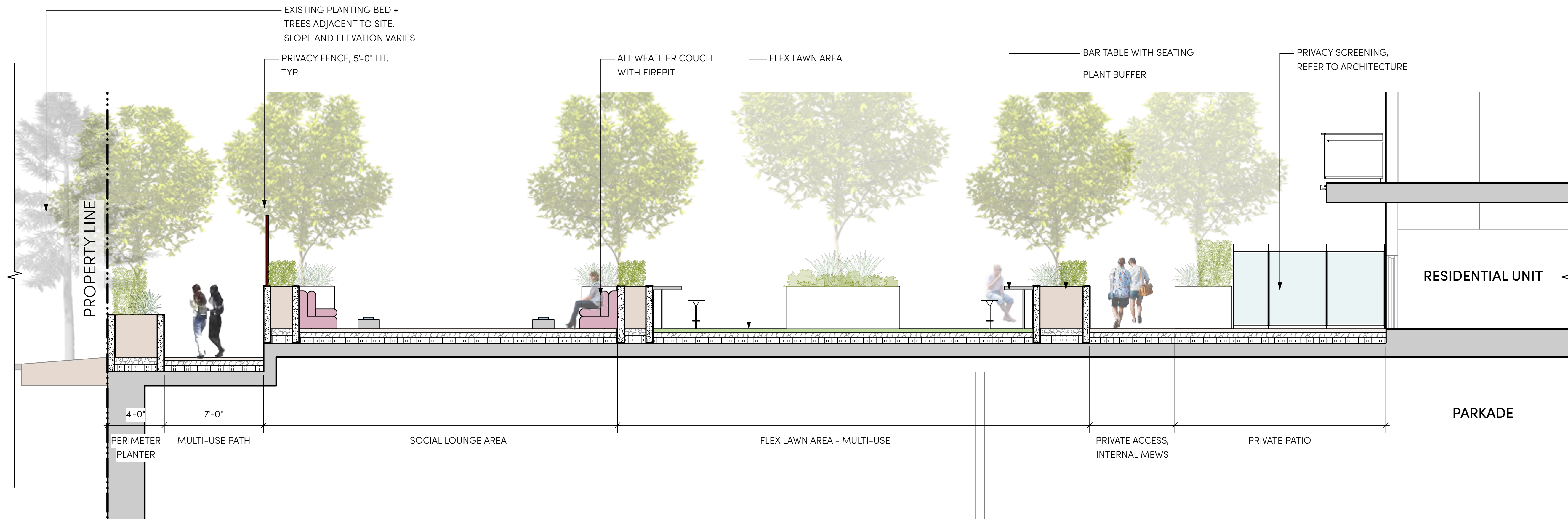
DETAIL







**1 BUILDING 2A - BUILDING ENTRY LOOKING WEST**  
Scale: 1/4" = 1'-0"



**2 BUILDING 2A - AMENITY SECTION LOOKING WEST**  
Scale: 1/4" = 1'-0"

**loci**

LANDSCAPE ARCHITECTURE + URBAN DESIGN

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**Peterson**

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Kelowna, BC

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Peterson

Architect  
IBI Group

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LOCI Landscape Architecture + Urban Design

Drawn By  
JD

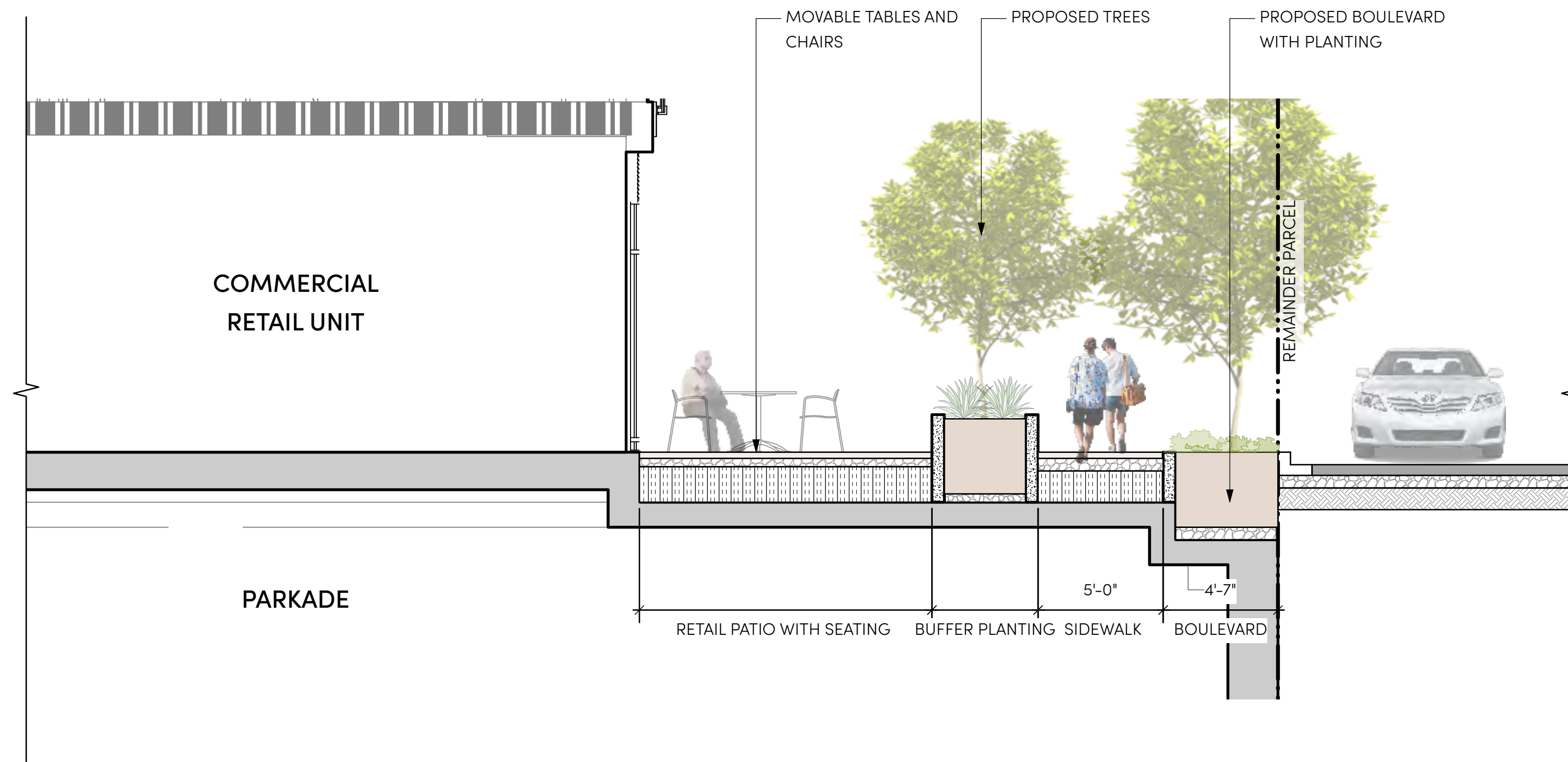
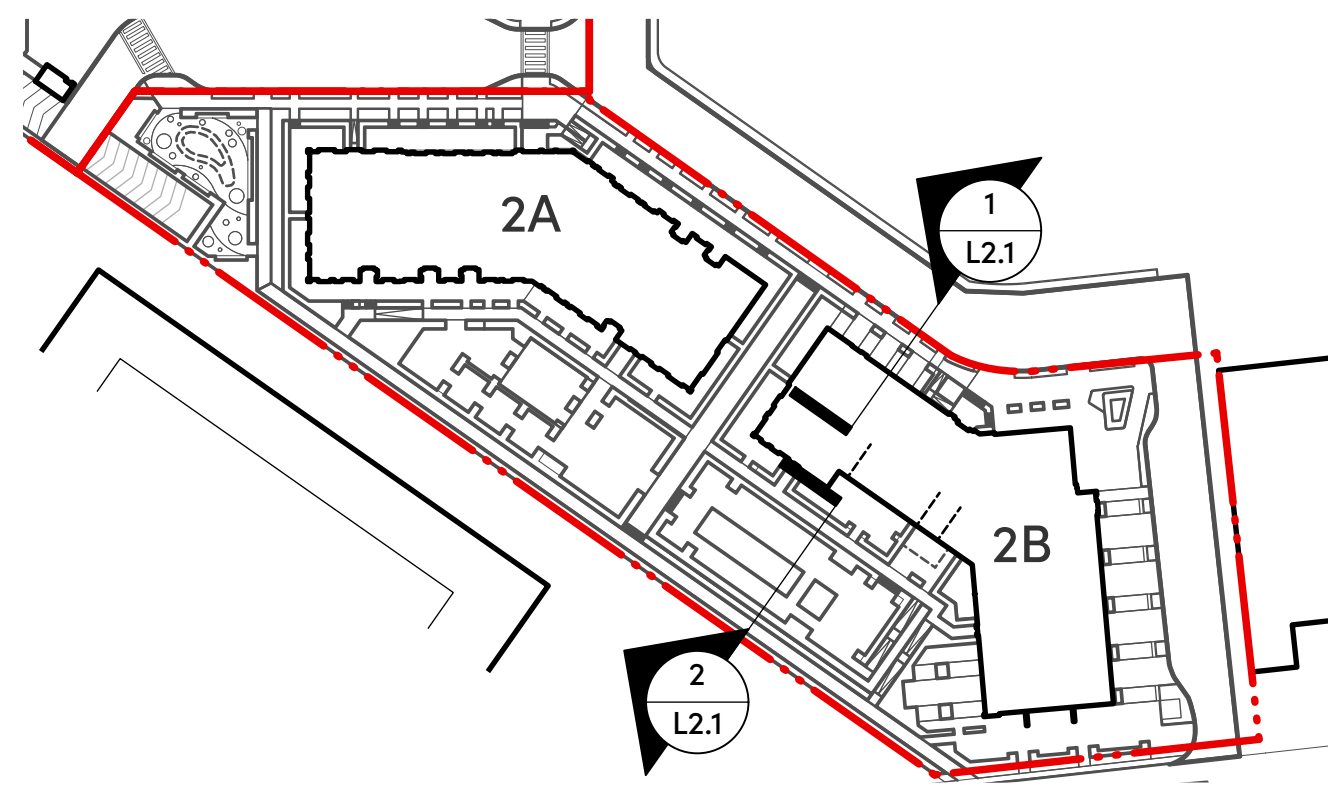
Checked By  
ME

**PH 2 - SECTIONS**

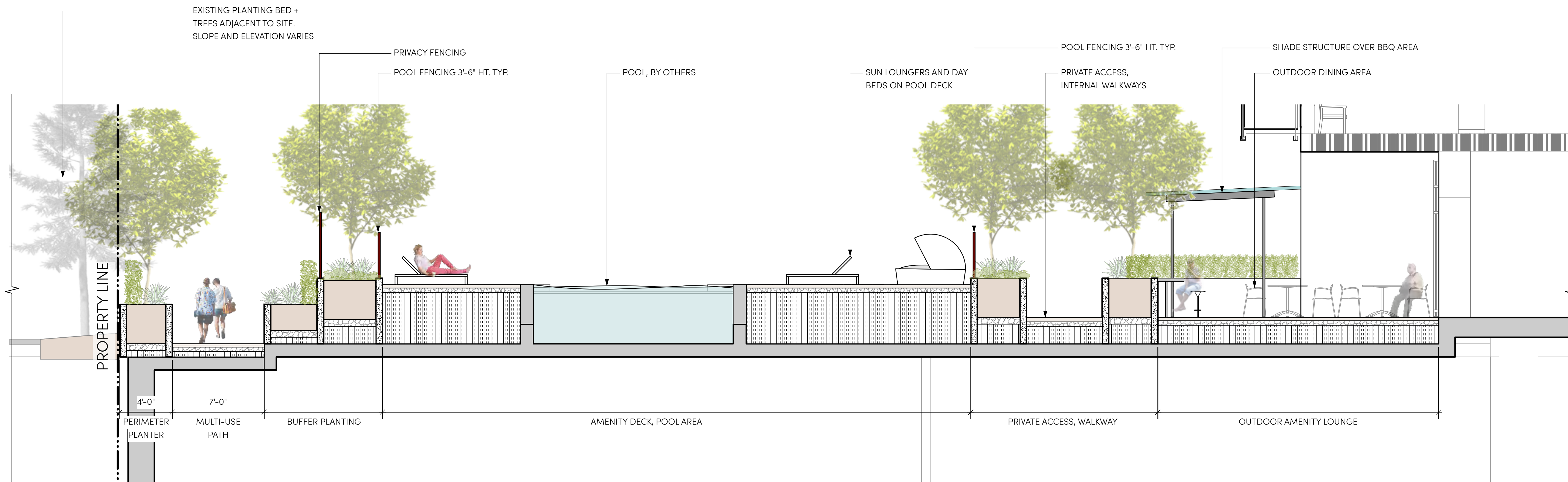
**L2.0**

Rev. A revision





**1 BUILDING 2B - COMMERCIAL RETAIL FRONTAGE LOOKING WEST**  
Scale: 1/4" = 1'-0"



**2 BUILDING 2B - AMENITY POOL SECTION LOOKING WEST**  
Scale: 1/4" = 1'-0"

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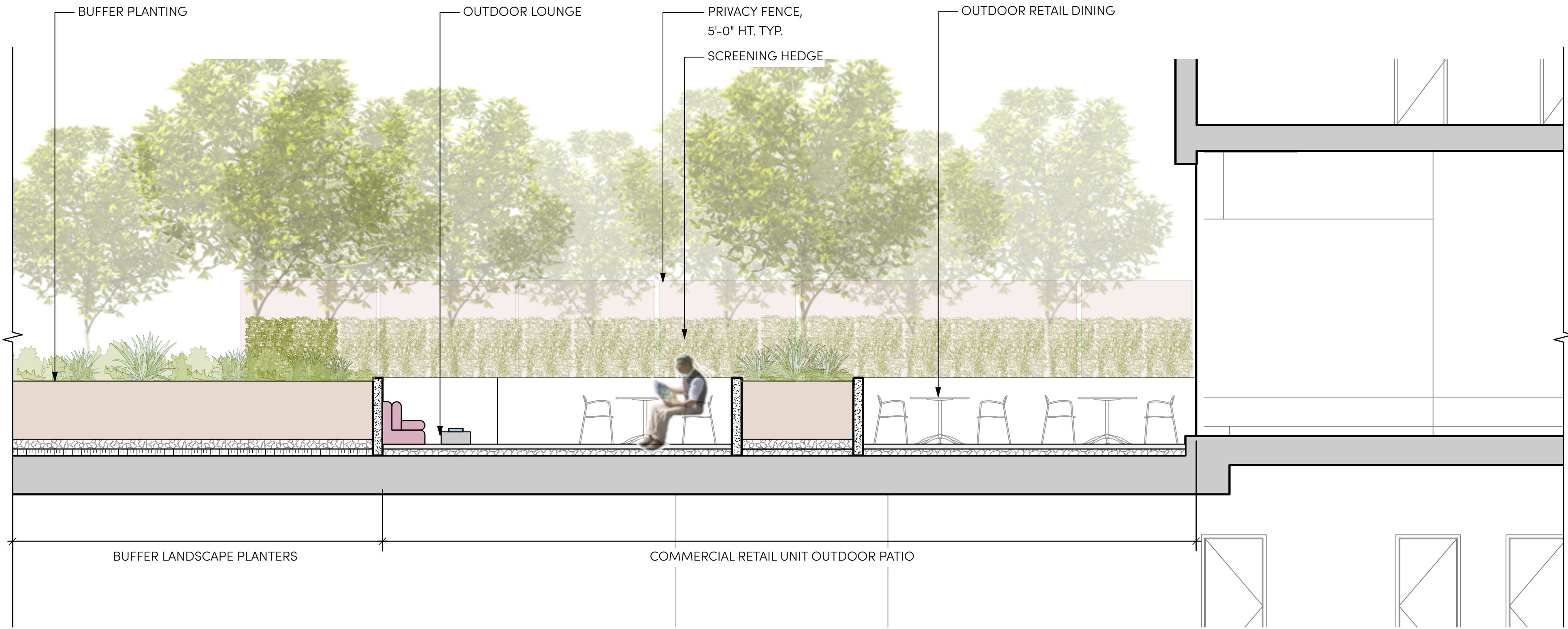
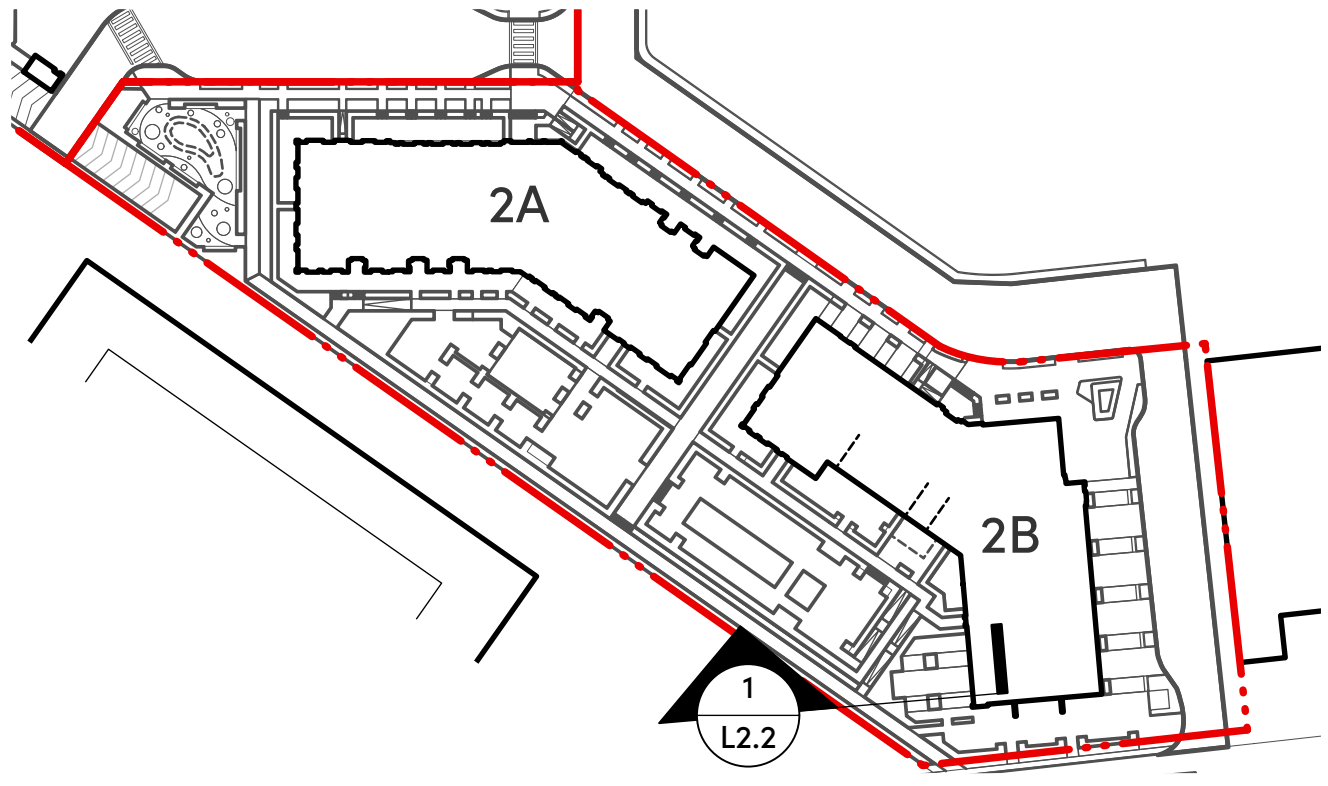
Checked By  
ME

PH 2 - SECTIONS

**L2.1**

Rev. A revision





**1 BUILDING 2B - COMMERCIAL PATIO LOOKING NORTH**  
Scale: 1/4" = 1'-0"

Project Stamp



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



















PH 2 - SECTIONS

**L2.2**

Rev. A revision



OVERALL PLANT LIST

Symbol	Quantity	Latin Name	Common Name	Scheduled Size	Spacing	Notes
DECIDUOUS TREES:						
	18	Acer griseum	Paperbark Maple	6cm cal.	As Shown	B&B
	15	Acer rubrum 'Morgan'	Morgan Red Maple	7cm cal.	As Shown	B&B
	1	Catalpa speciosa	Northern Catalpa	10cm cal.	As Shown	B&B Specimen
	14	Cercidiphyllum japonicum	Katsura Tree	7cm cal.	As Shown	B&B
	29	Fraxinus 'Autumn Applause'	White Ash	7cm cal.	As Shown	B&B
	21	Magnolia kobus	Kobus Magnolia	7cm. cal.	As Shown	B&B
	5	Nyssa sylvatica	Black Tupelo	7cm cal.	As Shown	B&B
	9	Prunus x yedoensis	Yoshino Cherry	6cm cal.	As Shown	B&B
	41	Pyrus calleryana 'Chanticleer'	Callery Pear	6cm cal.	As Shown	B&B
	17	Zelkova serrata 'Musashino'	Columnar Sawleaf Zelkova	6cm cal.	As Shown	Columnar/upright form.
CONIFERS:						
SHRUBS:						
	29	Arbutus unedo 'Compacta'	Compact Strawberry Bush	#3 Pot	2'6" o.c.	
	116	Artemesia tridentata	Big Sagebrush	#3 Pot	3'0" o.c.	
	85	Lonicera pileata	Box-leaf Honeysuckle	#3 Pot	2'6" o.c.	
	273	Osmanthus delavayi	Sweet Olive	#3 Pot	2'6" o.c.	
	760	Pinus mugo	Mugo Pine	#2 Pot	2'0" o.c.	
	202	Prunus laurocerasus 'Otto Luyken'	Cherry Laurel	#3 Pot	2'6" o.c.	
	220	Rhododendron x 'Ramapo'	Ramapo Rhododendron	#3 Pot	2'6" o.c.	
	215	Rosa nutkana	Nootka Rose	#2 Pot	2'6" o.c.	
	59	Salix purpurea 'Nana'	Dwarf Arctic Willow	#3 Pot	3'0" o.c.	
	218	Spiraea japonica 'Goldflame'	Japanese Spirea	#2 Pot	2'0" o.c.	
	430	Taxus x media 'Hicksii'	Hick's Yew	1.25m. ht.	1'6" o.c.	
PERENNIALS, GRASSES, GROUNDCOVER:						
	48	Carex elata 'Aurea'	Bowles Golden Sedge	#1 pot	1'6" o.c.	
	153	Elymus magellanicus	Blue Wheat Grass	#2 Pot	2'6" o.c.	
	174	Miscanthus sinensis 'Morning Light'	Silver Grass	#2 Pot	2'6" o.c.	
	673	Nepeta faassenii	'Cat's Meow' Catmint	#1 Pot	2'0" o.c.	
	415	Rudbeckia fulgida 'Goldsturm'	Black-Eyed Susan	#1 Pot	1'6" o.c.	

NOTES:

1. ALL PLANT MATERIAL AND LANDSCAPING PRACTICES SHALL BE COMPLIANT WITH THE LATEST EDITION OF THE BCLNA NURSERY STANDARD.

2. IN CASE OF DISCREPANCY BETWEEN PLANT INFORMATION ON THE LIST AND ON THE PLAN, THE LATTER SHALL PREVAIL.

3. FINAL SOFTSCAPE AND GRADING LAYOUTS AS WELL AS LOCATION AND SPACING TO BE APPROVED BY LANDSCAPE ARCHITECT IN THE FIELD PRIOR TO INSTALLATION.

4. ALL PLANT MATERIAL TO BE MANUALLY WATERED FROM START OF INSTALLATION THROUGH THE END OF THE WARRANTY PERIOD.

5. INSTALL TREE PROTECTION FENCING AROUND ALL EXISTING TREES TO CITY STANDARDS, INSTALL TREE PROTECTION FENCING ON NEW PLANTING IF PHASED INSTALLATION IS REQUIRED.

6. FINAL LOCATION, QUANTITY, TREE SPECIES TO THE SATISFACTION OF THE CLIENT AND THE LANDSCAPE ARCHITECT.

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Landscape Architect	LOCI Landscape Architecture + Urban Design

Drawn By	Checked By
JD	ME

PH 2 - PLANT LIST

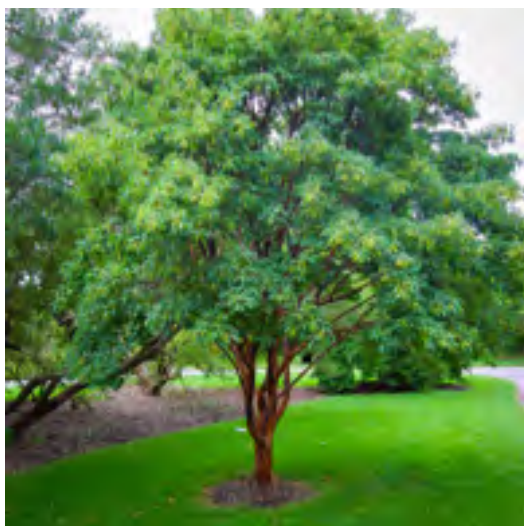
L3.0

Rev. A      revision



PHASE 2 PLANT IMAGES

TREES



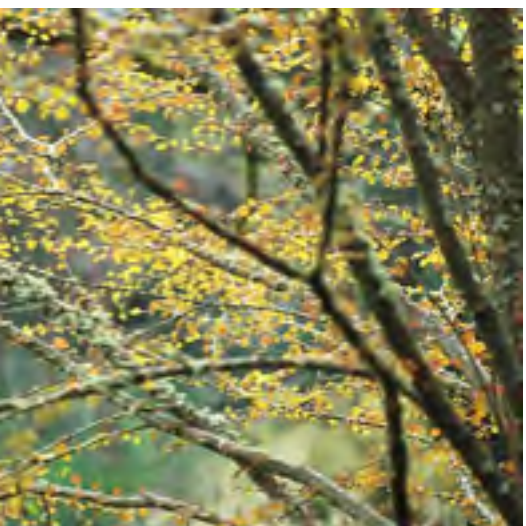
Acer griseum  
Paperbark Maple



Acer rubrum 'Morgan'  
Morgan Red Maple



Catalpa speciosa  
Northern Catalpa



Cercidiphyllum japonicum  
Katsura Tree



Fraxinus 'Autumn Applause'  
White Ash



Ginkgo bilboa 'Princeton Sentry'  
Princeton Sentry  
Maidenhair Tree



Magnolia kobus  
Kobus Magknolia



Nyssa Sylvatica  
Black Tupelo



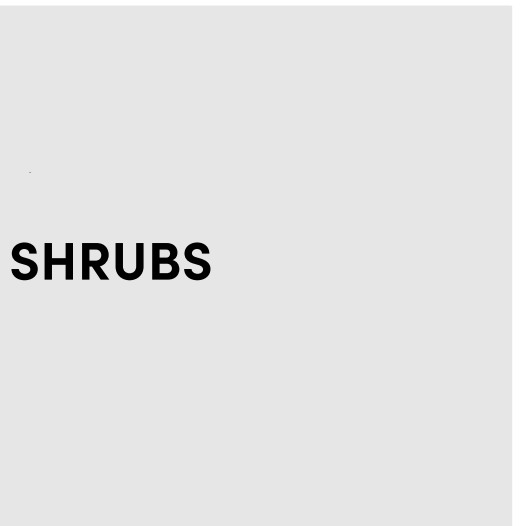
Prunus x Yedoensis  
Yoshino Cherry



Pyrus calleryana 'Chanticleer'  
Callery Pear



Pseudotsuga menziesii  
Douglas Fir



SHRUBS



Arbutus unedo 'Compacta'  
Compact Strawberry Bush



Artemisia tridentata  
Big Safebrush



Berberis thunbergii  
'Atropurpurea'  
Japanese Barberry



Cornus sericea 'Kelsey'  
Dwarf Red Osier Dogwood



Juniperus communis  
Common Juniper



Lonicera pileata  
Box-leaf Honeysuckle



Osmanthus Delavayi  
Sweet Olive



Pinus mugo  
Mugo pine



Potentilla fruticosa  
Bush Cinquefoil



Prunus laurocerasus  
'Otto Luyken'  
Cherry Laurel



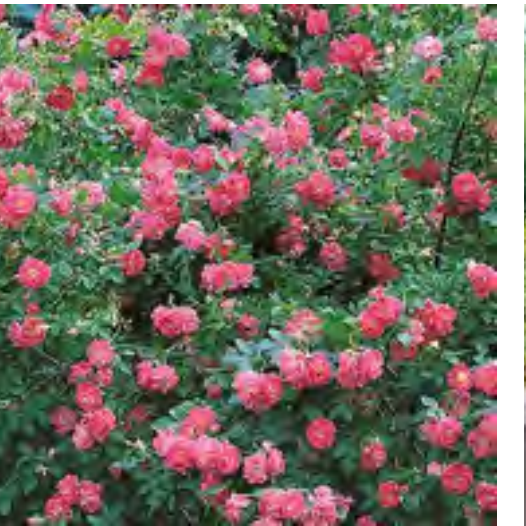
Rhododendron x 'Ramapo'  
Ramapo Rhododendron



Ribes sanguineum  
Flowering Red Currant



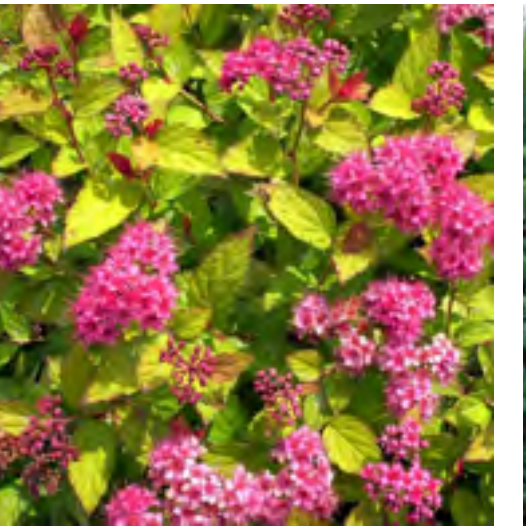
Rosa nootkatensis  
Nookta Rose



Rosa rugosa 'John Cabot'  
Red Climbing Rose



Salix purpurea 'Nana'  
Dwarf Arctic Willow



Spiraea bumalda 'Goldflame'  
'Goldflame' Spiraea



Taxus x media 'Hicksii'  
'Hick's' Yew

GROUNDCOVERS  
FERNS  
PERENNIALS  
GRASSES



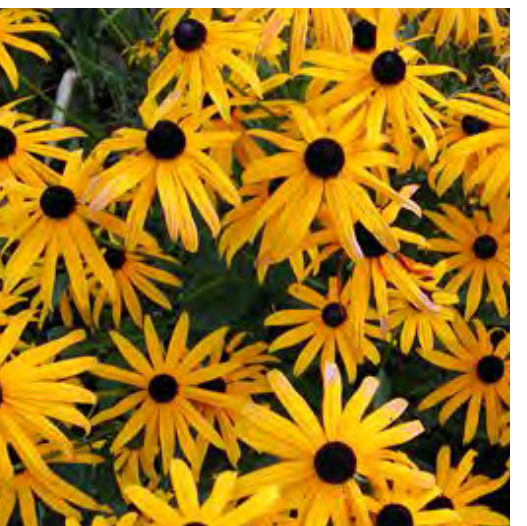
Elymus magellanicus  
Blue Wheat Grass



Miscanthus sinensis 'Morning Light'  
Chinese Silver Grass



Nepeta faassenii  
Cat's Meow Catmint



Rudbeckia fulgida 'Goldstrum'  
Blackeyed Susan



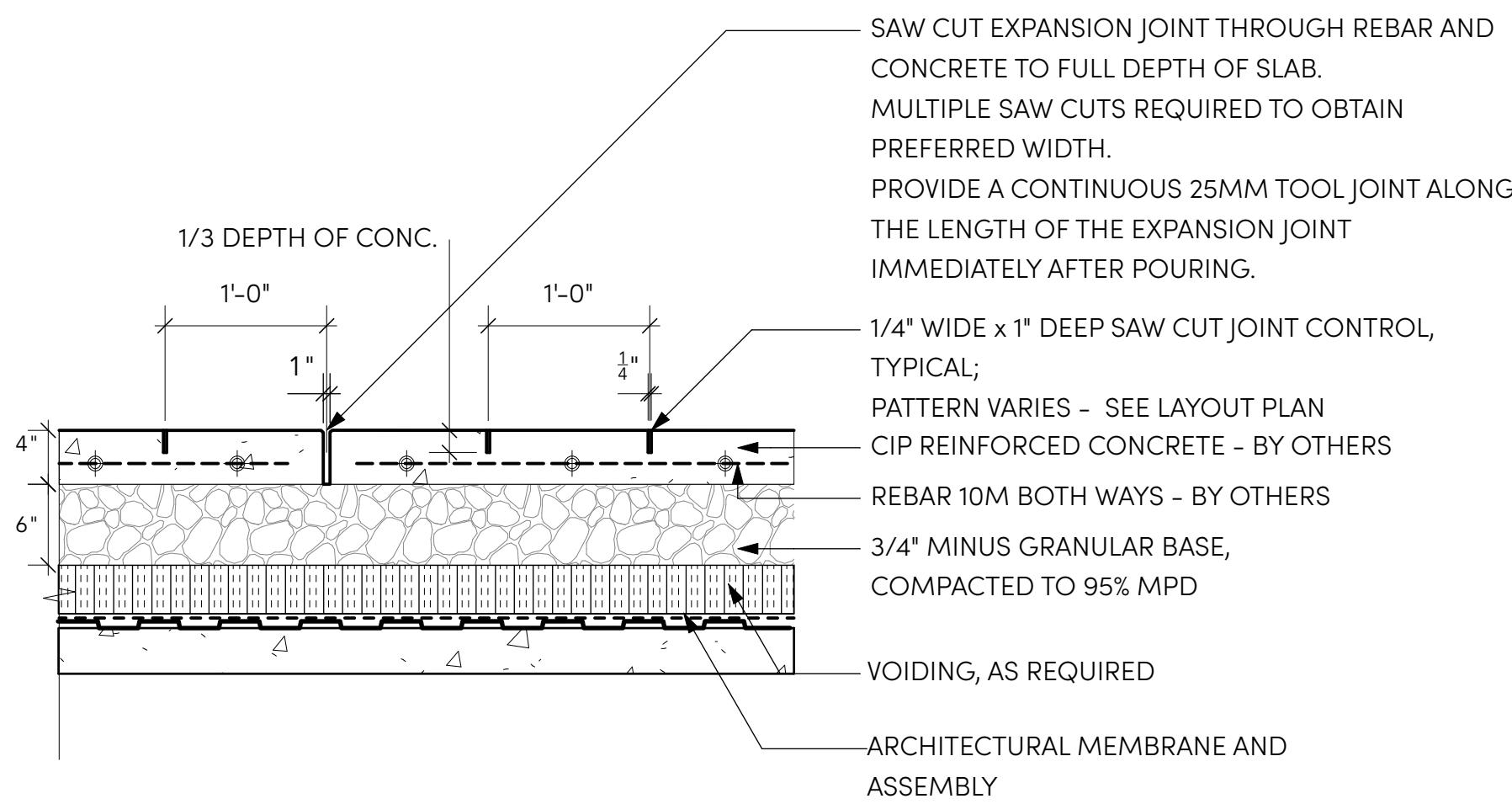
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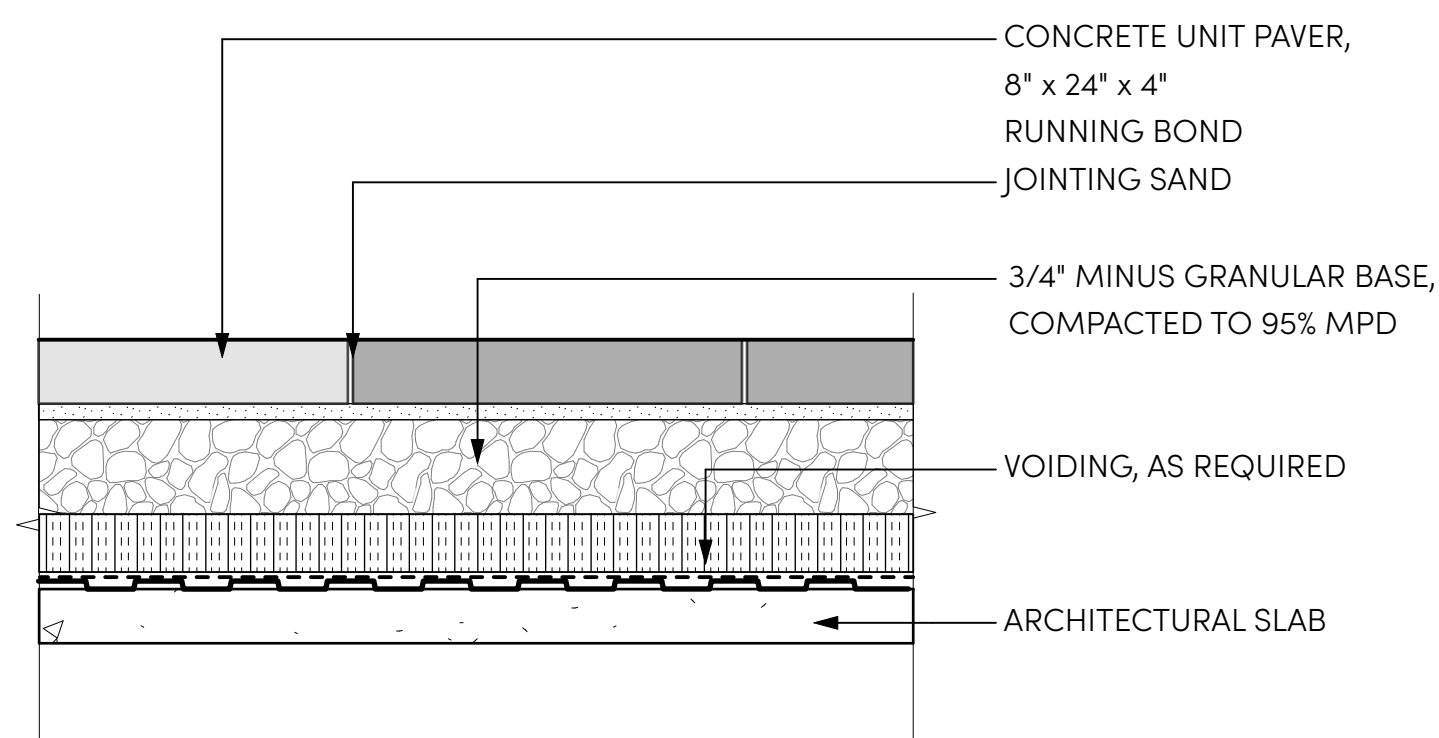
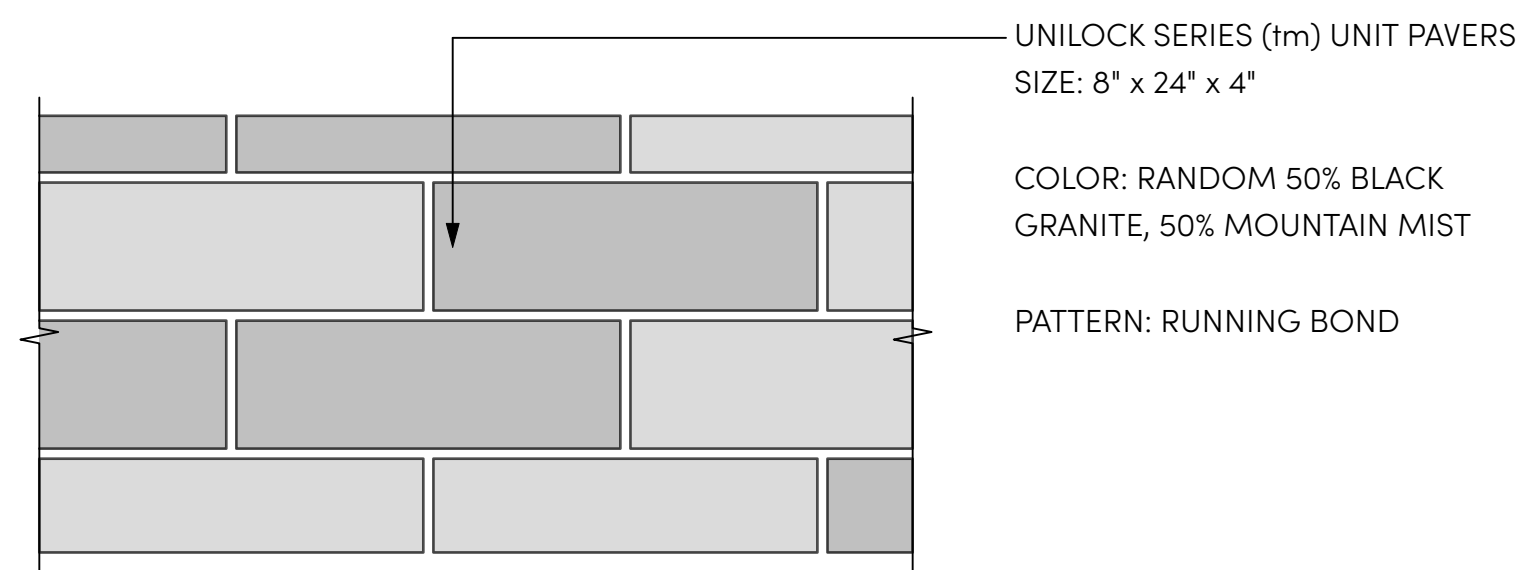


- NOTES:
1. TROWEL WITH LIGHT SANDBLAST
  2. SEE TYPICAL LAYOUT PLAN FOR JOINT PATTERN AND BAND WIDTH
  3. EXP. JOINTS 20'-0" O.C. MAX (@ CURB, BUILDING EDGE CUT LINES, CHANGES IN MATERIALS. SPACING TO COINCIDE W/ PATTERN)
  4. CONTROL JOINTS @ 5'-0" O.C. MAX
  5. FINAL LOCATIONS TO BE CONFIRMED ON SITE
  6. STRUCTURAL ENGINEER TO CONFIRM DEPTH AND REINFORCEMENT



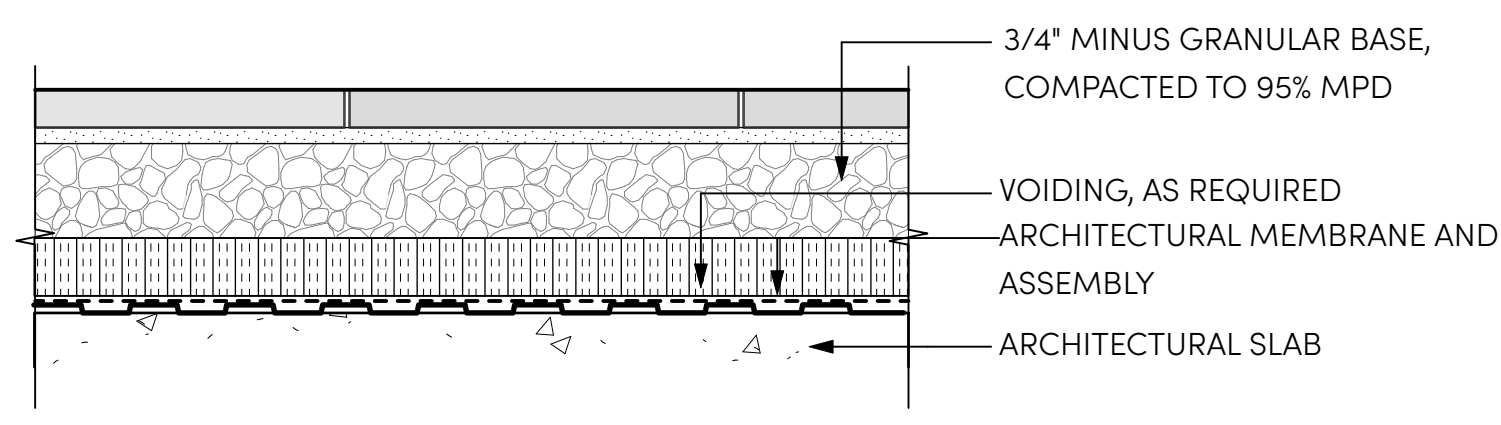
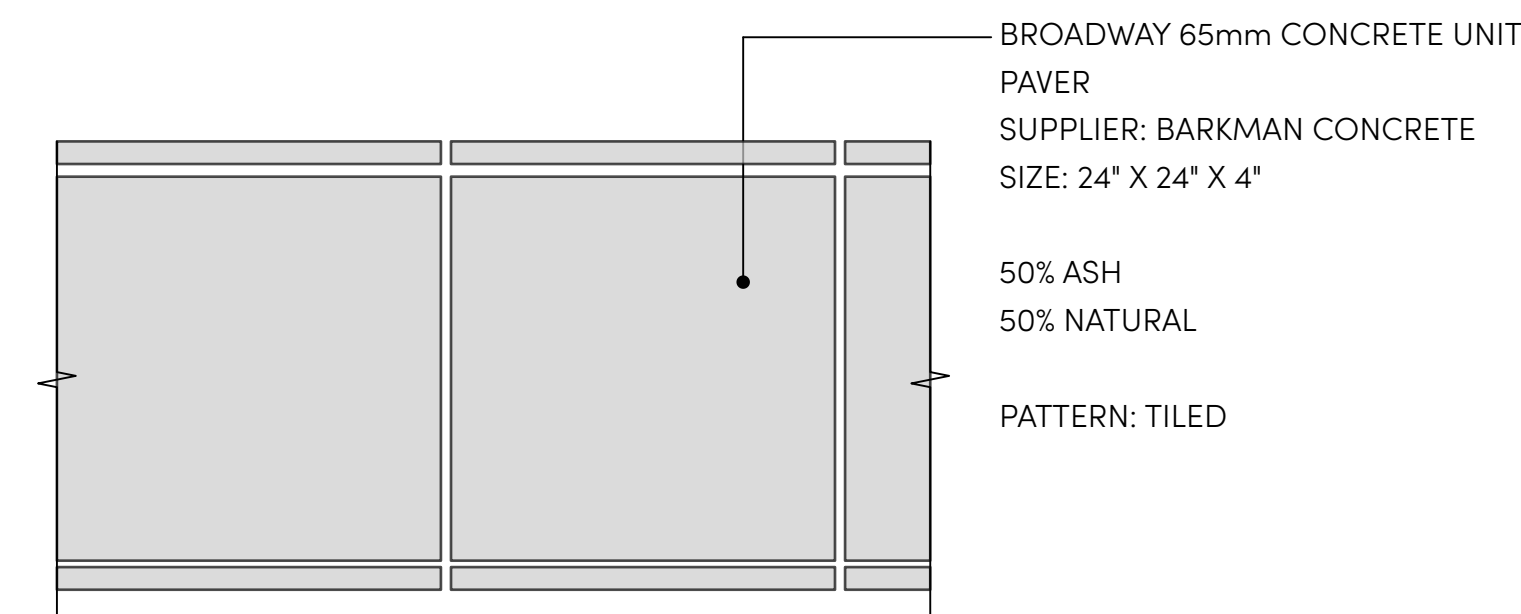
#### 1 PAVING TYPE 1: CIP CONCRETE PAVING, TYP.

Scale: 1" = 1'-0"



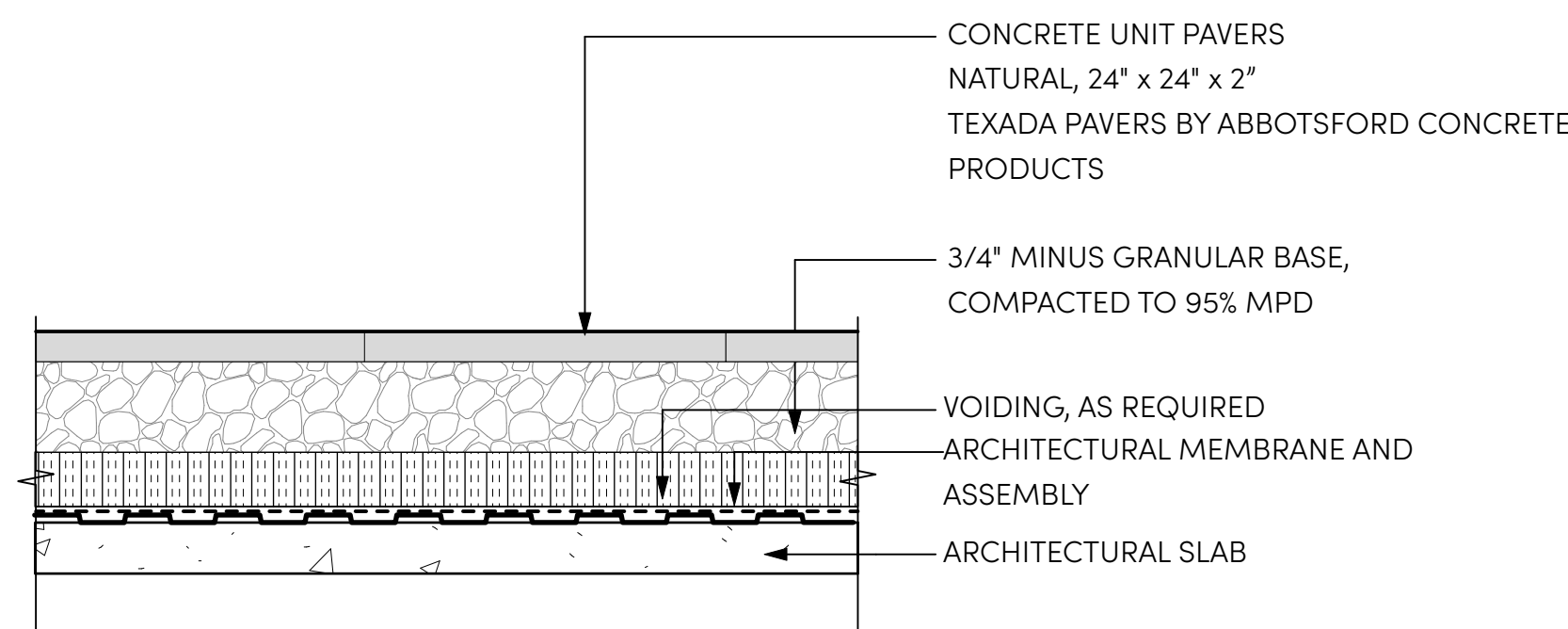
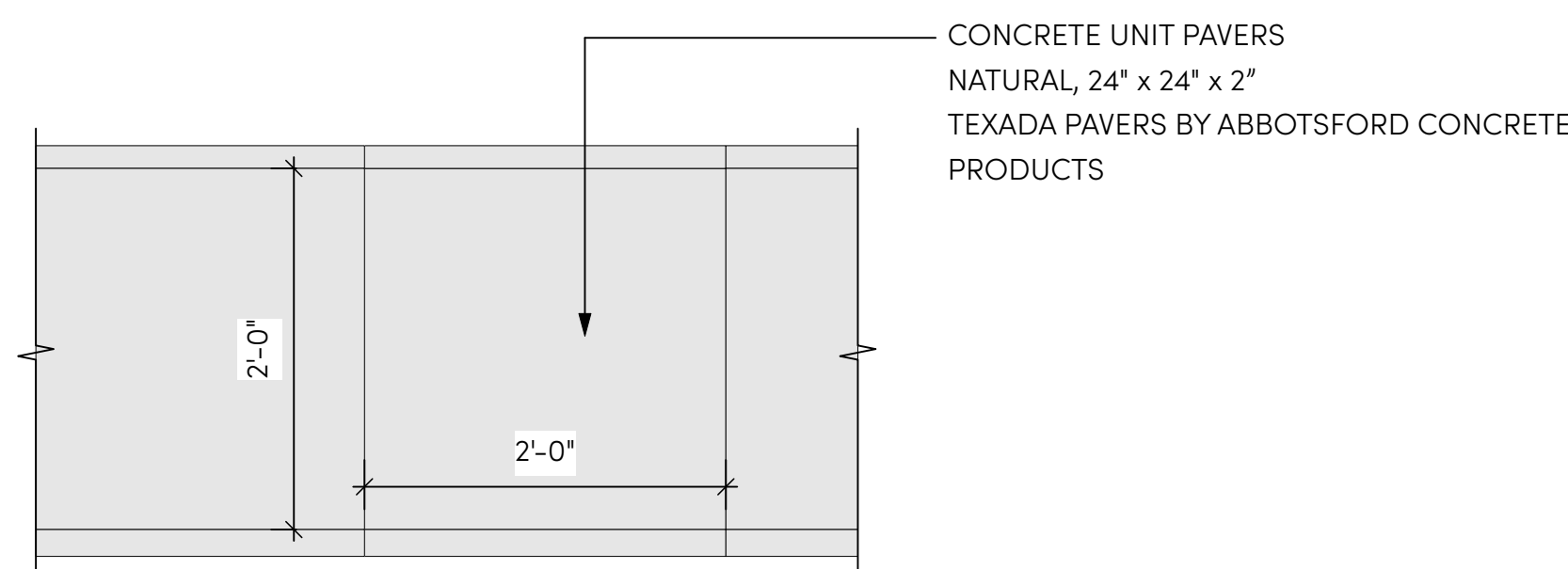
#### 2 PAVING TYPE 2: ENTRY MEWS PAVING, TYP.

Scale: 1" = 1'-0"



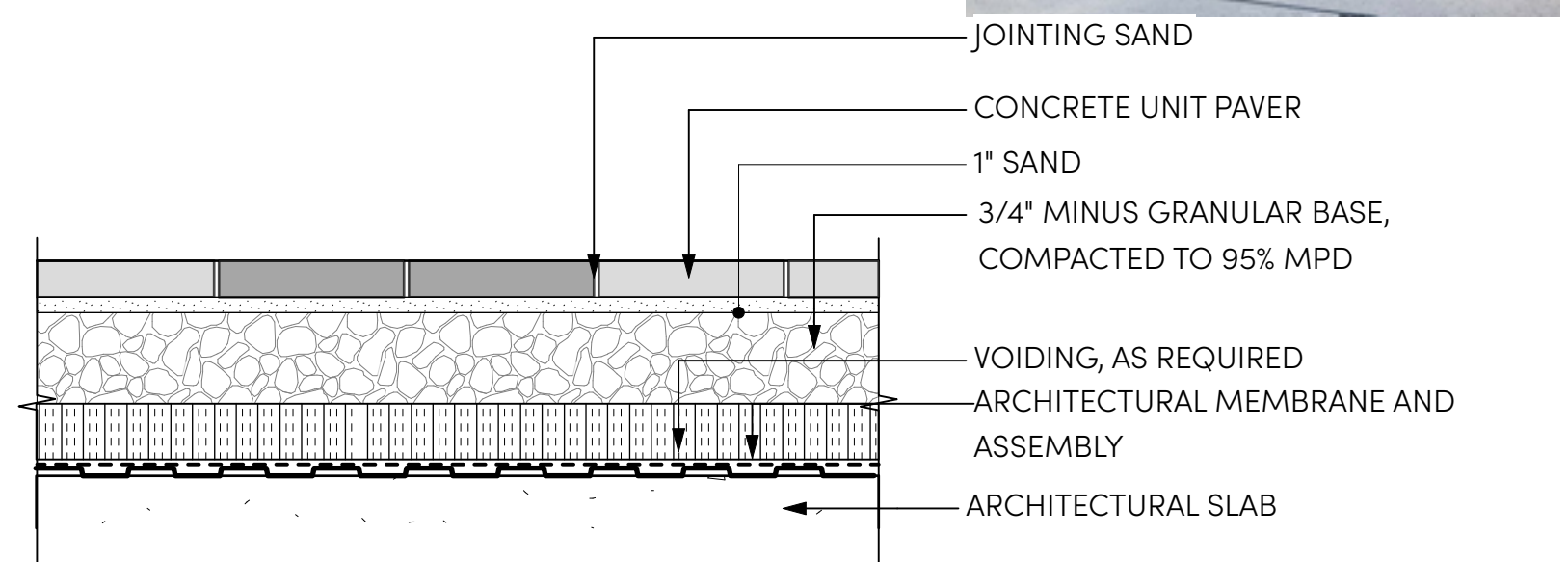
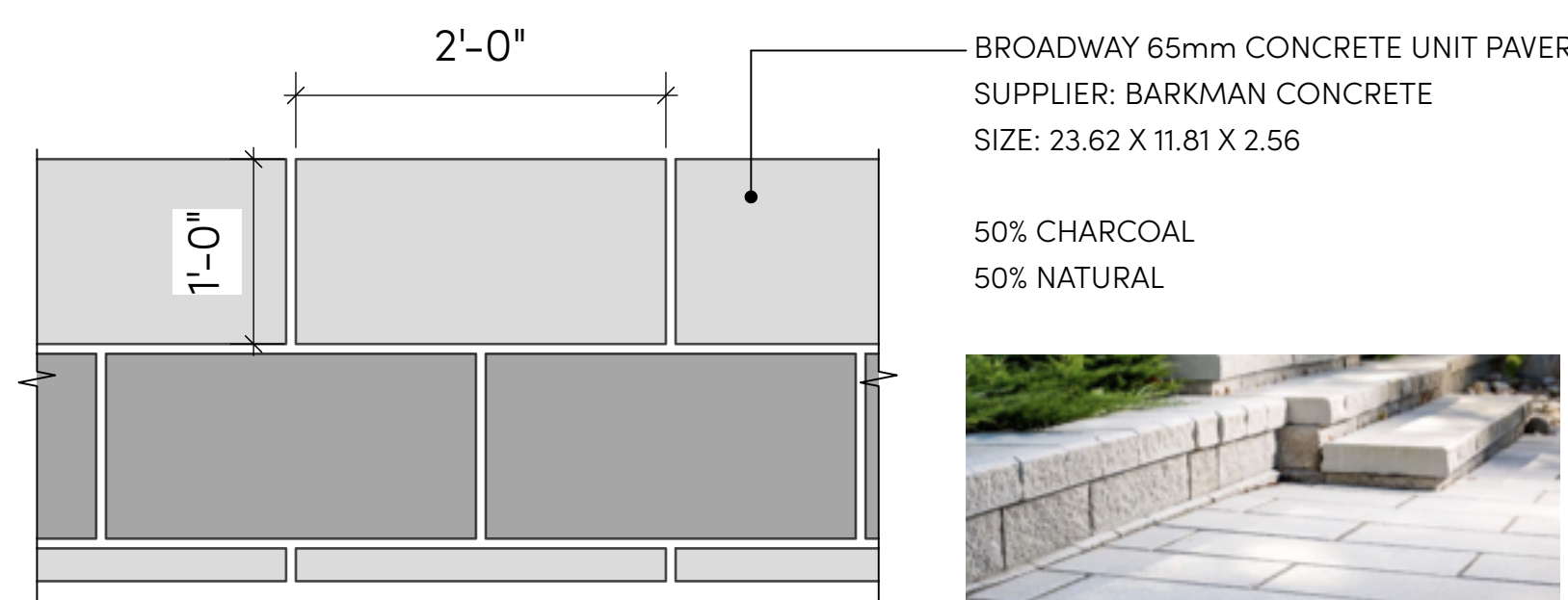
#### 3 PAVING TYPE 3: PRIVATE PATIO PAVING, TYP.

Scale: 1" = 1'-0"



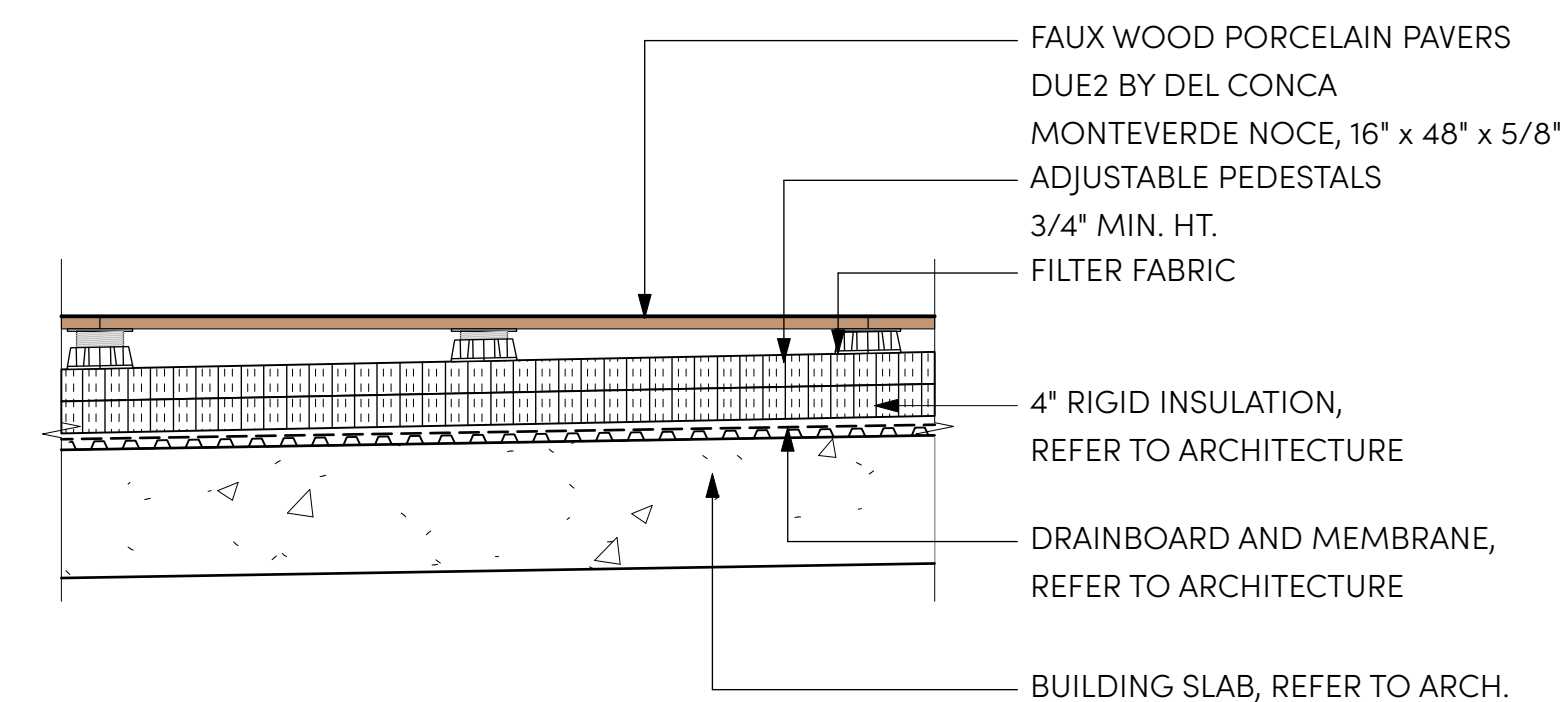
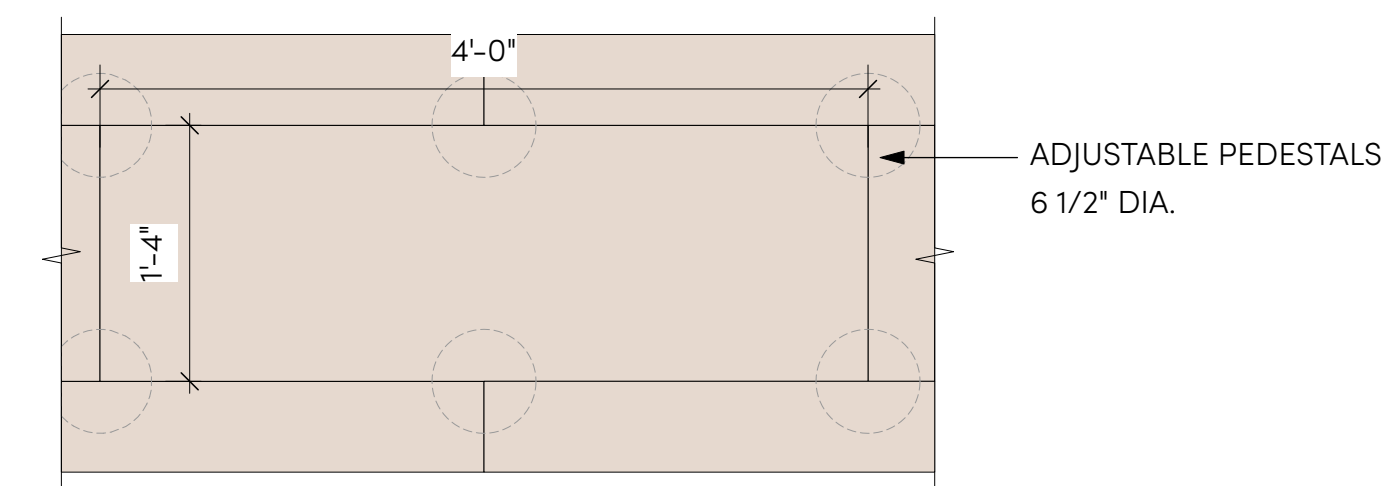
#### 4 PAVING TYPE 4: LOBBY PAVING, TYP.

Scale: 1" = 1'-0"



#### 5 PAVING TYPE 5: AMENITY PAVING, TYP.

Scale: 1" = 1'-0"



#### 6 PAVING TYPE 6: POOL DECK PORCELAIN PAVERS 16" x 48", TYP.

Scale: 1" = 1'-0"

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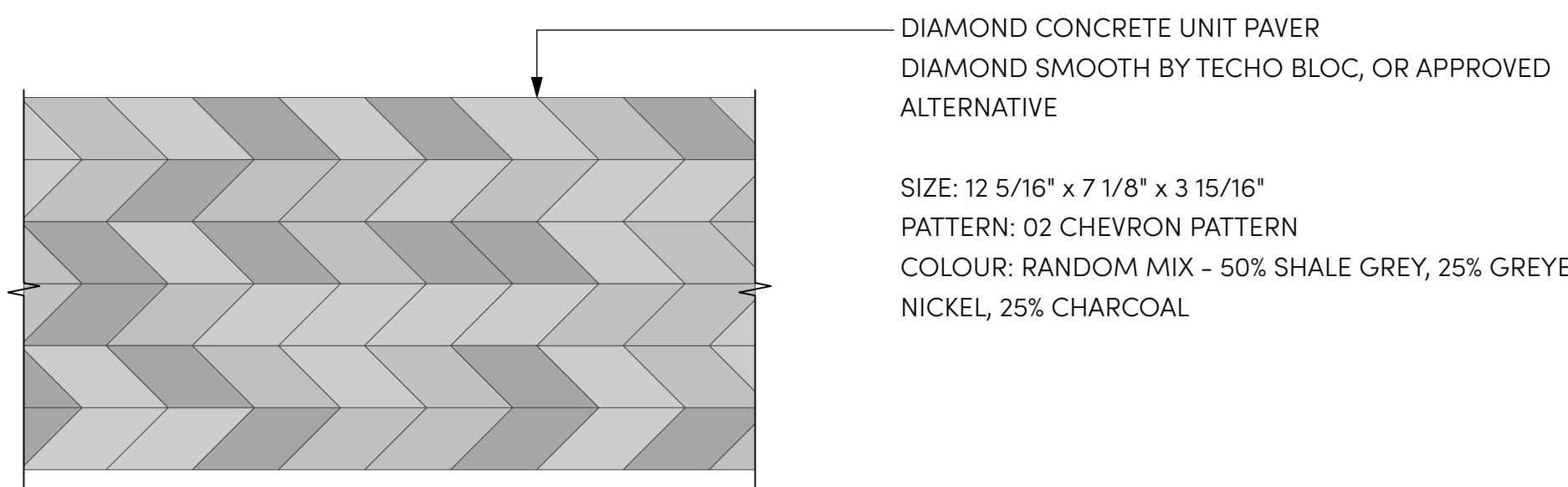
Checked By  
ME

PH 2 - HARDSCAPE DETAIL  
- PAVING

L5.0

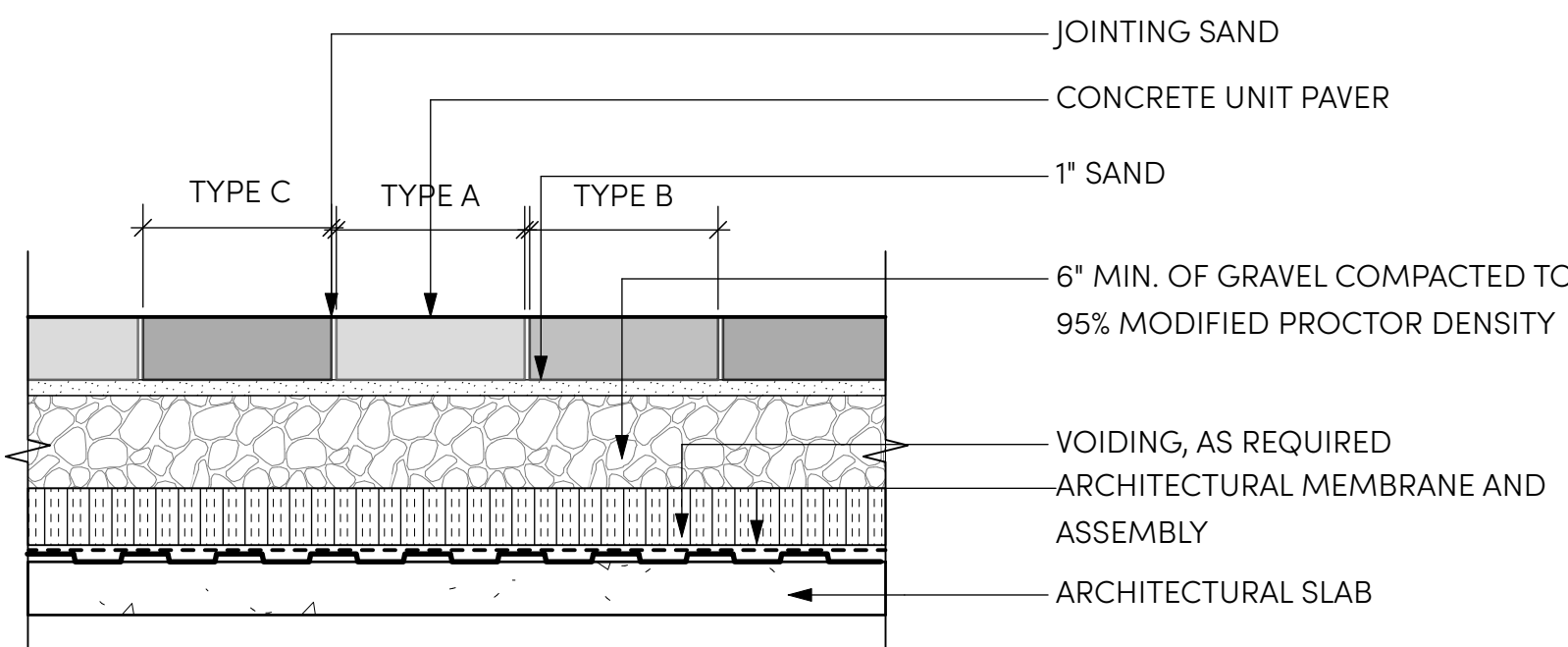
Rev. A revision



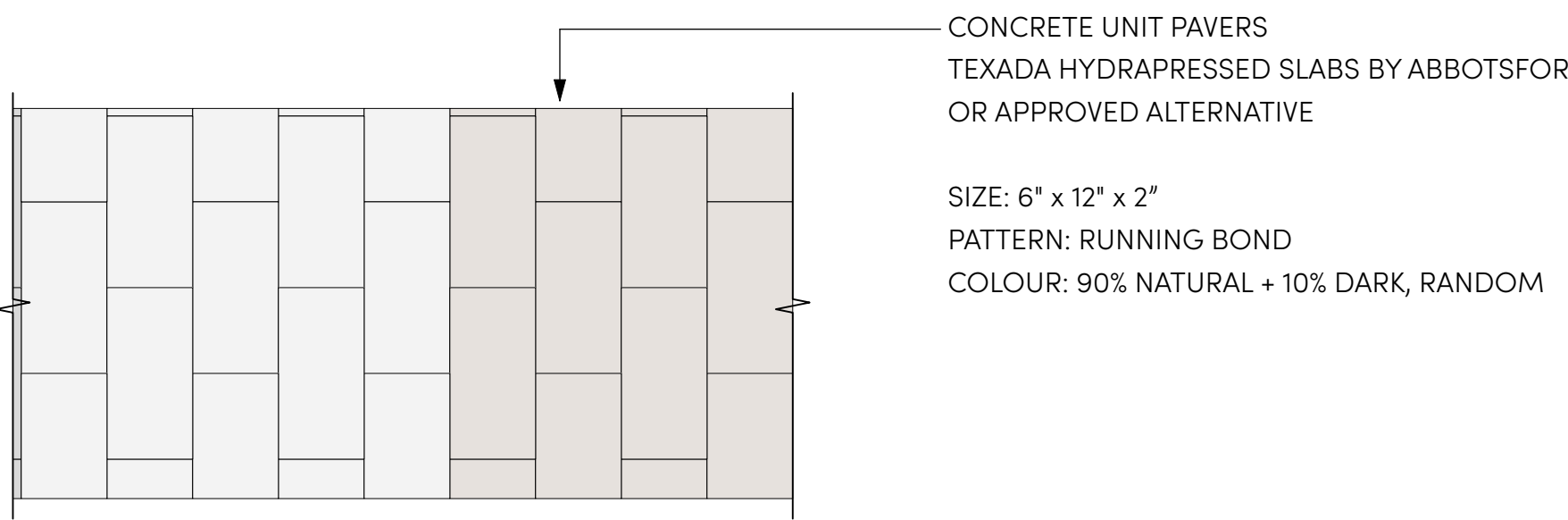


DIAMOND CONCRETE UNIT PAVER  
DIAMOND SMOOTH BY TECO BLOC, OR APPROVED  
ALTERNATIVE

SIZE: 12 5/16" x 7 1/8" x 3 15/16"  
PATTERN: 02 CHEVRON PATTERN  
COLOUR: RANDOM MIX - 50% SHALE GREY, 25% GREYE  
NICKEL, 25% CHARCOAL

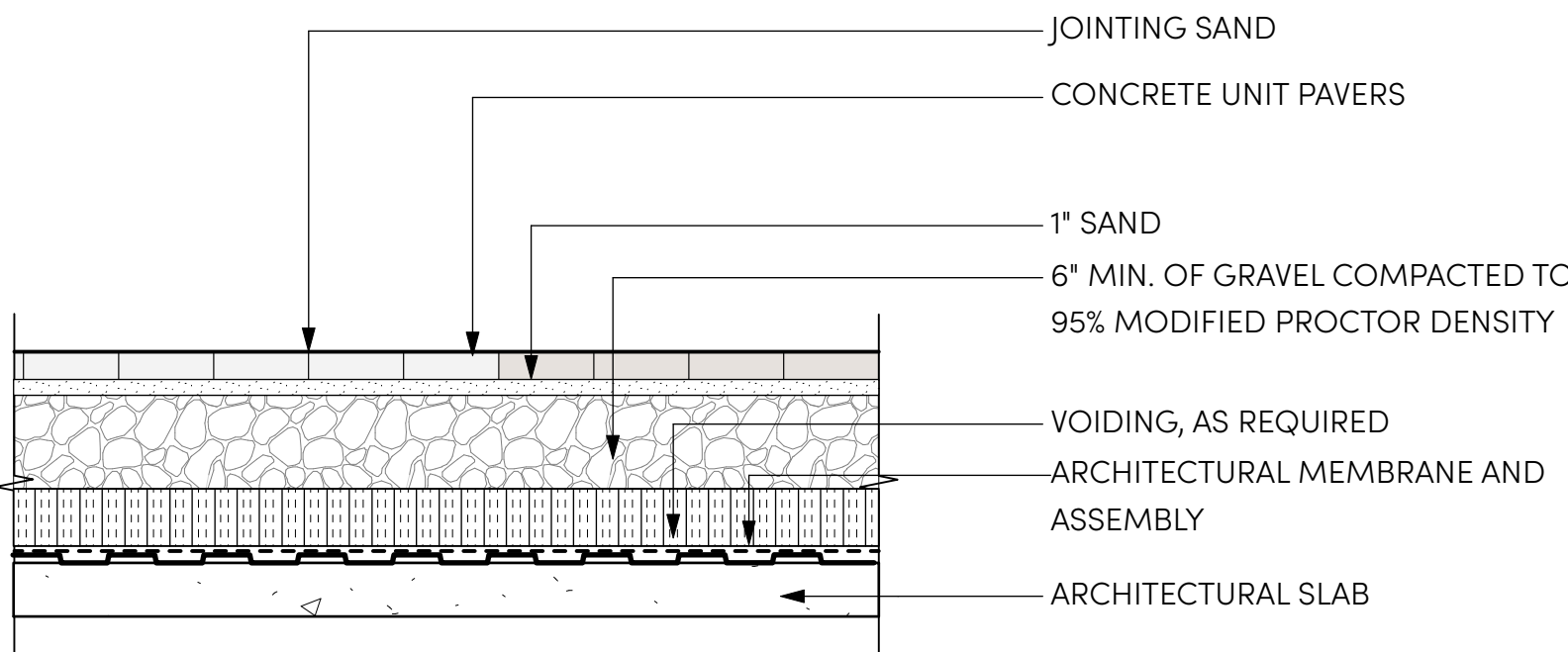


**1 PAVING TYPE 7: FEATURE PLAZA PAVING, TYP.**  
Scale: 1" = 1'-0"

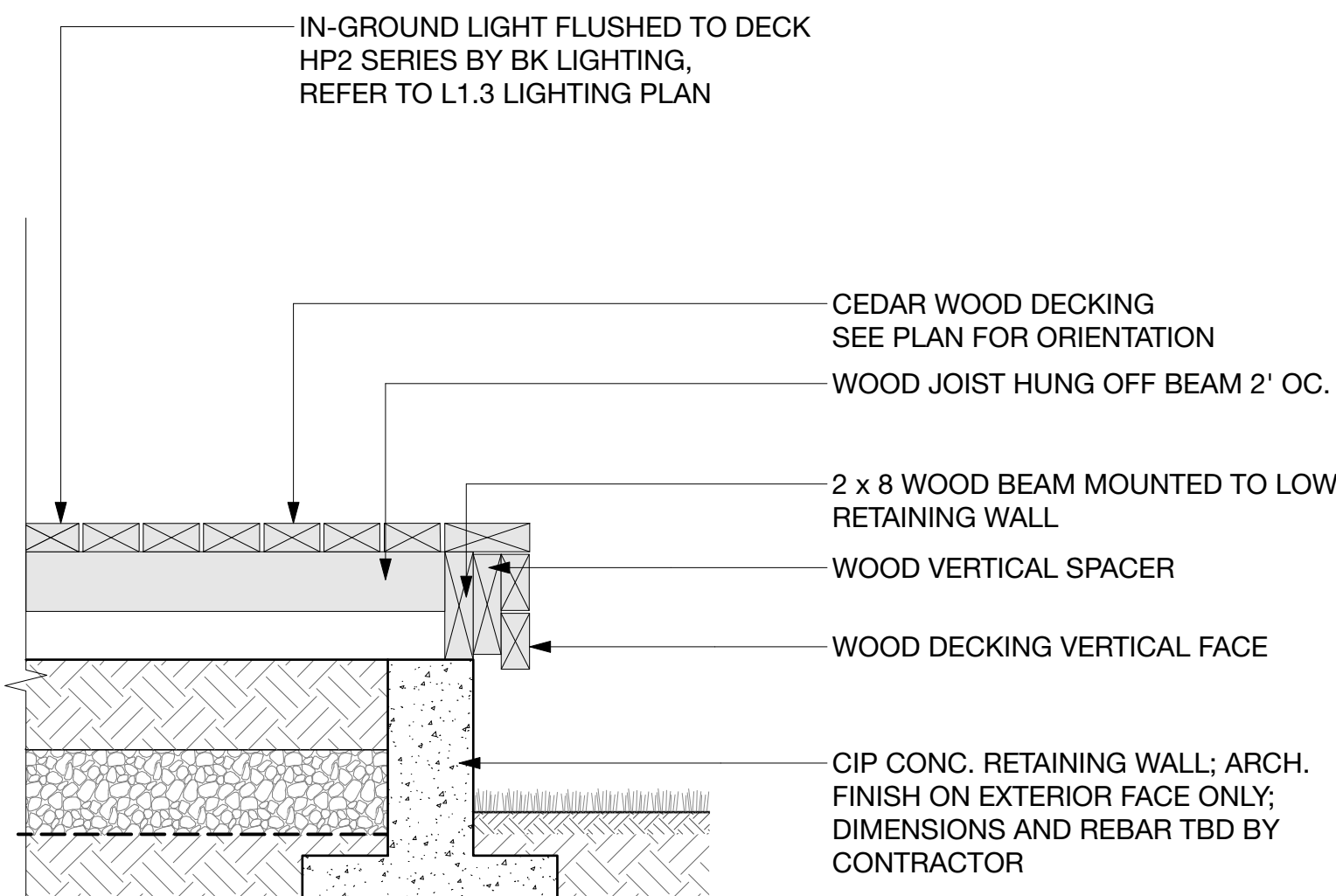


CONCRETE UNIT PAVERS  
TEXADA HYDRAPRESSED SLABS BY ABBOTSFORD  
OR APPROVED ALTERNATIVE

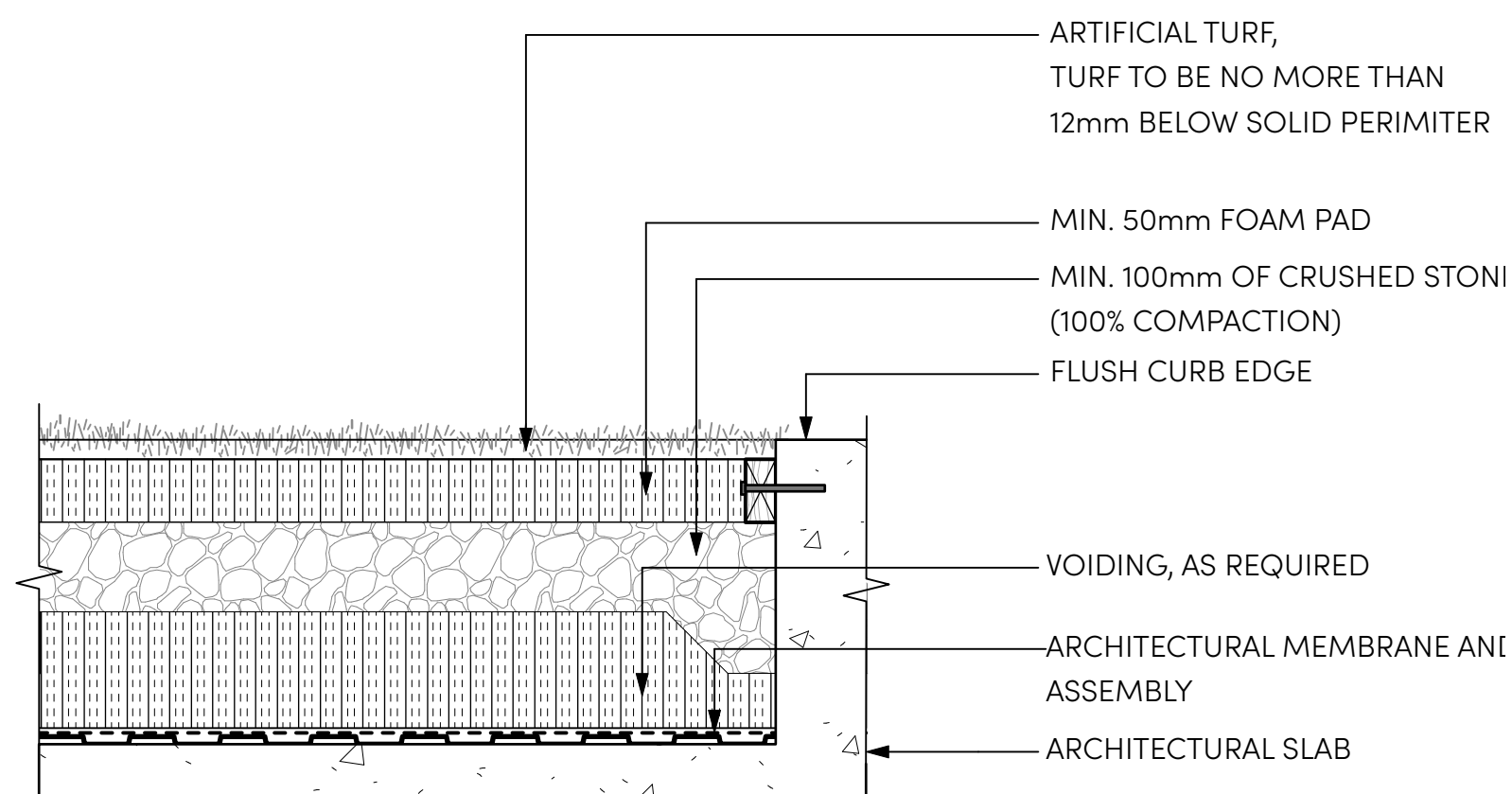
SIZE: 6" x 12" x 2"  
PATTERN: RUNNING BOND  
COLOUR: 90% NATURAL + 10% DARK, RANDOM



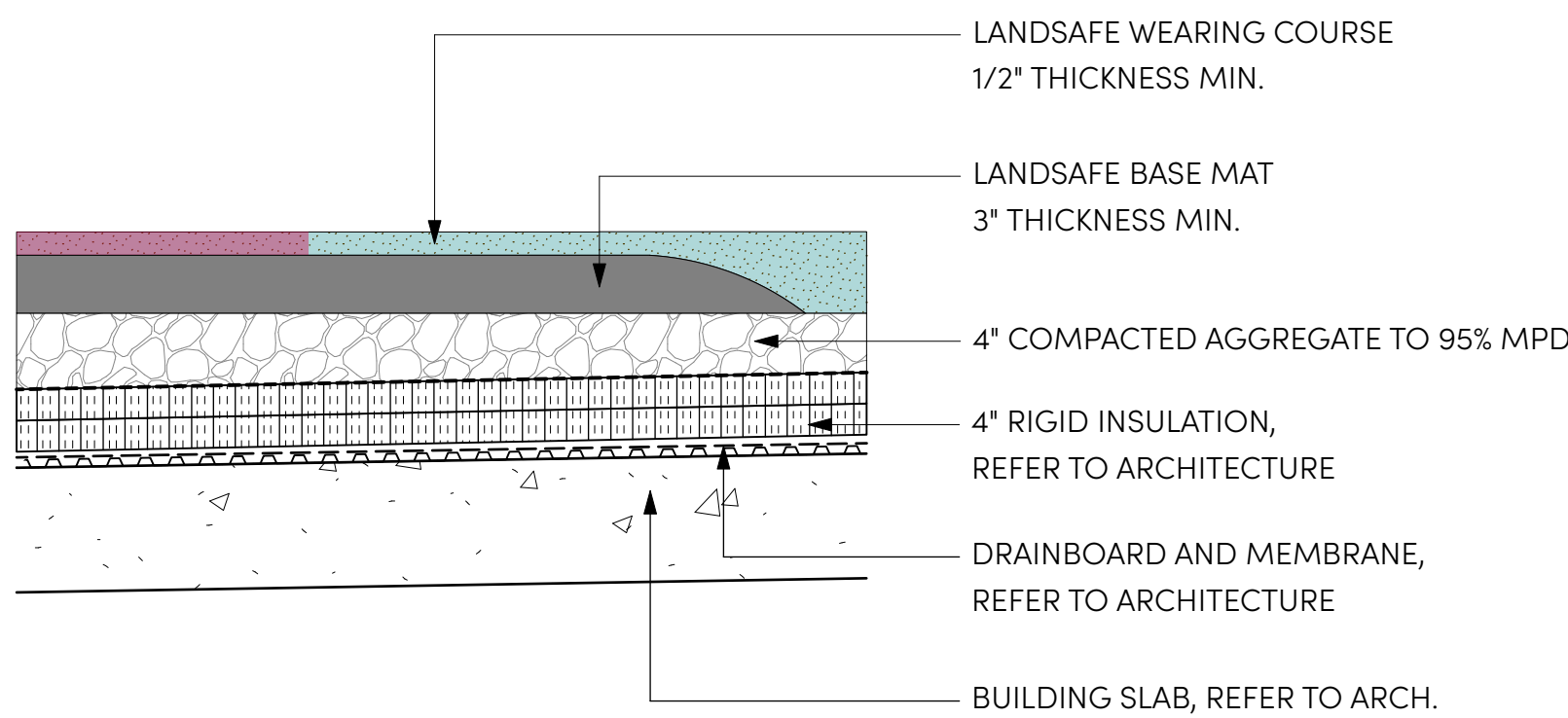
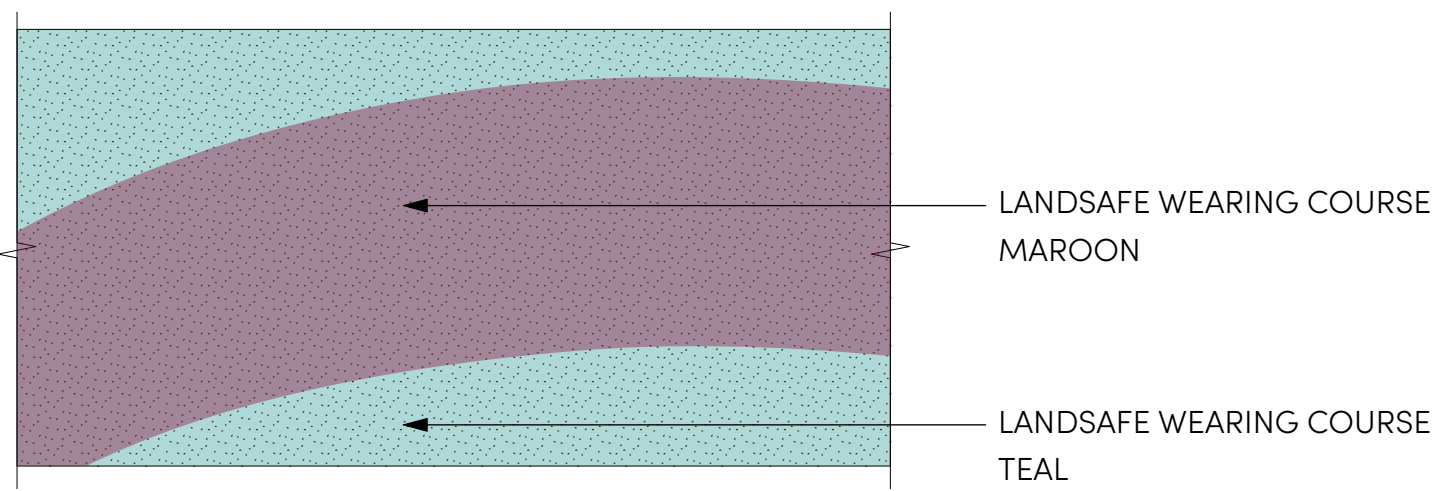
**2 PAVING TYPE 8: RETAIL FRONTAGE PAVING, TYP.**  
Scale: 1" = 1'-0"



**3 PAVING TYPE 9: WOODEN DECKING, TYP.**  
Scale: 1/2" = 1'-0"



**4 PAVING TYPE 11: ARTIFICIAL TURF**  
Scale: 1" = 1'-0"



**5 PAVING TYPE 12: PIP RUBBER SURFACE**  
Scale: 1" = 1'-0"

Project Stamp



Issue

No.	Description	Date
F	Issued for Development Permit	21-05-30
G	Re-Issued for Development Permit	21-12-23
H	Issued for TRS Response	22-02-03

Project Info

20168

Dilworth Center

Mixed Use  
2339 Highway 97N  
Kelowna, BC

Project Team

Client

Peterson

Architect

IBI Group

Landscape Architect

LOCI Landscape Architecture + Urban Design

Drawn By

JD

Checked By

ME

PH 2 - HARDSCAPE DETAIL  
- PAVING

L5.1

Rev. A revision



Project Stamp



Issue

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Architect

IBI Group

Landscape Architect

LOCI Landscape Architecture + Urban Design

Drawn By

JD

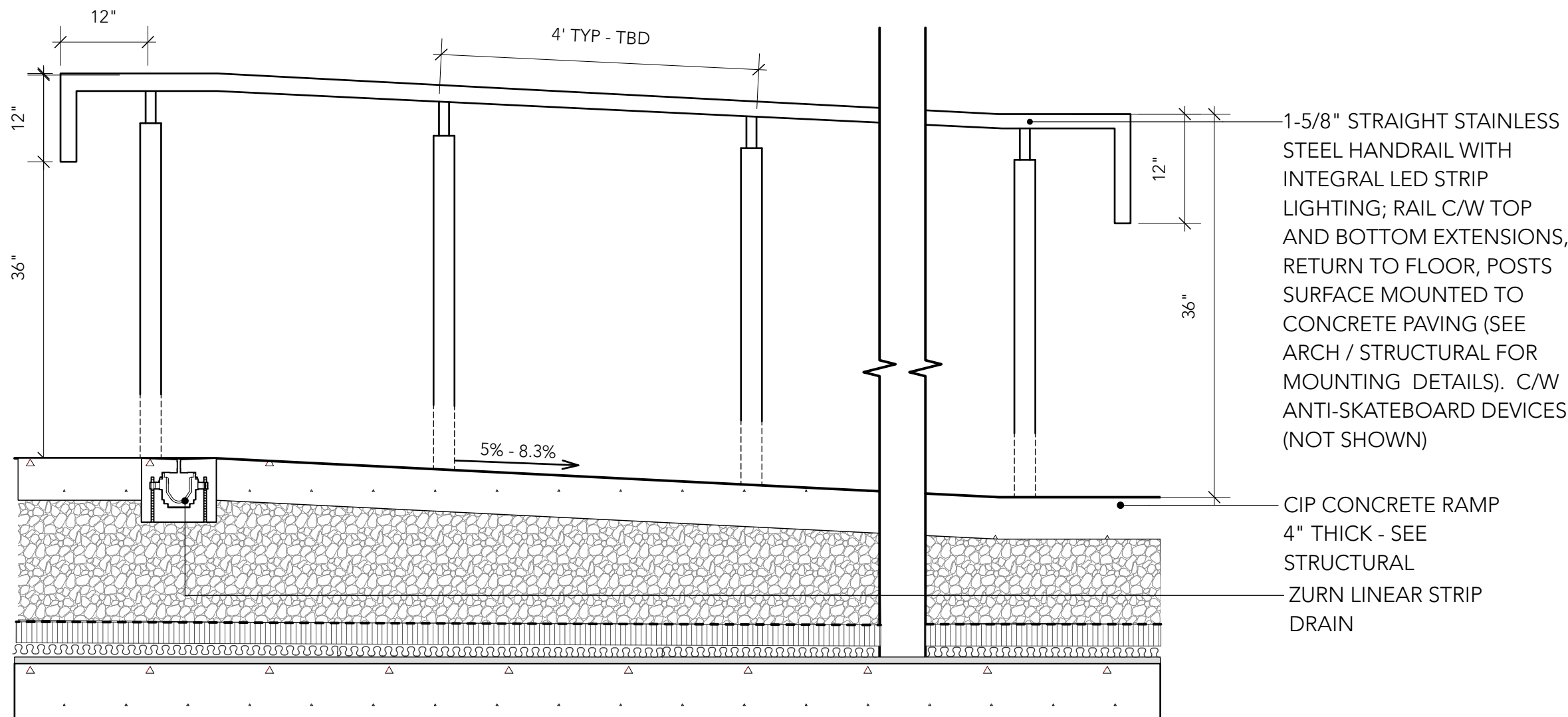
Checked By

ME

PH 2 - HARDSCAPE DETAIL  
- STAIRS AND RAMPS

L5.2

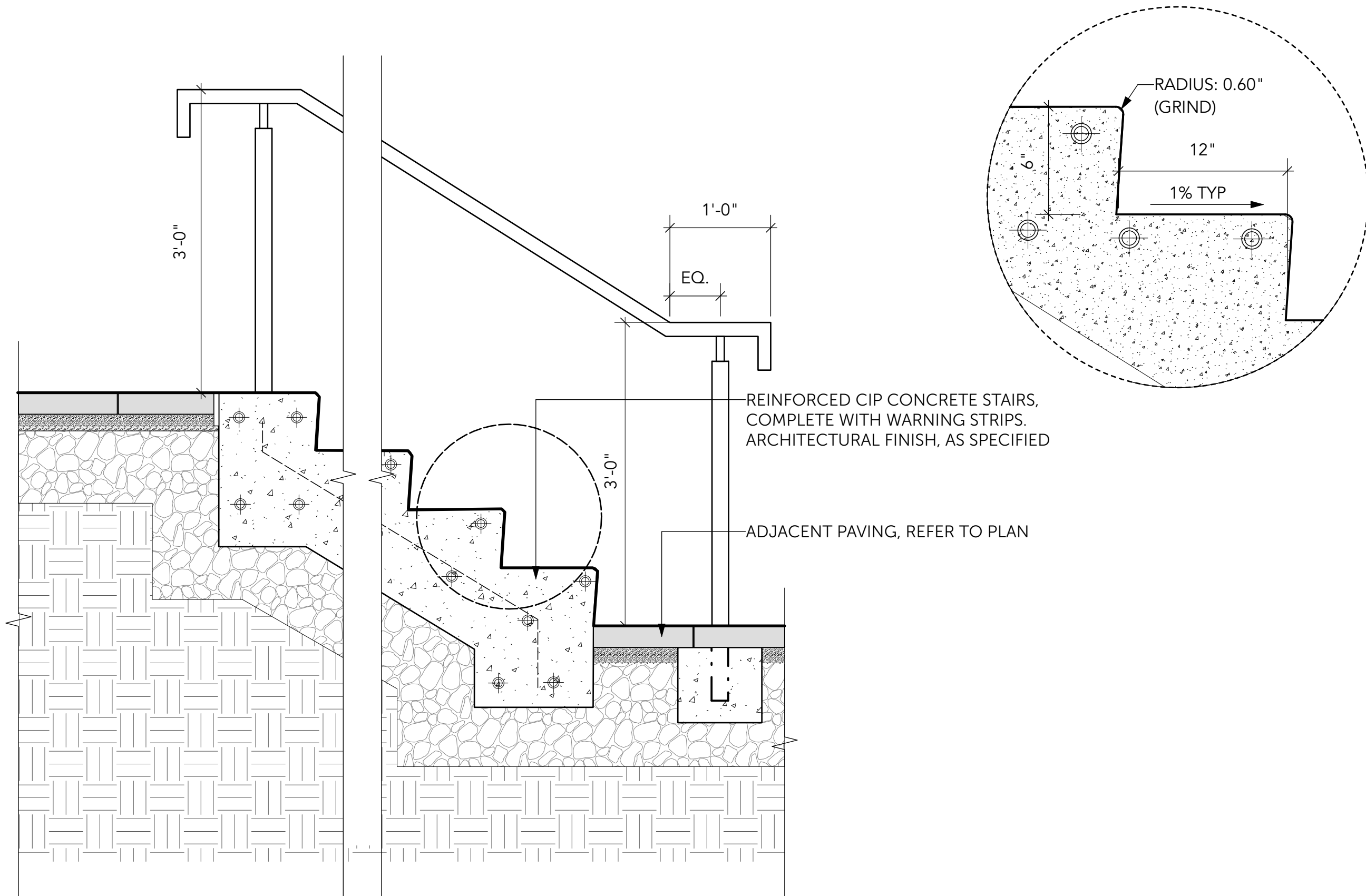
Rev. A revision



NOTES:  
1. CONTRACTOR TO PROVIDE ENGINEERED SHOP DRAWINGS TO  
LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION

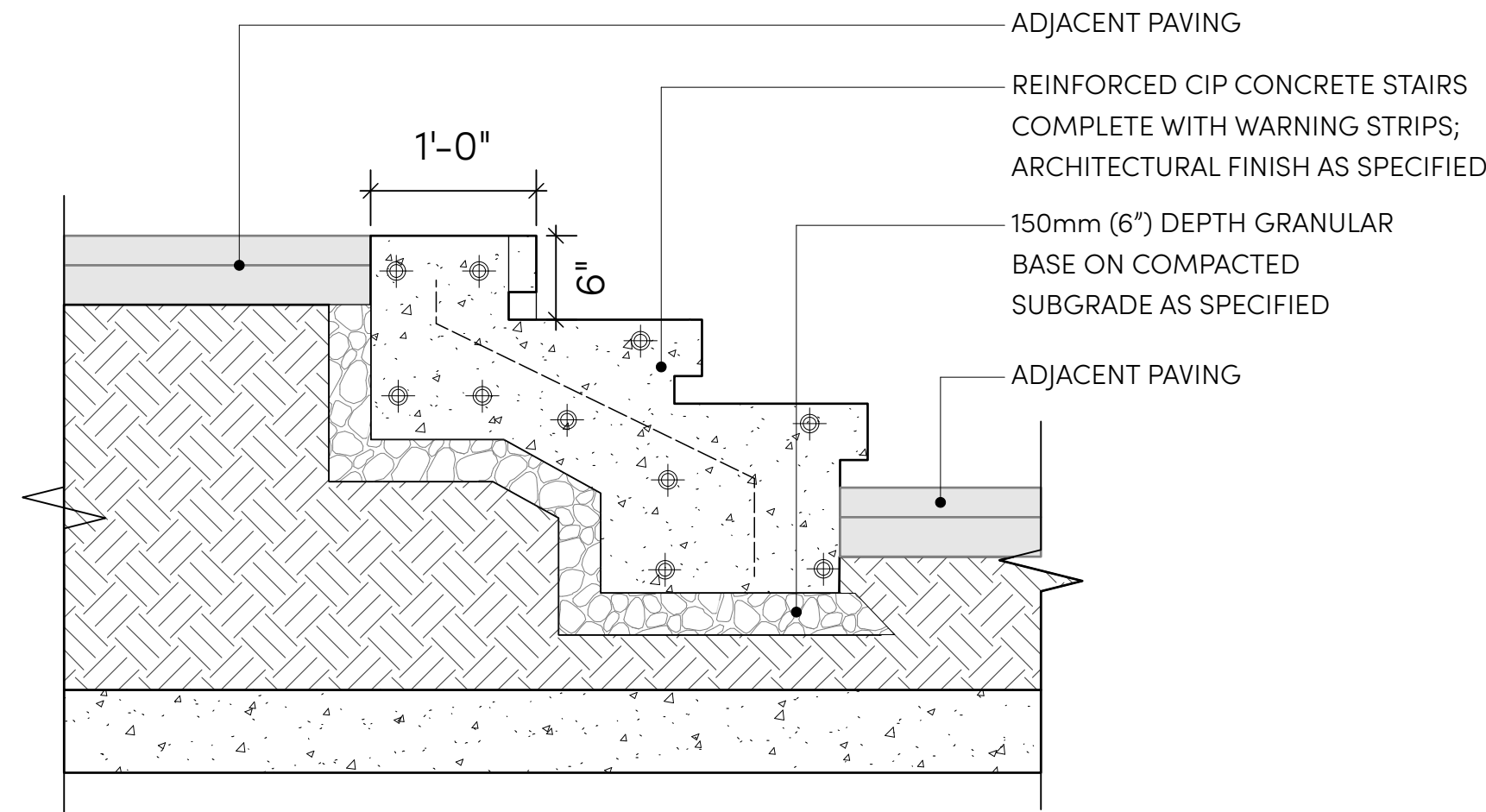
1 CONCRETE LANDSCAPE RAMP ON SLAB, TYP

Scale: 1" = 1'-0"



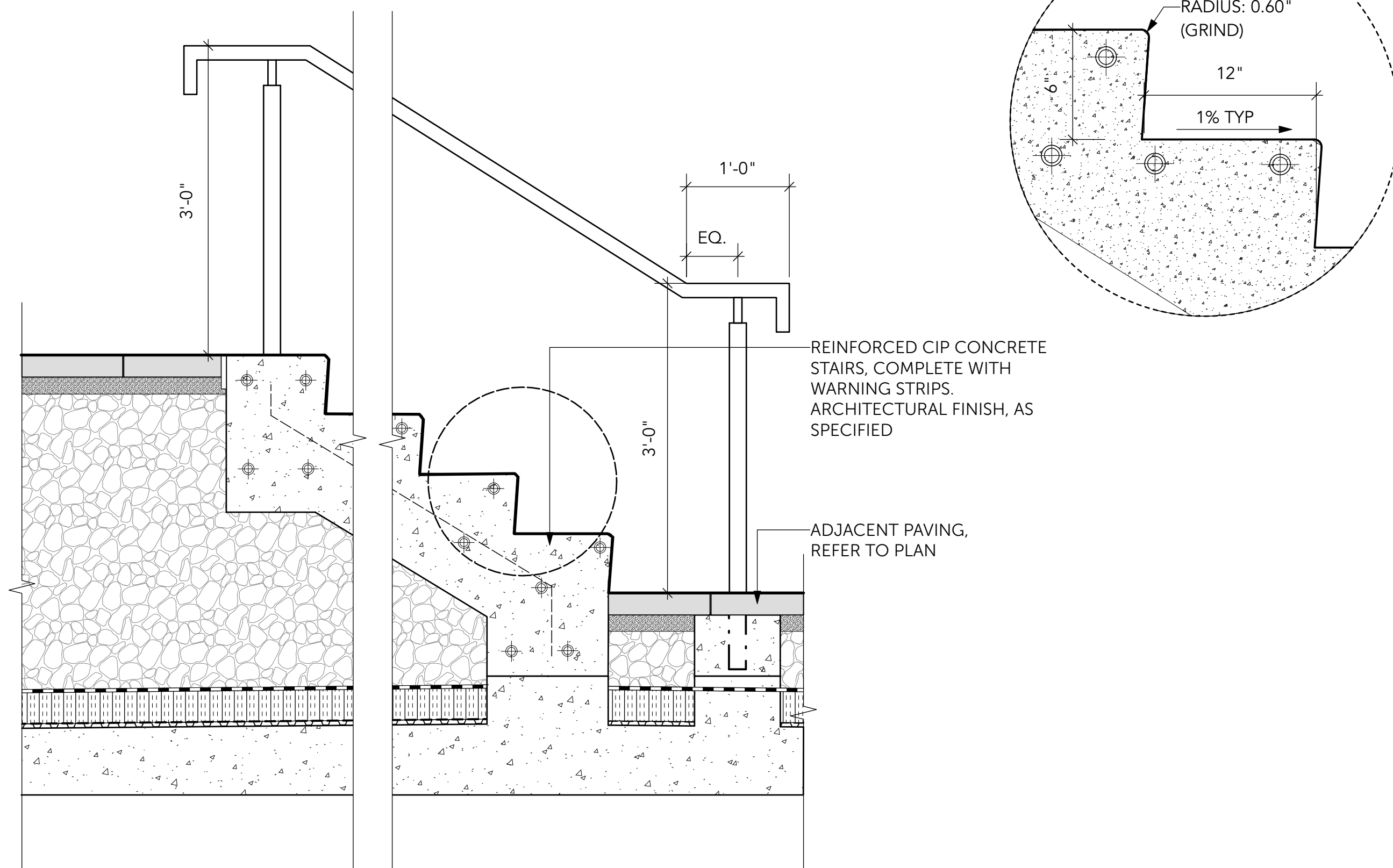
3 CIP CONCRETE STAIRS AT GRADE

Scale: 1" = 1'-0"



2 TYPICAL STAIR DETAIL

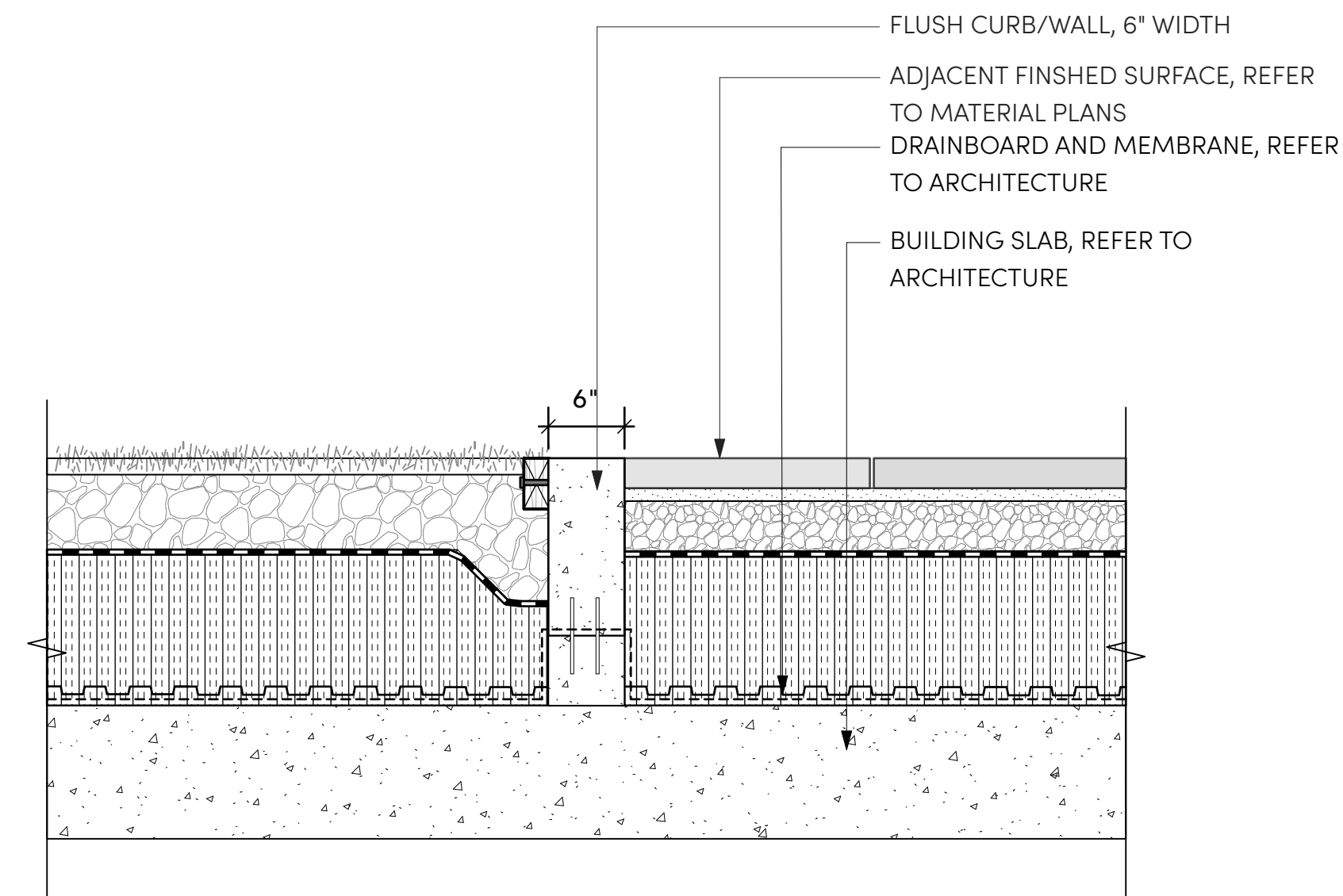
Scale: 1" = 1'-0"



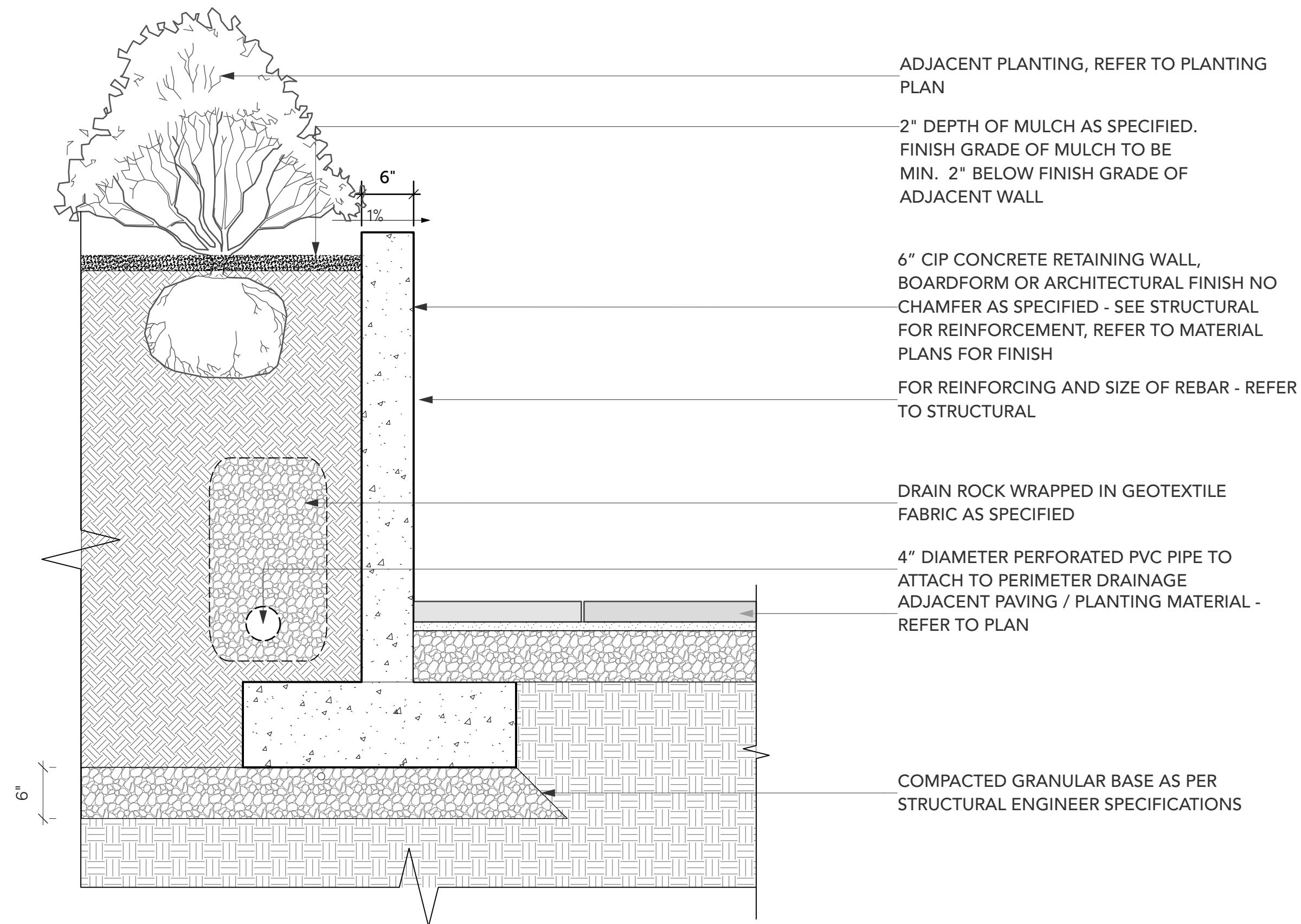
4 CIP CONCRETE STAIRS ON SLAB

Scale: 1" = 1'-0"

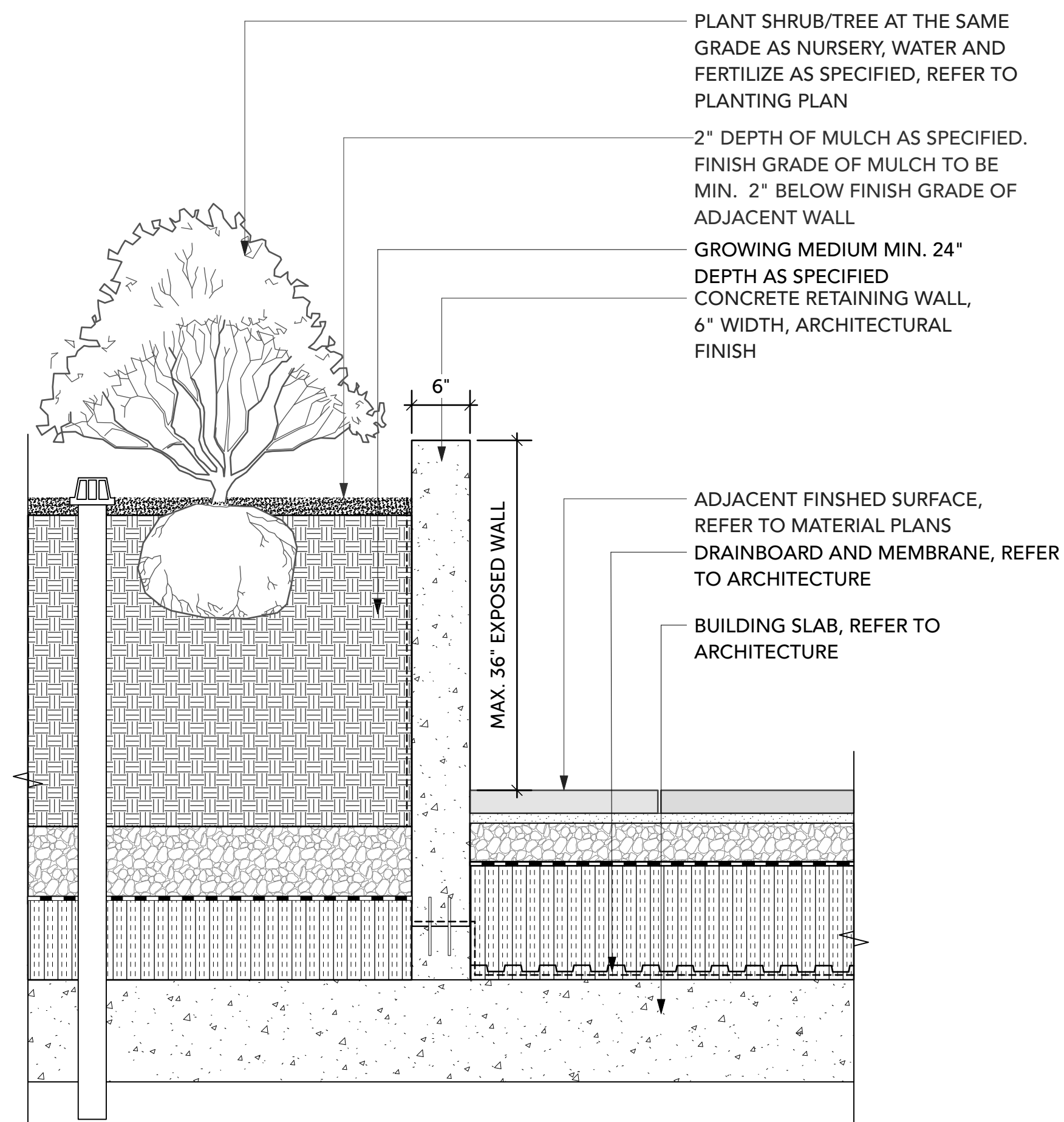




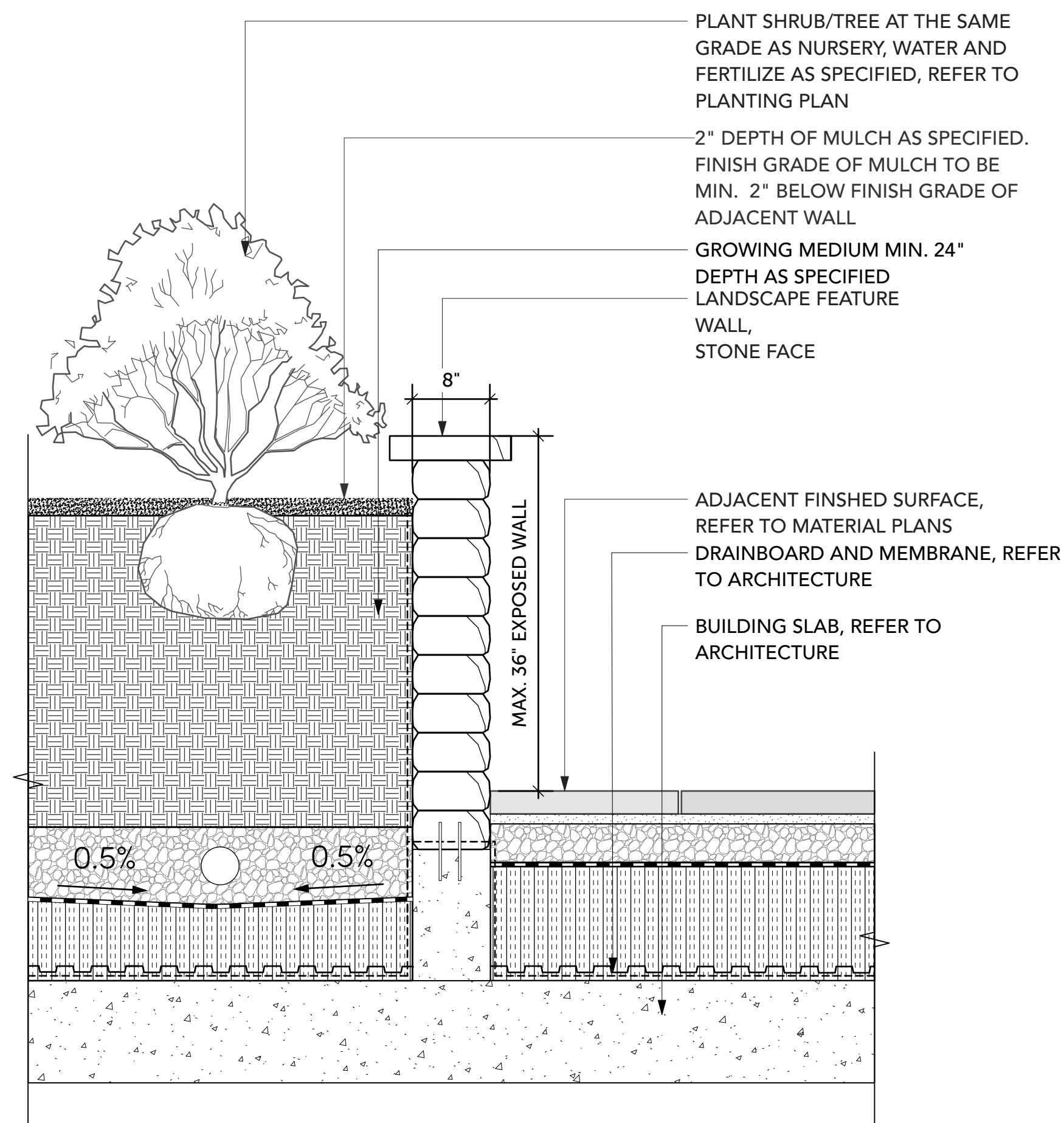
**1 CONCRETE FLUSH CURB/WALL, TYP.**  
Scale: 1" = 1'-0"



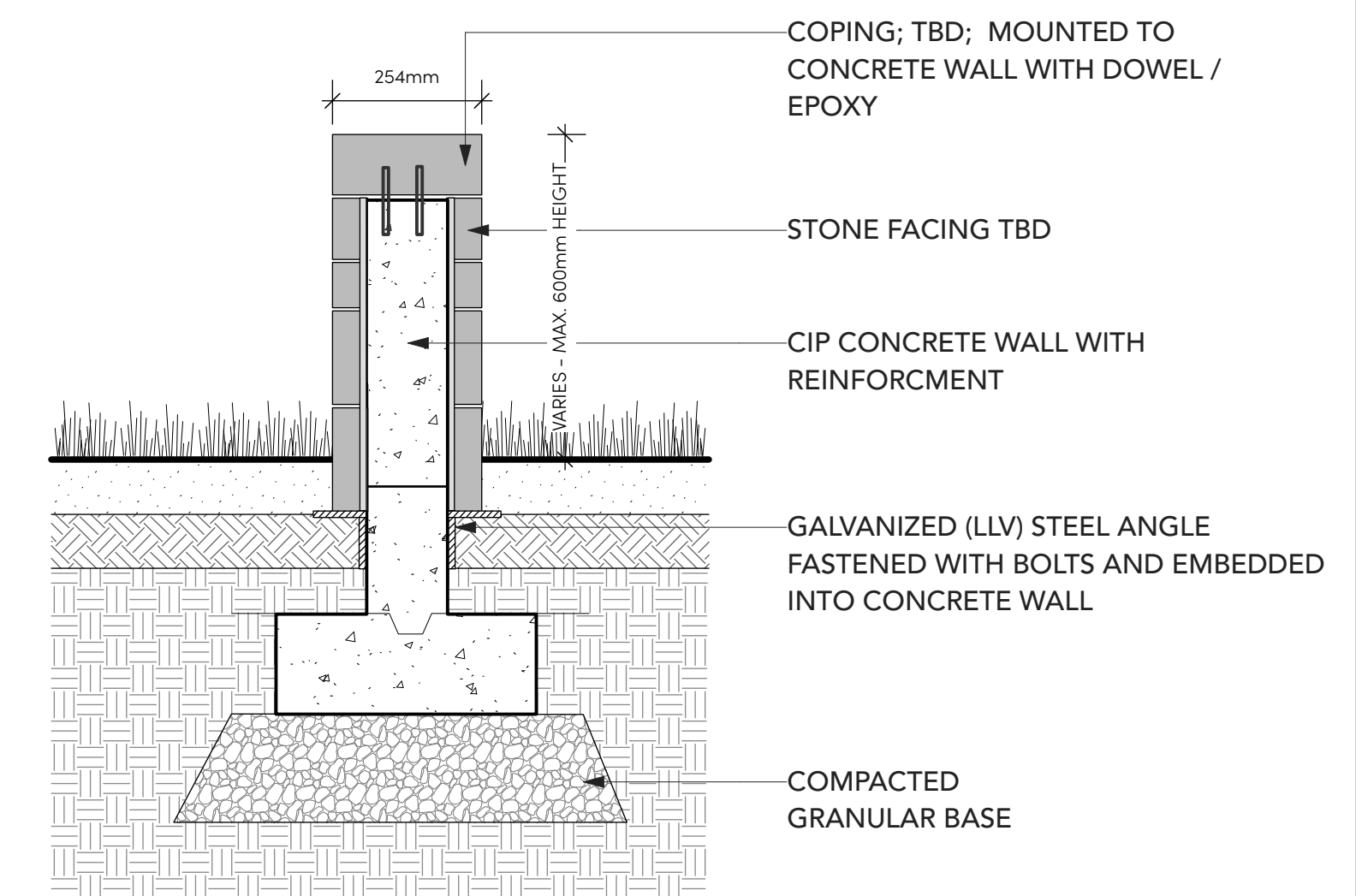
**2 WALL TYPE 1: CONCRETE RETAINING PLANTER WALL ON GRADE, TYP.**  
Scale: 1" = 1'-0"



**3 WALL TYPE 1: CONCRETE RETAINING PLANTER WALL ON SLAB, TYP.**  
Scale: 1" = 1'-0"



**4 WALL TYPE 1 (OPTION): UNIT BLOCK WALL ON SLAB, TYP.**  
Scale: 1" = 1'-0"



**5 WALL TYPE 2: LANDSCAPE FEATURE WALL, TYP.**  
Scale: 1" = 1'-0"

**Project Stamp**



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20168

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Mixed Use  
2339 Highway 97N  
Kelowna, BC

**Project Team**

Client  
Peterson

Architect  
IBI Group

Landscape Architect  
LOCI Landscape Architecture + Urban Design

Drawn By  
JD

Checked By  
ME

PH 2 - HARDSCAPE DETAIL  
- CURBS AND WALLS

**L5.3**

Rev. A revision



Project Stamp



Issue

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LOCI Landscape Architecture + Urban Design

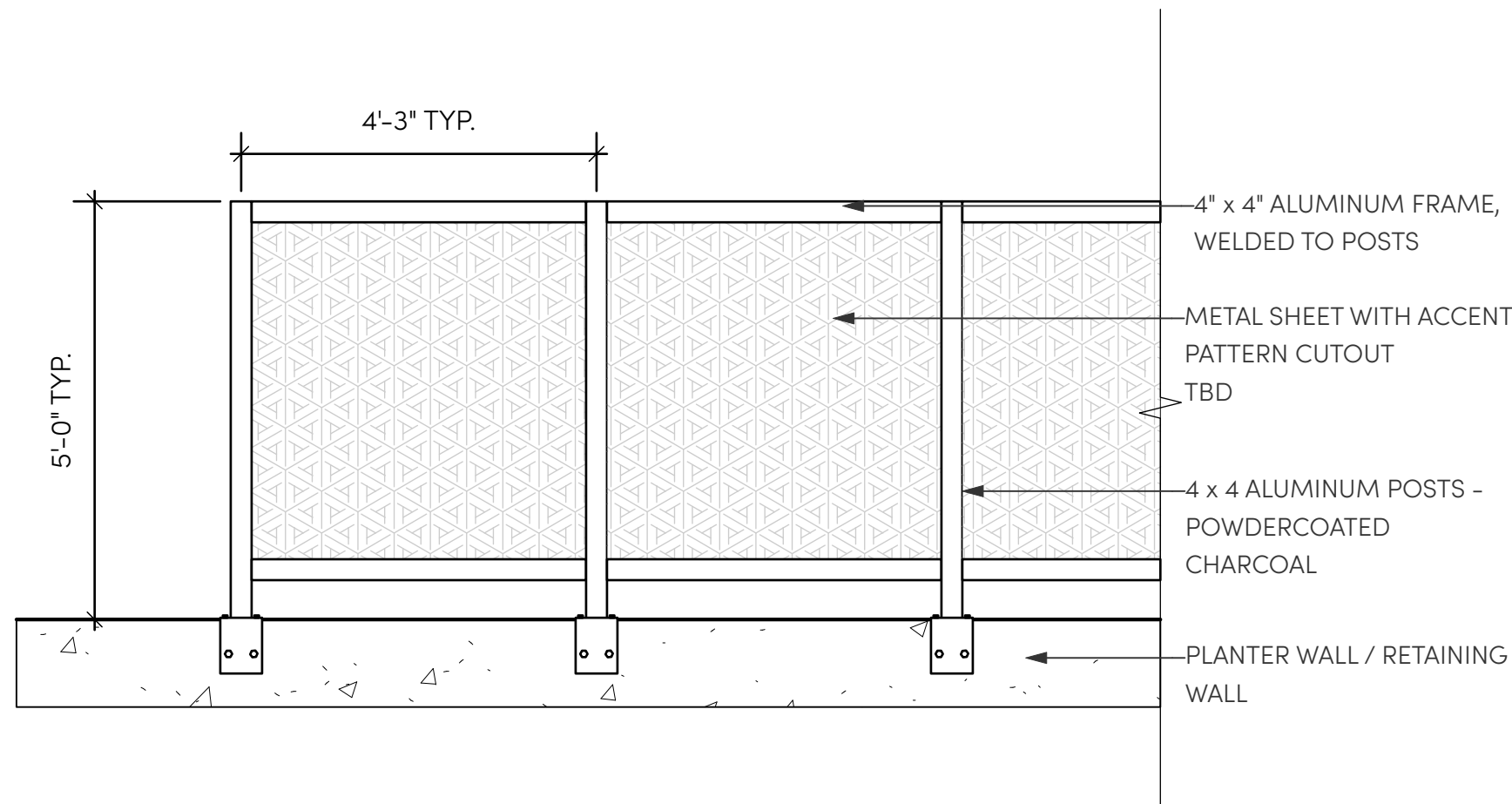
Drawn By  
JD

Checked By  
ME

PH 2 - SITE FURNISHING  
DETAIL - FENCES

L5.4

Rev. A revision

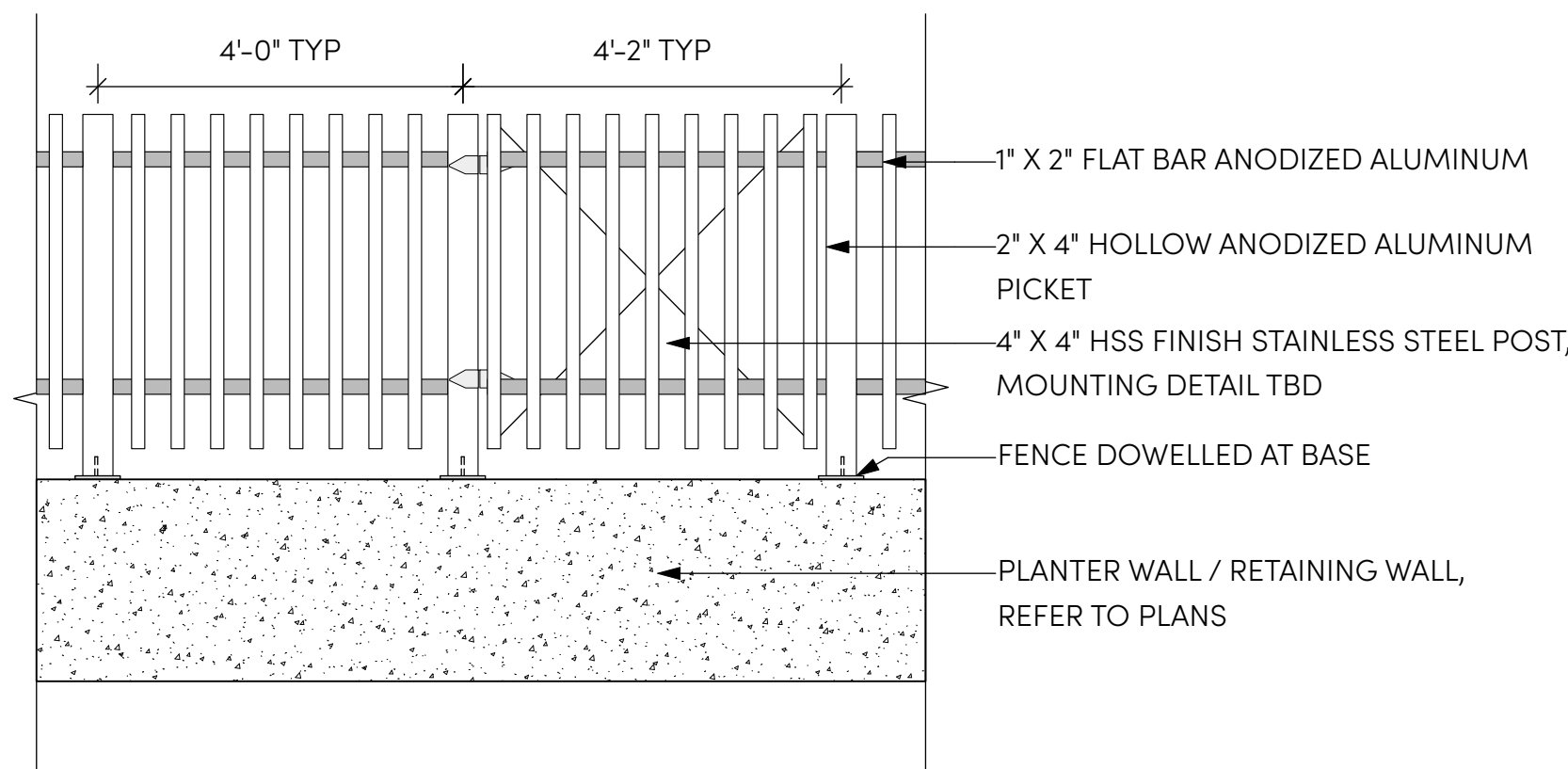


SECTION

NOTE:  
1. ARCHITECTURE AND STRUCTURAL TO COORDINATE FINAL LOCATION AND DETAILING



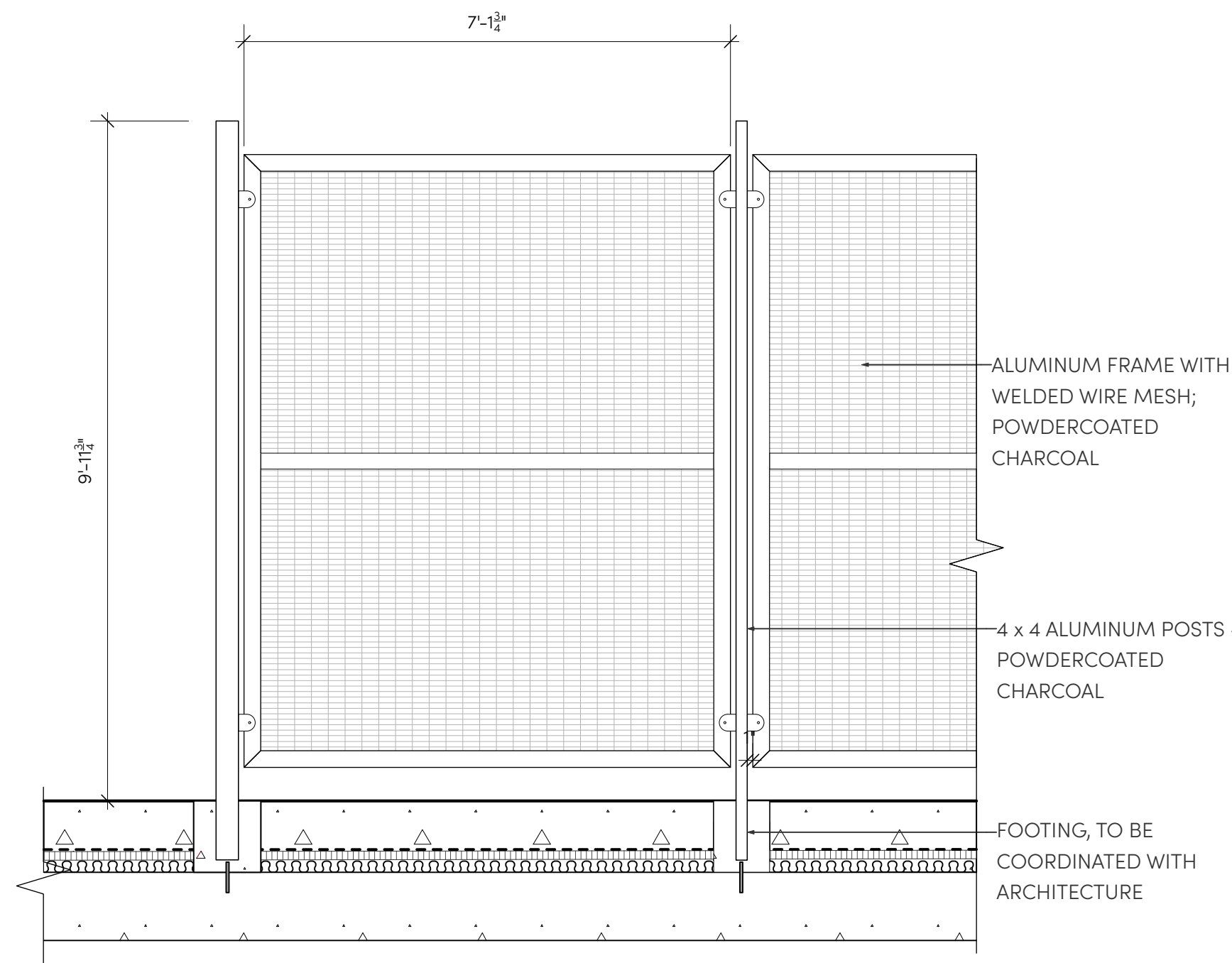
PRECEDENT IMAGE



SECTION



PRECEDENT IMAGE



NOTE:  
1. ARCHITECTURE AND STRUCTURAL TO COORDINATE FINAL LOCATION AND DETAILING  
OF HIGH FENCES

1

FENCE TYPE 1: 5'-0" HT. PERIMETER FENCE, TYP.

Scale: 1/2" = 1'-0"

2

FENCE TYPE 2 / 3 / 5: PRIVATE PATIO FENCE AND GATE, TYP.

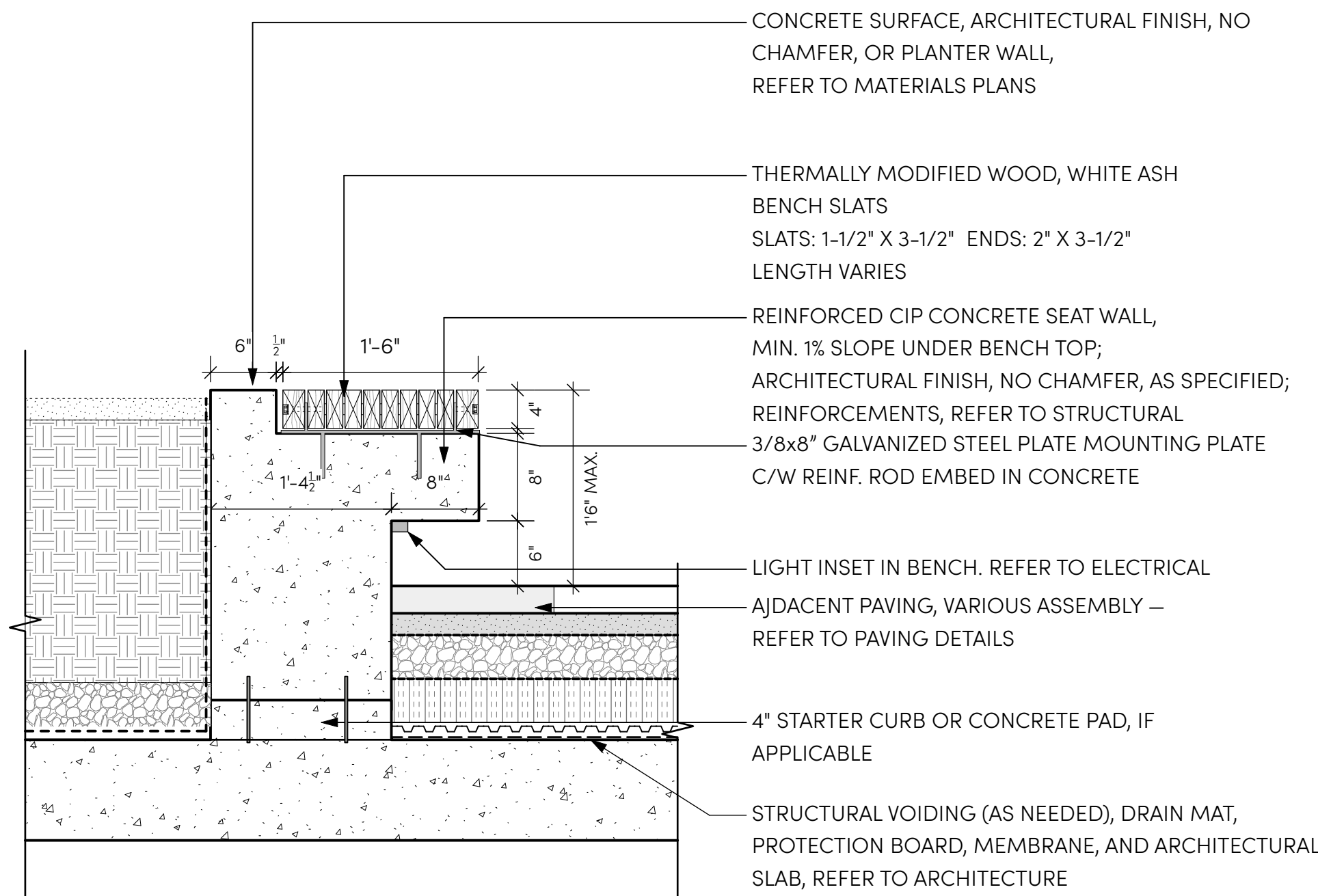
Scale: 1/2" = 1'-0"

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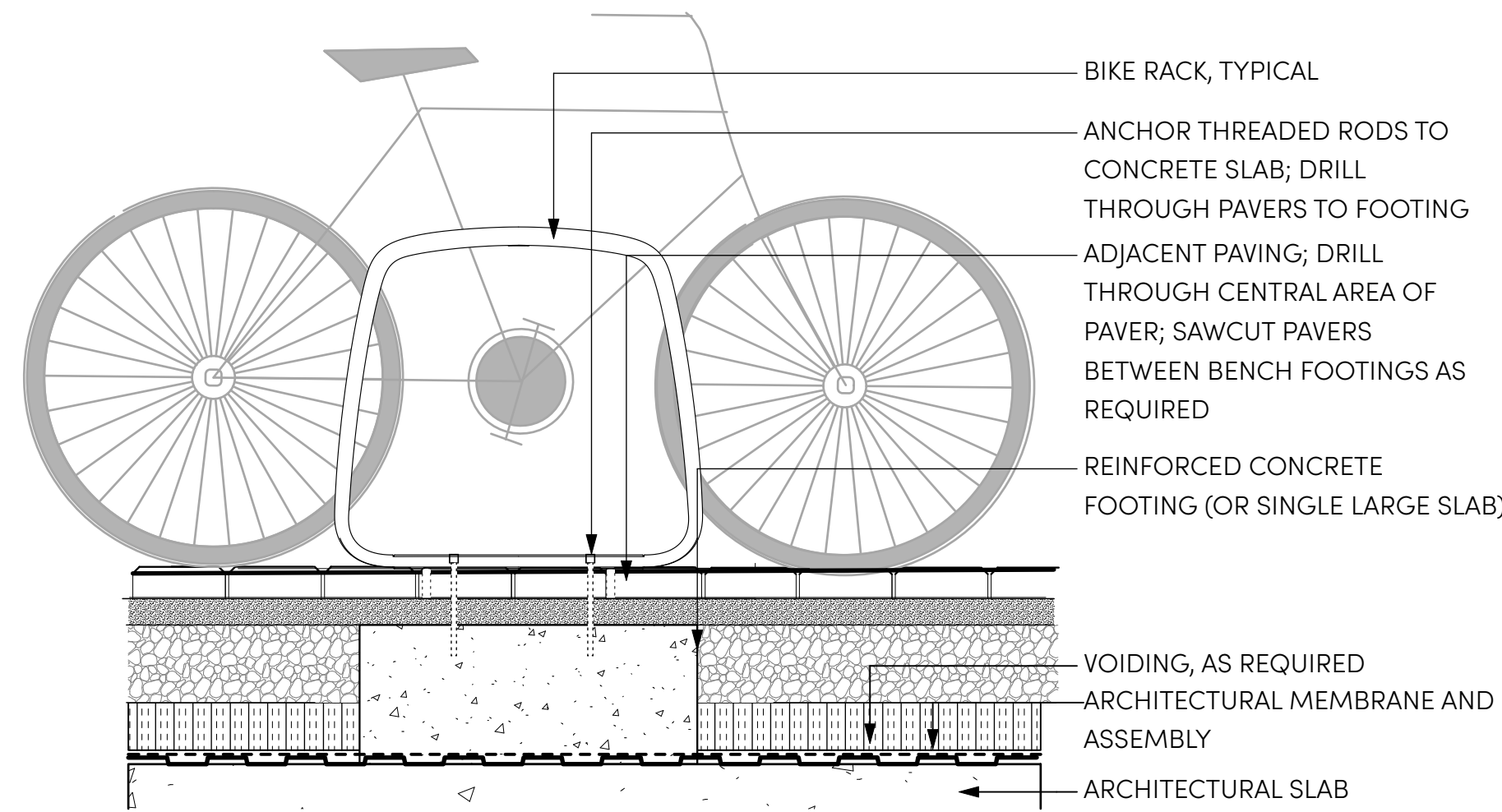
FENCE TYPE 4: HIGH SPORT COURT FENCE, TYP.

Scale: 1/2" = 1'-0"

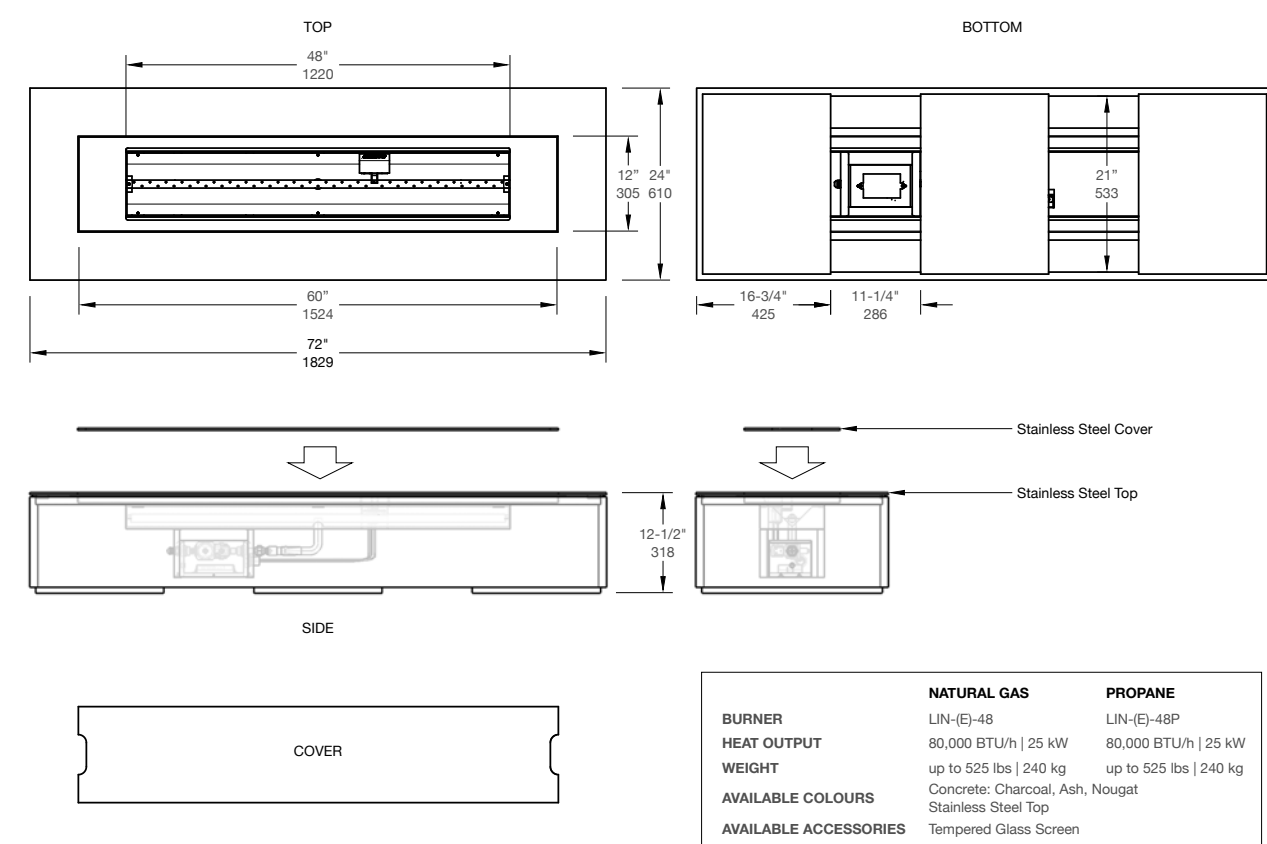




1 WOOD TOP BENCH ON CONC WALL, TYP.  
Scale: 1" = 1'-0"



2 BIKE RACK DETAIL, TYP.  
Scale: 1" = 1'-0"

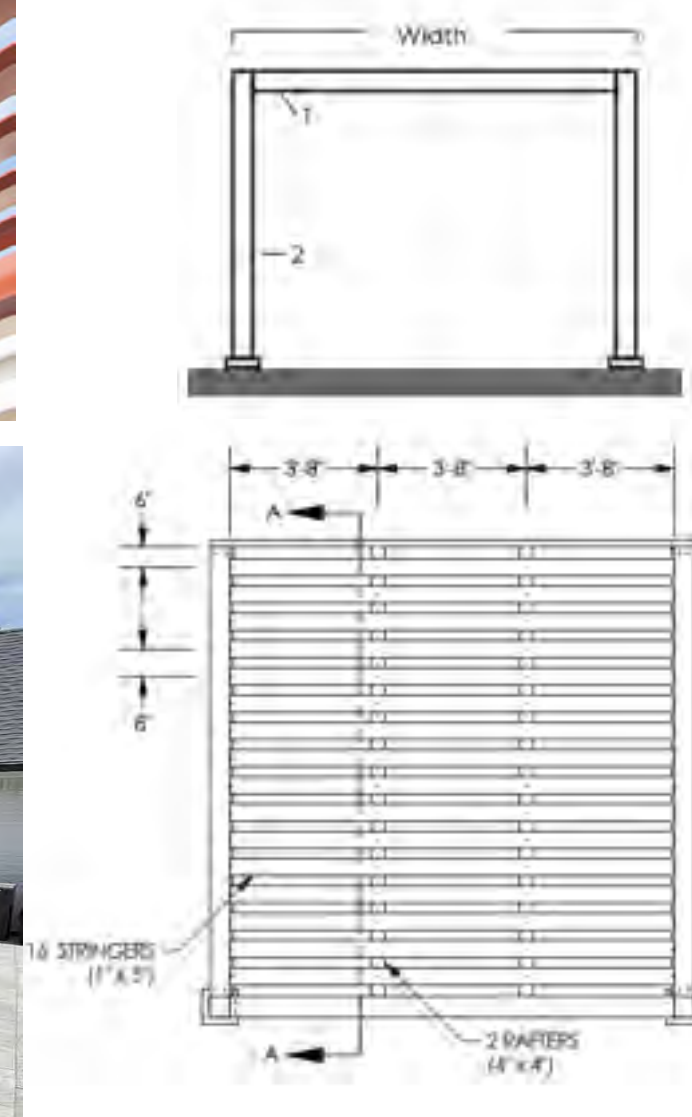
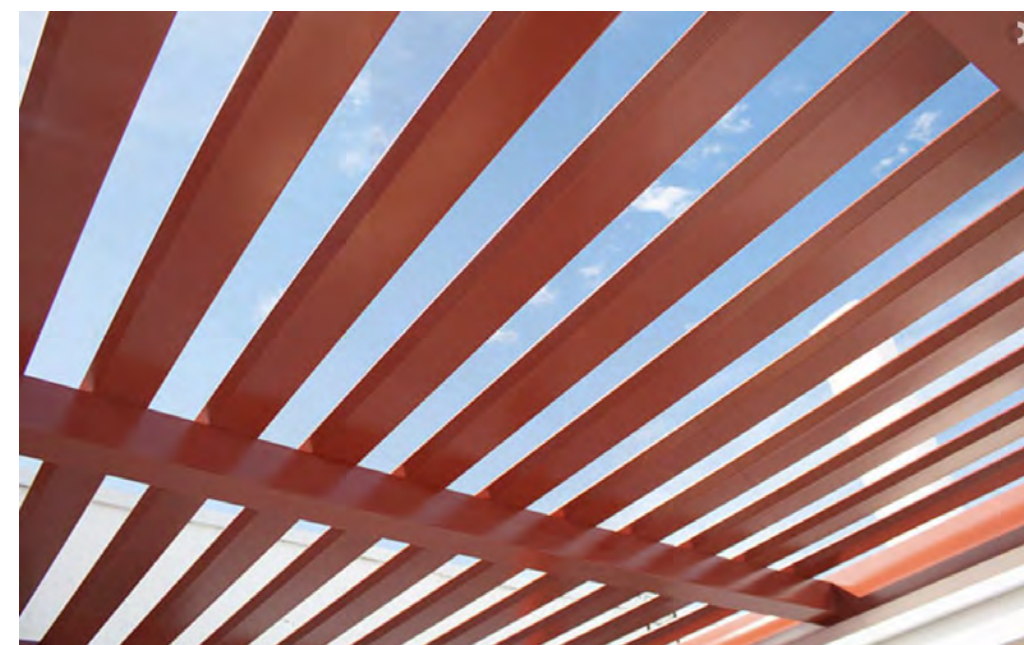


sales@paloform.com | paloform.com ROBAIA T2 CONCRETE - ELECTRONIC P-FIR-ROB72-E  
PALOFORM SCALE 3/4\"/>

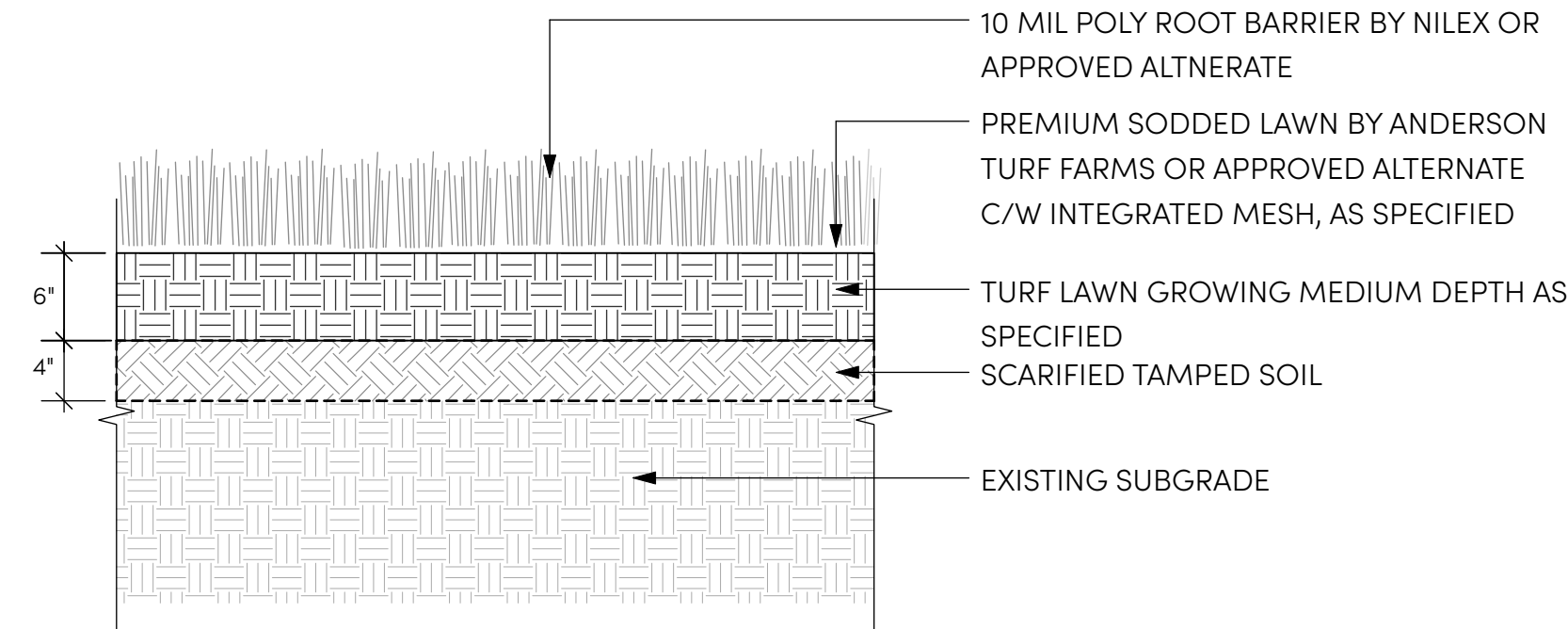
3 PALOFORM FIREPIT, TYP.  
Scale: NTS



4 SECTIONAL SOFA (CHARACTER IMAGE)  
Scale: NTS

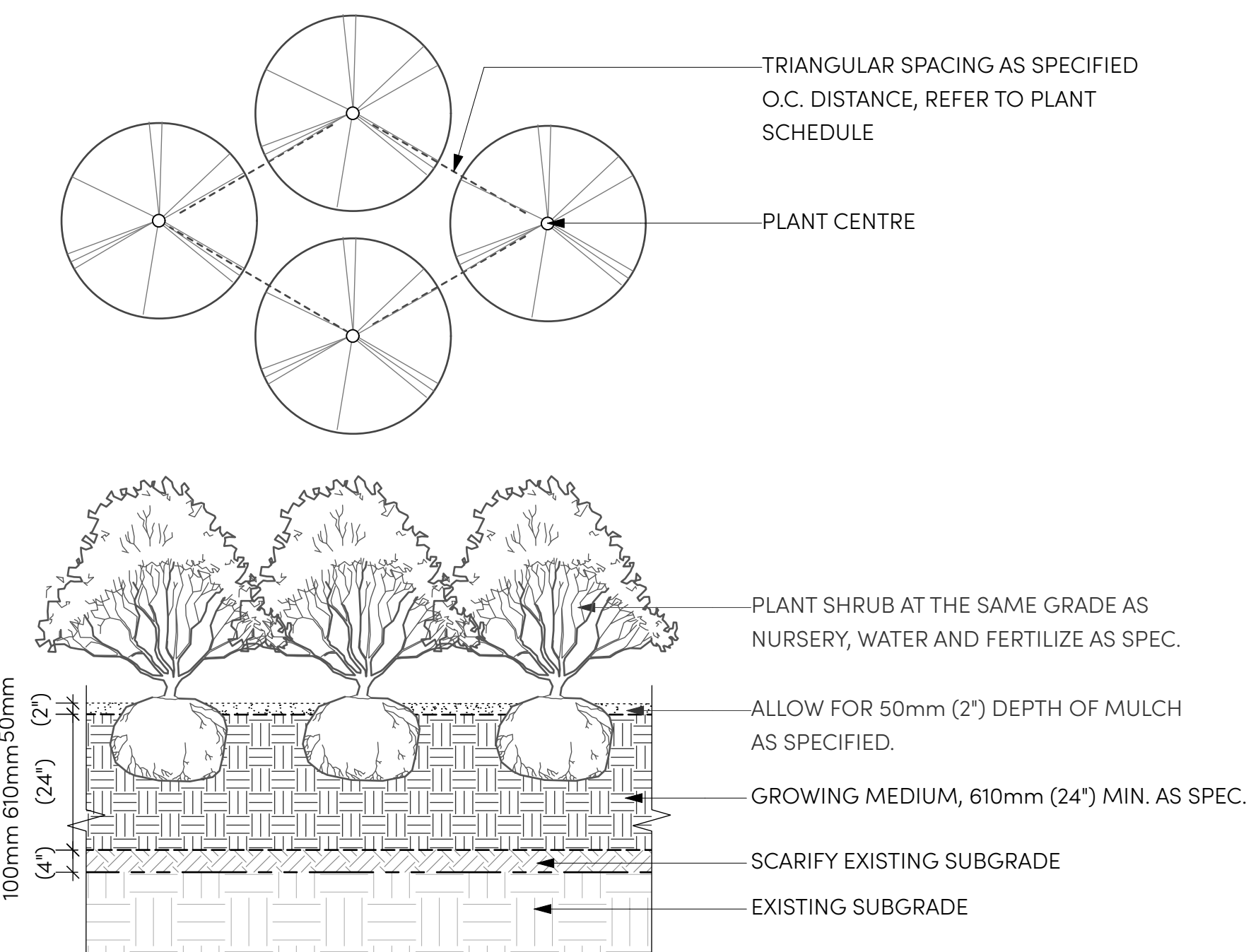






### 1 SODDED LAWN ON GRADE, TYP.

Scale: 1" = 1'-0"

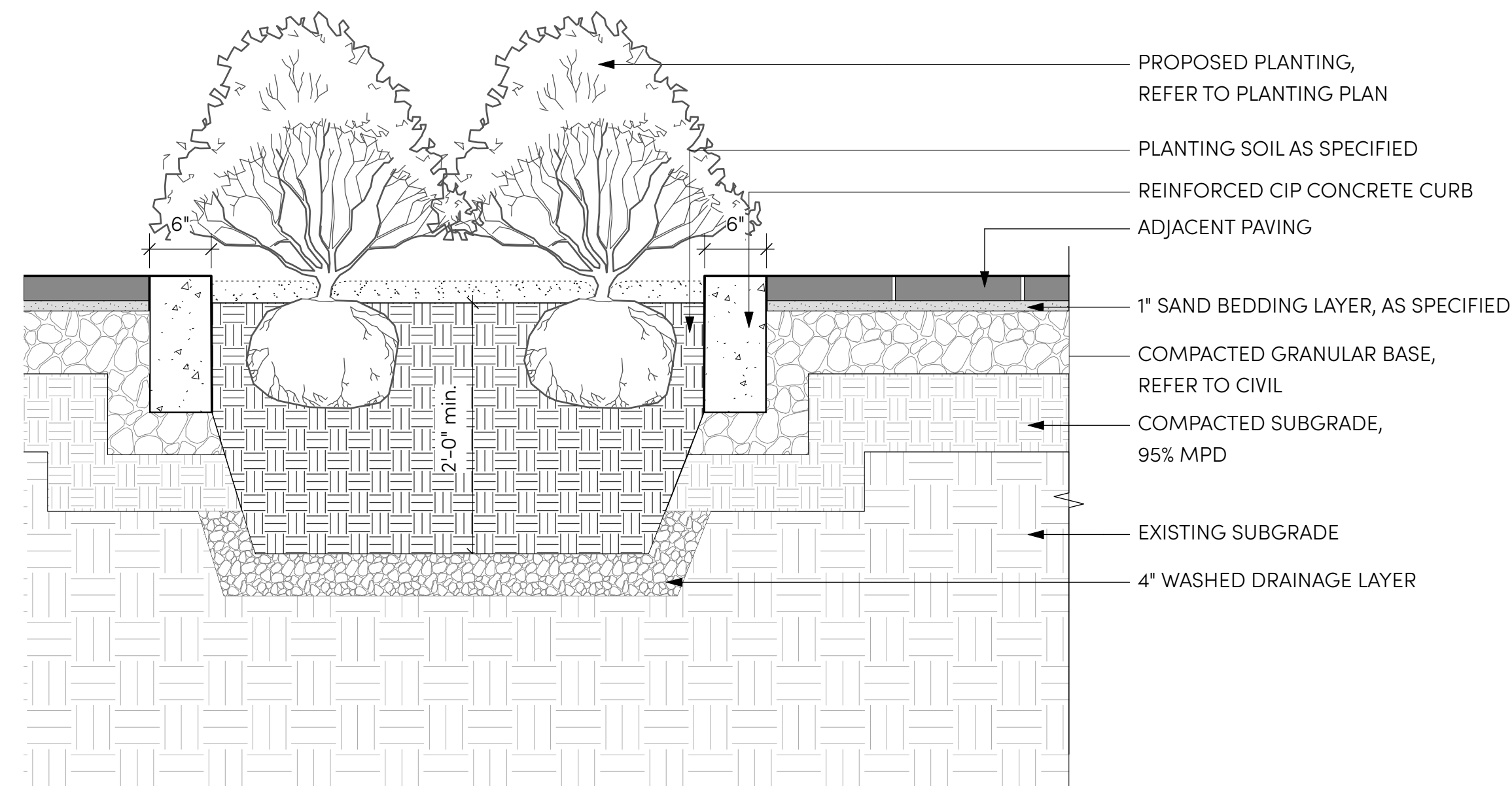


#### NOTES:

1. TRIANGULAR SPACING FOR IRREGULAR SHAPED PLANTERS AS SPECIFIED O.C. DISTANCE; ENSURE PERIMETER ROW.
2. REFER TO PLANT SCHEDULE AND PLANTING PLAN
3. FINISH GRADE OF MULCH TO BE 50mm (2") BELOW FINISH GRADE OF ADJACENT WALL OR PAVING

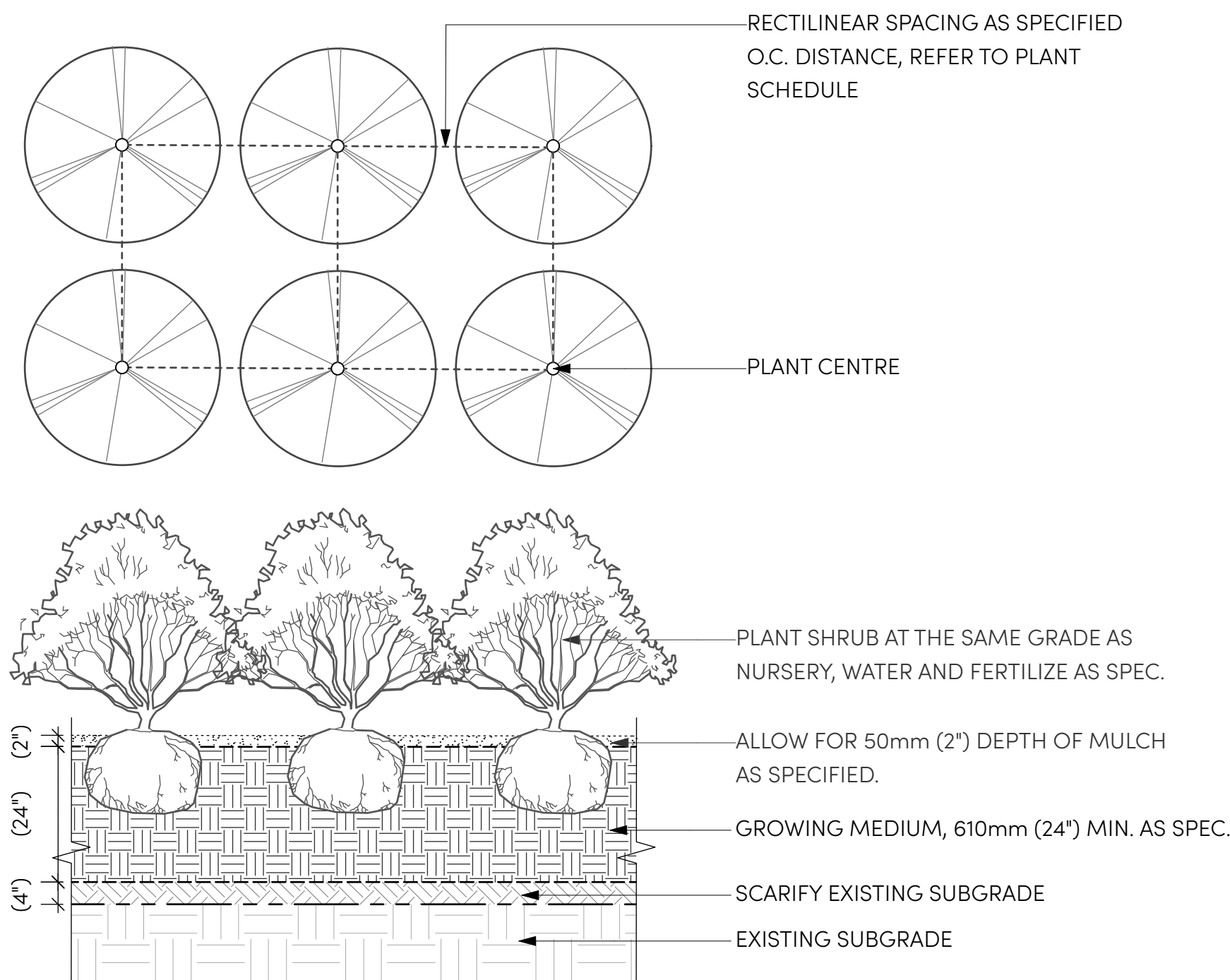
### 3 TRIANGULAR PLANTING ON GRADE, TYP.

Scale: 1/2" = 1'-0"



### 2 INSET PLANTING WITH CURB ON GRADE, TYP.

Scale: 1" = 1'-0"



#### NOTES:

1. RECTILINEAR SPACING FOR REGULAR SHAPED PLANTERS AS SPECIFIED O.C. DISTANCE; ENSURE PERIMETER ROW. GRID SPACING FOR RECTILINEAR PLANTERS.
2. REFER TO PLANT SCHEDULE AND PLANTING PLAN
3. FINISH GRADE OF MULCH TO BE 50mm (2") BELOW FINISH GRADE OF ADJACENT WALL OR PAVING

### 4 RECTILINEAR PLANTING ON GRADE, TYP

Scale: 1/2" = 1'-0"

#### Project Stamp



#### Issue

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#### Project Info

20168

#### Dilworth Center

Mixed Use  
2339 Highway 97N  
Kelowna, BC

#### Project Team

Client  
Peterson

Architect  
IBI Group

Landscape Architect  
LOCI Landscape Architecture + Urban Design

Drawn By  
JD

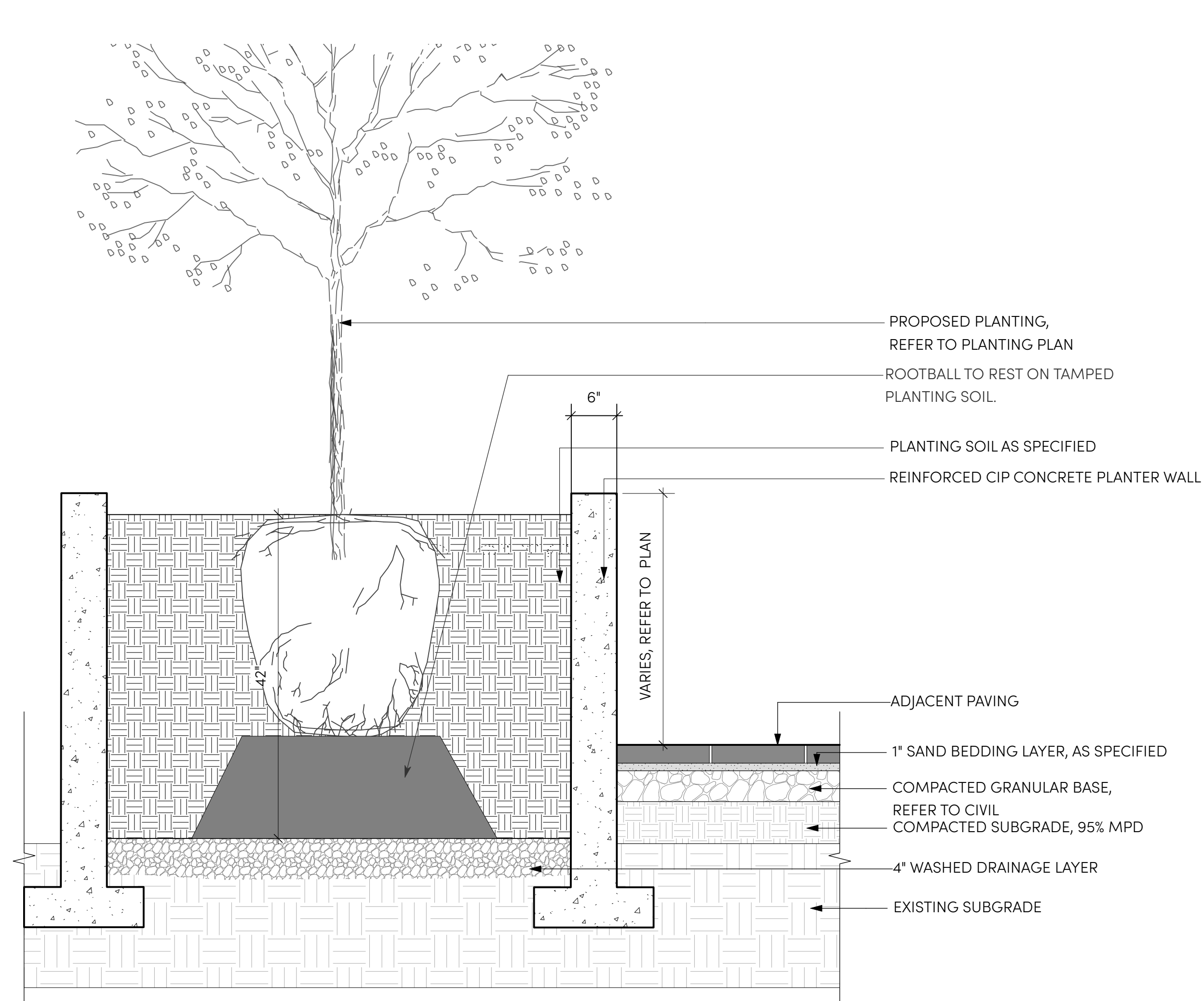
Checked By  
ME

PH 2 - SOFTSCAPE DETAIL  
- ON-GRADE PLANTING

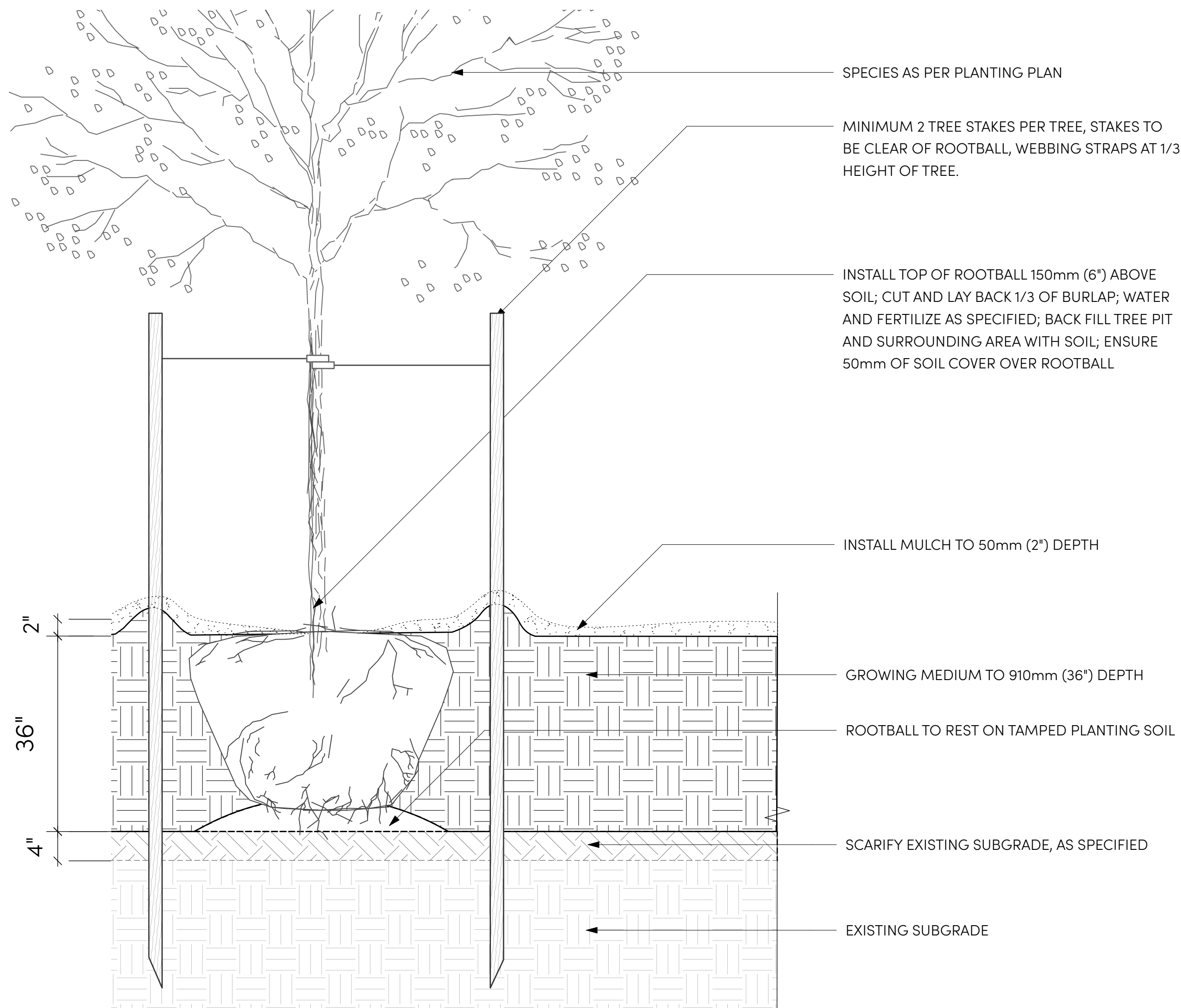
L5.6

Rev. A revision





**1 RAISED PLANTER ON GRADE, TYP.**  
Scale: 1" = 1'-0"



**2 TREE PLANTING ON GRADE, TYP.**  
Scale: 1" = 1'-0"

Project Stamp



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2339 Highway 97N  
Kelowna, BC

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LOCI Landscape Architecture + Urban Design

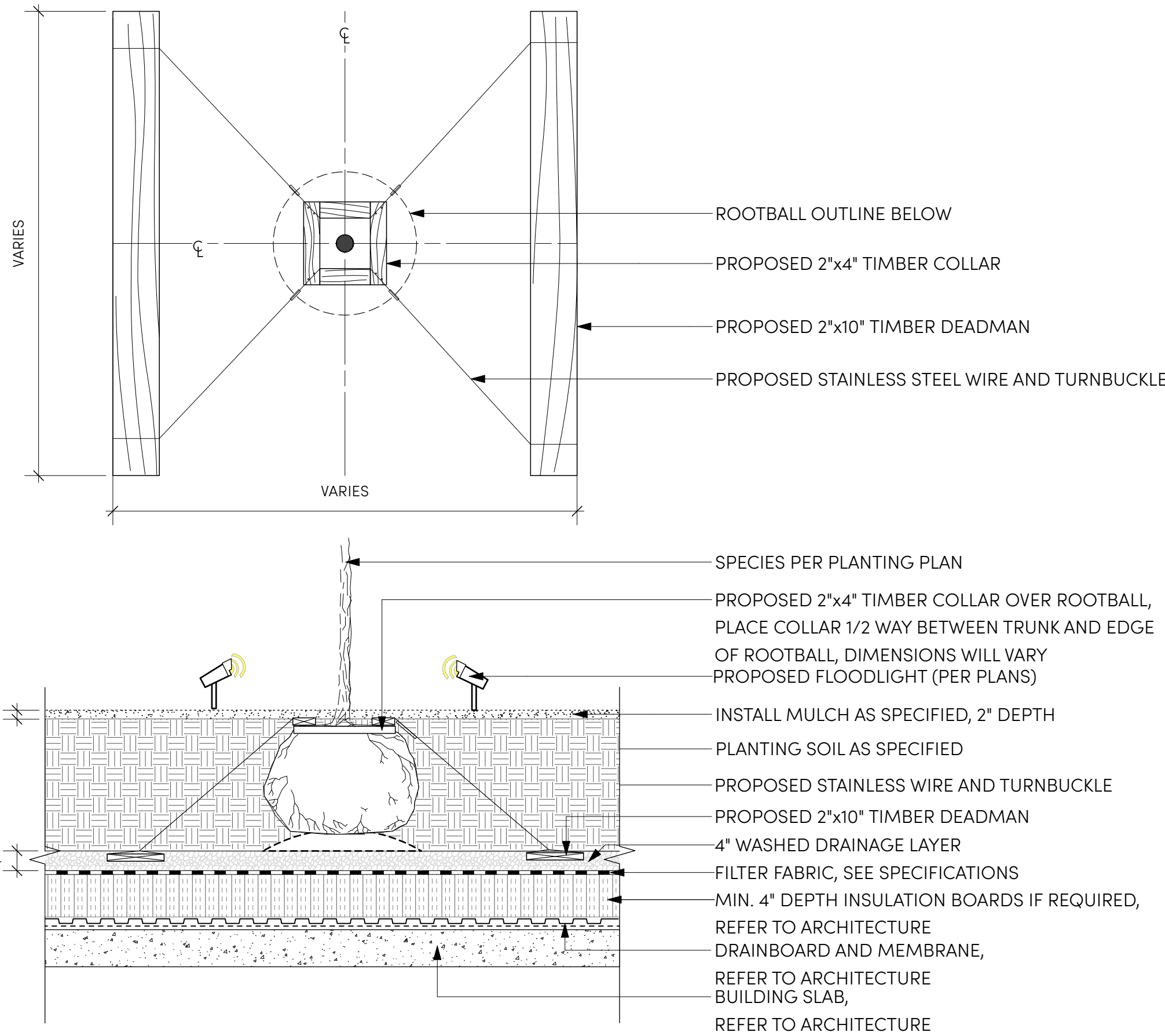
Drawn By JD Checked By ME

PH 2 - SOFTSCAPE DETAIL  
- ON-GRADE PLANTING

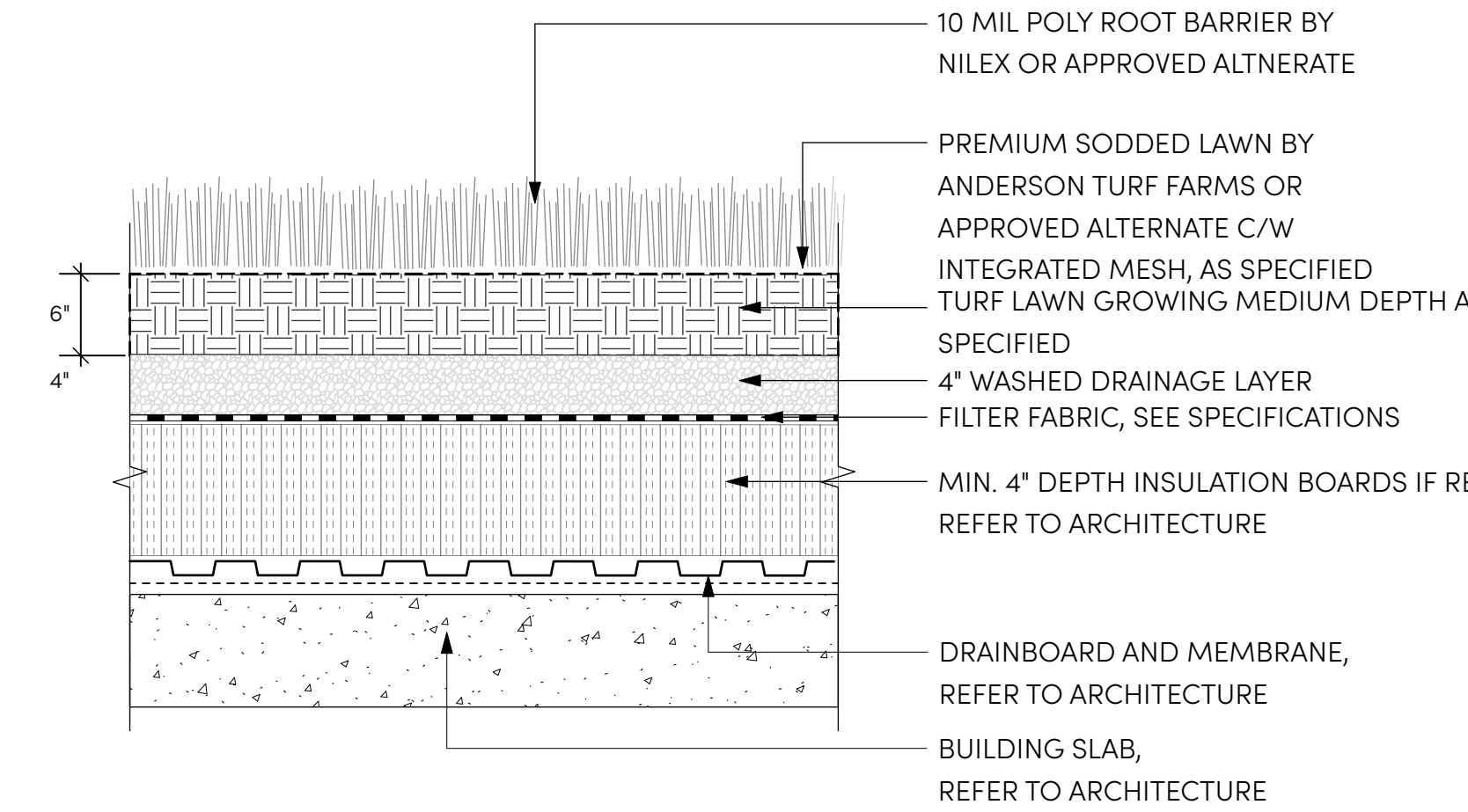
L5.7

Rev. A revision

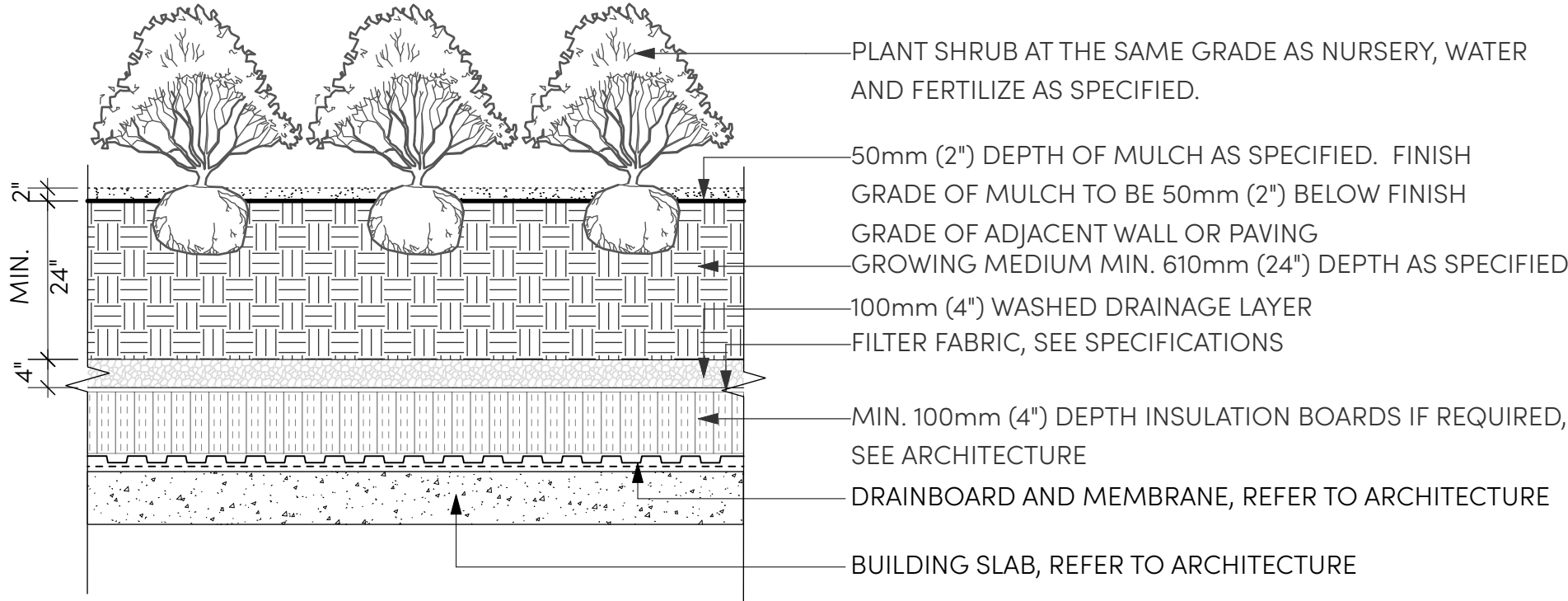




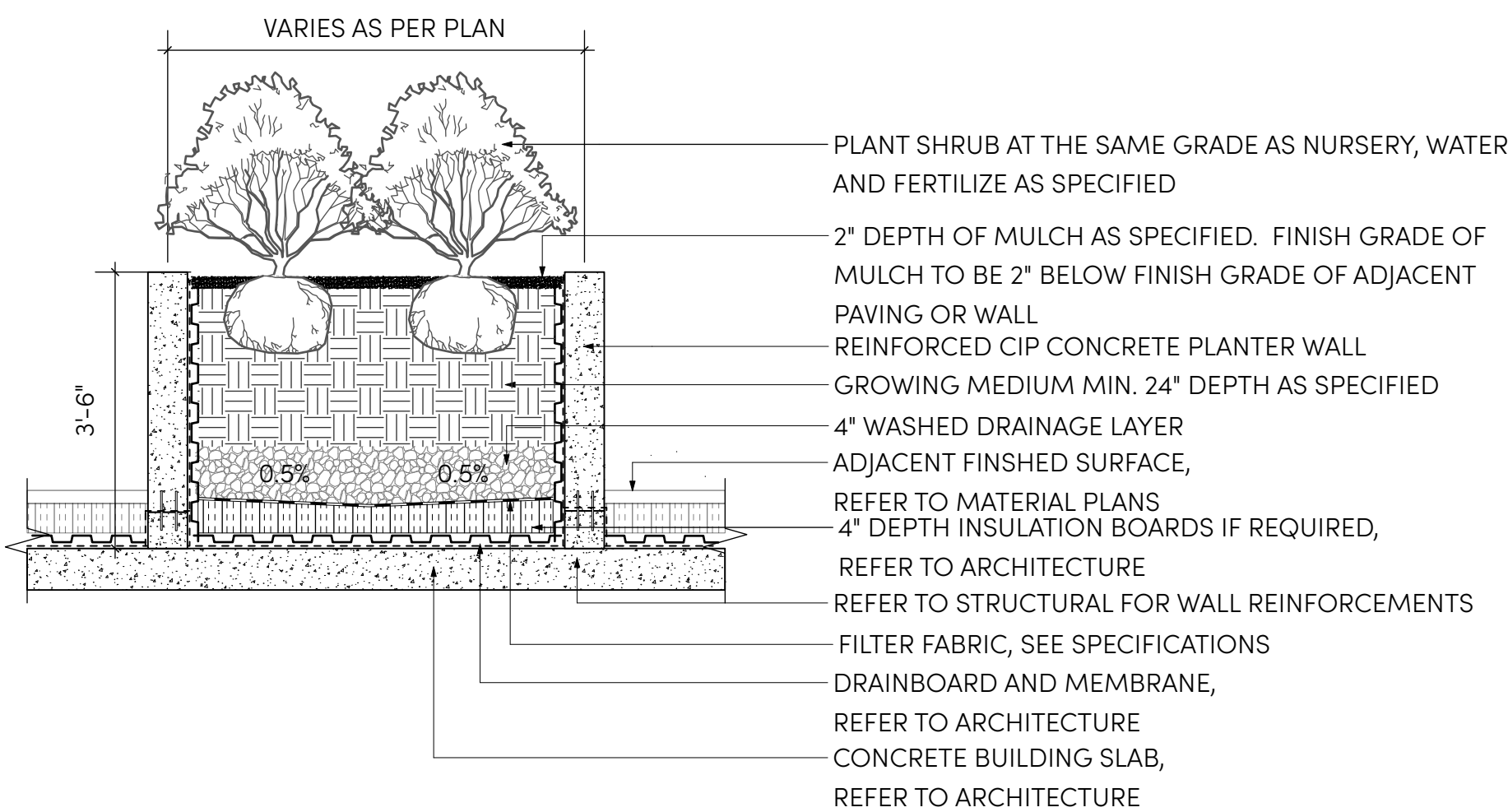
**1 TREE PLANTER ON SLAB, TYP.**  
Scale: 1/2" = 1'-0"



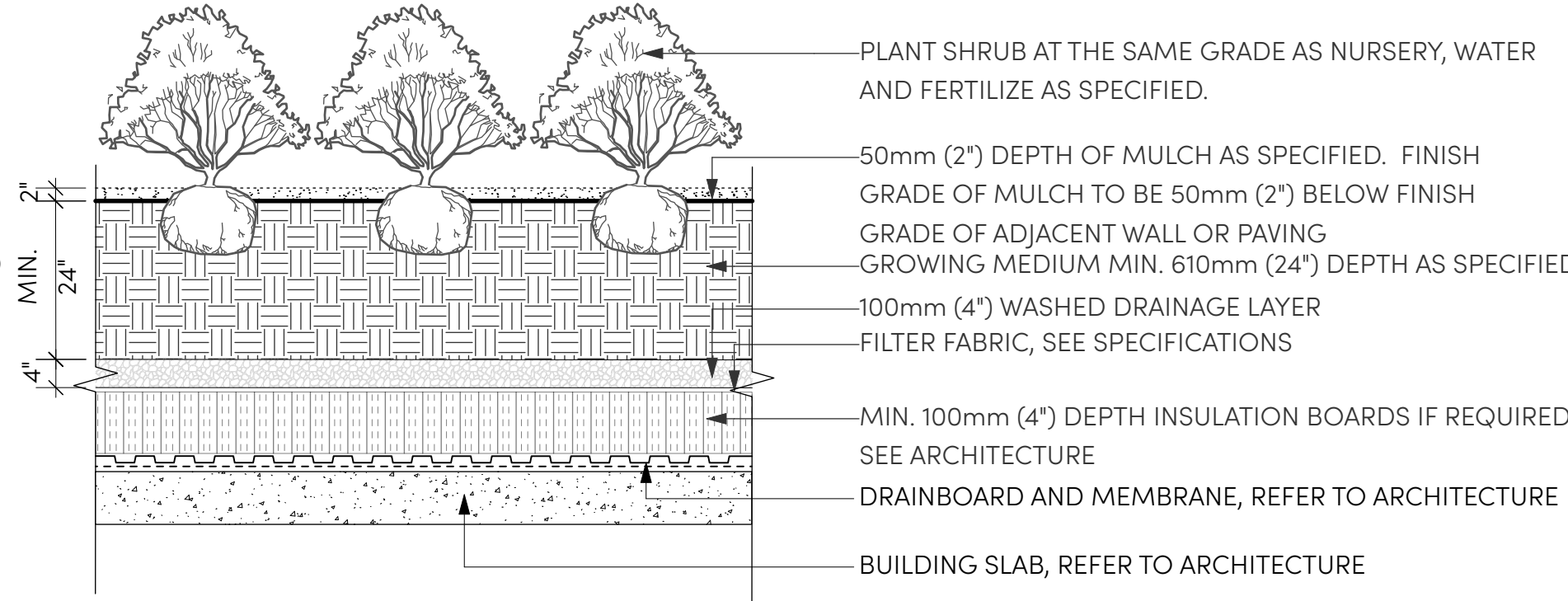
**4 SODDED LAWN ON SLAB, TYP.**  
Scale: 1" = 1'-0"



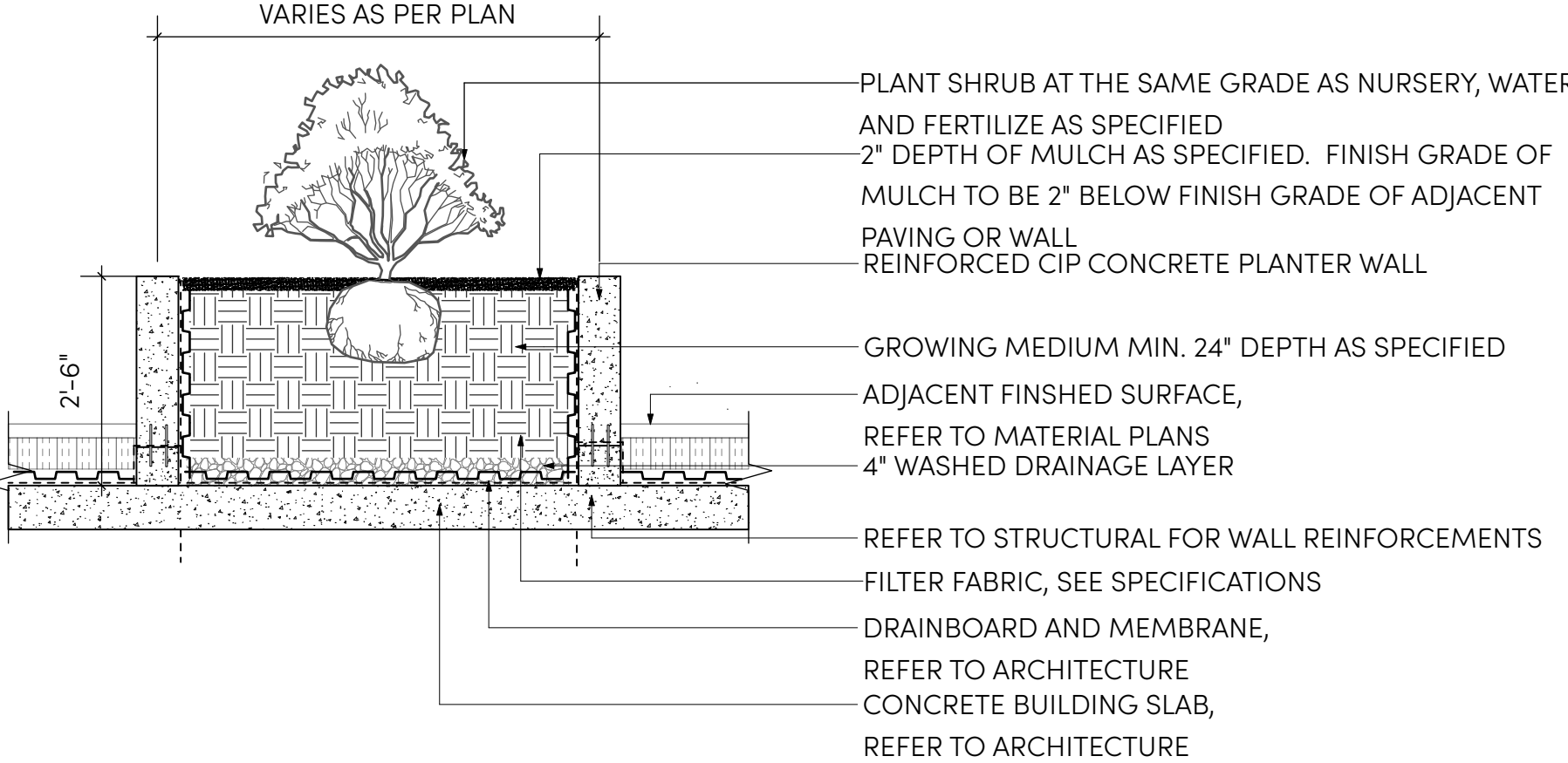
**2 TRIANGULAR PLANTING ON SLAB, TYP.**  
Scale: 1/2" = 1'-0"



**5 RAISED CONCRETE PLANTER ON SLAB (42" PLANTER DEPTH), TYP.**  
Scale: 1/2" = 1'-0"



**3 RECTILINEAR PLANTING ON SLAB, TYP.**  
Scale: 1/2" = 1'-0"



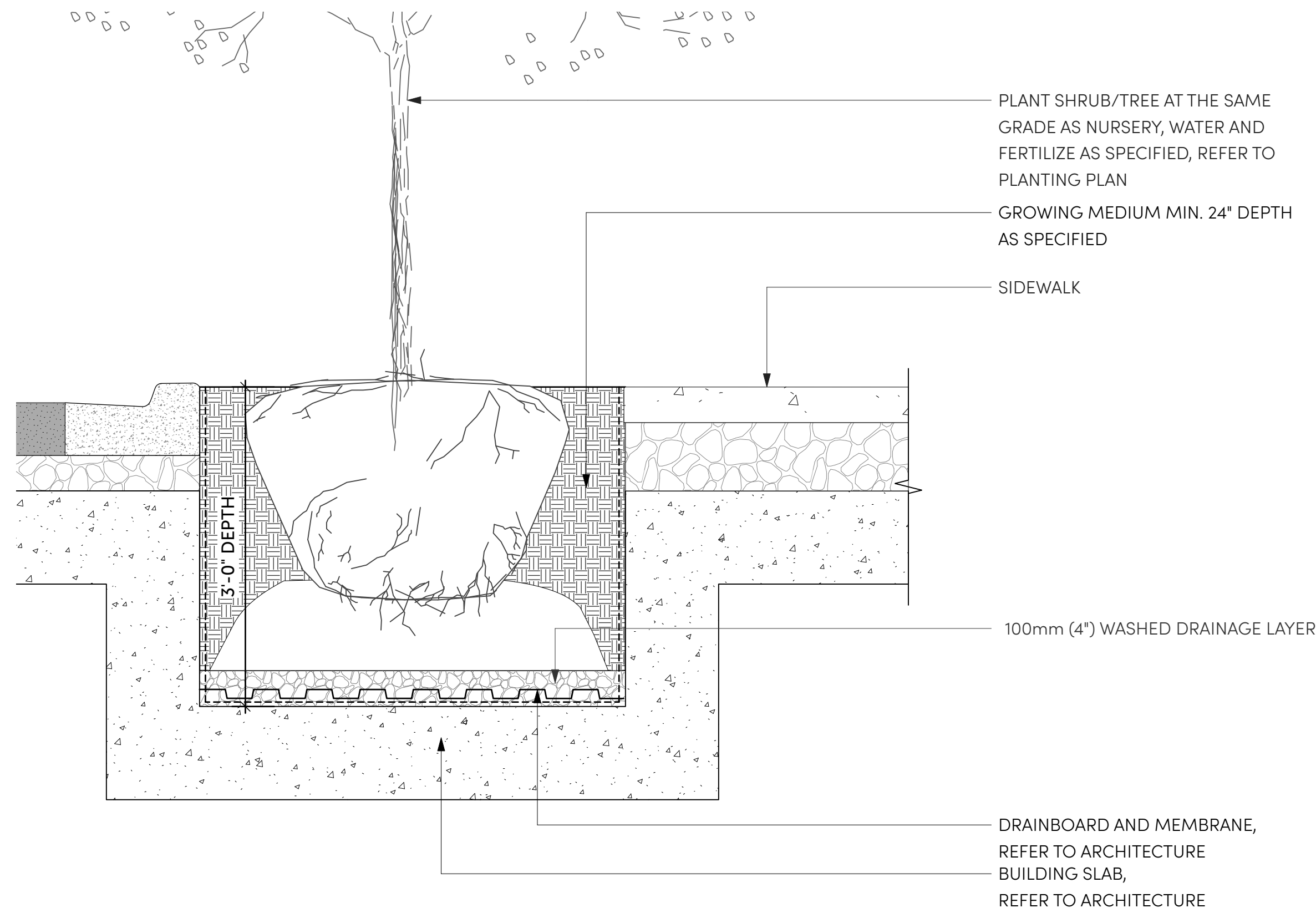
**6 RAISED CONCRETE PLANTER ON SLAB (30" PLANTER DEPTH), TYP.**  
Scale: 1/2" = 1'-0"



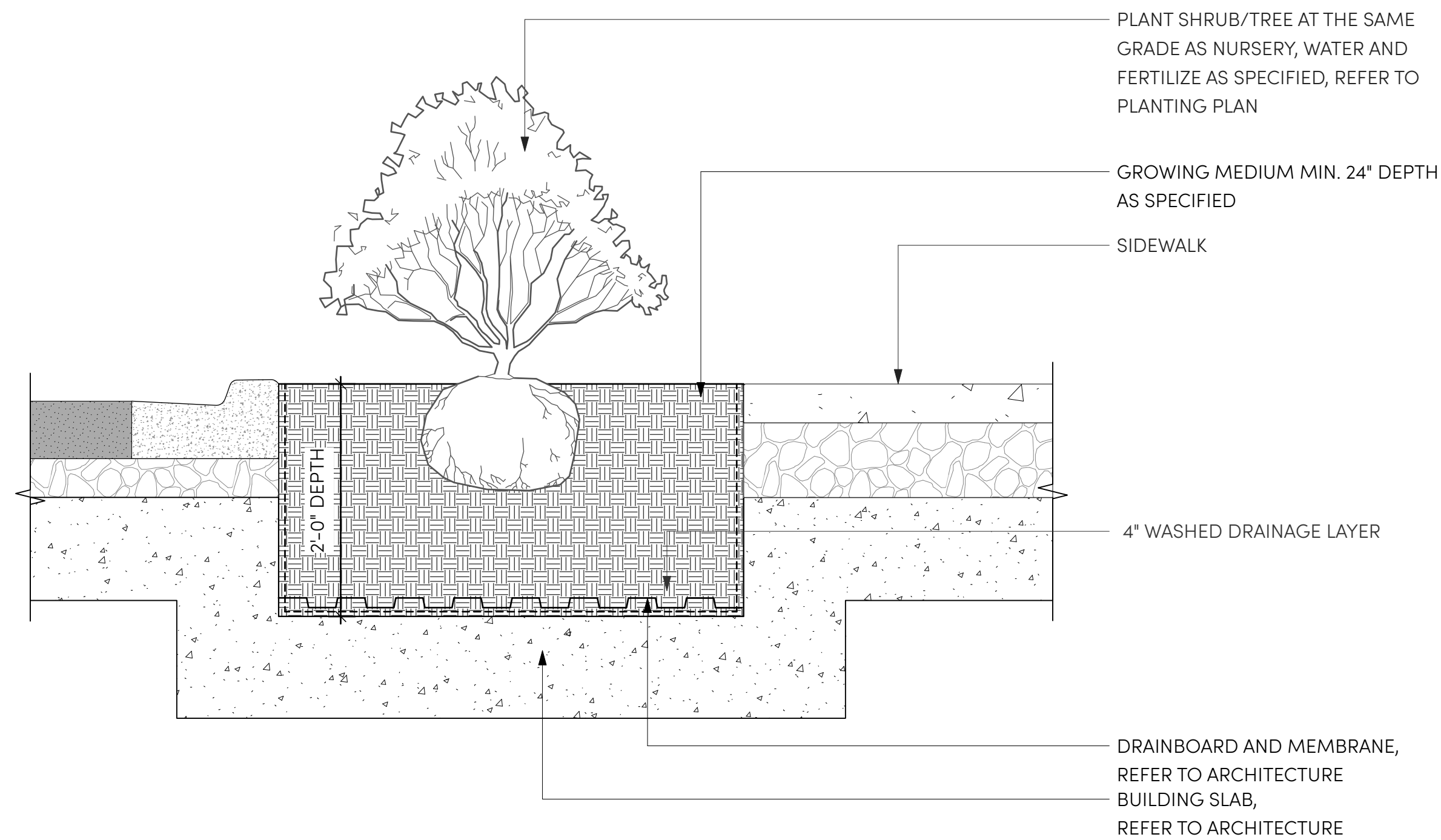
Issue		
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Project Info	
20168	
<b>Dilworth Center</b> Mixed Use 2339 Highway 97N Kelowna, BC	
Project Team	
Client	Peterson
Architect	IBI Group
Landscape Architect	LOCI Landscape Architecture + Urban Design
Drawn By	Checked By
JD	ME





**1 INSET PLANTER (36" DEPTH) ON SLAB, TYP.**  
Scale: 1" = 1'-0"



**2 INSET PLANTER (24" DEPTH) ON SLAB, TYP.**  
Scale: 1" = 1'-0"



**Peterson**

**Project Stamp**



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**Project Info**

20168

**Dilworth Center**

Mixed Use  
2339 Highway 97N  
Kelowna, BC

**Project Team**

**Client**  
Peterson

**Architect**  
IBI Group

**Landscape Architect**  
LOCI Landscape Architecture + Urban Design

**Drawn By**  
JD

**Checked By**  
ME

**PH 2 - SOFTSCAPE DETAIL  
- ON SLAB PLANTING**

**L5.9**

Rev. A revision



HYDROZONE WATER BUDGET WORKSHEET

Project Address: 2339 Highway 97N (Phase 2)

Project Location: Kelowna, BC

Evapotranspiration (ETo)	39.37	in/year	1000mm/yr	City of Kelowna		
Effective Precipitation (EP)	27.818	in/year	EP = (ET(o) – 2.28)×0.75			

WATER BUDGET

WB = (ETo – EP) x (0.62) x [(0.55 x LA)+((1-0.55) x SLA)]

Conversion Factor (CF) – Acre Inch to Gallon

0.62

Total Irrigated Landscape Area

	Planting Area + Other (LA)	17026.53	
	Special Landscape Area (SLA)	0	
	TOTAL (sq.ft.)	17026.53	

WB (Gal/yr) =

67074.355

ESTIMATED TOTAL WATER USE

ETWU = (ETo – EP) x (0.62) x [((PF x HA) / IE)+ SLA]

Plant Water Use Type			Plant Factor	Irrigation Type		Irrigation Efficiency (IE)
Low			0.3	Low Efficiency (Spray or Rotor)		0.7
Medium			0.5	High Efficiency (Drip or Bubbler)		0.9
High			0.7			
Other: Lawn Area / Swimming Pool			1			

Hydrozone	Planting WU Type (PF)	Irrigation Efficiency (IE)	Area (HA)	PF	IE	ETWU (gal/yr)
1	Low	High	14436	0.3	0.9	34466.191
2	Low	Low	0	0.3	0.7	0
3	Moderate	High	811	0.5	0.9	3227.127
4	Moderate	Low	0	0.5	0.7	0
5	High	High	0	0.7	0.9	0
6	High	Low	0	0.7	0.7	0
7	Watered Mown Lawn	Low	939	1	0.7	9608.049
8	Swimming Pool		840.53	1	1	6020.338
TOTAL			17026.53			53321.705



Project Stamp



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Landscape Architect  
LOCI Landscape Architecture + Urban Design

Drawn By

Checked By

JD

ME

PH 2 – APPENDIX A –  
HYDROZONE  
CALCULATIONS

L6.0

Rev. A      revision