

Development Permit & Development Variance Permit DP21-0223 DVP21-0224

City of
Kelowna

This permit relates to land in the City of Kelowna municipally known as

155-179 Rutland Rd N

and legally known as

Lot A Section 26 Township 26 Osoyoos Division Yale District Plan EPP117920

and permits the land to be used for the following development:

Mixed-use (residential and commercial)

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council Decision May 31, 2022

Decision By: COUNCIL

Development Permit Area: Form and Character Development Permit Area

Existing Zone: C4 – Urban Centre Commercial

Future Land Use Designation: UC – Urban Centre

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: ASI CENTRAL GP INC., INC.NO. A0117887

Applicant: Arlington Street Investments Inc.

Planner: K. Brunet

Terry Barton
Community Planning Department Manager
Planning & Development Services

Date

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted:

Section 14.4.5(h)(i): C4 – Urban Centre Commercial Development Regulations

To vary the requirement for any portion of a building above 16.0 m or 4 storeys (whichever is lesser) in height to be setback a minimum of 3.0 m from all sides (required) to 0.2m on the north side and to 0.09m on the south side (proposed).

This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property owner of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) An Irrevocable Letter of Credit **OR** certified cheque in the amount of **\$202,936.25**

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

5. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.

DRAFT

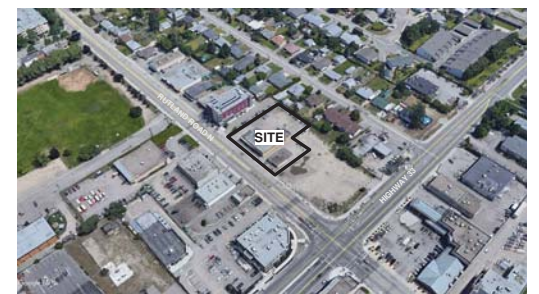
MIXED USE COMMERCIAL AND RENTAL RESIDENTIAL DEVELOPMENT

155-179 Rutland Road, Kelowna, B.C.

CENTRAL



RENDERING



AERIAL PHOTO



ISSUED FOR BUILDING PERMIT
 01 APRIL 2022

PROJECT / CONSULTANT TEAM											
CLIENT ASI CENTRAL LP #400 - 1550 5 ST. SW CALGARY, AB T2R 1K3 TEL: 403.816.5690 604.841.8100	ARCHITECT BFA STUDIO ARCHITECTS #600 - 355 BURRARD ST. VANCOUVER, BC V6C 2G8 TEL: 604.662.8544	INTERIOR DESIGN PORTICO DESIGN GROUP #300 - 1508 WEST 2ND AVE. VANCOUVER, BC V6J 1H2 TEL: 604.662.8544	LANDSCAPE ARCHITECT OUTLAND DESIGN LANDSCAPE ARCHITECTURE #303 - 590 KLO ROAD KELOWNA, BC V1Y 7S2 TEL: 250.868.9270	LAND SURVEYOR RUNNALS DENBY 269A LAWRENCE AVENUE KELOWNA, B.C. V1Y 6L2 TEL: 250.763.7322	CODE CONSULTANT CELERITY ENGINEERING SERVICES LTD. #100 - 538 WEST 10TH AVE. VANCOUVER, BC V5Z 1K9 TEL: 778.646.0575	STRUCTURAL ENGINEERING GLOTMAN SIMPSON 1661 WEST 5TH AVENUE, VANCOUVER, BC V6J 1N5 TEL: 604.734.8822	MECHANICAL ENGINEERING REINBOLD ENGINEERING GROUP 301, 1684 RICHTER STREET, KELOWNA V1Y 8N3 TEL: 250.763.1049	ELECTRICAL ENGINEERING FALCON ENGINEERING LTD. #210-1715 DICKSON AVE. KELOWNA, BC V1Y 9G6 TEL: 250.470.8443	GEOTECHNICAL ENGINEER THURBER ENGINEERING #900 - 1281 WEST GEORGIA ST. VANCOUVER, BC V6E 3J7 TEL: 604.684.4384	CIVIL ENGINEERING ALPINE CONSULTANTS 1998 VERNON STREET, LUMBY BC V0E 2G0 TEL: 250.870.6261	ENERGY MODELING/ ENVELOPE ENTUWIVE 1075 W GEORGIA, SUITE 1510, VANCOUVER BC V6E 3C9 TEL: 403.604.1252

bfa studio
 architects

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NO.	DESCRIPTION	DATE
1	ISSUED FOR DP	2021-09-15
2	RE-ISSUED FOR DP	2021-12-07
3	ISSUED FOR BP	2022-04-01

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AERIAL VIEW OF SITE FROM SOUTH WEST WITH PROPOSED BUILDING



AERIAL VIEW OF SITE FROM NORTH WEST WITH PROPOSED BUILDING

CLIENT

CENTRAL

PROJECT NO. 21495

PROJECT
 MIXED USE COMMERCIAL AND RENTAL RESIDENTIAL DEVELOPMENT
 155-179 Rutland Road, Kelowna, B.C.

DRAWING TITLE
 AERIAL VIEW

SEAL

DRAWING NO. _____ REVISION _____

A006

DATE 15/09/2021 DRAWN BY AZ
 SCALE _____ CHECKED BY DA



REVISIONS

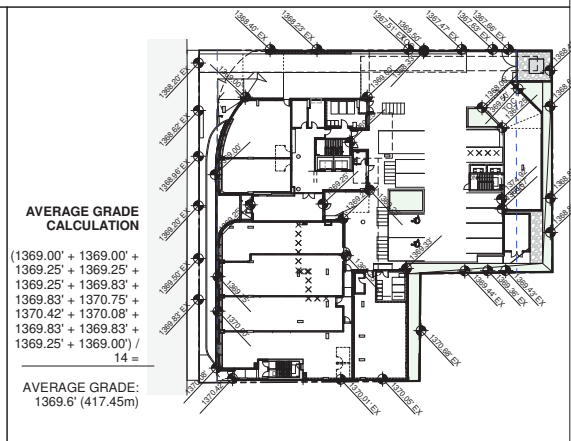
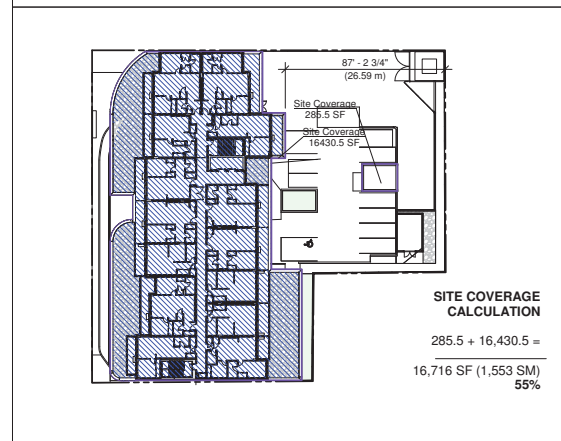
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BUILDING CODE STANDARD:	2018 BRITISH COLUMBIA BUILDING CODE	
PROPOSED BUILDING AREA:	1503 M2 APPROXIMATELY	
PROPOSED BUILDING AREA:	8 STOREYS	
STREETS FACED:	1 STREET (RUTLAND ROAD NORTH)	
HIGH BUILDING REQUIREMENTS:	REQUIRED, GROUP C OCCUPANCY OVER 18M. 3.2.6.1.(1)(D)	
PROPOSED USE:	PARKING GARAGE, STORAGE AND SERVICE ROOMS COMMERCIAL RETAIL UNITS RESIDENTIAL, DWELLING UNITS	
PROPOSED MAJOR OCCUPANCIES:	GROUP C (RESIDENTIAL), GROUP A, DIVISION 2 (RESTAURANT), GROUP E (RETAIL) GROUP F, DIVISION 3 (STORAGE GARAGE), GROUP D (BUSINESS AND PERSONAL SERVICE)	
PROPOSED SUBSIDIARY OCCUPANCIES:	GROUP F, DIVISION 3 (STORAGE GARAGE) GROUP F, DIVISION 2 (SERVICE ROOMS, RESIDENTIAL, STORAGE, GARAGE ROOMS)	
EXTERIOR CLADDING:	EXTERIOR CLADDING MUST BE NONCOMBUSTIBLE OR BE TESTED TO CANULC S134.	
CONSTRUCTION ARTICLE:	3.2.2.15. STOREYS BELOW GROUND	
	3.2.2.23. GROUP A, DIVISION 2, ANY HEIGHT, ANY AREA, SPRINKLERED	
	3.2.2.47. GROUP C, ANY HEIGHT, ANY AREA, SPRINKLERED	
	3.2.2.55. GROUP D, ANY HEIGHT, ANY AREA, SPRINKLERED	
	3.2.2.84. GROUP E, ANY HEIGHT, ANY AREA, SPRINKLERED	
ALLOWABLE CONSTRUCTION:	NONCOMBUSTIBLE	
ALLOWABLE BUILDING AREA:	UNLIMITED	
ALLOWABLE BUILDING HEIGHT:	UNLIMITED	
SPRINKLERS:	REQUIRED - NFPA 13, THROUGHOUT	
STANDPIPE:	REQUIRED - NFPA 14	
FIRE ALARM SYSTEM:	REQUIRED - INSTALLED AS PER CANULC S524-14; VERIFIED AS PER CANULC S537-13	
FLOOR ASSEMBLY:	FLOOR ASSEMBLIES ARE REQUIRED TO BE FIRE SEPARATIONS RATED AS PER THE 3.2.2 REQUIREMENTS, 3.3 AND 3.1. REQUIREMENTS.	
	ALL STOREYS ARE REQUIRED TO MEET A 2H FIRE RESISTANCE RATING AND BE CONSTRUCTED AS A FIRE SEPARATION.	
MEZZANINE ASSEMBLY FRR:	MINIMUM 1 H FIRE-RESISTANCE RATING	
ROOF ASSEMBLY FRR:	MINIMUM 2 H FIRE-RESISTANCE RATING WHERE USED FOR OCCUPANCY.	
LOAD BEARING FRR:	FIRE-RESISTANCE RATING NOT LESS THAN REQUIRED FOR SUPPORTED ASSEMBLY	
FIRE SEPARATIONS (SAFETY IN FLOOR AREAS):	FLOOR AREA USE:	FRR REQUIRED:
	COMMERCIAL/ RETAIL	1H
	RESIDENTIAL SUITE	1H
	PUBLIC CORRIDOR	NO REQUIREMENT
	STORAGE GARAGE	1.5H
	RESIDENTIAL STORAGE OUTSIDE A SUITE	1H
	BICYCLE ROOM	1.5H
	MAIN ELECTRICAL SERVICE ROOM	1H SPRINKLERED OR 2H UNSPRINKLERED
	GARAGE ROOM	1H
	ELEVATOR SHAFT	2H
	ELEVATOR MACHINE ROOM	2H
	SERVICE ROOM	1H
	WATER ENTRY ROOM	NO REQUIREMENT
	ELECTRICAL CLOSETS	NO REQUIREMENT
	VERTICAL SERVICE SHAFTS	1H
	EMERGENCY CONDUCTORS (NO OTHER SERVICES)	1H SERVICE SPACE
	FIRE PUMP (IF REQUIRED)	2H AS PER NFPA 20-2013 4.12.1.1.
	EMERGENCY GENERATOR ROOM	2H
		FROM
		REMAINDER OF THE BUILDING
		REMAINDER OF THE BUILDING
		FIRE SEPARATION WAIVED PER 3.3.1.4.(4)(a). THE TRAVEL DISTANCE FROM ANY PART OF THE SPRINKLERED FLOOR AREA TO AN EXIT IS NOT MORE THAN 45M
		OTHER OCCUPANCIES
		REMAINDER OF THE BUILDING
		FROM REMAINDER OF THE BUILDING WHERE FULLY ENCLOSED AND SEPARATED FROM THE STORAGE GARAGE
		REMAINDER OF THE BUILDING. REFER TO NFPA 13-2013 8.15.11.3. WITH REGARDS TO THE NON-SPRINKLERED REQUIREMENTS.
		REMAINDER OF THE BUILDING
		ALL OTHER PORTIONS OF EACH ADJACENT STOREY
		REMAINDER OF THE BUILDING (FIRE SEPARATION NOT REQUIRED BETWEEN ELEVATOR HOIST WAY AND THE MACHINE ROOM THAT SERVES IT)
		IF FUEL FIRED APPLIANCE AND NO EXCEPTIONS UNDER 3.6.2.1. ARE APPLICABLE
		RECOMMEND 1.5H IF LOCATED IN STORAGE GARAGE
		NO REQUIREMENT
		ALL OTHER PORTIONS OF EACH ADJACENT STOREY
		ALL OTHER PORTIONS OF EACH ADJACENT STOREY OR CANULC S139 RATED CABLES.
		MAY BE LOCATED IN THE WATER ENTRY ROOM. REFER TO BC APPEAL DECISION #1806 (FORMER INTERPRETATION REGARDING SEPARATE EXTERIOR ACCESS NOT REQUIRED). DIESEL FIRE PUMPS IF PROVIDED ARE RECOMMENDED TO BE IN A SEPARATE ROOM, BUT MAY BE LOCATED IN THE WATER ENTRY ROOM PROVIDED THE SPACE REQUIREMENTS ARE AVAILABLE.
		SEPARATED FROM THE REMAINDER OF THE BUILDING, CONTAINING ONLY THE GENSET AND EMERGENCY POWER SUPPLY SYSTEM.

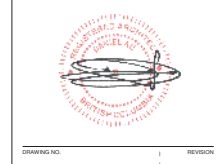
PROJECT INFORMATION / ZONING DATA		8 STOREY, 98 RESIDENTIAL UNITS WITH COMMERCIAL SPACE ON MAIN LEVEL, INCLUDING TWO LEVEL OF UNDERGROUND PARKING	
PROJECT DESCRIPTION / USE		LOT A SECTION 26 TOWNSHIP 26 OSOYOOS DIVISION YALE DISTRICT, PLAN EPP117920	
LEGAL DESCRIPTION		155-179 RUTLAND ROAD NORTH, KELOWNA, BC	
CIVIC ADDRESS PRESENT		TBD	
CIVIC ADDRESS FUTURE		TBD	
PID		031-614-507	
TOTAL LOT AREA	30,620	SF	2,844.7
LOT SIZE (APPROXIMATE FRONTAGE)		FT	M
	NORTH	192.62	58.7
	EAST	180.62	55.1
	SOUTH	193.00	58.8
	WEST / RUTLAND RD N	181.46	55.3
OCF / AREA DESIGN GUIDELINES		URBAN REVITALIZATION DESIGN GUIDELINES	
ZONING & DEVELOPMENT PERMIT		C4 - URBAN CENTRE COMMERCIAL	
		REQUIRED / ALLOWED	PROPOSED
		SF	SM
SITE AREA		30,620	2845
DENSITY/ FAR	FAR	2.35	71,957
SITE COVERAGE		75%	55%
AVERAGE GRADE		1369.6	417.45
BUILDING HEIGHT (TO LEVEL 8 PARAPET)	82.02	FT	25.0
BUILDING HEIGHT (TO ROOFTOP PARAPET)			90.1
BUILDING HEIGHT (TO ELEVATOR OVER RUN)			101.3
NUMBER OF STOREY			110.9
		7	8
BUILDING SETBACKS			
	NORTH	0.00	FT
	EAST	19.64	FT
	SOUTH	0.00	FT
	WEST / RUTLAND RD N	0.00	FT
		0.0	M
		0.0	M
		0.29	FT
		0.0	M
		9.83	FT
		0.0	M
TOTAL RESIDENTIAL UNITS			98
COMMERCIAL GROSS FLOOR AREA			7673
GARBAGE / RECYCLING / STORAGE	0.00	687	64
			SM
NOTES:			
1. ALL AREAS AND CALCULATIONS ARE APPROXIMATE. & MAY BE ADJUSTED DURING WORKING DRAWINGS			
2. VALUES LISTED IN ABOVE AREA CALCULATIONS ARE DETERMINED IN GENERAL ACCORDANCE WITH THE METHODOLOGY REQUIRED IN CITY OF KELOWNA BYLAWS			
3. VALUES LISTED IN BUILDING CODE DATA SHEET ARE DETERMINED IN ACCORDANCE WITH THE METHODOLOGY REQUIRED IN BCBC			
4. ALL HEIGHT AND AVERAGE GRADE INFORMATION IS PROVIDED AS GEODETIC VALUES			

FAR CALCULATION (C4 ZONING)		ALLOWED	USED / NOT USED	PROPOSED	NOTES
ALLOWED BASE FAR	MIXED USE DEVELOPMENT	1.3	USED	1.3	
	PARKING AREA BENEATH HABITABLE SPACE	0.2	USED	0.2	
	PARKING SPACE WITHIN STRUCTURED PARKING AND WITH CO-OP CAR SHARING	0.84	USED	0.84	
	PUBLIC COURTYARD AT GRADE AND GREEN ROOF	0.18	NOT USED	0	
	FIVE AND SIX STORY BUILDING	0.2	USED	0.2	
	RENTAL TENURE	0.2	NOT USED	0	
	TOTAL	2.92		2.54	
	MAXIMUM FAR ALLOWED WITH BONUSING	2.35	PROPOSED FAR	2.35	



PROJECT NO: 21495
 PROJECT: MIXED USE COMMERCIAL AND RENTAL RESIDENTIAL DEVELOPMENT
 155-179 Rutland Road, Kelowna, B.C.

PROJECT STATISTICS/ BCBC CODE ANALYSIS



A002

DATE: 15/09/2021
 DRAWING: AZ
 SCALE: CHECKED: DA



OFF STREET PARKING SUMMARY							
TYPE	BYLAW REQUIREMENT (Section 8)	RATE / RATIO	NO. OF UNITS / AREA (SM)	REQUIRED	PROVIDED	NOTES	
RESIDENTIAL							
BACHELOR SUITE	MIN 0.8 SPACES & MAX 1.25 SPACES PER UNIT	0.8	0	0	N/A	MINIMUM REQUIRED RATE USED FOR CALCULATIONS	
1 BEDROOM	MIN 0.9 SPACES & MAX 1.25 SPACES PER UNIT	0.9	70	63	91		
2 OR MORE BEDROOM	MIN 1 SPACES & MAX 1.5 SPACES PER UNIT	1	28	28			
VISITOR STALLS	MIN 0.14 SPACES & MAX 0.2 SPACES PER UNIT	0.14	98	14	14		
TOTAL				105	105		
COMMERCIAL							
COMMERCIAL USES IN THE C4 ZONE	MIN 1.3 SPACES & MAX 3.0 SPACES PER 100 M ² GFA	1.3	713	9.3	10		
PARKING SPACES REQUIRED FOR COMMERCIAL RELATED LAND USES CAN BE SHARED WITH THE RESIDENTIAL VISITOR PARKING. (8.2.17)							
GRAND TOTAL (RESIDENTIAL AND COMMERCIAL)				115	115		
STALL TYPE							
STANDARD					61		
SMALL CAR	MAXIMUM PARKING SPACES 50%	50%		58	24		
ACCESSIBLE	4 FOR 101 – 150 PARKING SPACES			4	4		
VAN-ACCESSIBLE	1 FOR 101 – 150 PARKING SPACES			1	2		
VISITORS (RESIDENTIAL)	TOTAL REQUIRED = 13 - 1 DISABILITY STALL			12	13	10 SMALL CARS	
VISITOR DISABILITY (RESIDENTIAL)	AT LEAST ONE, IF VISITOR PARKING IS REQ.			1	1	1 VAN-ACCESSIBLE STALL	
VISITORS (COMMERCIAL)	TOTAL REQUIRED = 10 - 1 DISABILITY STALL			9	9	3 SMALL CARS, 1 MODO CAR SHARE STALL	
VISITOR DISABILITY (COMMERCIAL)	AT LEAST ONE, IF VISITOR PARKING IS REQ.			1	1		
TOTAL					115	P2 - 56 STALLS, P1 - 49 STALLS, L1 - 10 STALLS	
NOTE: 8 DESIGNATED ELECTRICAL VEHICLE STALLS ARE PROVIDED ON SITE, P1 & P2							
OFF STREET LOADING SUMMARY							
ALL COMMERCIAL USES	1 PER 1,900 M ² GFA	1	713	0	1	ANY FRACTION LESS THAN ONE-HALF (0.5) ROUNDS DOWN TO THE NEAREST WHOLE INTEGER (INCLUDING ZERO);	
OFF STREET BICYCLE PARKING							
RESIDENTIAL							
REQUIRED LONG TERM (SECURED)							
1 BEDROOM	1 SPACE PER UNIT	1	70	70	49		
2 BEDROOM	1.5 SPACE PER UNIT	1.5	28	42	63		
TOTAL				112	112	PROVIDED ON LEVEL 1 & P1	
REQUIRED SHORT TERM							
6 PER ENTRANCE, PLUS FOR BUILDINGS WITH GREATER THAN 70 UNITS: 1 SPACE FOR EVERY ADDITIONAL 5 UNITS					11	11	
COMMERCIAL							
REQUIRED LONG TERM (SECURED)							
ALL COMMERCIAL USES	1 SPACES PER 500 M ² OF GFA	1	713	2	2		
REQUIRED SHORT TERM							
2 PER ENTRANCE OR 1 SPACE PER 750M ² OF GFA (WHICHEVER IS GREATER)				2	713	12	12
NOTES:							
1. ALL AREAS AND CALCULATIONS ARE APPROXIMATE. & MAY BE ADJUSTED DURING WORKING DRAWINGS							
2. VALUES LISTED IN ABOVE AREA CALCULATIONS ARE DETERMINED IN GENERAL ACCORDANCE WITH THE METHODOLOGY REQUIRED IN CITY OF KELOWNA BYLAWS							

REVISIONS

NO.	DESCRIPTION	DATE
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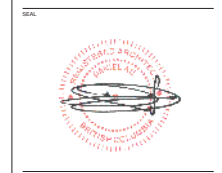
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CLIENT



PROJECT NO. 21495
 PROJECT MIXED USE COMMERCIAL AND RENTAL RESIDENTIAL DEVELOPMENT
 155-179 Rutland Road, Kelowna, B.C.
 DRAWING TITLE

PROJECT STATISTICS



DRAWING NO. 1 REVISION

A003

DATE 15/09/2021 DRAWN BY AZ
 SCALE CHECKED BY DA

SCHEDULE A

This forms part of application
DP21-0223 DVP21-0224

Planner Initials KB



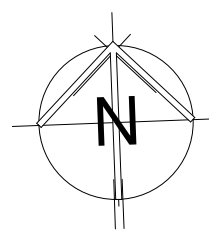
GENERAL NOTES

- REFER TO OWNER SUPPLIED SITE SURVEY.
- REFER TO GEOTECHNICAL REPORT.
- NOTE: NEIGHBORING BUILDING FOOTPRINT & PROPERTY LINES ARE APPROXIMATE. TO BE CONFIRMED BY SURVEYOR.
- REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR ALL HARD AND SOFT LANDSCAPE DESIGN
- REFER TO CIVIL DRAWINGS FOR SITE DRAINAGE AND GRADING INFORMATION
- REFER TO MECHANICAL & ELECTRICAL DRAWINGS FOR MECHANICAL & ELECTRICAL RELATED ITEMS
- DIMENSIONS TO EXTERIOR WALLS ARE SHOWN MEASURED TO EXTERIOR FACE OF SHEATHING OR OF MASONRY/ CONCRETE UNLESS NOTED OTHERWISE. INTERIOR DIMENSIONS ARE MEASURED TO FACE OF WALL STUDS OR FACE OF CONCRETE, UNLESS NOTED OTHERWISE.
- WALL ASSEMBLIES WHICH ARE FIRE SEPARATIONS SHALL BE CONTINUOUS AND INTEGRAL BEHIND THE ENDS OF ABUTTING NON-RATED PARTITIONS AND BEHIND STAIRWAYS, MILLWORK, FURRED-OUT NON-RATED CHASES (MANIFOLD LOCATIONS) AND MISCELLANEOUS FIXTURES SUCH AS BATHTUBS & SHOWERS.
- FIRE-RATED WALL ASSEMBLIES SHALL BE CONTINUOUS AND INTEGRAL TO UNDERSIDE OF FIRE-RATED FLOOR ASSEMBLIES, NOTWITHSTANDING ANY INTERVENING INTERSTITIAL CEILING SPACES.
- WATER RESISTANT GYPSUM BOARD OR TILE BACKER BOARD SHALL BE INSTALLED IN THE PARTITIONS SURROUNDING SHOWERS AND BATHTUBS; THE CORRESPONDING PARTITION STUDS SHALL BE SPACED AT MAX. 16" O.C.
- EVERY DUCT, PIPE, ELECTRICAL ITEM OR OTHER, SIMILAR SERVICE EQUIPMENT THAT WHOLLY OR PARTIALLY PENETRATED A REQUIRED FIRE SEPARATION SHALL BE NON-COMBUSTIBLE, EXCEPT AS SPECIFICALLY PERMITTED BY B.C. BUILDING CODE AND SUBJECT TO APPROVED LISTED FIRE-STOPPING SYSTEM.
- WHERE ELECTRICAL RECEPTACLES & SWITCHES ARE LOCATED ON BOTH SIDES OF A REQUIRED FIRE SEPARATION, THEY SHALL BE OFFSET IN SEPARATE STUD SPACES; I.E. DO NOT PLACE THEM BACK-TO-BACK.
- GUARDS SHALL CONFORM TO REQUIREMENTS OF BCBC 4.1.5.14. BUILDER SHALL PROVIDE SHOP DRAWINGS, SIGNED AND SEALED BY A P.ENG REGISTERED IN BRITISH COLUMBIA, CERTIFYING COMPLIANCE.
- CRU LAYOUTS ARE SCHEMATIC ONLY. DASHED LINES INDICATE POTENTIAL FUTURE TENANT IMPROVEMENTS REQUIRING FUTURE SEPARATE PERMITS.
- REFER TO STRUCTURAL FOR CONTROL JOINTS AND SAW CUTS
- ALL PARKING STALLS/ LINES/ ARROWS/ SIGNAGE HATCHING TO BE PAINTED.
- ROOF ANCHOR SUPPLIER TO PROVIDE SUBMITTALS FOR DESIGN & INSTALLATION
- SIGNAGE DWG TO BE PREPARED BY CLIENT SIGNAGE COMPANY, & SUBMITTED AS SEPARATE PERMIT.
- REFER TO ID DWGS FOR ALL INTERIOR DETAILS AND FINISHES
- CLEAR SEALER TO BE APPLIED TO ALL EXPOSED CONCRETE ELEMENTS. MOCK UP REQUIRED PRIOR TO FINAL APPROVAL.

bfa studio architects
ECO-REGIONAL ARCHITECTURE + INTERIOR DESIGN
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Vancouver, BC V6C 2G8 F 604 662 4060
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NO.	DESCRIPTION	DATE
1	ISSUED FOR DP	2021-09-15
2	RE-ISSUED FOR DP	2021-12-07
3	ISSUED FOR BP	2022-04-01

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CLIENT

CENTRAL

PROJECT NO. 21495
PROJECT MIXED USE COMMERCIAL AND RENTAL RESIDENTIAL DEVELOPMENT
155-179 Rutland Road, Kelowna, B.C.

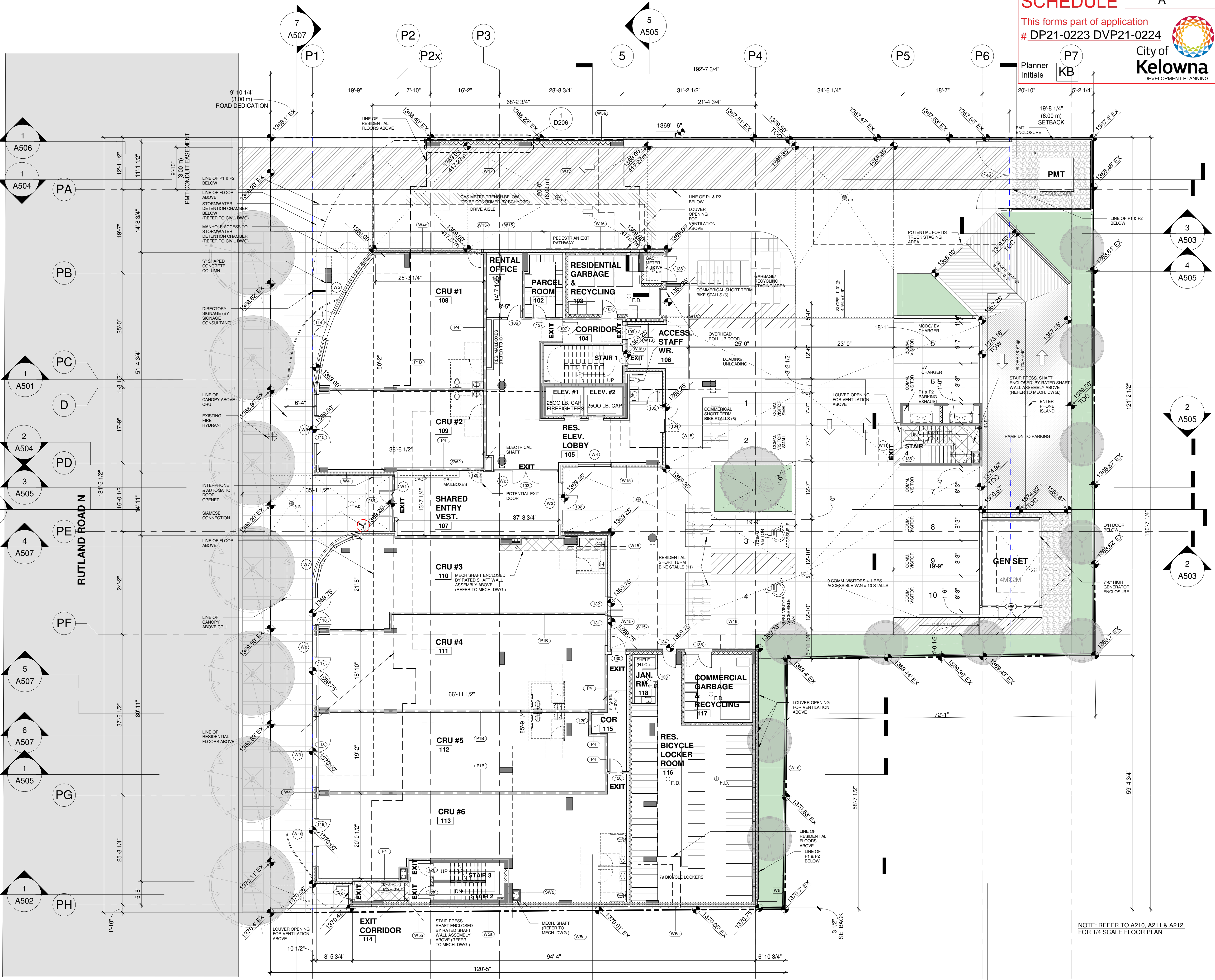
DRAWING TITLE
LEVEL 1 FLOOR PLAN

SCALE

DRAWING NO. REVISION

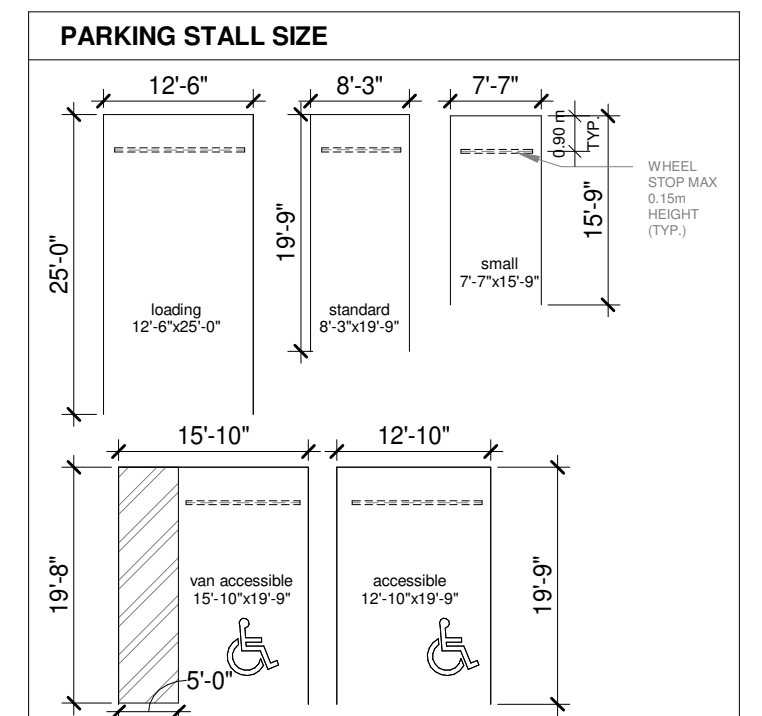
A204

DATE 15/09/2021 DRAWN AZ
SCALE 3/32" = 1'-0" CHECKED DA



PARTITION FIRE RESISTANCE RATING LEGEND

(Solid line)	0 HOUR (SMOKE) SEPARATION
(Dashed line)	1 HOUR FIRE SEPARATION/ FIRE RESISTANCE RATING FOR SPATIAL SEPARATION 3.2.3.7
(Dotted line)	1.5 HOUR FIRE SEPARATION
(Double solid line)	2 HOUR FIRE SEPARATION/ FIRE RESISTANCE RATING FOR SPATIAL SEPARATION 3.2.3.7
(Cross-hatched)	2 HOUR RATED SHAFT ASSEMBLY

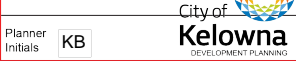


- ### PARKADE NOTES
- ALL PARKING, LOADING & BICYCLE STG AS PER CITY OF KELLOWNA BY-LAW
 - SECTION 08 PARKING AND LOADING BYLAW (8.2.9) ADDITIONAL 0.2M WIDER WHERE THE PARKING SPACE ABUTS AN OBSTRUCTION ON THE SIDE; ADDITIONAL 0.5M WIDER WHERE THE PARKING SPACE ABUTS AN OBSTRUCTION ON BOTH SIDES; AND ADDITIONAL 0.8M WIDER WHERE THE PARKING SPACE ABUTS A DOORWAY.

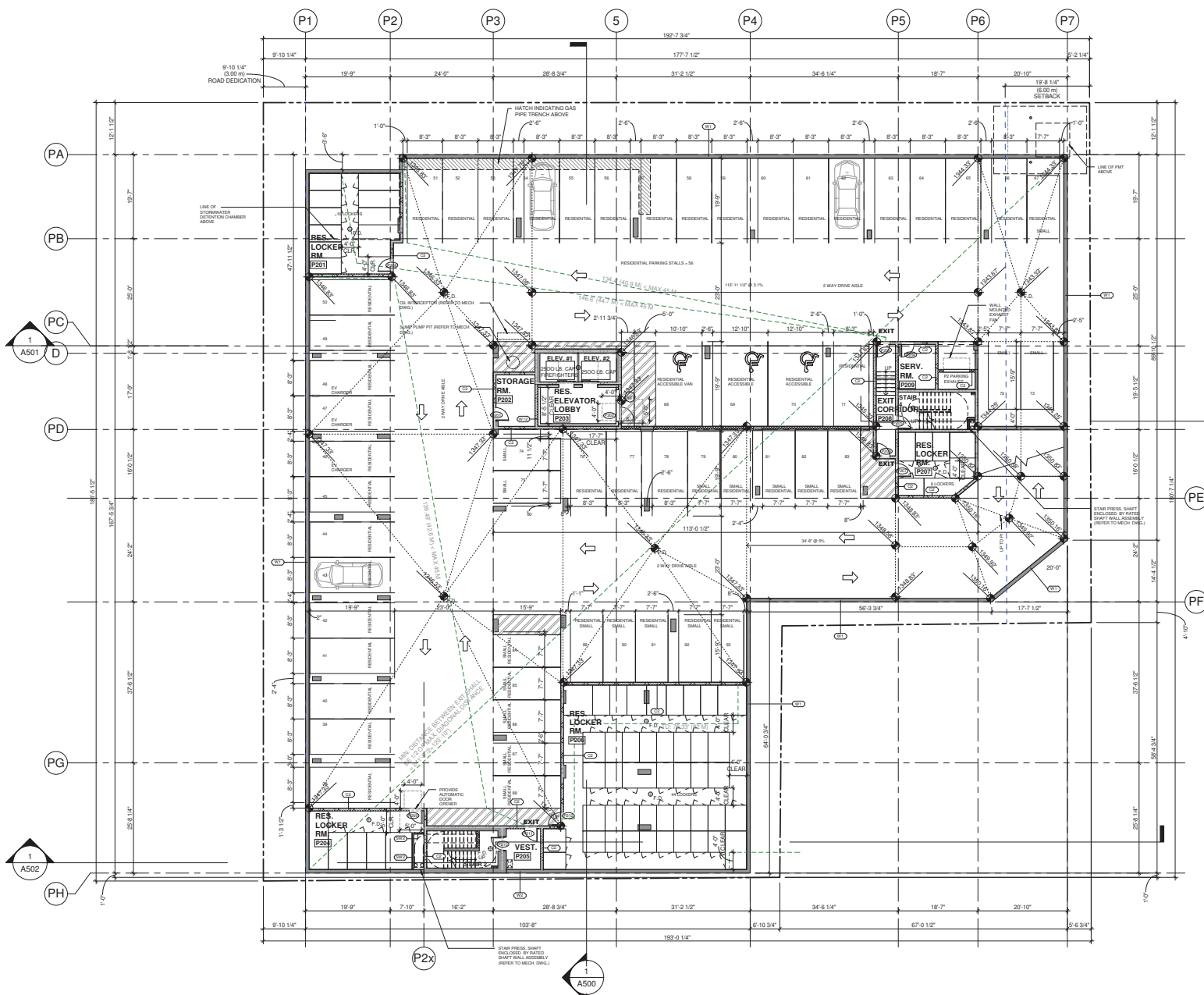
NOTE: REFER TO A210, A211 & A212 FOR 1/4 SCALE FLOOR PLAN

SCHEDULE B

This forms part of application
 # DP21-0223 DVP21-0224



Planner Initials **KB**



GENERAL NOTES

- REFER TO OWNER SUPPLIED SITE SURVEY.
- REFER TO GEOTECHNICAL REPORT.
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PARTITION FIRE RESISTANCE RATING LEGEND

- 0 HOUR (SMOKE) SEPARATION
- 1 HOUR FIRE SEPARATION FIRE RESISTANCE RATING FOR SPATIAL SEPARATION 3.2.3.7
- 1.5 HOUR FIRE SEPARATION
- 2 HOUR FIRE SEPARATION FIRE RESISTANCE RATING FOR SPATIAL SEPARATION 3.2.3.7
- 2 HOUR RATED SHAF T ASSEMBLY

PARKING STALL SIZE

PARKADE NOTES

- ALL PARKING, LOADING & BICYCLE STG AS PER CITY OF KELOWNA BY-LAW
- SECTION 08 PARKING AND LOADING BY-LAW (8.2.9) ADDITIONAL 0.5M WIDER WHERE THE PARKING SPACE ABUTS AN OBSTRUCTION ON THE SIDE. ADDITIONAL 0.5M WIDER WHERE THE PARKING SPACE ABUTS AN OBSTRUCTION ON BOTH SIDES. AND ADDITIONAL 0.5M WIDER WHERE THE PARKING SPACE ABUTS A DOORWAY.



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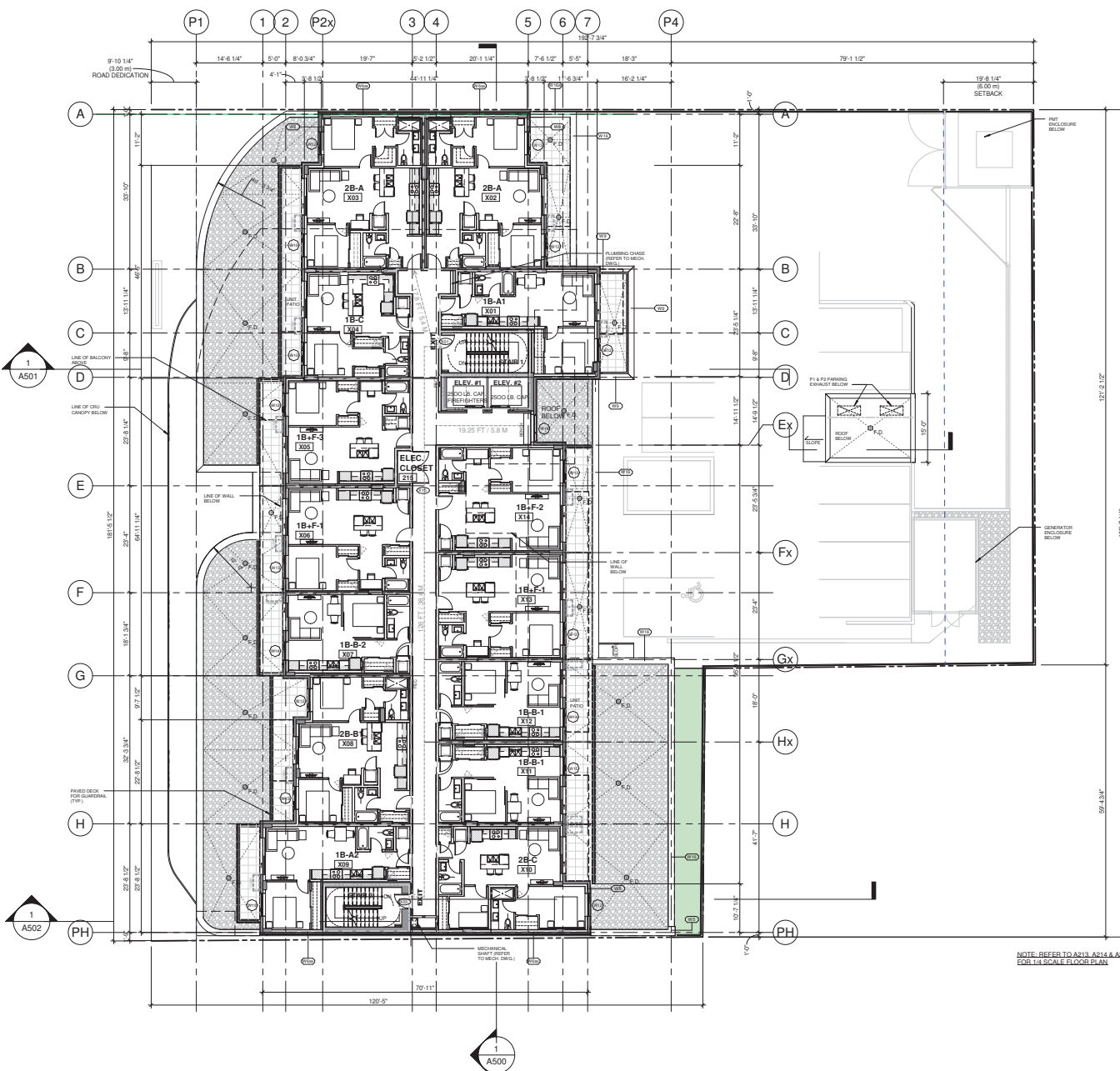
P2 LEVEL PLAN



A202

REVISIONS

DATE	BY	DESCRIPTION
15/09/2021	AZ	
	CH	
	DA	



- GENERAL NOTES**
- REFER TO OWNER SUPPLIED SITE SURVEY.
 - REFER TO GEOTECHNICAL REPORT.
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(Symbol)	0 HOUR (SMOKE) SEPARATION
(Symbol)	1 HOUR FIRE SEPARATION FIRE RESISTANCE RATING FOR SPATIAL SEPARATION 3.2.3.7
(Symbol)	1.5 HOUR FIRE SEPARATION
(Symbol)	2 HOUR FIRE SEPARATION FIRE RESISTANCE RATING FOR SPATIAL SEPARATION 3.2.3.7
(Symbol)	2 HOUR RATED SHAFT ASSEMBLY

NOTE: REFER TO A213, A214 & A215 FOR 1/4" SCALE FLOOR PLAN.



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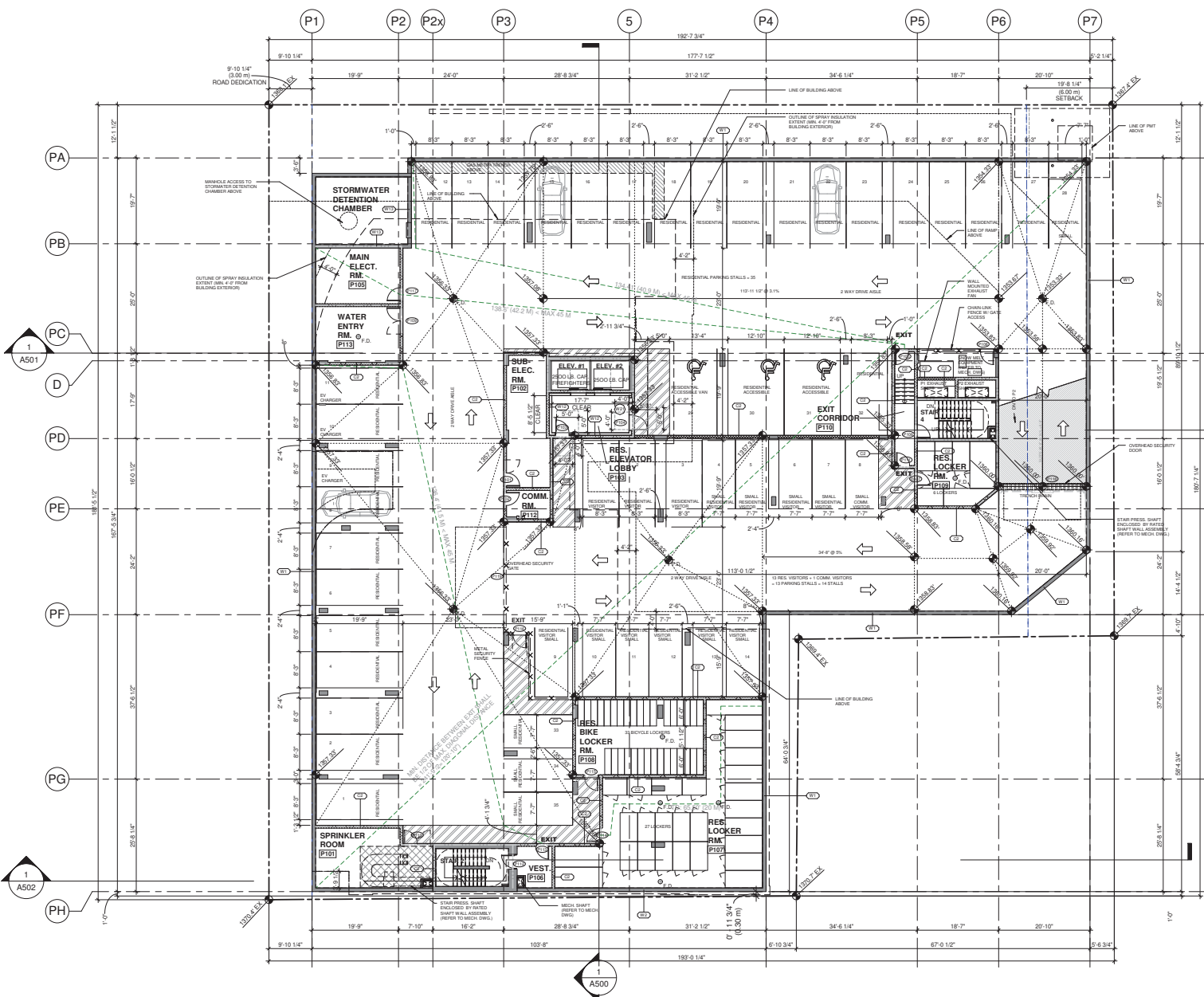
PROJECT NO. 21495
 PROJECT MIXED USE COMMERCIAL AND RENTAL RESIDENTIAL DEVELOPMENT
 155-179 Rutland Road, Kelowna, B.C.

DRAWING TITLE
LEVEL 2 FLOOR PLAN



DRAWING NO. **A205** REVISION

DATE 15/09/2021
 SCALE 3/32" = 1'-0"
 DRAWN AZ
 CHECKED DA



GENERAL NOTES

- REFER TO OWNER SUPPLIED SITE SURVEY.
- REFER TO GEOTECHNICAL REPORT.
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PARTITION FIRE RESISTANCE RATING LEGEND

- 0 HOUR (SMOKE) SEPARATION
- 1 HOUR FIRE SEPARATION FIRE RESISTANCE RATING FOR SPATIAL SEPARATION 3.2.3.7
- 1.5 HOUR FIRE SEPARATION
- 2 HOUR FIRE SEPARATION FIRE RESISTANCE RATING FOR SPATIAL SEPARATION 3.2.3.7
- 2 HOUR RATED SHAFR ASSEMBLY

PARKING STALL SIZE

PARKADE NOTES

- ALL PARKING, LOADING & BICYCLE STG AS PER CITY OF KELOWNA BY-LAW
- SECTION 08 PARKING AND LOADING BY-LAW (8.2.5) ADDITIONAL 0.5M WIDER WHERE THE PARKING SPACE ABUTS AN OBSTRUCTION ON THE SIDE. ADDITIONAL 0.5M WIDER WHERE THE PARKING SPACE ABUTS AN OBSTRUCTION ON BOTH SIDES. AND ADDITIONAL 0.8M WIDER WHERE THE PARKING SPACE ABUTS A DOORWAY.

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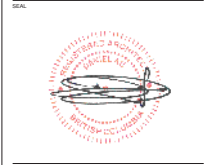
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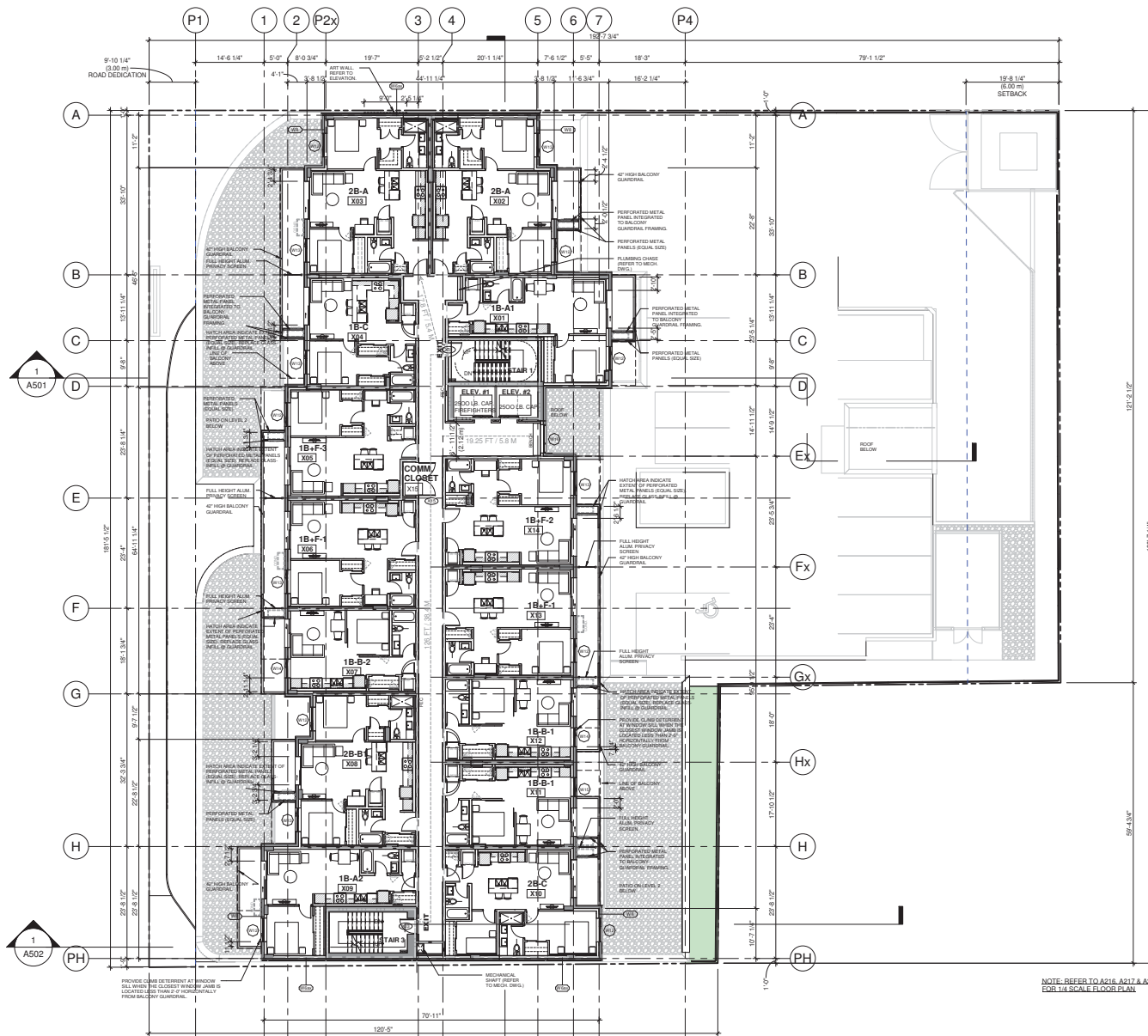
PROJECT NO. 21495
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 155-179 Rutland Road, Kelowna, B.C.

DRAWING TITLE
P1 LEVEL PLAN



DRAWING NO. **A203**

DATE 15/09/2021
 SCALE 3/32" = 1'-0"
 DRAWN BY AZ
 CHECKED BY DA



- GENERAL NOTES**
- REFER TO OWNER SUPPLIED SITE SURVEY.
 - REFER TO GEOTECHNICAL REPORT.
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[Symbol]	0 HOUR (SMOKE) SEPARATION
[Symbol]	1 HOUR FIRE SEPARATION FIRE RESISTANCE RATING FOR SPATIAL SEPARATION 3.2.3.7
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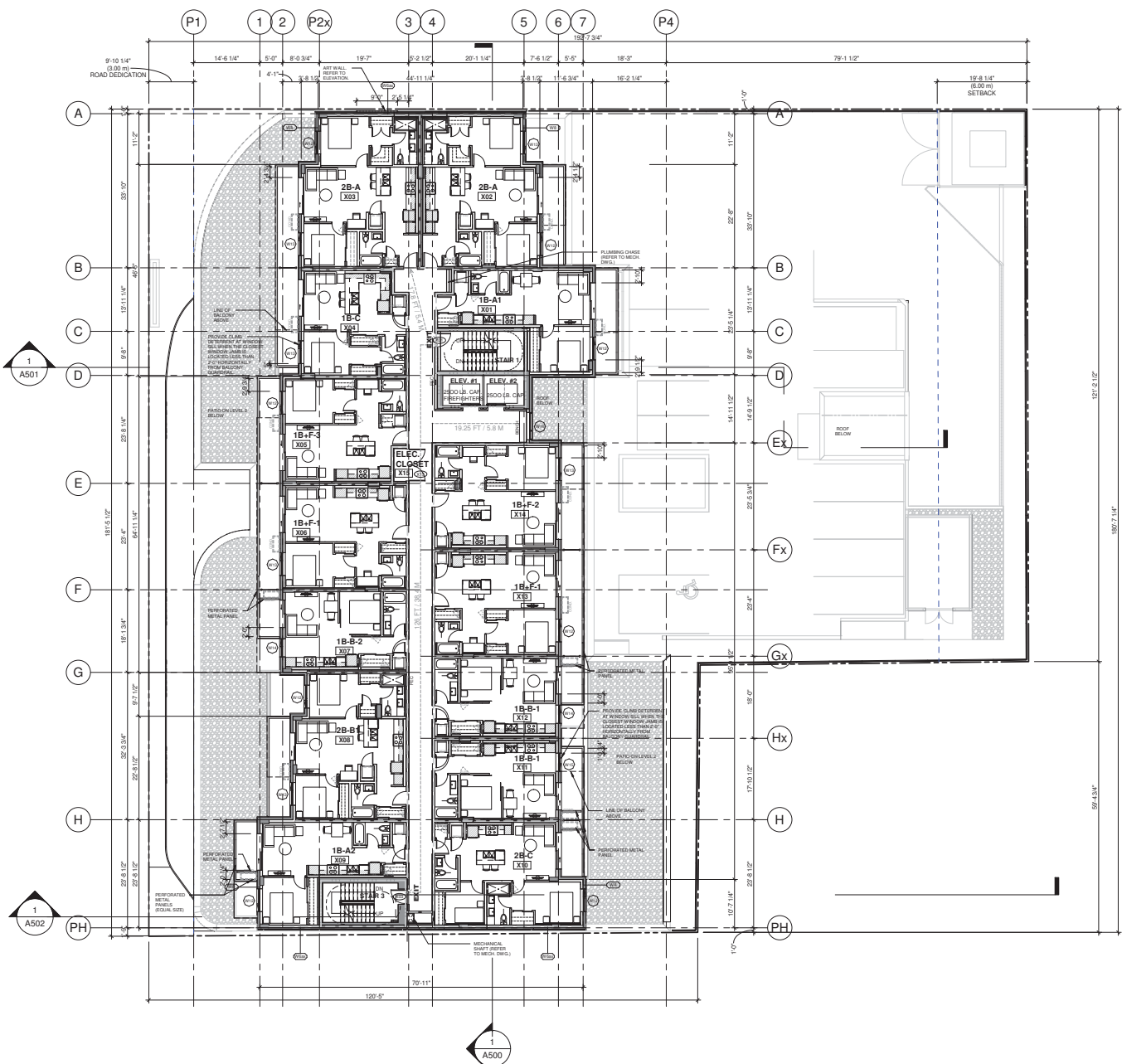
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CENTRAL

PROJECT NO: 21495
 PROJECT: MIXED USE COMMERCIAL AND RENTAL RESIDENTIAL DEVELOPMENT
 155-179 Rutland Road, Kelowna, B.C.
 DRAWING TITLE: LEVEL 3,5,7 FLOOR PLAN
 DRAWING NO: A206
 DATE: 15/09/2021
 SCALE: 3/32" = 1'-0"
 DRAWN: AZ
 CHECKED: DA



- GENERAL NOTES**
- REFER TO OWNER SUPPLIED SITE SURVEY.
 - REFER TO GEOTECHNICAL REPORT.
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 - EVERY DUCT, PIPE, ELECTRICAL ITEM OR OTHER SIMILAR SERVICE EQUIPMENT THAT WHOLLY OR PARTIALLY PENETRATED A REQUIRED FIRE SEPARATION SHALL BE NON-COMBUSTIBLE, EXCEPT AS SPECIFICALLY PERMITTED BY C.C. BUILDING CODE AND SUBJECT TO APPROVED LISTED FIRE-STOPPING SYSTEM.
 - WHERE ELECTRICAL RECEPTACLES & SWITCHES ARE LOCATED ON BOTH SIDES OF A REQUIRED FIRE SEPARATION, THEY SHALL BE OFFSET IN SEPARATE STUD SPACES, I.E. DO NOT PLACE THEM BACK TO BACK.
 - GUARDS SHALL CONFORM TO REQUIREMENTS OF BCBC 4.1.5.14. BUILDER SHALL PROVIDE SHOP DRAWINGS, SIGNED AND SEALED BY P.ENG REGISTERED IN BRITISH COLUMBIA, CERTIFYING COMPLIANCE.
 - CRU LAYOUTS ARE SCHEMATIC ONLY. DASHED LINES INDICATE POTENTIAL FUTURE TENANT IMPROVEMENTS REQUIRING FUTURE SEPARATE PERMITS.
 - REFER TO STRUCTURAL FOR CONTROL JOINTS AND SAW CUTS.
 - ALL PARKING STALLS (LINES/ARROWS/SIGNAGE HATCHING) TO BE PAINTED.
 - ROOF ANCHOR SUPPLIER TO PROVIDE SUBMITTALS FOR DESIGN & INSTALLATION.
 - SIGNAGE DWG TO BE PREPARED BY CLIENT SIGNAGE COMPANY, & SUBMITTED AS SEPARATE PERMIT.
 - REFER TO ID DWGS FOR ALL INTERIOR DETAILS AND FINISHES.
 - CLEAR SEALER TO BE APPLIED TO ALL EXPOSED CONCRETE ELEMENTS. MOCK UP REQUIRED PRIOR TO FINAL APPROVAL.

PARTITION FIRE RESISTANCE RATING LEGEND

[Symbol]	0 HOUR (SMOKE) SEPARATION
[Symbol]	1 HOUR FIRE SEPARATION FIRE RESISTANCE RATING FOR SPATIAL SEPARATION 3.2.3.7
[Symbol]	1.5 HOUR FIRE SEPARATION
[Symbol]	2 HOUR FIRE SEPARATION FIRE RESISTANCE RATING FOR SPATIAL SEPARATION 3.2.3.7
[Symbol]	2 HOUR RATED SHAFT ASSEMBLY

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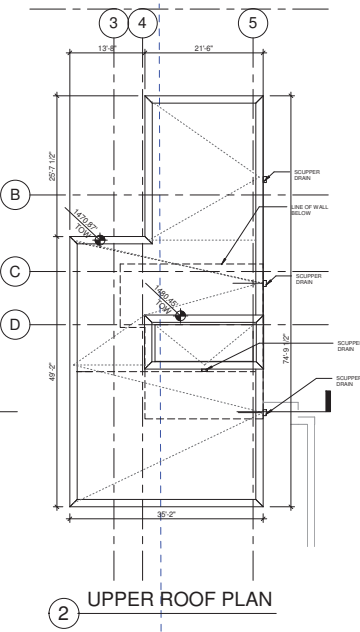
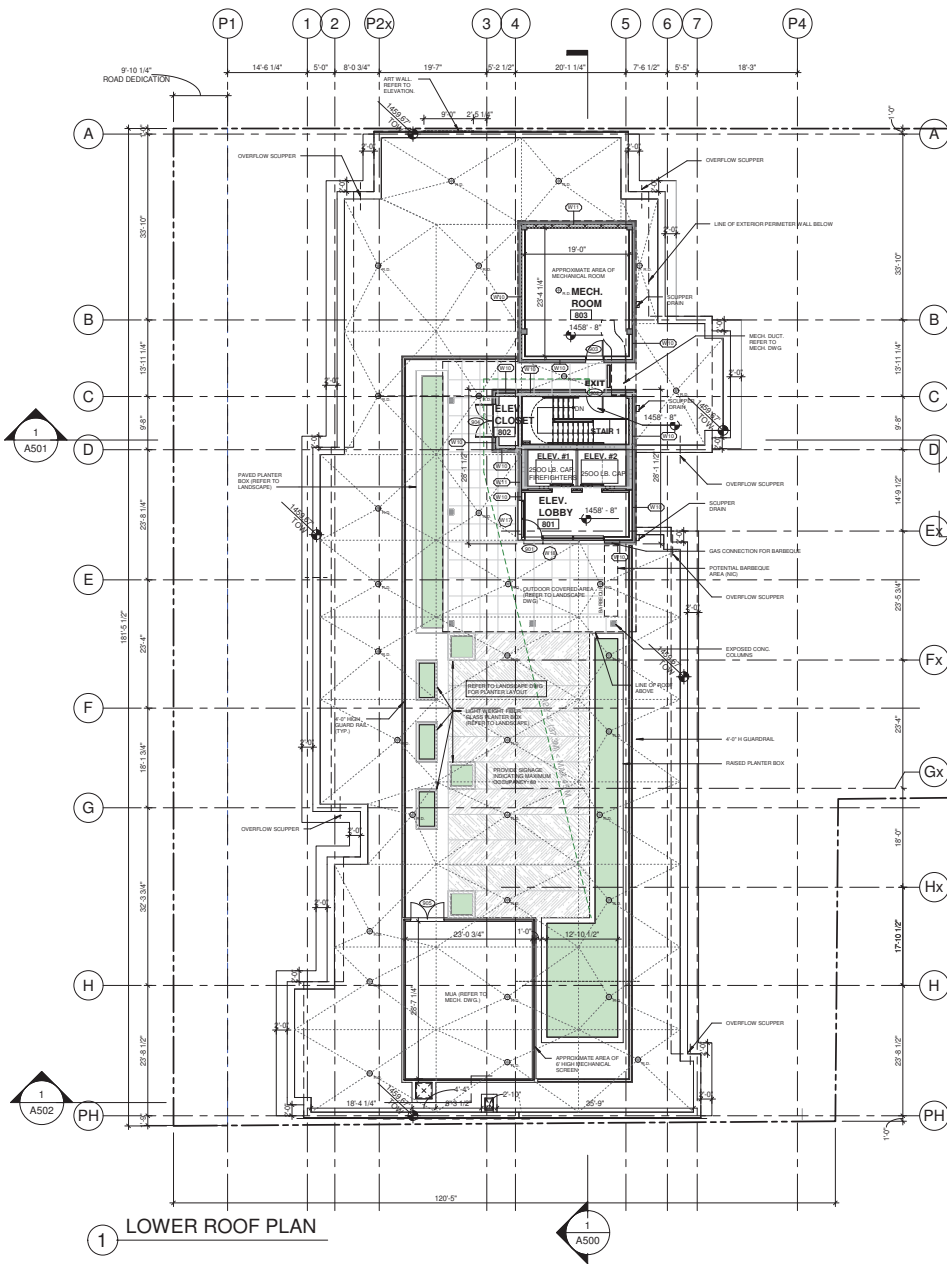
REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR DP	2021-09-15
2	RE-ISSUED FOR DP	2021-12-07
3	ISSUED FOR BP	2022-04-01

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CENTRAL

PROJECT NO. 21495
 PROJECT MIXED USE COMMERCIAL AND RENTAL RESIDENTIAL DEVELOPMENT
 155-179 Rutland Road, Kelowna, B.C.
 DRAWING TITLE LEVEL 4,6,8 FLOOR PLAN
 DRAWING NO. A207
 DATE 15/09/2021
 SCALE 3/32" = 1'-0"
 DRAWN AZ
 CHECKED DA



NOTE: REFER TO A219 FOR 1/4" SCALE FLOOR PLAN

- GENERAL NOTES**
- REFER TO OWNER SUPPLIED SITE SURVEY.
 - REFER TO GEOTECHNICAL REPORT.
 - NOTE: NEIGHBORING BUILDING FOOTPRINT & PROPERTY LINES ARE APPROXIMATE. TO BE CONFIRMED BY SURVEYOR.
 - REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR ALL HARD AND SOFT LANDSCAPE DESIGN.
 - REFER TO CIVIL DRAWINGS FOR SITE DRAINAGE AND GRADING INFORMATION.
 - REFER TO MECHANICAL & ELECTRICAL DRAWINGS FOR MECHANICAL & ELECTRICAL RELATED ITEMS.
 - DIMENSIONS TO EXTERIOR WALLS ARE SHOWN MEASURED TO EXTERIOR FACE OF SHEATHING OR OF MASONRY/CONCRETE UNLESS NOTED OTHERWISE. INTERIOR DIMENSIONS ARE MEASURED TO FACE OF WALL STUDS OR FACE OF CONCRETE, UNLESS NOTED OTHERWISE.
 - WALL ASSEMBLIES WHICH ARE FIRE SEPARATIONS SHALL BE CONTINUOUS AND INTEGRAL BEHIND THE ENDS OF ADJUTING NON-RATED PARTITIONS AND BEHIND STAIRWAYS, MILLWORK, FURRED-OUT NON-RATED CHASES (MANIFOLD LOCATIONS) AND MISCELLANEOUS FIXTURES SUCH AS BATHUBS & SHOWERS.
 - FIRE-RATED WALL ASSEMBLIES SHALL BE CONTINUOUS AND INTEGRAL TO UNDERSIDE OF FIRE RATED FLOOR ASSEMBLIES, NOTWITHSTANDING ANY INTERVENING INTERSTITIAL CEILING SPACES.
 - WATER RESISTANT GYPSUM BOARD OR TILE BACKER BOARD SHALL BE INSTALLED IN THE PARTITIONS SURROUNDING SHOWERS AND BATHUBS. THE CORRESPONDING PARTITION STUDS SHALL BE SPACED AT MAX. 16" O.C.
 - EVERY DUCT, PIPE, ELECTRICAL ITEM OR OTHER SIMILAR SERVICE EQUIPMENT THAT WHOLLY OR PARTIALLY PENETRATED A REQUIRED FIRE SEPARATION SHALL BE NON-COMBUSTIBLE, EXCEPT AS SPECIFICALLY PERMITTED BY C.B.C. BUILDING CODE AND SUBJECT TO APPROVED LISTED FIRE STOPPING SYSTEM.
 - WHERE ELECTRICAL RECEPTACLES & SWITCHES ARE LOCATED ON BOTH SIDES OF A REQUIRED FIRE SEPARATION, THEY SHALL BE OFFSET IN SEPARATE STUD SPACES, I.E. DO NOT PLACE THEM BACK TO BACK.
 - GUARDS SHALL CONFORM TO REQUIREMENTS OF BCBC 4.1.5.14. BUILDER SHALL PROVIDE SHOP DRAWINGS, SIGNED AND SEALED BY A P.ENG REGISTERED IN BRITISH COLUMBIA, CERTIFYING COMPLIANCE.
 - CRU LAYOUTS ARE SCHEMATIC ONLY. DASHED LINES INDICATE POTENTIAL FUTURE TENANT IMPROVEMENTS REQUIRING FUTURE SEPARATE PERMITS.
 - REFER TO STRUCTURAL FOR CONTROL JOINTS AND SAW CUTS.
 - ALL PARKING STALLS (LINES/ARROWS/SIGNAGE) HATCHING TO BE PAINTED.
 - ROOF ANCHOR SUPPLIER TO PROVIDE SUBMITTALS FOR DESIGN & INSTALLATION.
 - SIGNAGE DWG TO BE PREPARED BY CLIENT SIGNAGE COMPANY, & SUBMITTED AS SEPARATE PERMIT.
 - REFER TO ID DWGS FOR ALL INTERIOR DETAILS AND FINISHES.
 - CLEAR SEALER TO BE APPLIED TO ALL EXPOSED CONCRETE ELEMENTS. MOCK UP REQUIRED PRIOR TO FINAL APPROVAL.

PARTITION FIRE RESISTANCE RATING LEGEND

	0 HOUR (SMOKE) SEPARATION
	1 HOUR FIRE SEPARATION FIRE RESISTANCE RATING FOR SPATIAL SEPARATION 3.2.3.7
	1.5 HOUR FIRE SEPARATION
	2 HOUR FIRE SEPARATION FIRE RESISTANCE RATING FOR SPATIAL SEPARATION 3.2.3.7
	2 HOUR RATED SHAFT ASSEMBLY

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REVISIONS

NO.	DESCRIPTION	DATE
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2	RE-ISSUED FOR DP	2021-12-07
3	ISSUED FOR BP	2022-04-01

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CENTRAL

PROJECT NO: 21495

PROJECT: MIXED USE COMMERCIAL AND RENTAL RESIDENTIAL DEVELOPMENT

155-179 Rutland Road, Kelowna, B.C.

DRAWING TITLE: ROOF PLAN

DATE: 15/09/2021

SCALE: 3/32" = 1'-0"

DRAWING NO: A208

DESIGNER: AZ

CHECKED: DA

SCHEDULE B

This forms part of application
DP21-0223 DVP21-0224



Planner Initials **KB**

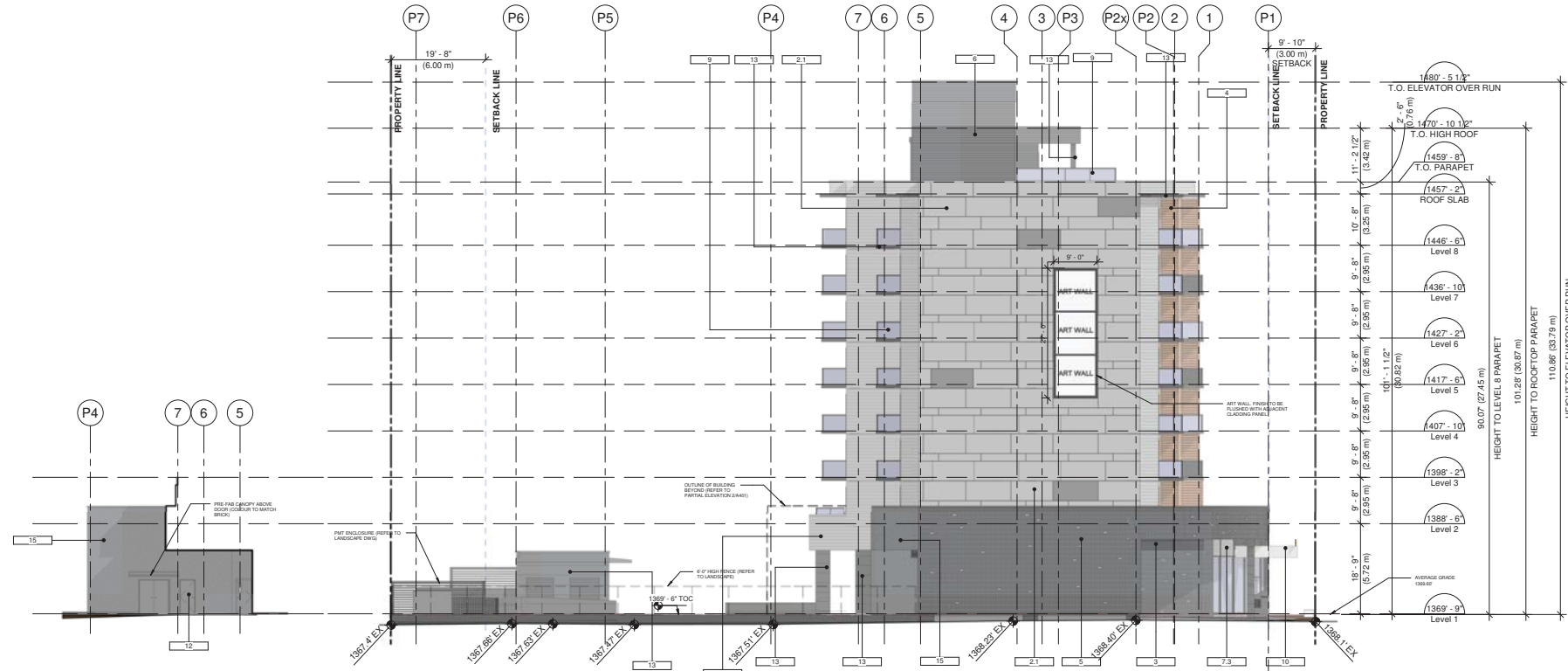
City of **Kelowna**
DEVELOPMENT PLANNING

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architects

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NO.	DESCRIPTION	DATE
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2	RE-ISSUED FOR DP	2021-12-07
3	ISSUED FOR BP	2022-04-01

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2 PARTIAL PODIUM ELEVATION ALONG GRID 'Gx'
3/32" = 1'-0"

1 NORTH ELEVATION
3/32" = 1'-0"



PROJECT NO. 21495
PROJECT MIXED USE COMMERCIAL AND RESIDENTIAL DEVELOPMENT
155-179 Rutland Road, Kelowna, B.C.

NORTH ELEVATION

ELEVATION KEYNOTE LEGEND					
ITEM	COLOUR/FINISH	ITEM	COLOUR/FINISH	ITEM	COLOUR/FINISH
1	CEMENTITIOUS LAP SIDING (2" WIDE) COLOUR: TO MATCH HARDEPLANK 'ARCTIC WHITE' OR SIMILAR FINISH: SMOOTH	7.3	ALUMINUM CURTAIN WALL W/ OPAQUE SPANDREL GLASS FRAME: ANODIZED ALUMINUM; COLOR: WHITE GLASS: CHALK WHITE	15	EIFS WITH STUCCO FINISH COAT COLOUR: TO MATCH MUTUAL MATERIALS BRICK COLOUR 'COAL CREEK'
2.1	CEMENTITIOUS CLADDING PANEL (2 TONE) COLOUR: TO MATCH HARDE PLANK TEXTURED PANEL 'ARCTIC WHITE' & STABLE GRAY OR SIMILAR; FINISH: SMOOTH	7.4	ALUMINUM CURTAIN WALL W/ DOUBLE GLAZING FRAME: ANODIZED ALUMINUM; COLOR: WHITE GLASS: LOW-E CLEAR		
2.2	CEMENTITIOUS CLADDING PANEL (2 TONE) COLOUR: TO MATCH HARDE PLANK TEXTURED PANEL 'ARCTIC WHITE' & LUX PANEL 'COPPER WAVE' OR SIMILAR; FINISH: SMOOTH	8	ALUMINUM FRAME GUARD W/ PERFORATED METAL FRAME: TO MATCH STARLINE 'KENDALL CHARCOAL' OR SIMILAR PANEL: PERFORATED ALUMINUM PANEL; MEDIUM GREY		
3	CEMENTITIOUS CLADDING PANEL COLOUR: TO MATCH HARDEPLANK 'IRON GRAY' OR SIMILAR FINISH: SMOOTH	9	ALUMINUM FRAME GUARD W/ SAFETY GLASS FRAME: TO MATCH STARLINE 'KENDALL CHARCOAL' OR SIMILAR GLASS: TEMPERED, CLEAR		
4	ALUMINUM FRAME PRIVACY SCREEN FRAME: TO MATCH COPPER WAVE BY LUX PANEL PANEL: TO MATCH COPPER WAVE BY LUX PANEL (8" WIDE)	10	METAL CANOPY WITH STEEL FRAME FRAME: TO MATCH STARLINE 'KENDALL CHARCOAL' OR SIMILAR GLASS: TEMPERED, CLEAR		
5	STANDARD FACE BRICK (2 TONE) COLOUR: TO MATCH MUTUAL MATERIALS 'COAL CREEK' & 'DESERT WHITE' OR SIMILAR; PATTERN: 1/8 RUNNING BOND	11	ALUMINUM OVERHEAD GARAGE DOOR BLACK		
6	METAL CLADDING PANEL COLOUR: TO MATCH VIGWEST PAINT COLOUR - SIGNATURE (WESTERN CHARCOAL 56972 (225A) OR SIMILAR	12	PAINTED METAL DOOR TO MATCH MUTUAL MATERIALS BRICK COLOUR 'COAL CREEK'		
7.1	VINYL WINDOW W/ DOUBLE GLAZING FRAME: TO MATCH STARLINE 'CHARCOAL GREY' OR SIMILAR GLASS: TEMPERED, CLEAR	13	EXPOSED CONCRETE WITH CLEAR SEALER		
7.2	VINYL BALCONY DOOR W/ DOUBLE GLAZING FRAME: TO MATCH STARLINE 'CHARCOAL GREY' OR SIMILAR GLASS: TEMPERED, CLEAR	14	MECHANICAL ENCLOSURE/ LOUVERS FRAME: TO MATCH ADJACENT FINISHES		



DRAWING NO. 1 REVISION

A401

DATE 15/09/2021 DRAWN AZ
SCALE CHECKED
DA



1 EAST ELEVATION W/ PODIUM
3/32" = 1'-0"

ELEVATION KEYNOTE LEGEND					
ITEM	COLOUR/FINISH	ITEM	COLOUR/FINISH	ITEM	COLOUR/FINISH
1	CEMENTITIOUS LAP SIDING (2" WIDE) COLOUR: TO MATCH HARDIEPLANK 'ARCTIC WHITE' OR SIMILAR FINISH: SMOOTH	7.3	ALUMINUM CURTAIN WALL W/ OPAQUE SPANDREL GLASS FRAME: ANODIZED ALUMINUM, COLOR: WHITE GLASS: CHALK WHITE	15	EFS WITH STUCCO FINISH COAT COLOUR: TO MATCH MUTUAL MATERIALS BRICK COLOUR 'COAL CREEK'
2.1	CEMENTITIOUS CLADDING PANEL (2 TONE) COLOUR: TO MATCH HARDIE TEXTURED PANEL 'ARCTIC WHITE' & STABLE GRAY OR SIMILAR, FINISH: SMOOTH	7.4	ALUMINUM CURTAIN WALL W/ DOUBLE GLAZING FRAME: ANODIZED ALUMINUM, COLOR: WHITE GLASS: LOW-E CLEAR		
2.2	CEMENTITIOUS CLADDING PANEL (2 TONE) COLOUR: TO MATCH HARDIE TEXTURED PANEL 'ARCTIC WHITE' & LUX PANEL 'COPPER WAVE' OR SIMILAR, FINISH: SMOOTH	8	ALUMINUM FRAME GUARD W/ PERFORATED METAL FRAME: TO MATCH STARLINE 'KENDALL CHARCOAL' OR SIMILAR PANEL: PERFORATED ALUMINUM PANEL, MEDIUM GREY		
3	CEMENTITIOUS CLADDING PANEL COLOUR: TO MATCH HARDIEPLANK 'IRON GRAY' OR SIMILAR FINISH: SMOOTH	9	ALUMINUM FRAME GUARD W/ SAFETY GLASS FRAME: TO MATCH STARLINE 'KENDALL CHARCOAL' OR SIMILAR PANEL: PERFORATED ALUMINUM PANEL, MEDIUM GREY		
4	ALUMINUM FRAME PRIVACY SCREEN FRAME: TO MATCH COPPER WAVE BY LUX PANEL PANEL: TO MATCH COPPER WAVE BY LUX PANEL (6" WIDE)	10	METAL CANOPY WITH STEEL FRAME FASCIA: ALUMINUM PANEL (COLOR TO MATCH CURTAIN WALL FRAME) SOFFIT: WOOD SLAT (FR): 2" WIDE		
5	STANDARD FACE BRICK (2 TONE) COLOUR: TO MATCH MUTUAL MATERIALS 'COAL CREEK' & 'DESERT WHITE' OR SIMILAR, PATTERN: 1:3 RUNNING BOND	11	ALUMINUM OVERHEAD GARAGE DOOR BLACK		
6	METAL CLADDING PANEL COLOUR: TO MATCH VIGWEST PAINT COLOUR - SIGNATURE (WESTERN CHARCOAL 55972 (225A) OR SIMILAR)	12	PAINTED METAL DOOR TO MATCH MUTUAL MATERIALS BRICK COLOUR 'COAL CREEK'		
7.1	VINYL WINDOW W/ DOUBLE GLAZING FRAME: TO MATCH STARLINE 'CHARCOAL GREY' OR SIMILAR GLASS: TEMPERED, CLEAR	13	EXPOSED CONCRETE WITH CLEAR SEALER FRAME: TO MATCH ADJACENT FINISHES		
7.2	VINYL BALCONY DOOR W/ DOUBLE GLAZING FRAME: TO MATCH STARLINE 'CHARCOAL GREY' OR SIMILAR GLASS: TEMPERED, CLEAR	14	MECHANICAL ENCLOSURE/ LOUVERS FRAME: TO MATCH ADJACENT FINISHES		

NO.	DESCRIPTION	DATE
1	ISSUED FOR DP	2021-09-15
2	RE-ISSUED FOR DP	2021-12-07
3	ISSUED FOR BP	2022-04-01

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PROJECT NO: 21495
PROJECT: MIXED USE COMMERCIAL AND RENTAL RESIDENTIAL DEVELOPMENT
155-179 Rutland Road, Kelowna, B.C.

DRAWING TITLE

EAST ELEVATION

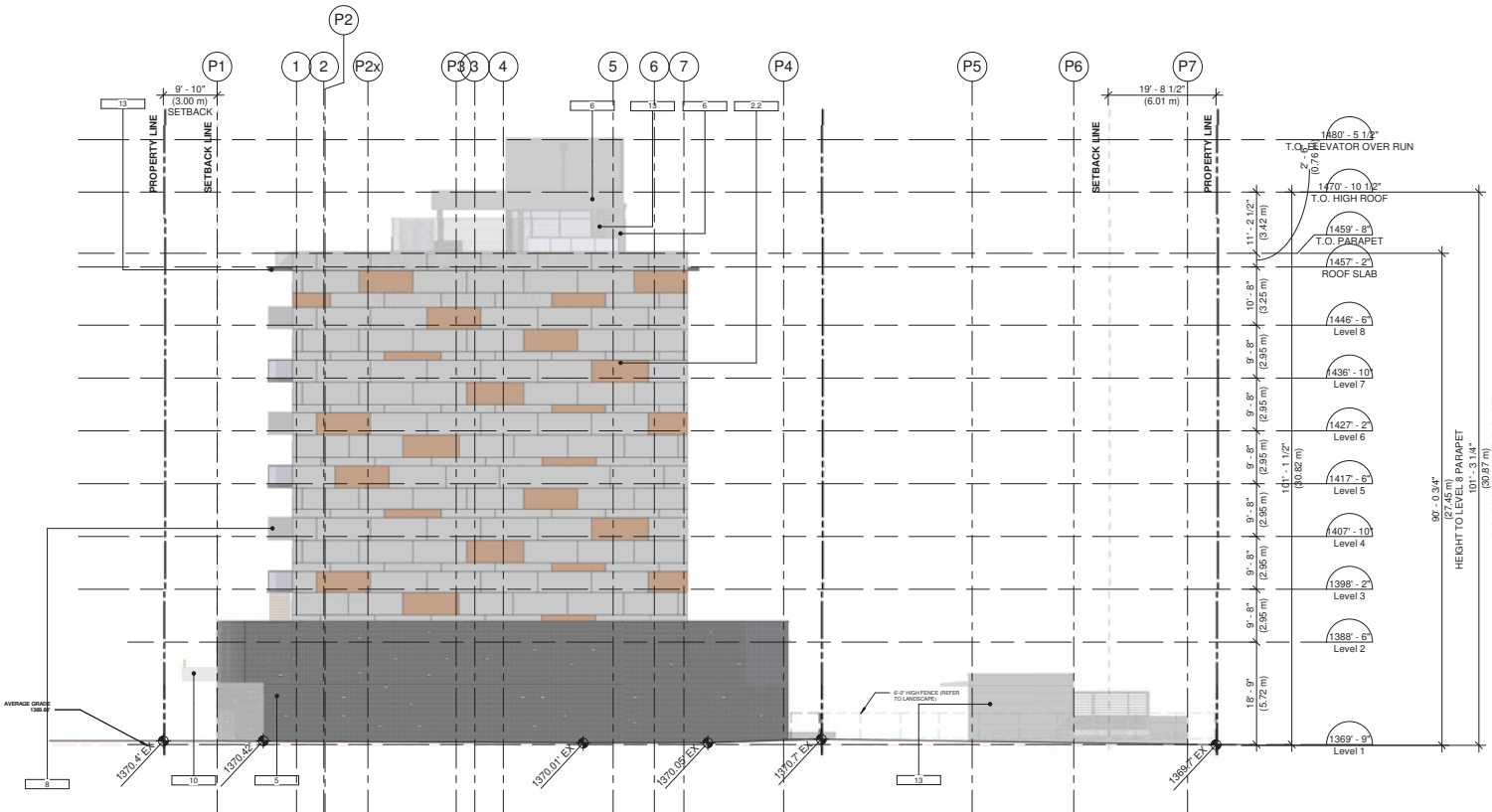
SCALE



DRAWING NO. | REVISION

A402

DATE: 15/09/2021
DRAWN: AZ
SCALE: CHECKED
DA



REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR DP	2021-09-15
2	RE-ISSUED FOR DP	2021-12-07
3	ISSUED FOR BP	2022-04-01

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 PROJECT: MIXED USE COMMERCIAL AND RENTAL RESIDENTIAL DEVELOPMENT
 155-179 Rutland Road, Kelowna, B.C.
 DRAWING TITLE: SOUTH ELEVATION



DRAWING NO. I REVISION

A403

DATE: 15/09/2021
 DRAWN: AZ
 SCALE: CHECKED: DA

ELEVATION KEYNOTE LEGEND					
ITEM	COLOUR/FINISH	ITEM	COLOUR/FINISH	ITEM	COLOUR/FINISH
1	CEMENTITIOUS LAP SIDING (2" WIDE) COLOUR: TO MATCH HARDIEPLANK 'ARCTIC WHITE' OR SIMILAR FINISH: SMOOTH	7.3	ALUMINUM CURTAIN WALL W/ OPAQUE SPANDREL GLASS FRAME: ANODIZED ALUMINUM; COLOR: WHITE GLASS: CHALK WHITE	15	EFS WITH STUCCO FINISH COAT COLOUR: TO MATCH MUTUAL MATERIALS BRICK COLOUR 'COAL CREEK'
2.1	CEMENTITIOUS CLADDING PANEL (2 TONE) COLOUR: TO MATCH HARDIE TEXTURED PANEL 'ARCTIC WHITE' & 'STABLE GRAY' OR SIMILAR; FINISH: SMOOTH	7.4	ALUMINUM CURTAIN WALL W/ DOUBLE GLAZING FRAME: ANODIZED ALUMINUM; COLOR: WHITE GLASS: LOW-E CLEAR		
2.2	CEMENTITIOUS CLADDING PANEL (2 TONE) COLOUR: TO MATCH HARDIE TEXTURED PANEL 'ARCTIC WHITE' & 'LUX' PANEL 'COPPER WAVE' OR SIMILAR; FINISH: SMOOTH	8	ALUMINUM FRAME GUARD W/ PERFORATED METAL FRAME: TO MATCH STARLINE 'KENDALL CHARCOAL' OR SIMILAR PANEL; PERFORATED ALUMINUM PANEL; MEDIUM GREY		
3	CEMENTITIOUS CLADDING PANEL COLOUR: TO MATCH HARDIEPLANK 'IRON GRAY' OR SIMILAR FINISH: SMOOTH	9	ALUMINUM FRAME GUARD W/ SAFETY GLASS FRAME: TO MATCH STARLINE 'KENDALL CHARCOAL' OR SIMILAR PANEL; TEMPERED, CLEAR		
4	ALUMINUM FRAME PRIVACY SCREEN FRAME: TO MATCH COPPER WAVE BY LUX PANEL PANEL: TO MATCH COPPER WAVE BY LUX PANEL (6" WIDE)	10	METAL CANOPY WITH STEEL FRAME FASCIA: ALUMINUM PANEL (COLOR TO MATCH CURTAIN WALL FRAME) SOFFIT: WOOD SLAT (FIR); 2" WIDE		
5	STANDARD FACE BRICK (2 TONE) COLOUR: TO MATCH MUTUAL MATERIALS 'COAL CREEK' & 'DESERT WHITE' OR SIMILAR; PATTERN: 1/8 RUNNING BOND	11	ALUMINUM OVERHEAD GARAGE DOOR BLACK		
6	METAL CLADDING PANEL COLOUR: TO MATCH VIGWEST PAINT COLOUR - SIGNATURE (WESTERN CHARCOAL 56072) (255A) OR SIMILAR	12	PAINTED METAL DOOR TO MATCH MUTUAL MATERIALS BRICK COLOUR 'COAL CREEK'		
7.1	VINYL WINDOW W/ DOUBLE GLAZING FRAME: TO MATCH STARLINE 'CHARCOAL GREY' OR SIMILAR GLASS: TEMPERED, CLEAR	13	EXPOSED CONCRETE WITH CLEAR SEALER		
7.2	VINYL BALCONY DOOR W/ DOUBLE GLAZING FRAME: TO MATCH STARLINE 'CHARCOAL GREY' OR SIMILAR GLASS: TEMPERED, CLEAR	14	MECHANICAL ENCLOSURE/ LOUVERS FRAME: TO MATCH ADJACENT FINISHES		



REVISIONS

NO.	DESCRIPTION	DATE
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2	RE-ISSUED FOR DP	2021-12-07
3	ISSUED FOR BP	2022-04-01

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CENTRAL

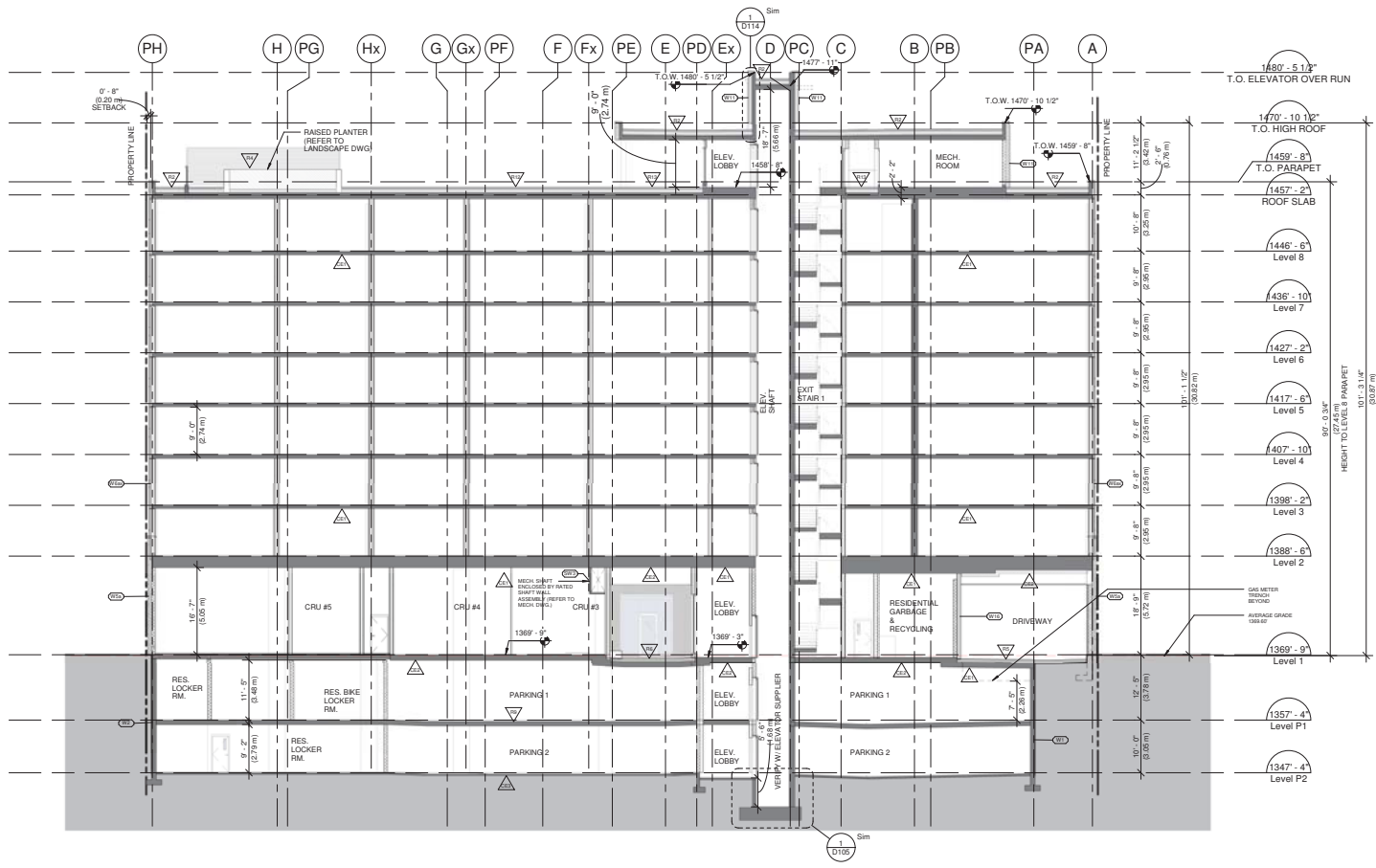
PROJECT NO. 21495
 PROJECT MIXED USE COMMERCIAL AND RESIDENTIAL DEVELOPMENT
 155-179 Rutland Road, Kelowna, B.C.
 DRAWING TITLE WEST ELEVATION



A404

DATE 15/09/2021 DRAWN AZ
 SCALE CHECKED DA

ELEVATION KEYNOTE LEGEND					
ITEM	COLOUR/FINISH	ITEM	COLOUR/FINISH	ITEM	COLOUR/FINISH
1	CEMENTITIOUS LAP SIDING (2" WIDE) COLOUR: TO MATCH HARDIEPLANK 'ARCTIC WHITE' OR SIMILAR FINISH: SMOOTH	7.3	ALUMINUM CURTAIN WALL W/ OPAQUE SPANDREL GLASS FRAME: ANODIZED ALUMINUM; COLOR: WHITE GLASS: CHALK WHITE	15	EFS WITH STUCCO FINISH COAT COLOUR: TO MATCH MUTUAL MATERIALS BRICK COLOUR 'COAL CREEK'
2.1	CEMENTITIOUS CLADDING PANEL (2 TONE) COLOUR: TO MATCH HARDIE TEXTURED PANEL 'ARCTIC WHITE' & 'STABLE GRAY' OR SIMILAR; FINISH: SMOOTH	7.4	ALUMINUM CURTAIN WALL W/ DOUBLE GLAZING FRAME: ANODIZED ALUMINUM; COLOR: WHITE GLASS: LOW-E CLEAR		
2.2	CEMENTITIOUS CLADDING PANEL (2 TONE) COLOUR: TO MATCH HARDIE TEXTURED PANEL 'ARCTIC WHITE' & 'LUX' PANEL 'COPPER WAVE' OR SIMILAR; FINISH: SMOOTH	8	ALUMINUM FRAME GUARD W/ PERFORATED METAL FRAME: TO MATCH STARLINE 'KENDALL CHARCOAL' OR SIMILAR PANEL: PERFORATED ALUMINUM PANEL; MEDIUM GREY		
3	CEMENTITIOUS CLADDING PANEL COLOUR: TO MATCH HARDIEPLANK 'IRON GRAY' OR SIMILAR FINISH: SMOOTH	9	ALUMINUM FRAME GUARD W/ SAFETY GLASS FRAME: TO MATCH STARLINE 'KENDALL CHARCOAL' OR SIMILAR GLASS: TEMPERED, CLEAR		
4	ALUMINUM FRAME PRIVACY SCREEN FRAME: TO MATCH COPPER WAVE BY LUX PANEL PANEL: TO MATCH COPPER WAVE BY LUX PANEL (8" WIDE)	10	METAL CANOPY WITH STEEL FRAME FASCIA: ALUMINUM PANEL (COLOR TO MATCH CURTAIN WALL FRAME) SOFFIT: WOOD SLAT (FR); 2" WIDE		
5	STANDARD FACE BRICK (2 TONE) COLOUR: TO MATCH MUTUAL MATERIALS 'COAL CREEK' & 'DESERT WHITE' OR SIMILAR; PATTERN: 1/8 RUNNING BOND	11	ALUMINUM OVERHEAD GARAGE DOOR BLACK		
6	METAL CLADDING PANEL COLOUR: TO MATCH VIGWEST PAINT COLOUR - SIGNATURE (WESTERN CHARCOAL 56972 (252A) OR SIMILAR)	12	PAINTED METAL DOOR TO MATCH MUTUAL MATERIALS BRICK COLOUR 'COAL CREEK'		
7.1	VINYL WINDOW W/ DOUBLE GLAZING FRAME: TO MATCH STARLINE 'CHARCOAL GREY' OR SIMILAR GLASS: TEMPERED, CLEAR	13	EXPOSED CONCRETE WITH CLEAR SEALER		
7.2	VINYL BALCONY DOOR W/ DOUBLE GLAZING FRAME: TO MATCH STARLINE 'CHARCOAL GREY' OR SIMILAR GLASS: TEMPERED, CLEAR	14	MECHANICAL ENCLOSURE/ LOUVERS FRAME: TO MATCH ADJACENT FINISHES		



NO.	DESCRIPTION	DATE
1	ISSUED FOR DP	2021-09-15
2	RE-ISSUED FOR DP	2021-12-07
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CENTRAL

CLIENT
 PROJECT NO. 21495
 PROJECT MIXED USE COMMERCIAL AND RESIDENTIAL DEVELOPMENT
 155-179 Rutland Road, Kelowna, B.C.

SECTION A-A



DRAWING NO.	REVISION

A500

GENERAL NOTES
 1. REQUIRED MINIMUM BUILDING ELEVATION (MBE) ACCORDING TO CITY OF KELOWNA BYLAW IS 343.66m. PROPOSED ELEVATION OF THE LOWEST FLOOR SLAB IS 409.54m

DATE	DRAWN
15/09/2021	AZ
SCALE	CHECKED
3/32" = 1'-0"	DA

SCHEDULE B

This forms part of application
 # DP21-0223 DVP21-0224



Planner Initials **KB**

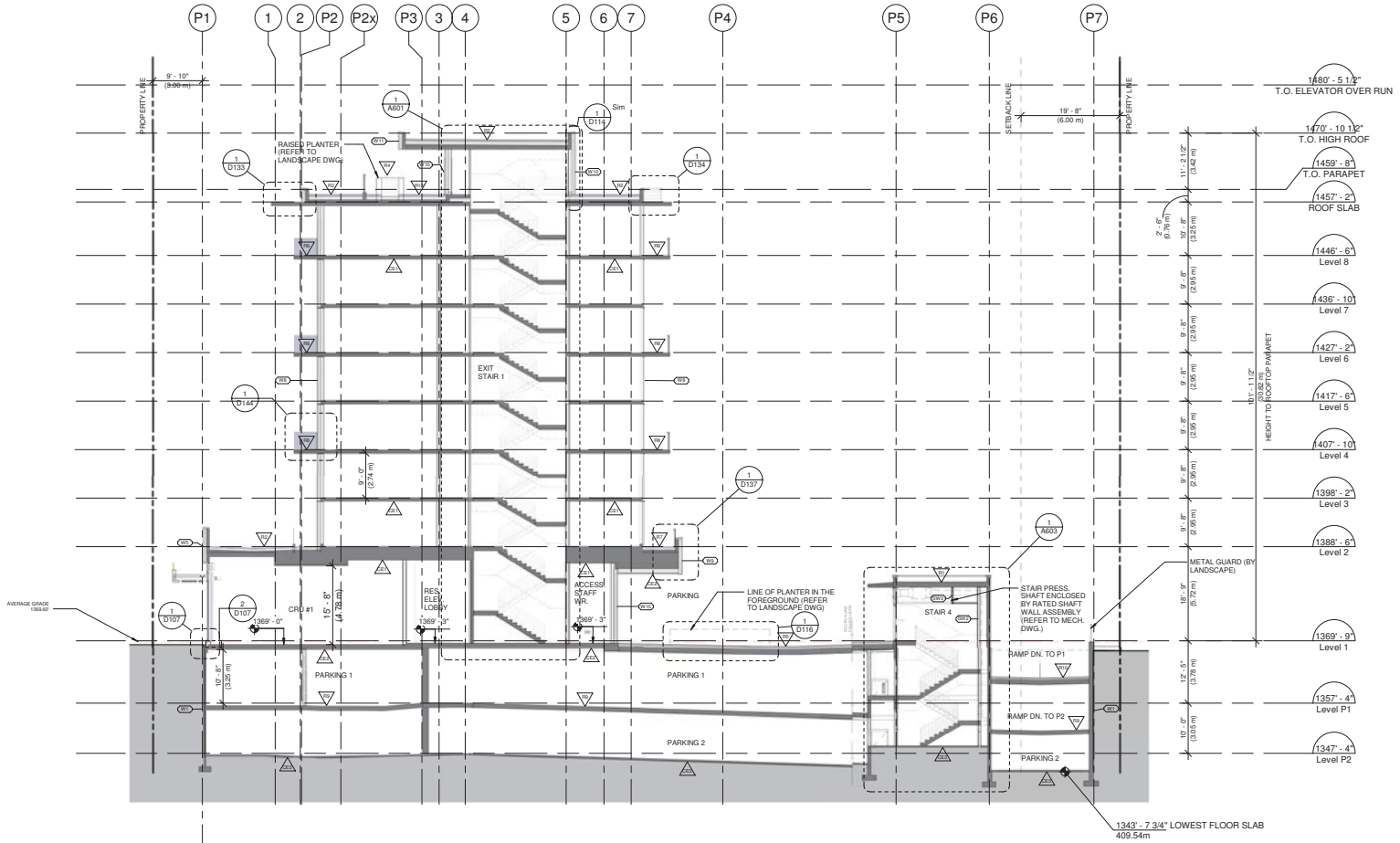
City of Kelowna
 DEVELOPMENT PLANNING



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NO.	DESCRIPTION	DATE
1	ISSUED FOR DP	2021-09-15
2	RE-ISSUED FOR DP	2021-12-07
3	ISSUED FOR BP	2022-04-01

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GENERAL NOTES
 1. REQUIRED MINIMUM BUILDING ELEVATION (MBE) ACCORDING TO CITY OF KELOWNA BYLAW IS 343.66m. PROPOSED ELEVATION OF THE LOWEST FLOOR SLAB IS 409.54m

CENTRAL

PROJECT NO. 21495
 PROJECT MIXED USE COMMERCIAL AND RENTAL RESIDENTIAL DEVELOPMENT
 155-179 Rutland Road, Kelowna, B.C.

SECTION B-B



A501

DATE	DRAWN
15/09/2021	AZ
SCALE	CHECKED
3/32" = 1'-0"	DA

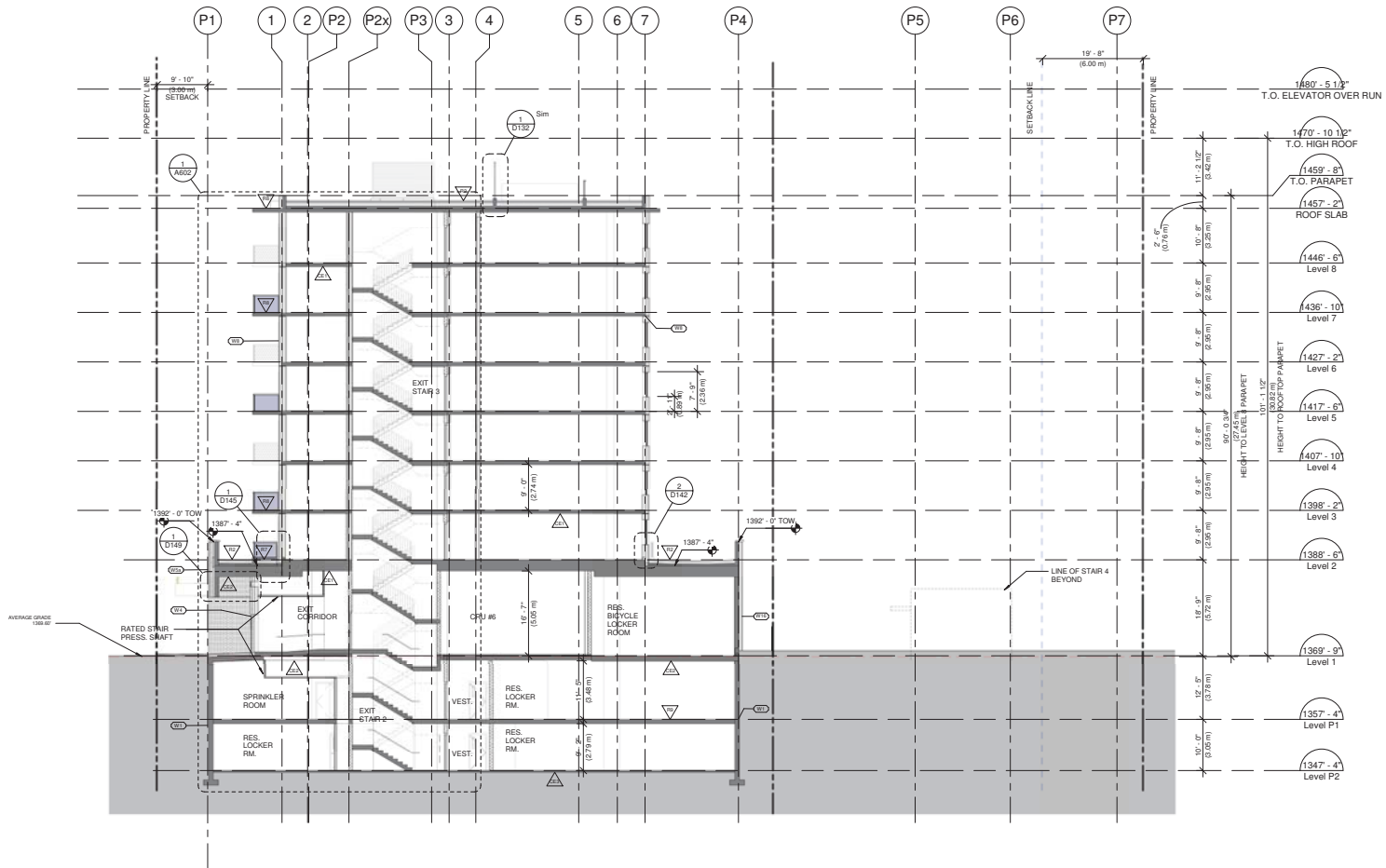
SCHEDULE B

This forms part of application
 # DP21-0223 DVP21-0224



Planner Initials **KB**

City of **Kelowna**
 DEVELOPMENT PLANNING



bfa studio architects

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REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR DP	2021-09-15
2	RE-ISSUED FOR DP	2021-12-07
3	ISSUED FOR BP	2022-04-01

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CENTRAL

PROJECT NO: 21495
 PROJECT: MIXED USE COMMERCIAL AND RENTAL RESIDENTIAL DEVELOPMENT
 155-179 Rutland Road, Kelowna, B.C.

SECTION C-C

SEAL

DRAWING NO. _____ REVISION _____

A502

GENERAL NOTES
 1. REQUIRED MINIMUM BUILDING ELEVATION (MBE) ACCORDING TO CITY OF KELOWNA BYLAW IS 343.66m. PROPOSED ELEVATION OF THE LOWEST FLOOR SLAB IS 409.54m

DATE: 15/09/2021
 SCALE: 3/32" = 1'-0"
 DRAWN: AZ
 CHECKED: DA

ITEM	COLOUR FINISH / IMAGE	SYSTEM / PATTERN
1		
2	2.1 2.2	
3		
4		

ITEM	COLOUR FINISH / IMAGE	SYSTEM
5		
6		<p>AD100-6 System (Allowance for AD100-6) (without rib)</p>
7.1 & 7.2	 GLASS FRAME	
7.3 & 7.4	 GLASS FRAME	

ITEM	COLOUR FINISH / IMAGE	SYSTEM
8		

ELEVATION KEYNOTE LEGEND					
ITEM	COLOUR/FINISH	ITEM	COLOUR/FINISH	ITEM	COLOUR/FINISH
1	CEMENTITIOUS LAP SIDING (2" WIDE) COLOUR: TO MATCH HARDBEPLANK 'ARCTIC WHITE' OR SIMILAR FINISH: SMOOTH	7.2	ALUMINUM CURTAIN WALL W/ OPAQUE SPANDREL GLASS FRAME: ANODIZED ALUMINUM; COLOR: WHITE GLASS: CHALK WHITE	15	EFS WITH STUCCO FINISH COAT COLOUR: TO MATCH MUTUAL MATERIALS BRICK COLOUR 'COAL CREEK'
2.1	CEMENTITIOUS CLADDING PANEL (2 TONE) COLOUR: TO MATCH HARDBE TEXTURED PANEL 'ARCTIC WHITE' & 'STABLE GRAY' OR SIMILAR; FINISH: SMOOTH	7.4	ALUMINUM CURTAIN WALL W/ DOUBLE GLAZING FRAME: ANODIZED ALUMINUM; COLOR: WHITE GLASS: LOW-E CLEAR		
2.2	CEMENTITIOUS CLADDING PANEL (2 TONE) COLOUR: TO MATCH HARDBE TEXTURED PANEL 'ARCTIC WHITE' & LUX PANEL 'COPPER WAVE' OR SIMILAR; FINISH: SMOOTH	8	ALUMINUM FRAME GUARD W/ PERFORATED METAL FRAME: TO MATCH STARLINE 'KENDALL CHARCOAL' OR SIMILAR PANEL: PERFORATED ALUMINUM PANEL, MEDIUM GREY		
3	CEMENTITIOUS CLADDING PANEL COLOUR: TO MATCH HARDBEPLANK 'IRON GRAY' OR SIMILAR FINISH: SMOOTH	9	ALUMINUM FRAME GUARD W/ SAFETY GLASS FRAME: TO MATCH STARLINE 'KENDALL CHARCOAL' OR SIMILAR GLASS: TEMPERED, CLEAR		
4	ALUMINUM FRAME PRIVACY SCREEN FRAME: TO MATCH COPPER WAVE BY LUX PANEL PANEL: TO MATCH COPPER WAVE BY LUX PANEL (6" WIDE)	10	METAL CANOPY WITH STEEL FRAME FASCIA: ALUMINUM PANEL (COLOR TO MATCH CURTAIN WALL FRAME) SOFFIT: WOOD SLAT (FIR), 2" WIDE		
5	STANDARD FACE BRICK (2 TONE) COLOUR: TO MATCH MUTUAL MATERIALS 'COAL CREEK' & 'DESERT WHITE' OR SIMILAR; PATTERN: 1/3 RUNNING BOND	11	ALUMINUM OVERHEAD GARAGE DOOR BLACK		
6	METAL CLADDING PANEL COLOUR: TO MATCH VIOLETT PAINT COLOUR - SIGNATURE (WESTERN) CHARCOAL 960/72 (22GA) OR SIMILAR	12	PAINTED METAL DOOR TO MATCH MUTUAL MATERIALS BRICK COLOUR 'COAL CREEK'		
7.1	VINYL WINDOW W/ DOUBLE GLAZING FRAME: TO MATCH STARLINE 'CHARCOAL GREY' OR SIMILAR GLASS: TEMPERED, CLEAR	13	EXPOSED CONCRETE WITH CLEAR SEALER		
7.2	VINYL BALCONY DOOR W/ DOUBLE GLAZING FRAME: TO MATCH STARLINE 'CHARCOAL GREY' OR SIMILAR GLASS: TEMPERED, CLEAR	14	MECHANICAL ENCLOSURE/ LOUVERS FRAME: TO MATCH ADJACENT FINISHES		

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REVISIONS

NO.	DESCRIPTION	DATE
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3	ISSUED FOR BP	2022-04-01

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CLIENT: **CENTRAL**

PROJECT NO: 21495
 PROJECT: MIXED USE COMMERCIAL AND RENTAL RESIDENTIAL DEVELOPMENT
 155-179 Rutland Road, Kelowna, B.C.

ELEVATION MATERIAL LEGEND

DRAWING NO: **A400**

DATE: 15/09/2021
 SCALE: AS SHOWN
 DESIGNED BY: AZ
 CHECKED BY: DA



SCHEDULE C

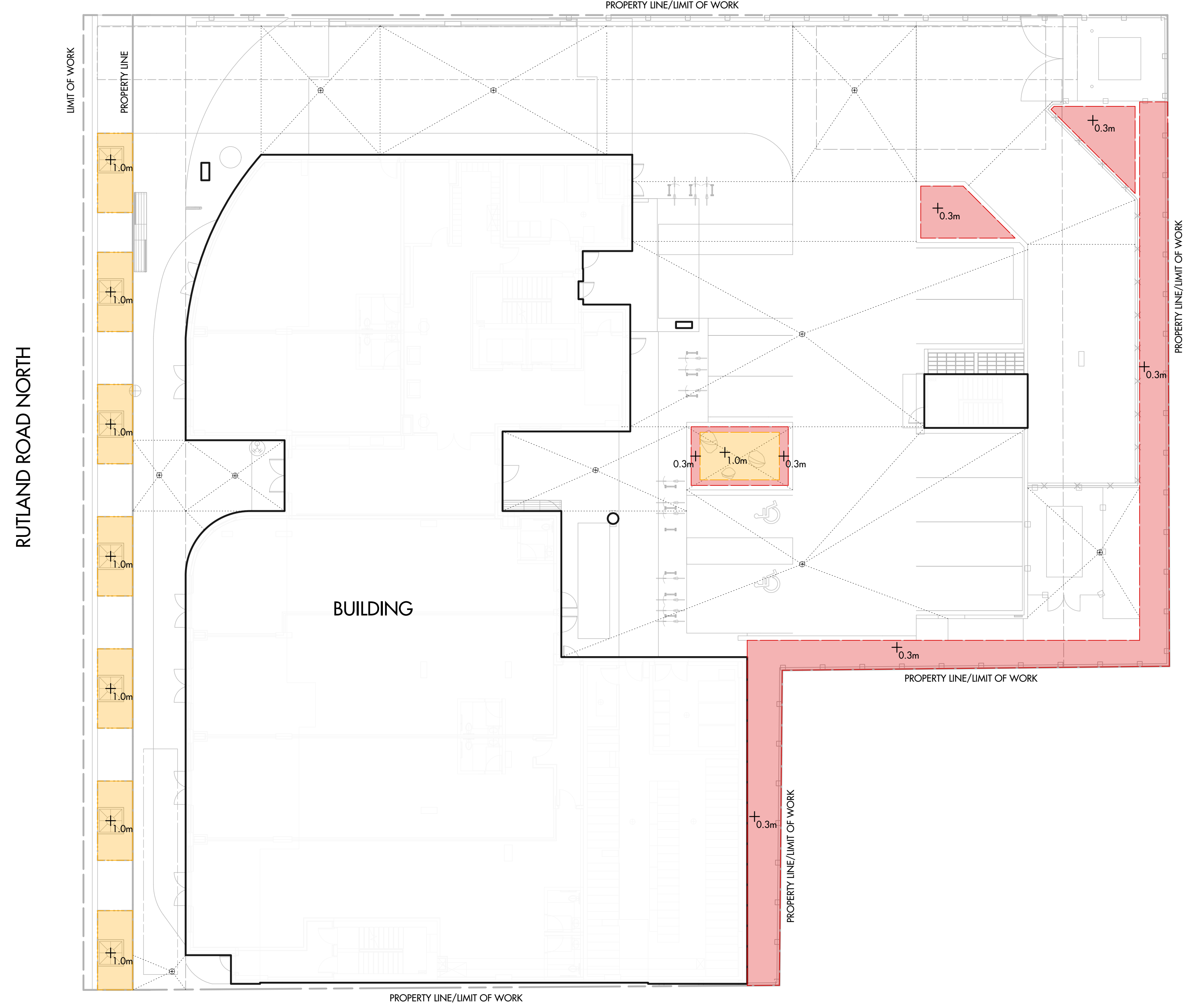
This forms part of application
DP21-0223 DVP21-0224

Planner Initials **KB**

City of Kelowna
DEVELOPMENT PLANNING

ecora

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GRADING LEGEND

	PLANTING AREA; MIN. 300mm DEPTH GROWING MEDIUM
	PLANTING AREA; 450mm DEPTH GROWING MEDIUM
	PLANTING AREA; 600mm DEPTH GROWING MEDIUM
	PLANTING AREA; 1000mm DEPTH GROWING MEDIUM
	SLOPE TO AREA DRAIN (REFER ARCH. DWGS)
	AREA DRAIN (REFER ARCH. DWGS)

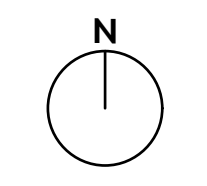
GRADING NOTES

1. CANADIAN LANDSCAPE STANDARD
ALL WORK TO MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS ESTABLISHED IN THE LATEST EDITION OF THE CANADIAN LANDSCAPE STANDARDS, PUBLISHED JOINTLY BY THE CANADIAN NURSERY LANDSCAPE ASSOCIATION (CNLA) AND THE CANADIAN SOCIETY OF LANDSCAPE ARCHITECTS (CSLA)

2. SPECIFICATIONS
THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS.

3. POSITIVE DRAINAGE
ALL PROPOSED PAVING, TURF AREAS & PLANTING AREAS SHALL SMOOTHLY CONFORM TO EXISTING ADJACENT FEATURES. PROVIDE POSITIVE DRAINAGE ON ALL PAVING & THROUGHOUT ALL TURF AREAS & PLANTING AREAS.

4. SUBGRADE
PRIOR TO COMMENCING ANY WORK, LANDSCAPE CONTRACTOR TO COORDINATE W/ PROJECT GENERAL CONTRACTOR TO ENSURE REQUIRED SUBGRADES ARE ACHIEVED IN ALL CONDITIONS SUCH THAT SPECIFIED FINISH GRADE OF PLANTING & TURF AREAS ARE FLUSH W/ ADJACENT SURFACES.



PROJECT TITLE
155-179 RUTLAND ROAD NORTH
Kelowna, BC

DRAWING TITLE
GRADING AND SOIL DEPTH PLAN

ISSUED FOR / REVISION

1	22.01.07	Coordination
2	22.01.28	95% Review
3	22.02.18	Tender
4		
5		

PROJECT NO: 21-086
DESIGN BY: KM
DRAWN BY: MC/SP
CHECKED BY: FB
DATE: FEB. 18, 2022
SCALE: 1:200
PAGE SIZE: 24"x36"

SEAL



DRAWING NUMBER

LG-101

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LEVEL 1



*REFER TO SHEET LG-101 FOR GRADING NOTES & LEGEND

SCHEDULE C

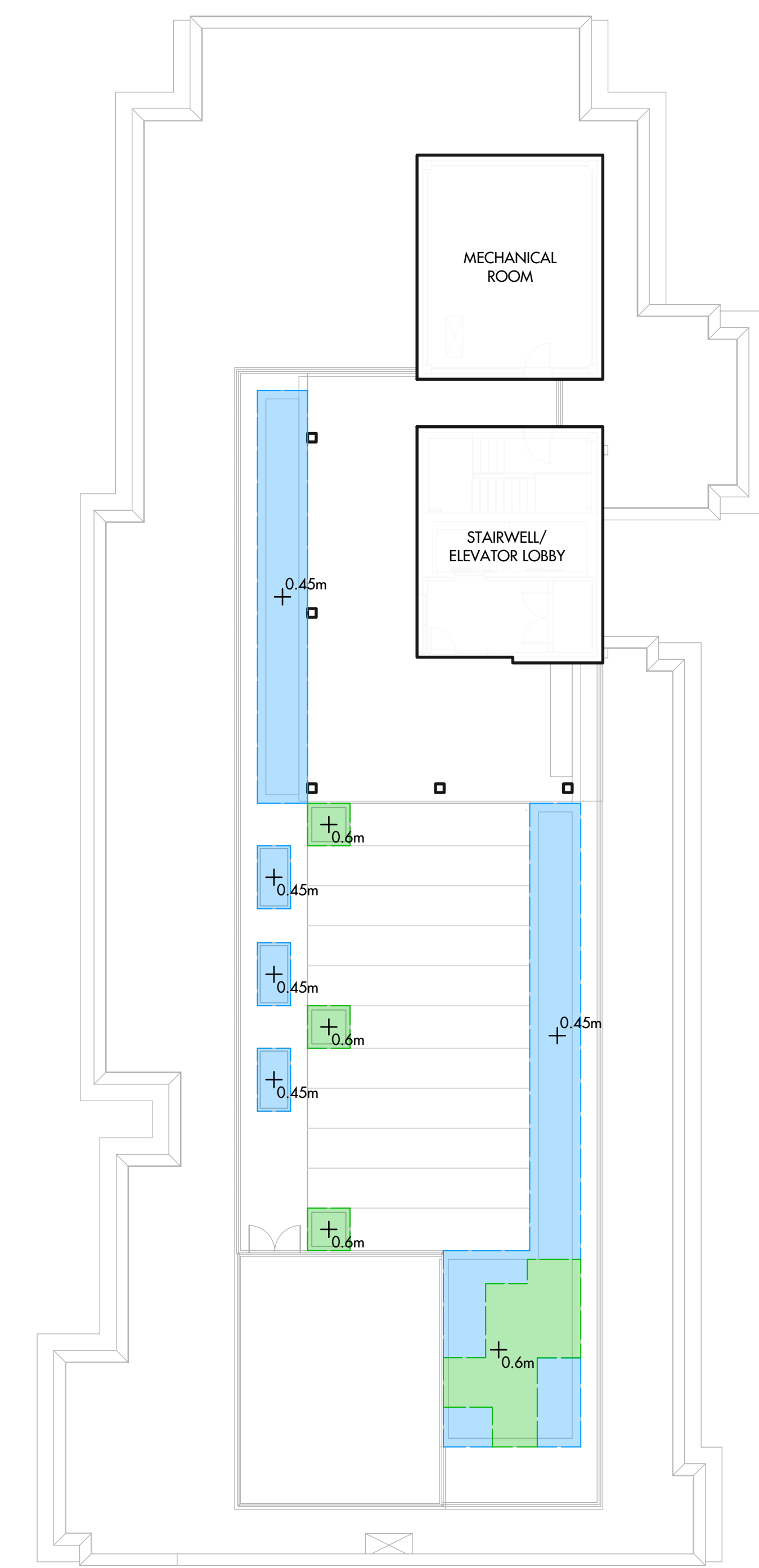
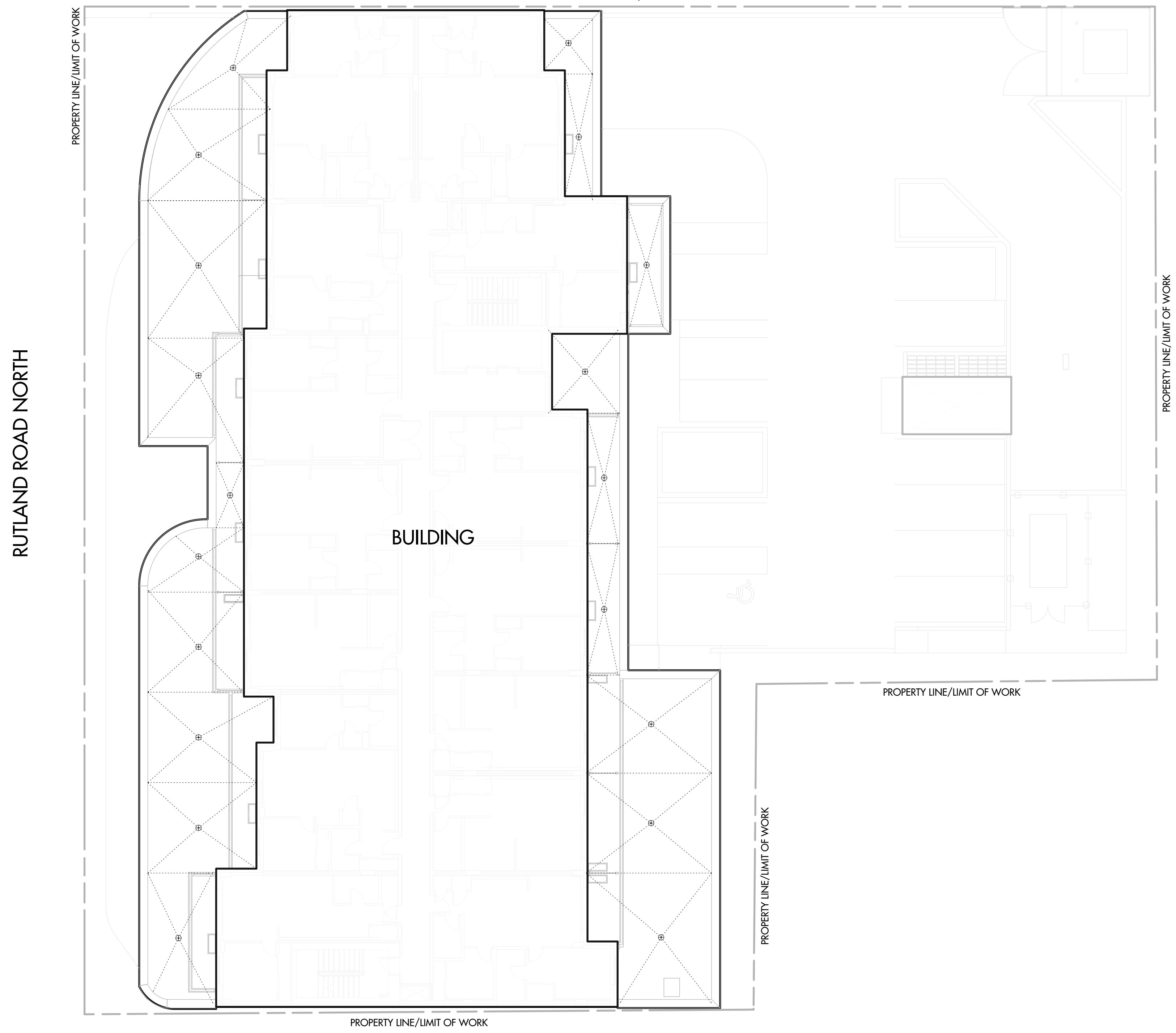
This forms part of application
DP21-0223 DVP21-0224

Planner Initials **KB**

City of **Kelowna**
DEVELOPMENT PLANNING

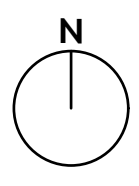
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LEVEL 2

ROOF TOP



PROJECT TITLE
155-179 RUTLAND ROAD NORTH
Kelowna, BC

DRAWING TITLE
GRADING AND SOIL DEPTH PLAN

ISSUED FOR / REVISION		
1	22.01.07	Coordination
2	22.01.28	95% Review
3	22.02.18	Tender
4		
5		

PROJECT NO.	21-086
DESIGN BY	KM
DRAWN BY	MC/SP
CHECKED BY	FB
DATE	FEB. 18, 2022
SCALE	1:200
PAGE SIZE	24"x36"

SEAL



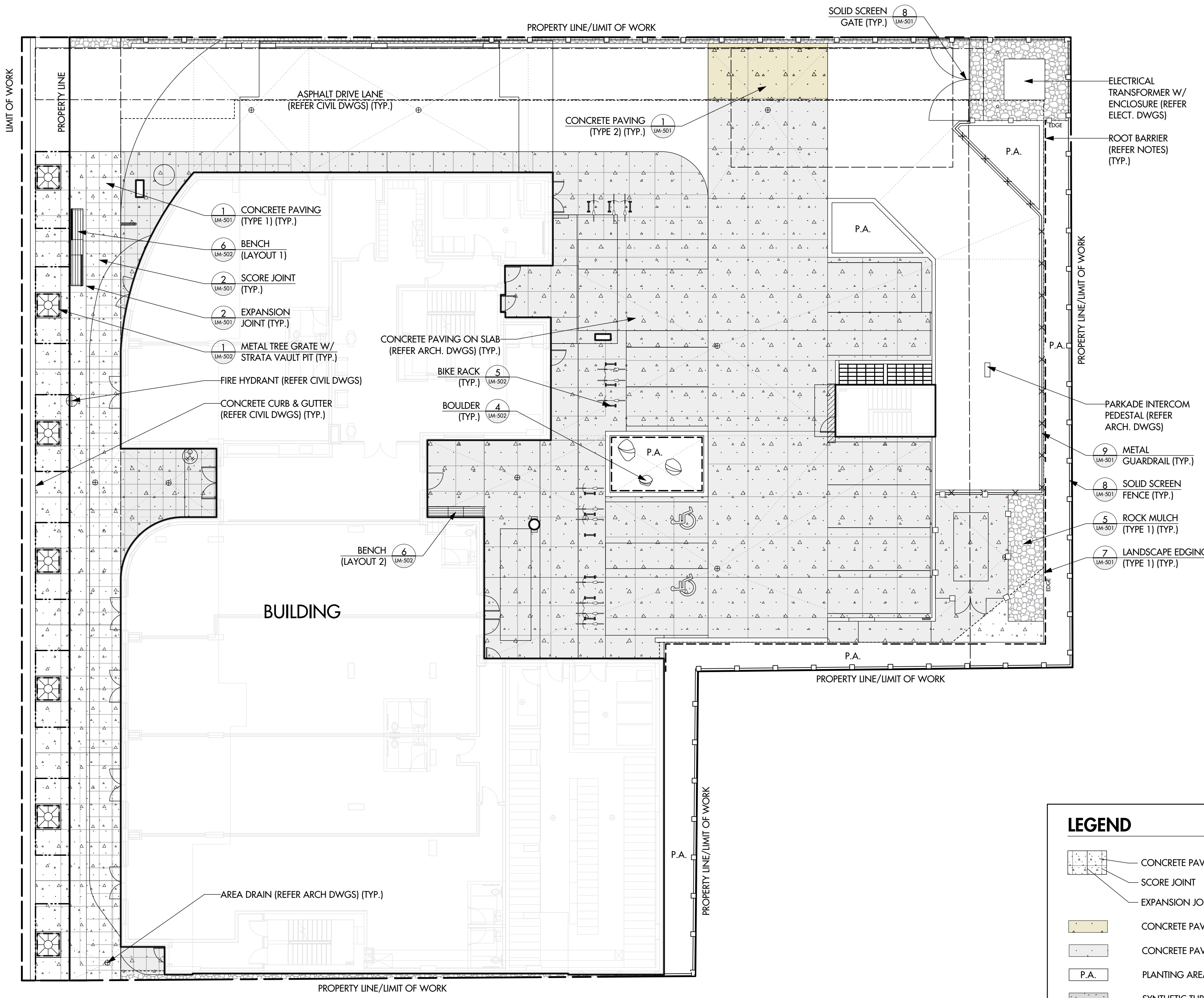
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LG-102

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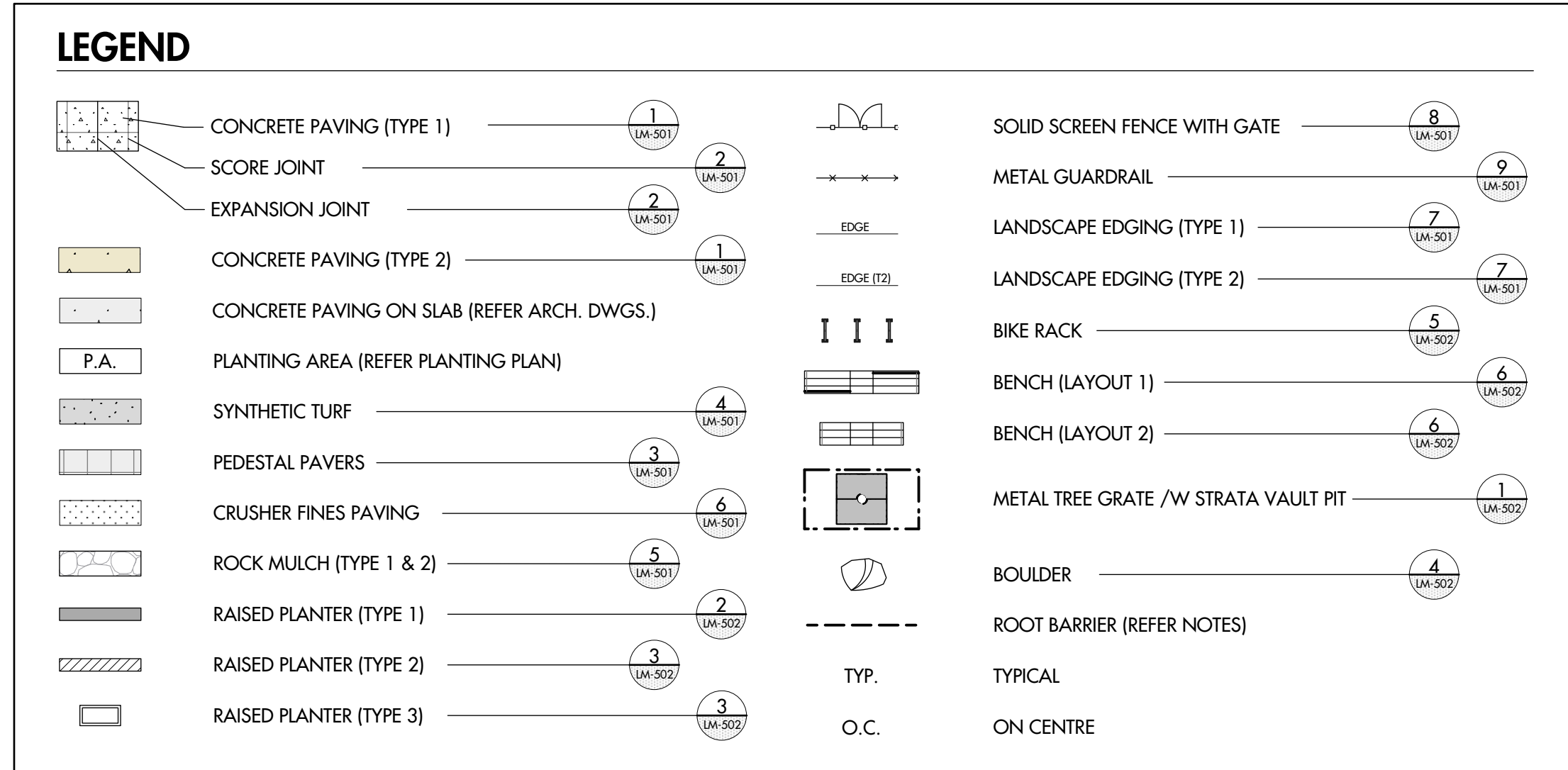


RUTLAND ROAD NORTH

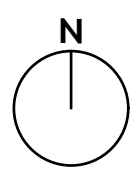


MATERIALS NOTES

- CANADIAN LANDSCAPE STANDARD/PROJECT SPECIFICATIONS**
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- EMERGENCY ACCESS**
 THE CONTRACTOR IS TO ENSURE THAT THE SITE IS MAINTAINED WITH CLEAR ACCESS FOR EMERGENCY ACCESS FROM THE BUILDING TO THE LIMIT OF WORK.
- DIMENSIONS**
 ALL WRITTEN DIMENSIONS SUPERSEDE SCALED DIMENSIONS.
- INSPECTIONS**
 THE CONTRACTOR IS RESPONSIBLE TO GIVE THE SITE INSPECTOR 48 HOURS NOTICE BEFORE ALL REQUIRED INSPECTIONS.
- LIMIT OF WORK**
 ALL WORK OF THE CONTRACTOR SHALL BE WITHIN THE LIMIT OF WORK/ PROPERTY LINE SHOWN ON THE DRAWING. THE CONTRACTOR SHALL VERIFY THE LIMIT OF WORK ON SITE WITH THE SITE INSPECTOR PRIOR TO CONSTRUCTION.
- DESIGN INTENT**
 THESE DRAWINGS REPRESENT THE GENERAL DESIGN INTENT TO BE IMPLEMENTED ON THE SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING LANDSCAPE ARCHITECT FOR ANY ADDITIONAL CLARIFICATION OR DETAILS NECESSARY TO ACCOMMODATE SITE CONDITIONS OR ARCHITECTURAL DETAILS.
- CONTRACTORS' JOB SITE CONDITIONS**
 CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR SITE CONDITIONS DURING CONSTRUCTION, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER AND THE LANDSCAPE ARCHITECT HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE LANDSCAPE ARCHITECT.
- COMPOSITE BASE SHEET**
 THE PROPOSED IMPROVEMENTS SHOWN ON THESE DRAWINGS ARE SUPERIMPOSED ON A BASE SHEET. THIS BASE SHEET IS COMPILED FROM THE TOPOGRAPHIC SURVEY, OTHER ARCHITECTURAL AND/OR ENGINEERING DOCUMENTS, AND OTHER DATA AS MADE AVAILABLE TO THE LANDSCAPE ARCHITECT. THE LANDSCAPE ARCHITECT SHALL NOT BE HELD LIABLE FOR CHANGES, INACCURACIES, OMISSIONS, OR OTHER ERRORS ON THESE DOCUMENTS. THE COMPOSITE BASE SHEET IS PROVIDED AS AN AID ONLY AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING THESE DOCUMENTS AND INCORPORATING/INTEGRATING ALL CONSTRUCTION AS REQUIRED TO ACCOMMODATE SAME.
- UTILITIES**
 PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE UTILITY COMPANIES INVOLVED AND REQUESTING A VISUAL VERIFICATION OF THE LOCATIONS OF THEIR UNDERGROUND FACILITIES. MOST UTILITY COMPANIES ARE MEMBERS OF THE UNDERGROUND SERVICE ALERT 'CALL BEFORE YOU DIG' PROGRAM. THE CONTRACTOR OR ANY SUBCONTRACTOR FOR THIS CONTRACT SHALL NOTIFY MEMBERS 48 HOURS IN ADVANCE OF PERFORMING EXCAVATION WORK BY CALLING THE TOLL-FREE NUMBER (800) 474-6886. EXCAVATION IS DEFINED AS BEING 18 OR MORE INCHES IN DEPTH BELOW THE EXISTING SURFACE.
 THE CONTRACTOR IS CAUTIONED THAT ONLY EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATION, AND DEPTHS OF SUCH UNDERGROUND UTILITIES. HOWEVER, THE CONSULTANT CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES, NOR FOR THE EXISTENCE OF OTHER BURIED OBJECTS OR UTILITIES WHICH ARE NOT SHOWN ON THESE DRAWINGS.
- PROJECT STAKING**
 ALL PROPOSED SITE FEATURES SHALL BE STAKED IN FIELD FOR REVIEW BY THE OWNER'S INSPECTOR PRIOR TO CONSTRUCTION. ALL CURVES SHALL BE SMOOTH AND CONTINUOUS WITH CAREFULLY MATCHED TANGENTS.
- AS-BUILT DRAWINGS**
 AS BUILT DRAWINGS ARE REQUIRED TO BE SUBMITTED POST CONSTRUCTION BY THE CONTRACTOR.
- RELEASE OF SECURITY**
 SIGN OFF BY THE LANDSCAPE ARCHITECT IS REQUIRED PRIOR TO ANY SECURITY RELEASE.
- SLEEVING**
 REFER TO IRRIGATION PLAN & SPECIFICATIONS FOR REQUIREMENTS OF SLEEVING UNDER PAVING.
- GROWING MEDIUM PLACEMENT**
 REFER PLANTING PLAN LP-101.
- WOOD MULCH**
 REFER PLANTING PLAN LP-101.
- BACKFILL**
 EXCAVATED MATERIAL NOT SUITABLE FOR BACKFILLING SHALL BE REMOVED AND LEGALLY DISPOSED OF OFF-SITE.
- ROOT BARRIER**
 ROOT BARRIER SHALL BE 450mm DEEP, AVAILABLE FROM DEEP ROOT OR APPROVED EQUAL. INSTALL IN 6.0m TYPICAL LENGTHS, UNLESS OTHERWISE NOTED. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.



LEVEL 1



PROJECT TITLE
155-179 RUTLAND ROAD NORTH
 Kelowna, BC

DRAWING TITLE
MATERIALS PLAN

ISSUED FOR / REVIEW

1	22.01.07	Coordination
2	22.01.28	95% Review
3	22.02.18	Tender
4		
5		

PROJECT NO: 21-086
 DESIGN BY: KM
 DRAWN BY: MC/SP
 CHECKED BY: FB
 DATE: FEB. 18, 2022
 SCALE: 1:200
 PAGE SIZE: 24"x36"



DRAWING NUMBER
LM-101

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*REFER TO SHEET LM-101 FOR MATERIALS NOTES & LEGEND

SCHEDULE C

This forms part of application
DP21-0223 DVP21-0224

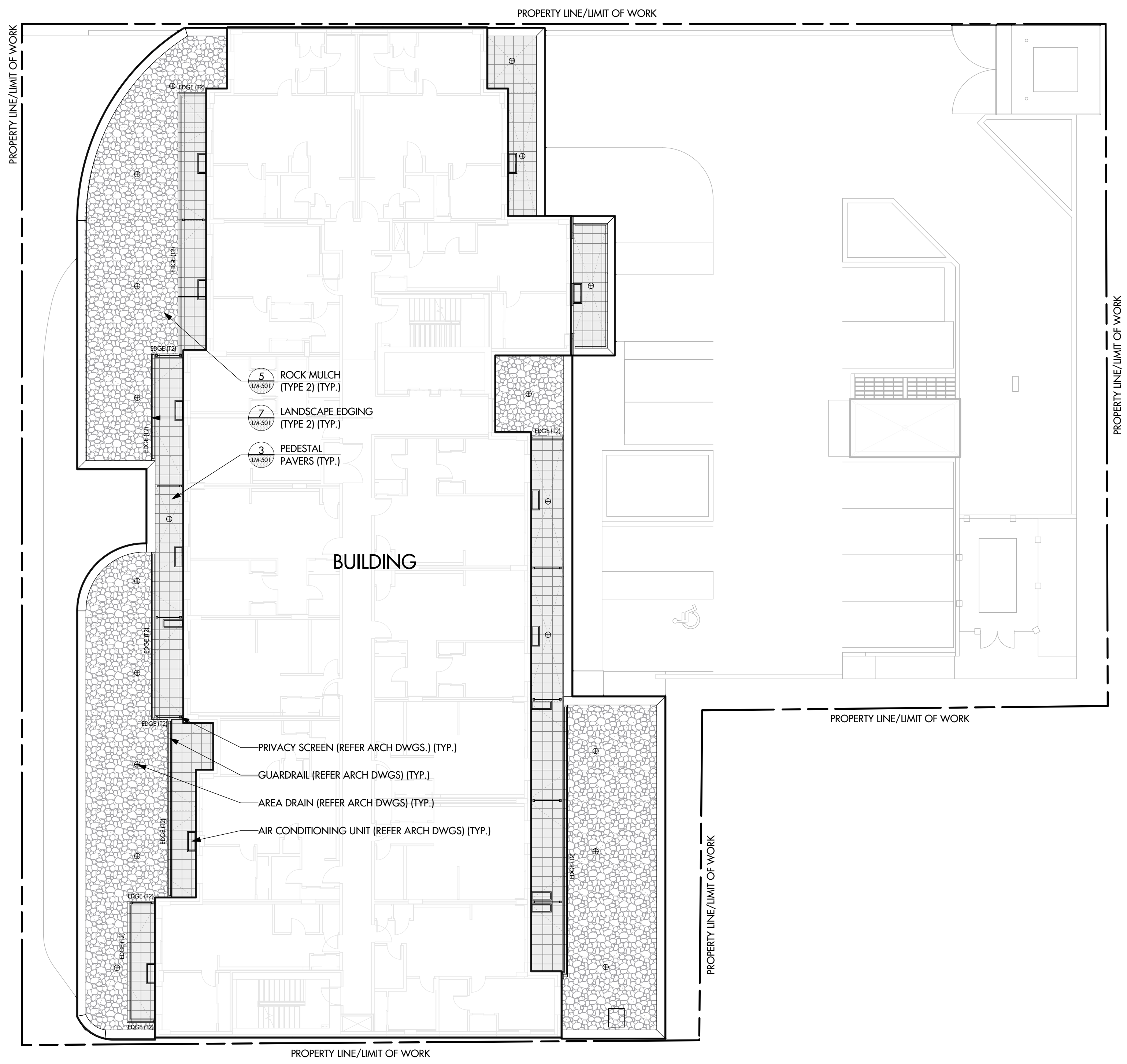
Planner Initials **KB**

City of Kelowna
DEVELOPMENT PLANNING

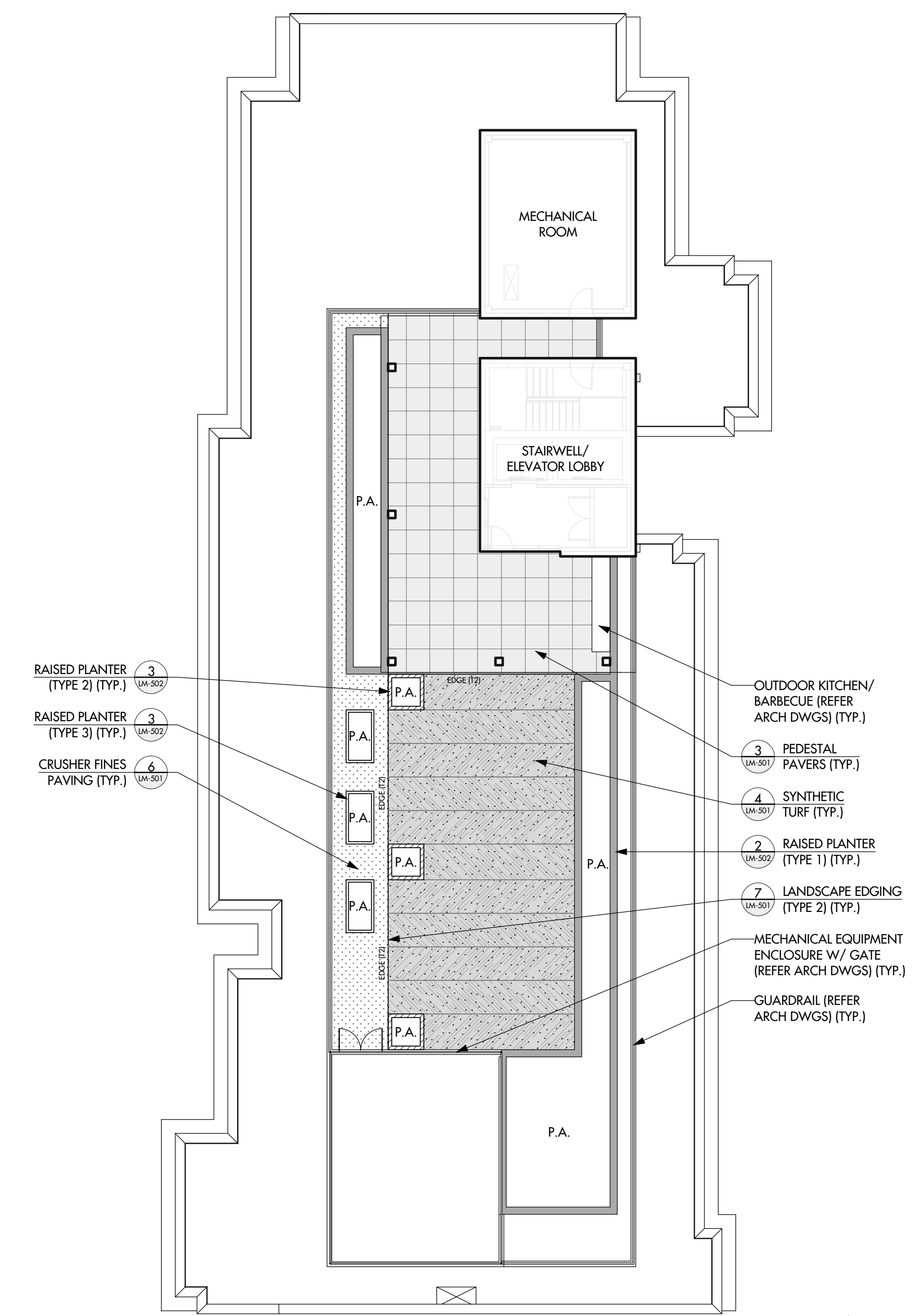
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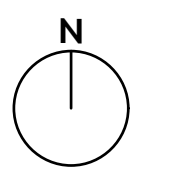
RUTLAND ROAD NORTH



LEVEL 2



ROOF TOP



PROJECT TITLE
155-179 RUTLAND ROAD NORTH
Kelowna, BC

DRAWING TITLE
MATERIALS PLAN

ISSUED FOR / REVISION

1	22.01.07	Coordination
2	22.01.28	95% Review
3	22.02.18	Tender
4		
5		

PROJECT NO. 21-086

DESIGN BY KM

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PAGE SIZE 24"x36"

SEAL



DRAWING NUMBER

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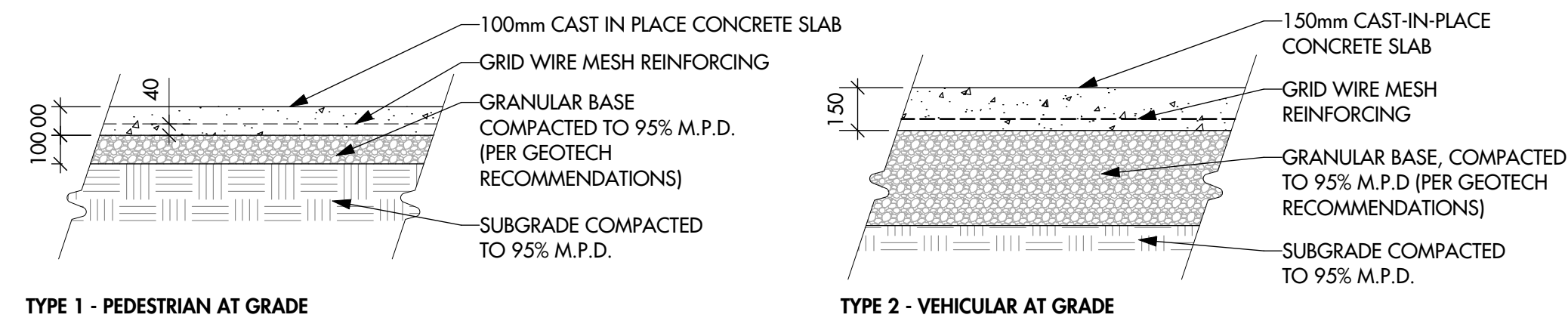
SCHEDULE C

This forms part of application
DP21-0223 DVP21-0224

City of Kelowna
DEVELOPMENT PLANNING

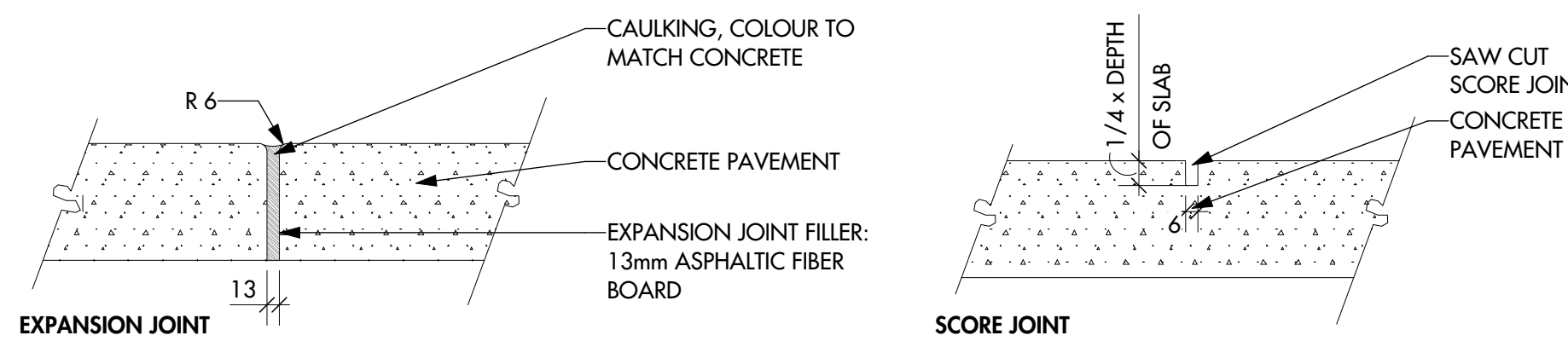
Planner Initials **KB**

NOTE:
1. CONCRETE PAVING (TYPE 1 & 2) TO BE NATURAL GREY, LIGHT BROOM FINISH, W/O TROWELLED EDGES.



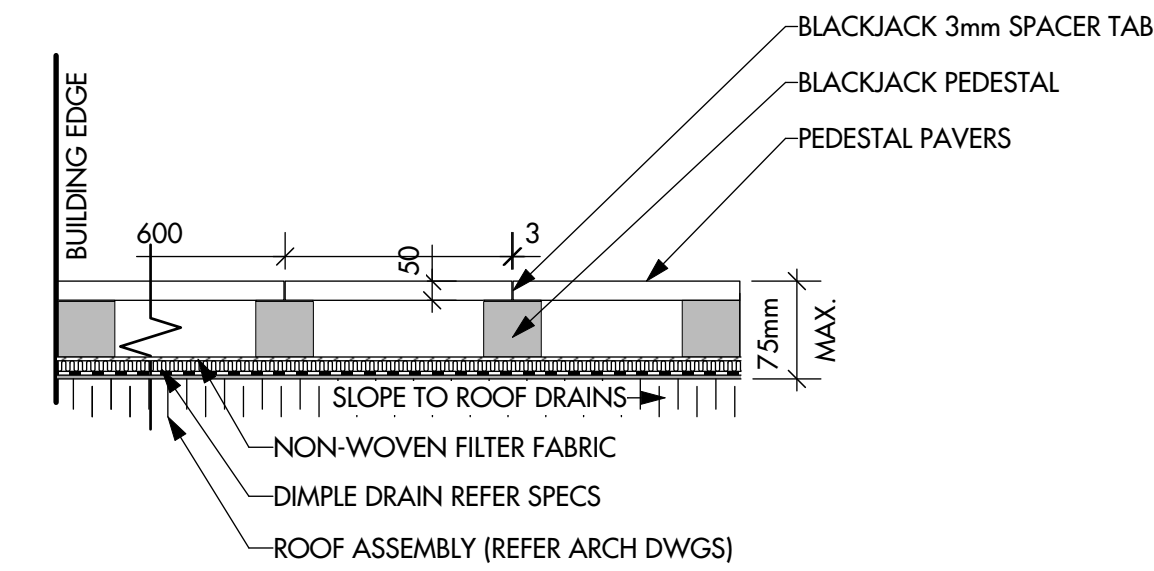
1 Concrete Paving - Section
LM-501 1:20

NOTE:
PLACE EXPANSION JOINTS AT 9m MAX. INTERVALS IN ACCORDANCE TO THE CONTROL JOINTS, SPACED AT 3m MAX. & AT ALL FIXED OBJECT LOCATIONS SUCH AS BUILDING EDGES & MANHOLES



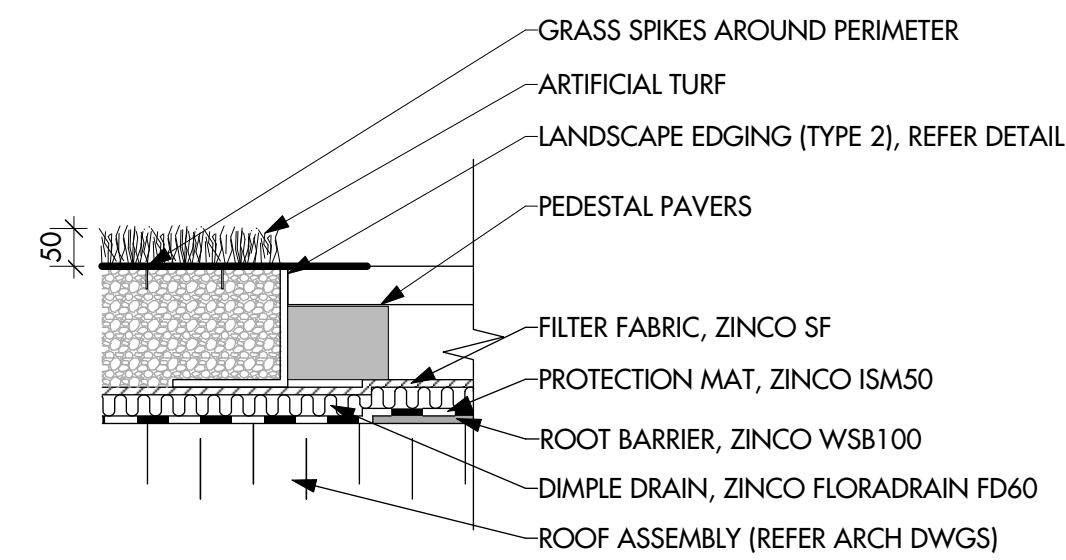
2 Control Joints - Section
LM-501 1:5

NOTE:
1. PAVERS TO BE BELGARD, GALIANO SLAB, 600x600x20mm SIZE, TOFINO GREY COLOUR.
2. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

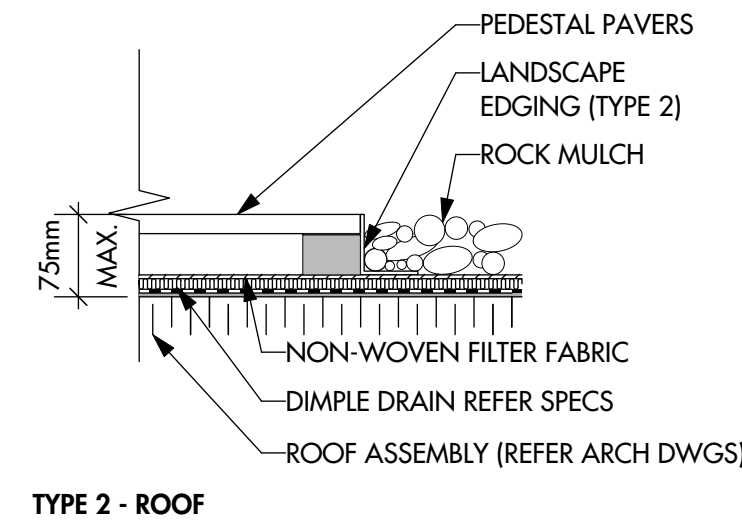


3 Pedestal Pavers - Section
LM-501 1:20

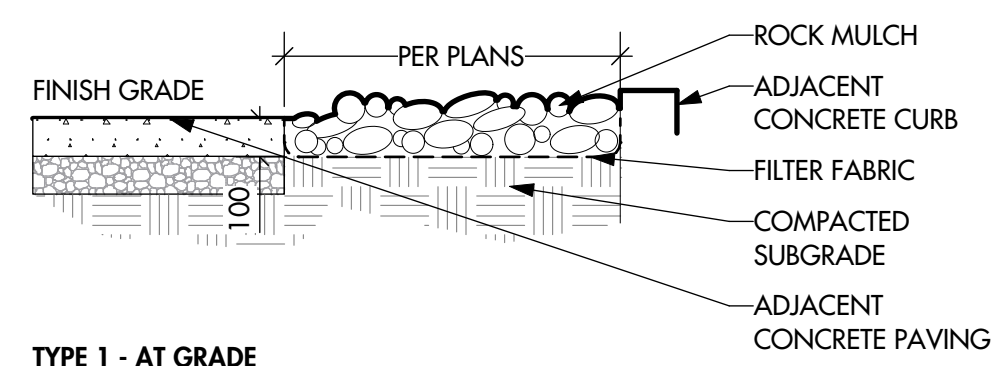
NOTE:
1. ARTIFICIAL TURF TO BE SYNTHETIC TURF INTERNATIONAL, SOFT LAWN OKANGAN FESCUE, OR APPROVED EQUAL.
2. GRASS MUST BE INSTALLED AND SEAMED WITH ADJACENT PIECES RUNNING IN THE SAME DIRECTION. SEAMS SHOULD BE GLUED WITH SUITABLE SEAMING GLUE AND SEAMING CLOTH, NOT ADHESIVE TAPE.
3. TOUR LINK PANELS AVAILABLE FROM SYNTHETIC TURF INTERNATIONAL (1-800-279-8873).
4. CONTRACTOR TO INSTALL ARTIFICIAL TURF AS PER MANUFACTURER'S RECOMMENDATIONS.



4 Synthetic Turf - Section
LM-501 1:10

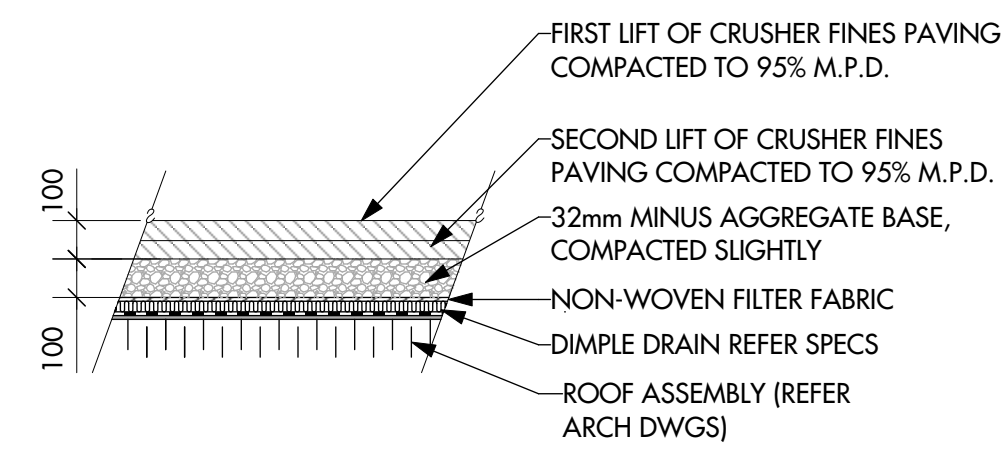


NOTE:
1. ROCK MULCH (TYPE 1 & 2) TO BE 25-50mm DIA. RIVER ROCK, AVAILABLE FROM BC ROCKS (OR APPROVED EQUAL) (1-250-862-0862).



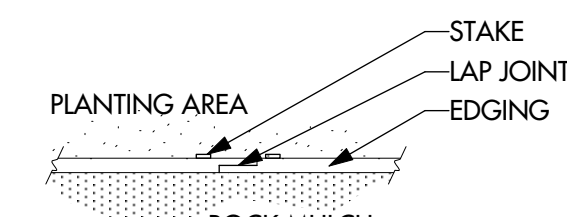
5 Rock Mulch - Section
LM-501 1:20

NOTE:
1. FIRST LAYER OF CRUSHER FINES PAVING SHALL BE COMPACTED BEFORE INSTALLATION OF SECOND LAYER.
2. CRUSHER FINES TO BE 13mm MINUS CRUSHER CHIPS (WITH FINES), BROKEN ROCK, AVAILABLE FROM BC ROCKS (250-862-0862), OR APPROVED EQUAL.

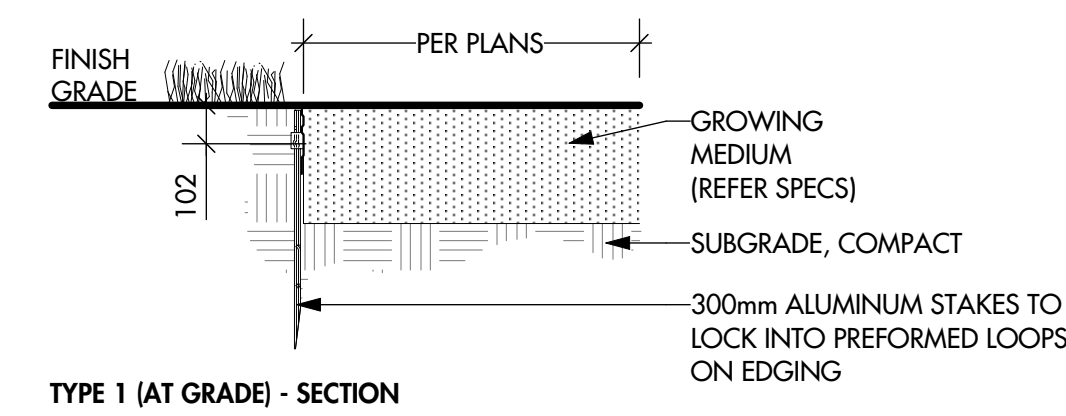


6 Crusher Fines Paving - Section
LM-501 1:20

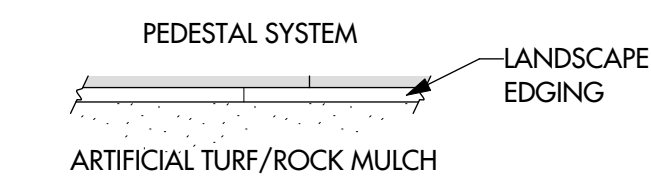
NOTE:
1. LANDSCAPE EDGING (TYPE 1) TO BE SURELOC SURE-EDGE ALUMINUM EDGING (5 x 102mm), INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
2. LANDSCAPE EDGING (TYPE 2) TO BE ZINCO GRAVEL RETAINER KL 160, AVAILABLE FROM ZINCO (OR APPROVED EQUAL) (1-905-690-1661).
3. TOP OF EDGING TO BE 12mm MAX. ABOVE FINISH GRADE.



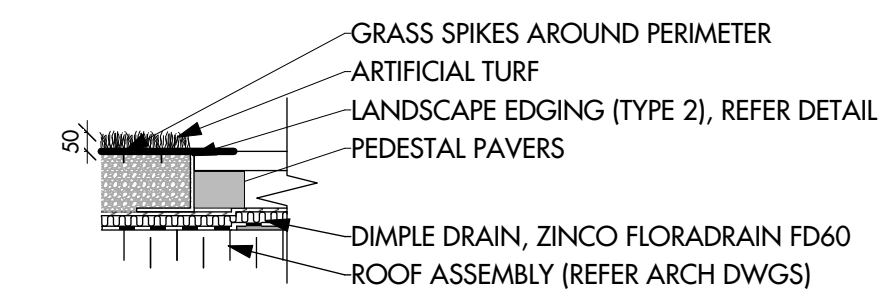
7 Landscape Edging (Type 1 & 2) - Section / Plan



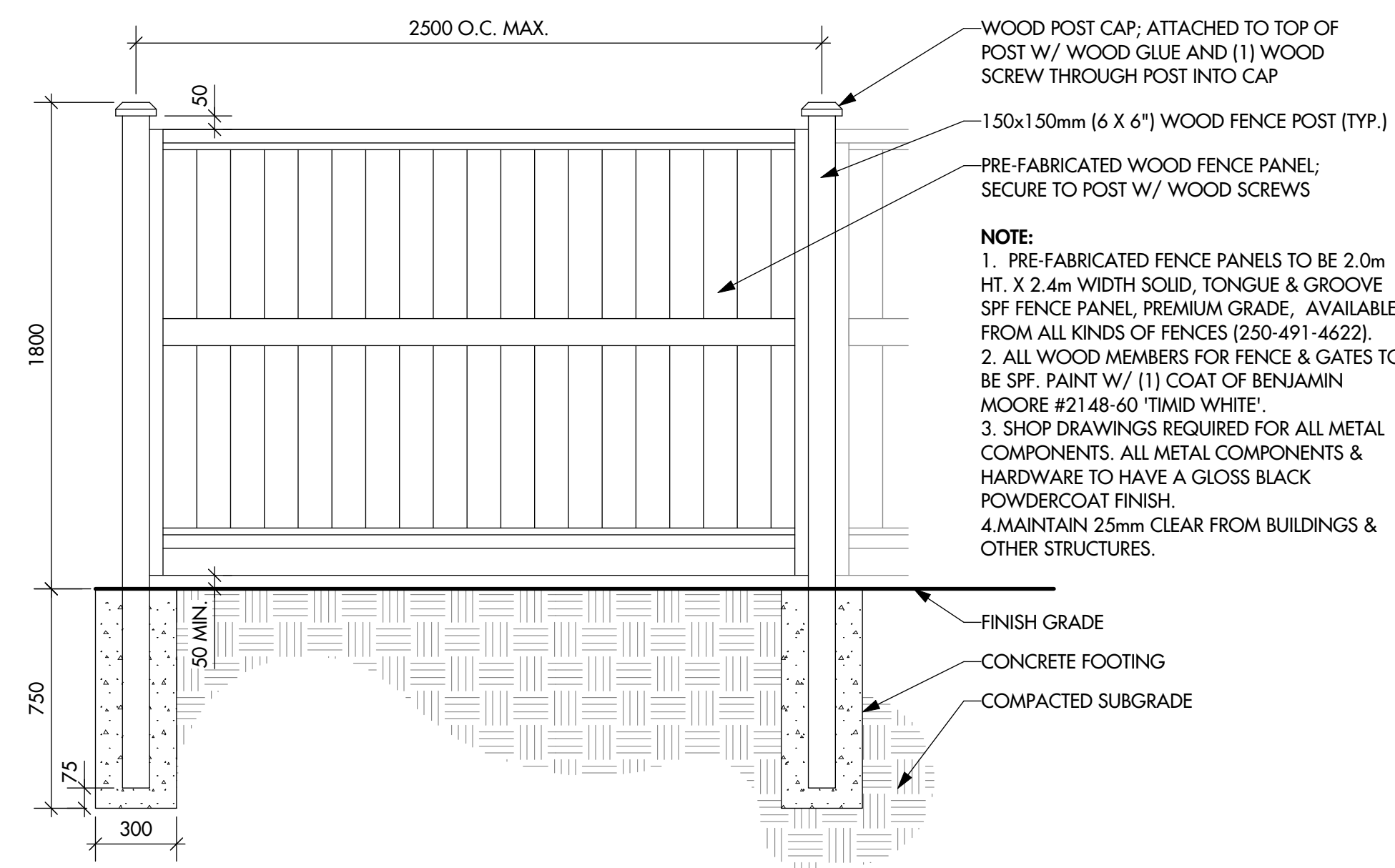
7 Landscape Edging (Type 1 & 2) - Section / Plan
LM-501 1:20



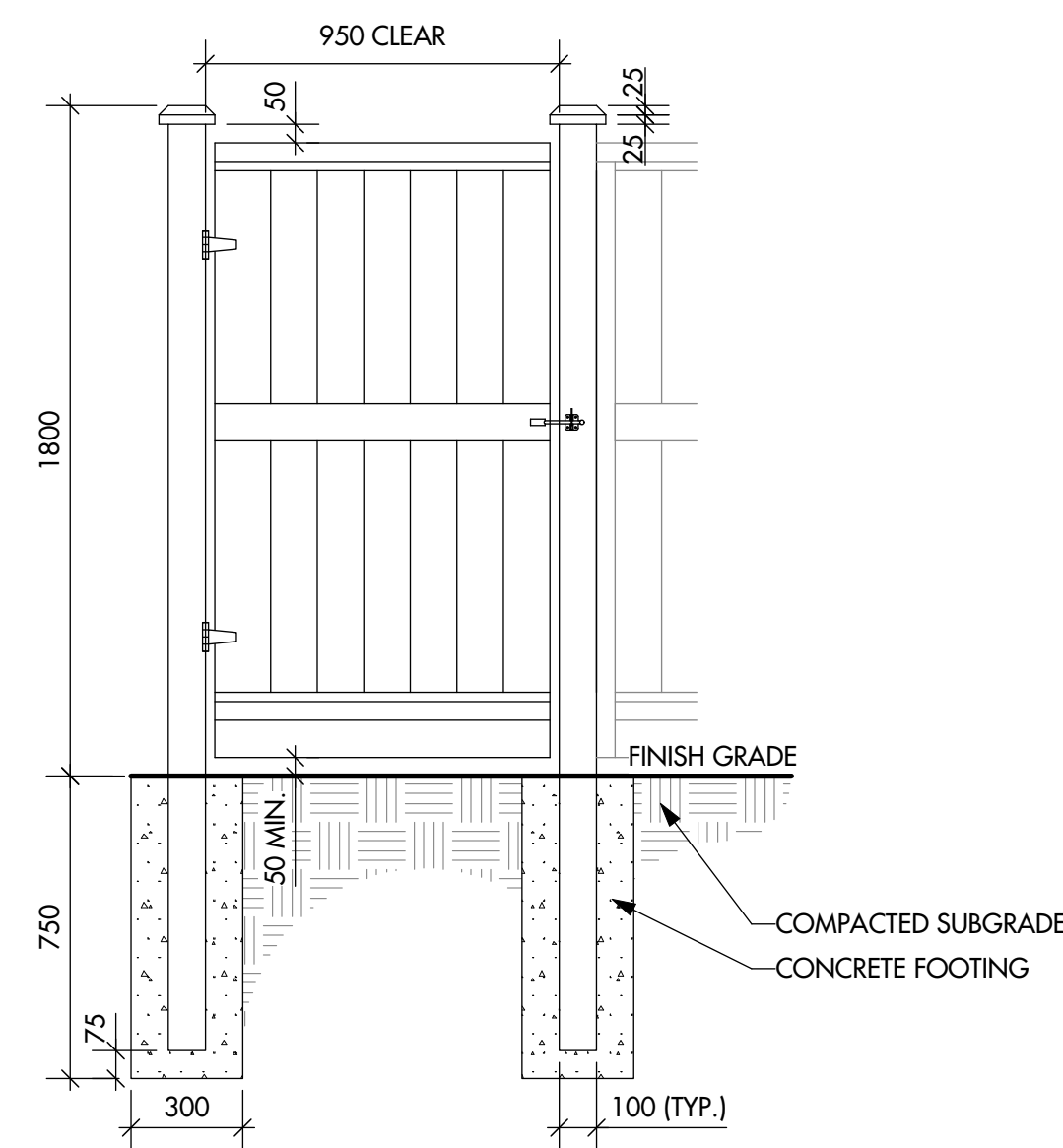
7 Landscape Edging (Type 1 & 2) - Section / Plan



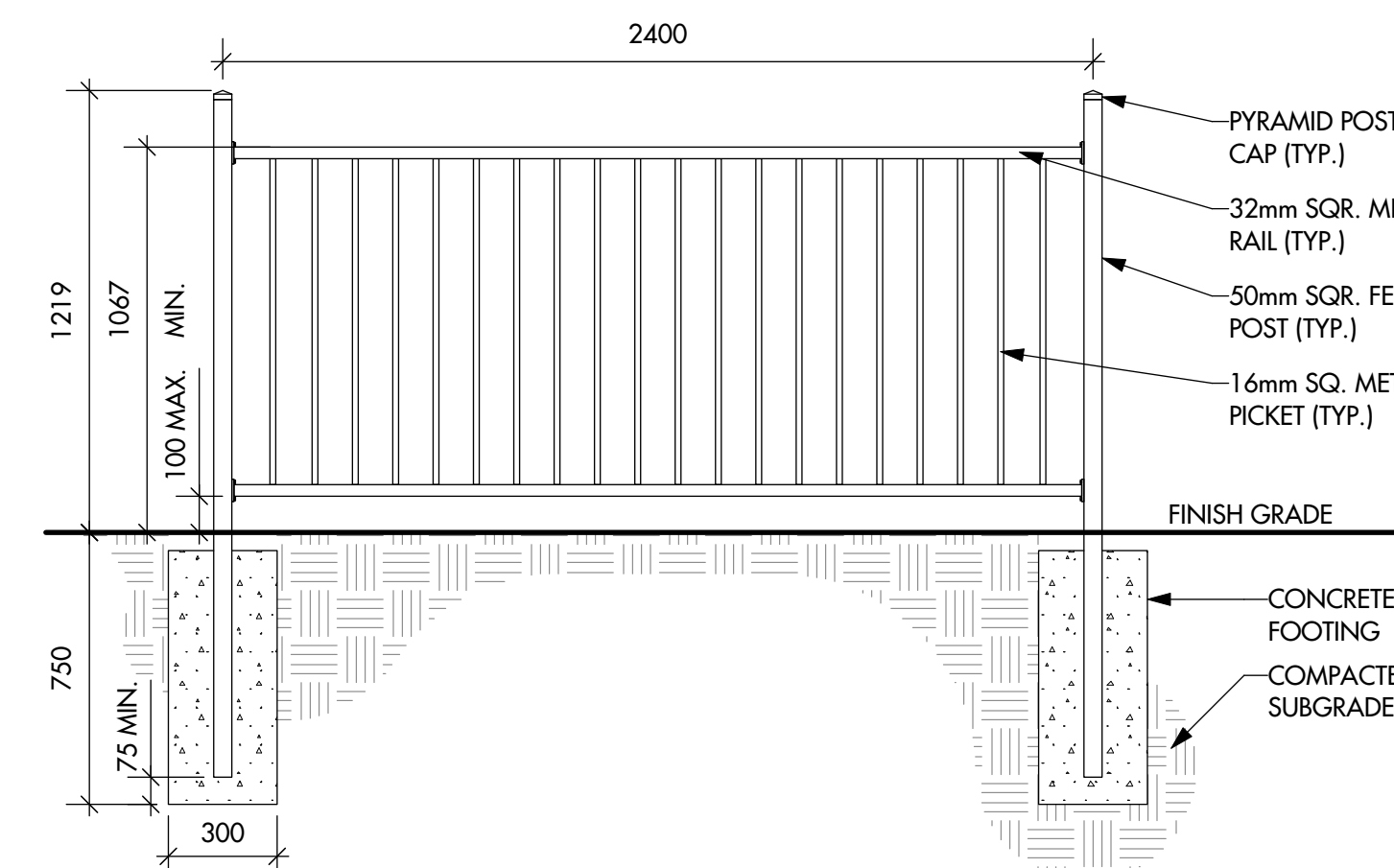
7 Landscape Edging (Type 1 & 2) - Section / Plan



8 Solid Screen Fence - Section
LM-501 1:20



NOTE:
1. ALL COMPONENTS TO BE FINISHED BLACK.
2. FENCE & GATE TO BE AMERISTAR FENCING; MONTAGE SERIES, MAJESTIC MODEL, W/O ADORNMENTS. AVAILABLE FROM AMERISTAR FENCE PRODUCTS (888-333-3422), OR APPROVED EQUAL.
3. INSTALL PER MANUFACTURER'S SPECIFICATIONS.



9 Metal Guardrail - Section
LM-501 1:20

PROJECT TITLE

155-179 RUTLAND ROAD NORTH

Kelowna, BC

DRAWING TITLE

LANDSCAPE DETAILS

ISSUED FOR / REVISION

NO.	DATE	DESCRIPTION
1	22.01.07	Coordination
2	22.01.28	95% Review
3	22.02.18	Issued For Tender
4		
5		

PROJECT NO.	21-086
DESIGN BY	KM
DRAWN BY	MC/SP
CHECKED BY	FB
DATE	FEB. 18, 2022
SCALE	AS NOTED
PAGE SIZE	24"x36"

SEAL



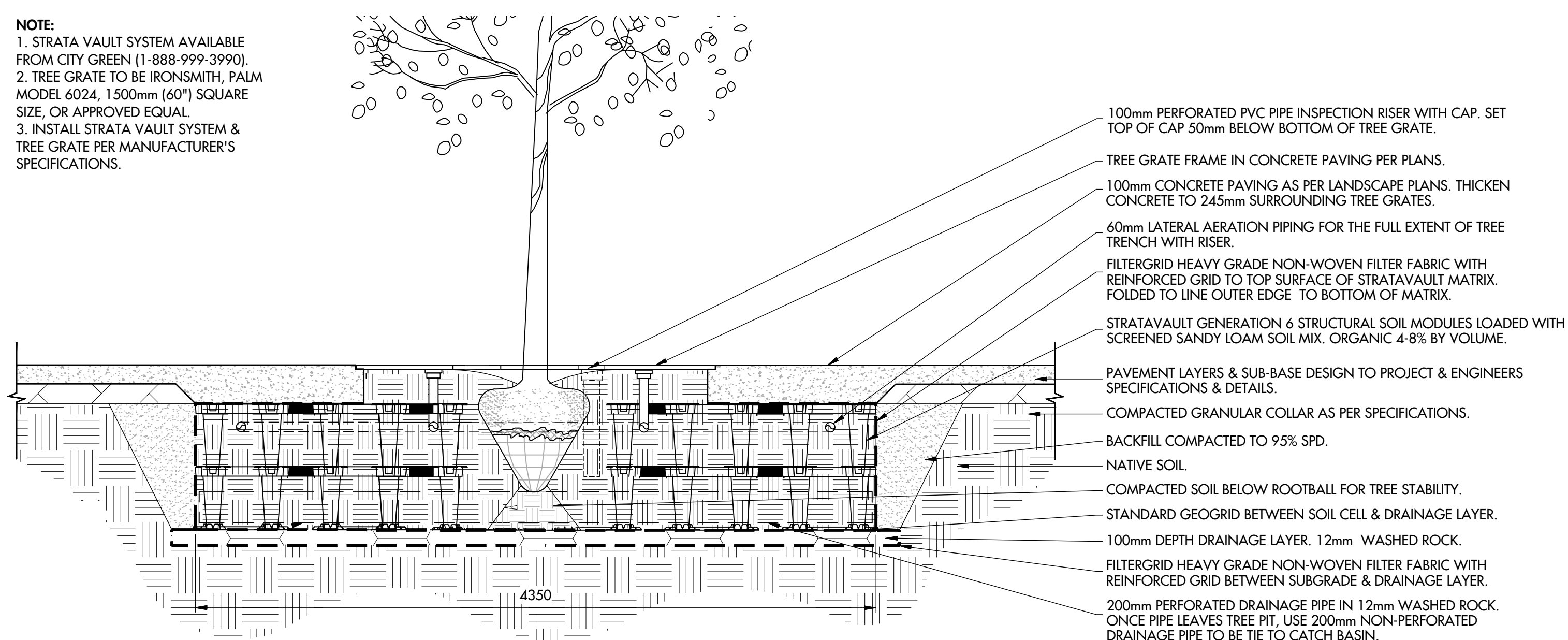
DRAWING NUMBER

LM-501

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NOTE:
1. STRATA VAULT SYSTEM AVAILABLE FROM CITY GREEN (1-888-999-3990).
2. TREE GRATE TO BE IRONSMITH, PALM MODEL 6024, 1500mm (60") SQUARE SIZE, OR APPROVED EQUAL.
3. INSTALL STRATA VAULT SYSTEM & TREE GRATE PER MANUFACTURER'S SPECIFICATIONS.



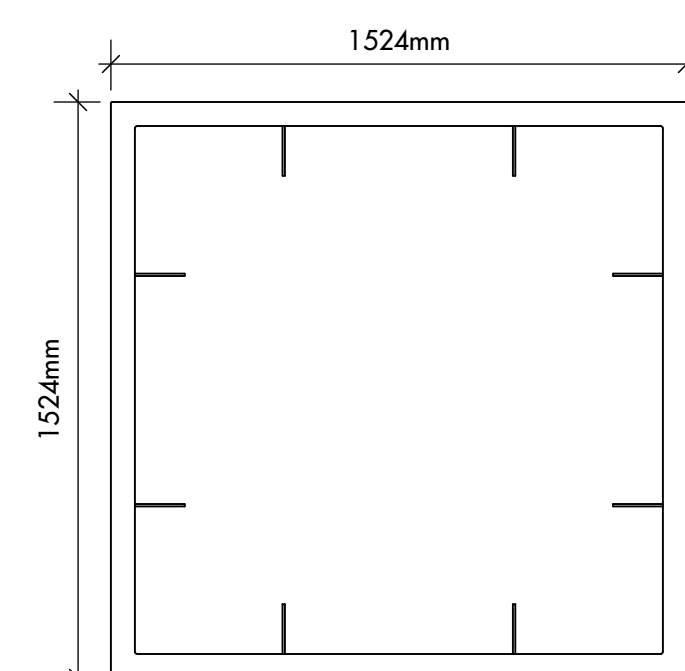
- 100mm PERFORATED PVC PIPE INSPECTION RISER WITH CAP. SET TOP OF CAP 50mm BELOW BOTTOM OF TREE GRATE.
- TREE GRATE FRAME IN CONCRETE PAVING PER PLANS.
- 100mm CONCRETE PAVING AS PER LANDSCAPE PLANS. THICKEN CONCRETE TO 245mm SURROUNDING TREE GRATES.
- 60mm LATERAL AERATION PIPING FOR THE FULL EXTENT OF TREE TRENCH WITH RISER.
- FILTERGRID HEAVY GRADE NON-WOVEN FILTER FABRIC WITH REINFORCED GRID TO TOP SURFACE OF STRATAVAULT MATRIX. FOLDED TO LINE OUTER EDGE TO BOTTOM OF MATRIX.
- STRATAVAULT GENERATION 6 STRUCTURAL SOIL MODULES LOADED WITH SCREENED SANDY LOAM SOIL MIX. ORGANIC 4-8% BY VOLUME.
- PAVEMENT LAYERS & SUB-BASE DESIGN TO PROJECT & ENGINEERS SPECIFICATIONS & DETAILS.
- COMPACTED GRANULAR COLLAR AS PER SPECIFICATIONS.
- BACKFILL COMPACTED TO 95% SPD.
- NATIVE SOIL.
- COMPACTED SOIL BELOW ROOTBALL FOR TREE STABILITY.
- STANDARD GEOGRID BETWEEN SOIL CELL & DRAINAGE LAYER.
- 100mm DEPTH DRAINAGE LAYER. 12mm WASHED ROCK.
- FILTERGRID HEAVY GRADE NON-WOVEN FILTER FABRIC WITH REINFORCED GRID BETWEEN SUBGRADE & DRAINAGE LAYER.
- 200mm PERFORATED DRAINAGE PIPE IN 12mm WASHED ROCK. ONCE PIPE LEAVES TREE PIT, USE 200mm NON-PERFORATED DRAINAGE PIPE TO BE TIE TO CATCH BASIN.

1 Metal Tree Grate w/ Strata Vault Pit - Section
LM-502 1:25

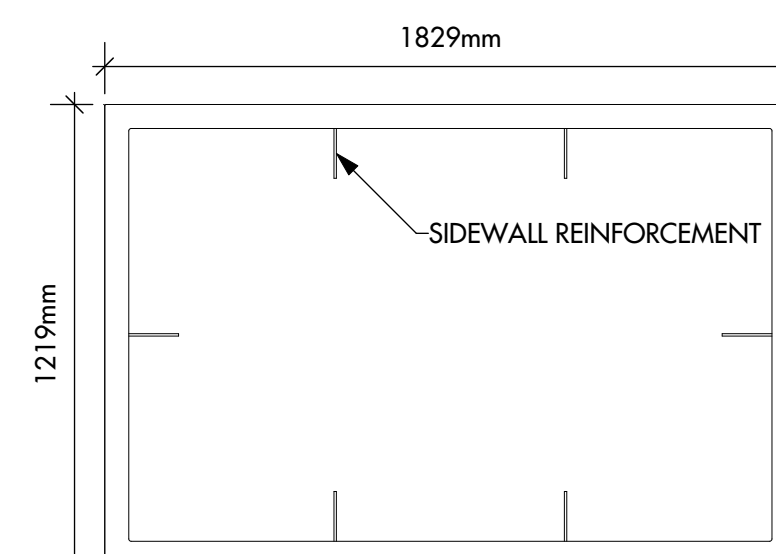
NOTE:
1. ALUMINUM CLADDING TO BE 3mm THICK, POWDERCOATED SHADOW COLOUR, INSTALLED ONLY ON VISIBLE FACES. CONTRACTOR TO PROVIDE POWDERCOAT SAMPLE FOR REVIEW AND APPROVAL PRIOR TO PURCHASE AND INSTALLATION.
2. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION. SHOP DRAWINGS MUST PROVIDE DETAILED INFORMATION SHOWING HOW THE CONTRACTOR WILL MANUFACTURE THE PLANTER.
3. ALL TIMBER MEMBERS TO BE PRESSURE TREATED (PT), SPRUCE-PINE-FIR (SPF). ALL CUT ENDS OF TIMBER MEMBERS TO BE TREATED PROPERLY.



PRECEDENT IMAGE

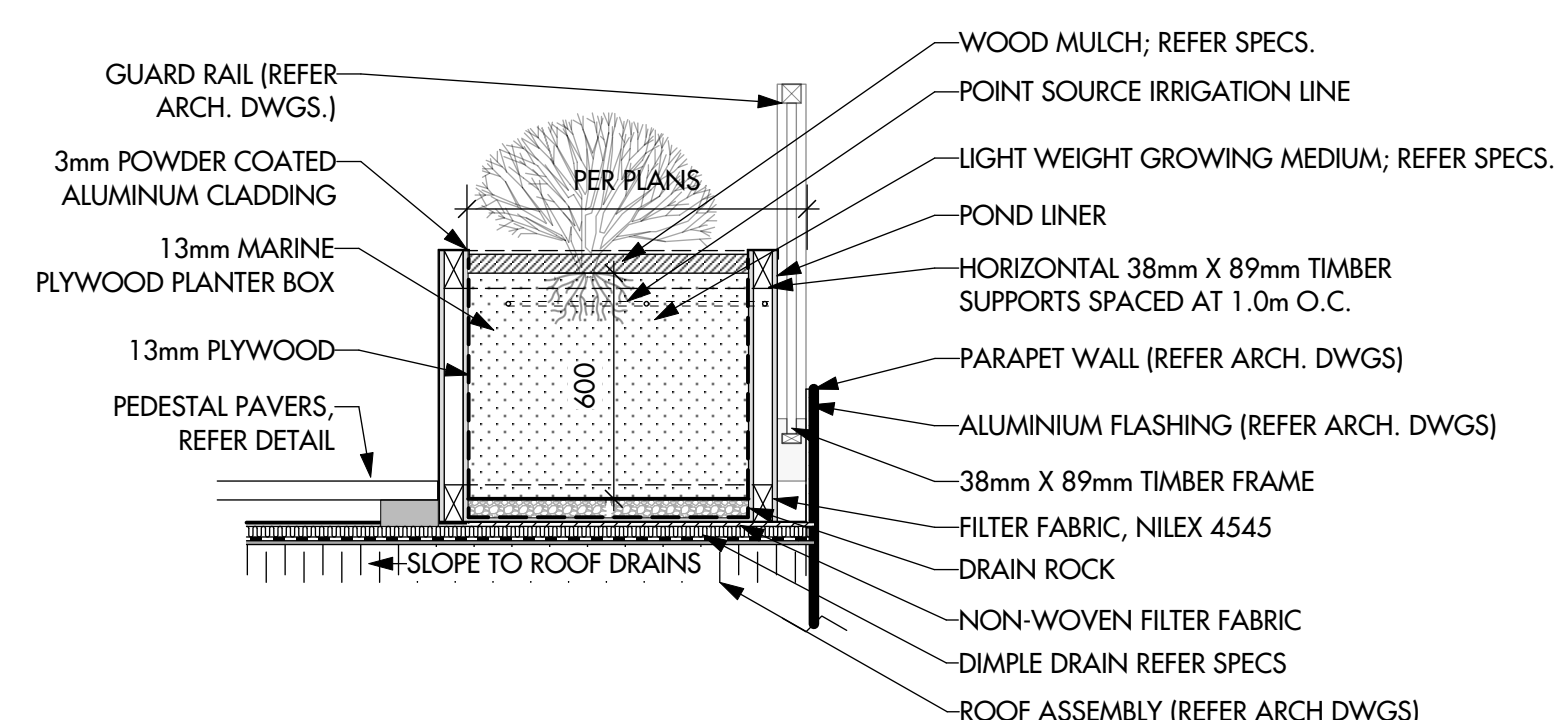


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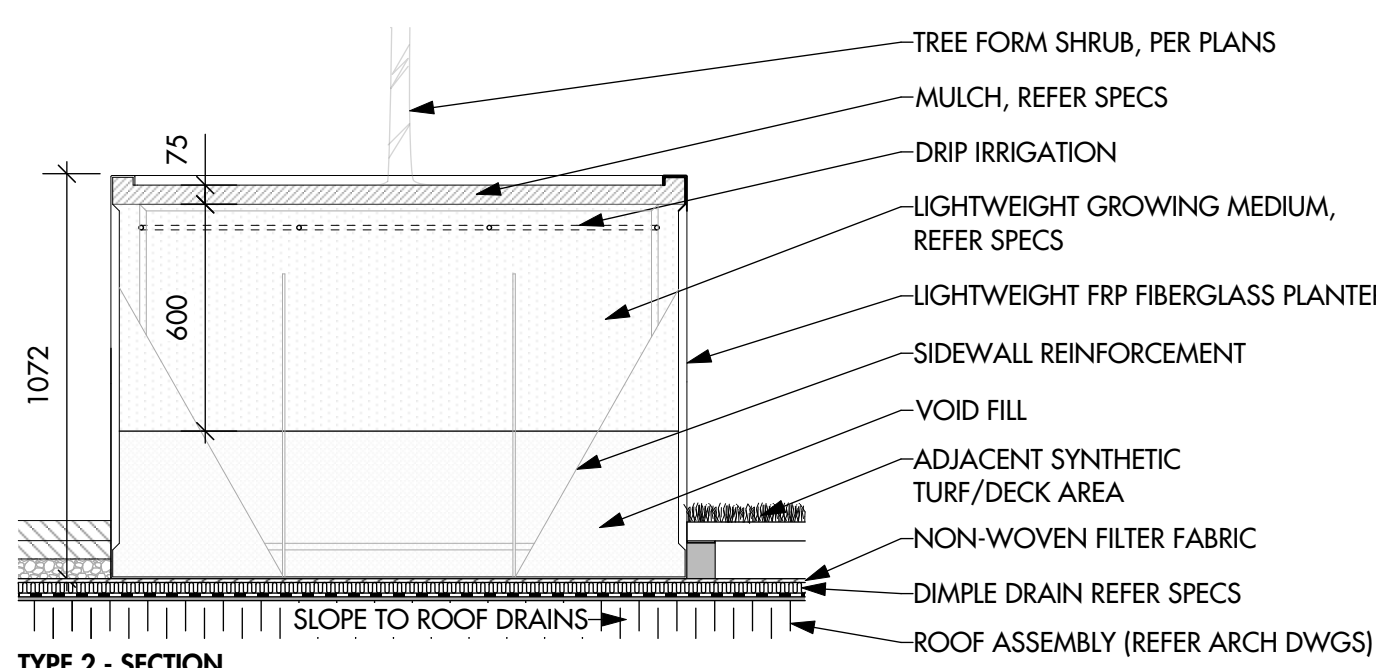


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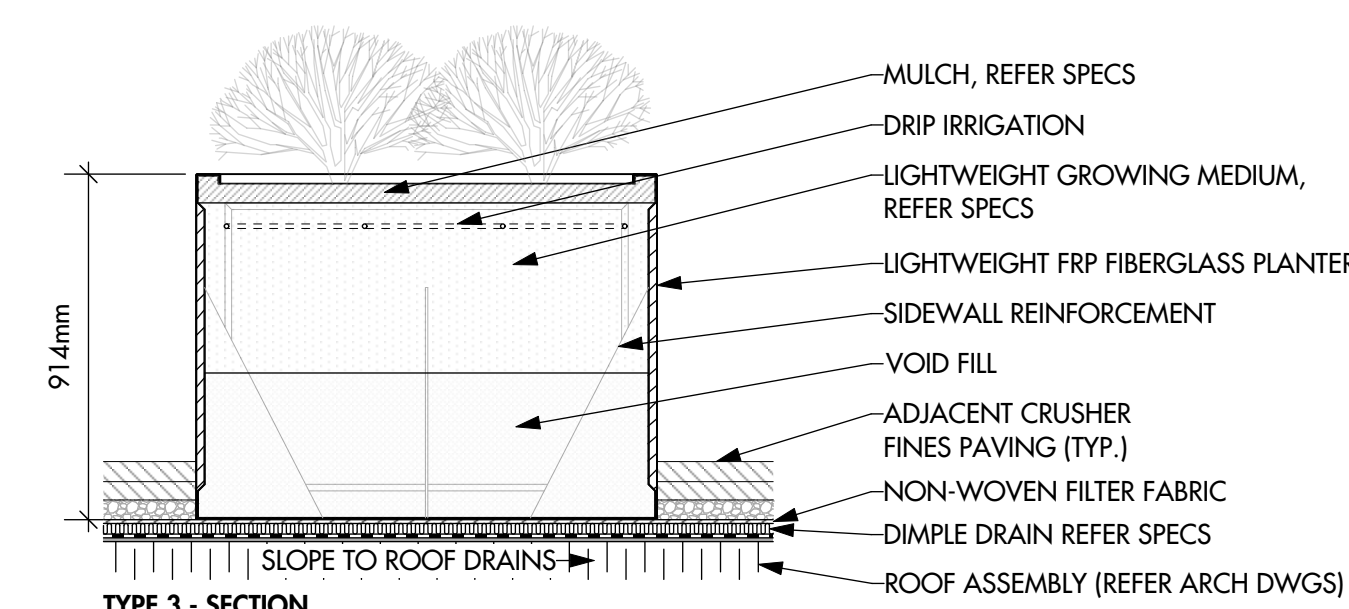
NOTE:
1. RAISED PLANTER (TYPE 2) TO BE TOURNESOL WILSHIRE COLLECTION (NWR-6000F) WITH SMOOTH TEXTURE & SHADOW COLOUR.
2. RAISED PLANTER (TYPE 3) TO BE TOURNESOL WILSHIRE COLLECTION (NWR-724836) WITH SMOOTH TEXTURE AND SHADOW COLOUR.
3. CONTRACTOR TO PROVIDE SHOP DRAWINGS, TEXTURE & COLOUR SAMPLES FOR REVIEW AND APPROVAL PRIOR TO PURCHASE AND INSTALLATION. SHOP DRAWINGS MUST PROVIDE DETAILED INFORMATION SHOWING HOW THE CONTRACTOR WILL MANUFACTURE THE PLANTER.
4. LENGTH OF PLANTERS PER PLAN.



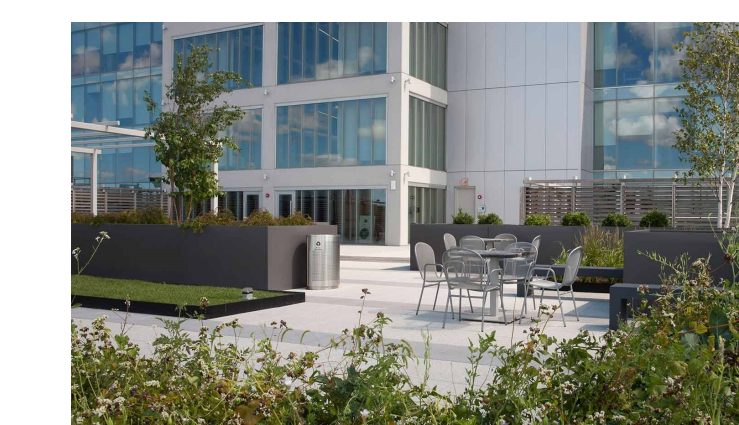
2 Raised Planter (Type 1) - Section
LM-502 1:20



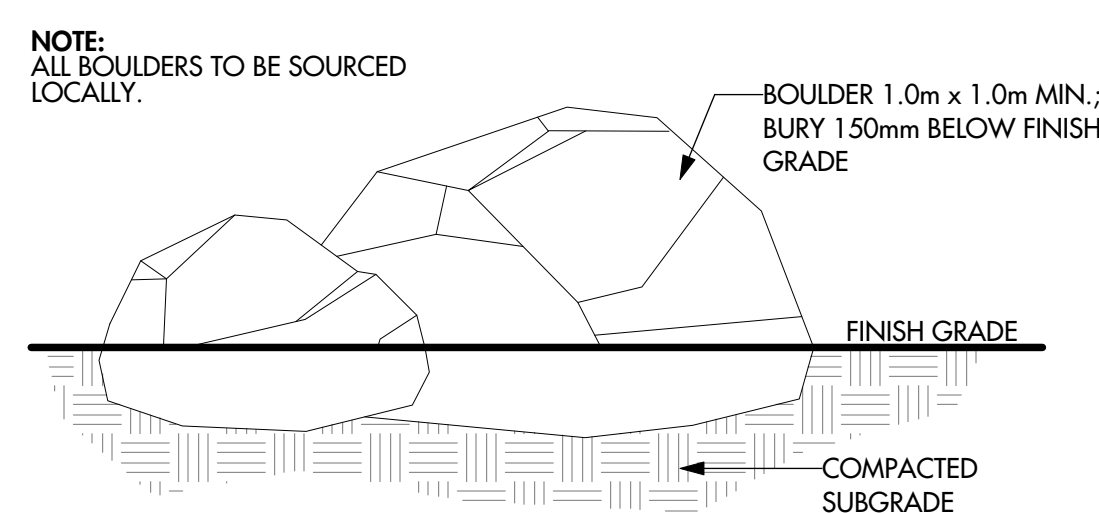
3 Raised Planter (Type 2 & 3) - Section / Plan
LM-502 1:20



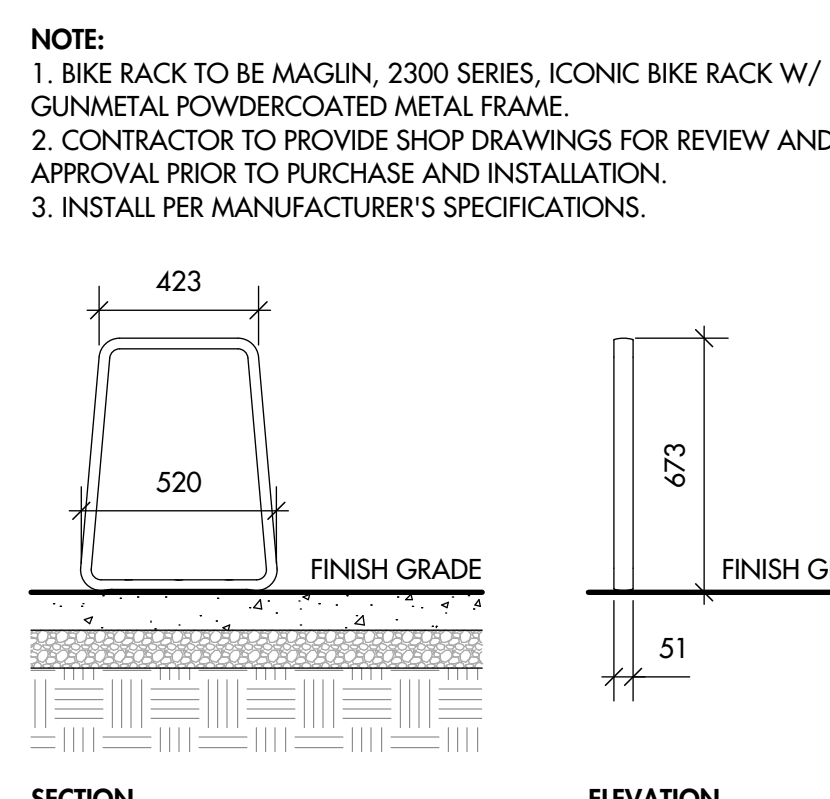
TYPE 3 - SECTION



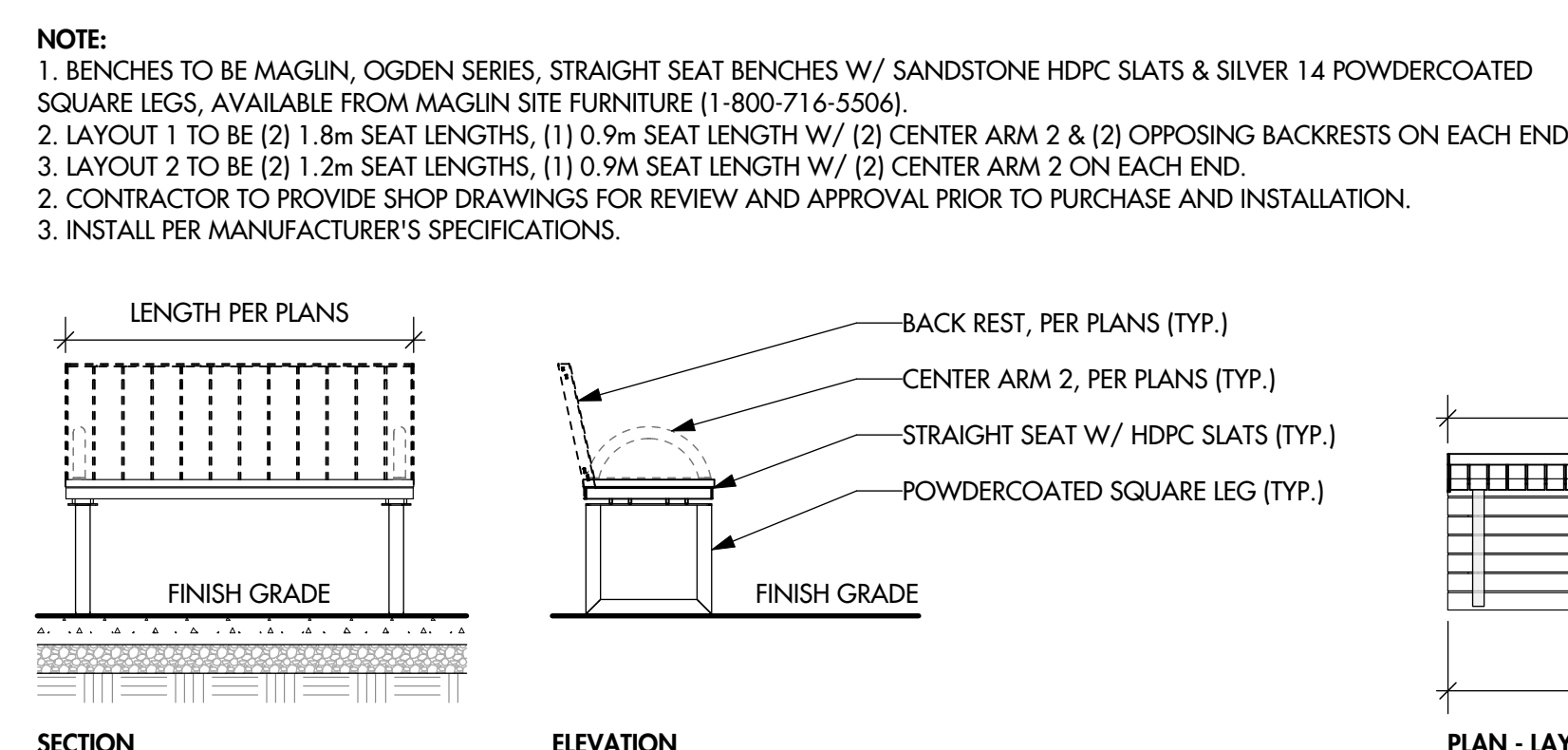
PRECEDENT IMAGE



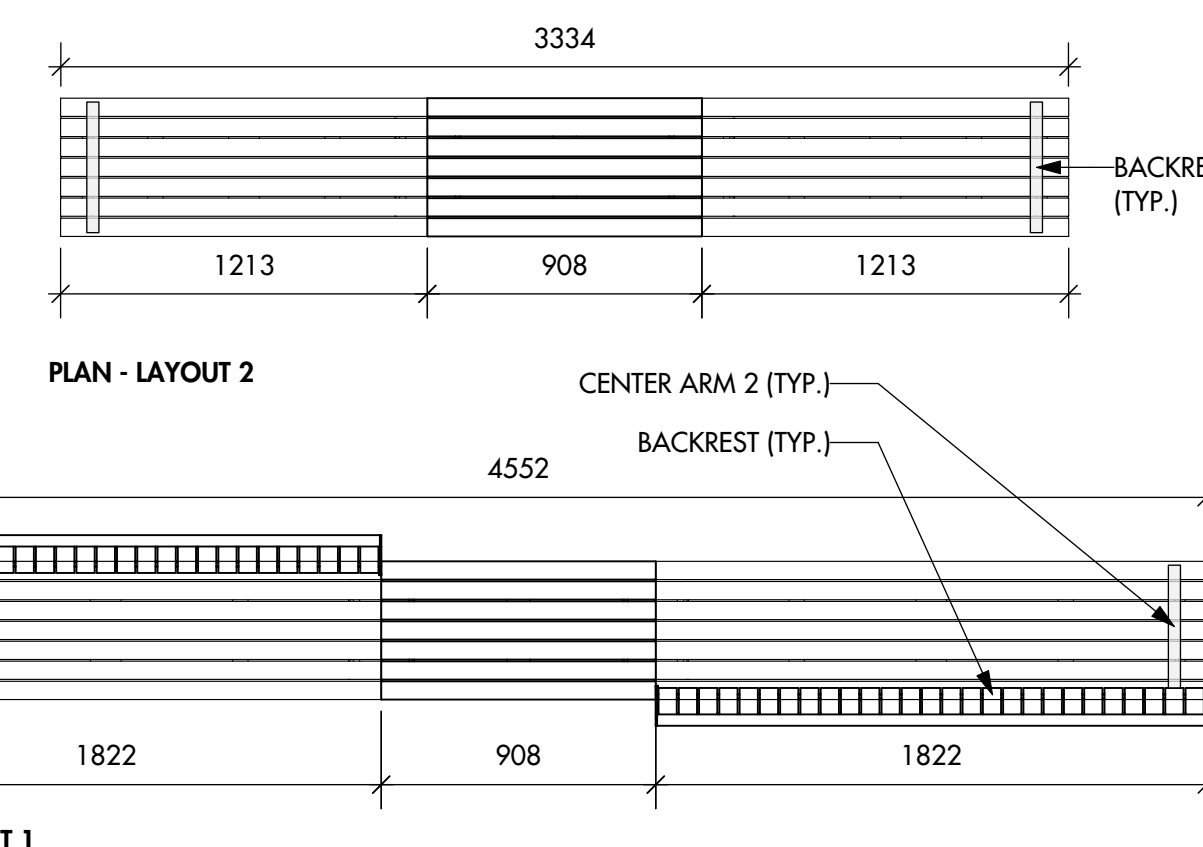
4 Boulder - Section
LM-502 1:20



5 Bike Rack - Section / Elevation
LM-502 1:20



6 Bench (Layout 1 & 2) - Section / Elevation / Plan
LM-502 1:25



PLAN - LAYOUT 1

PROJECT TITLE

155-179 RUTLAND ROAD NORTH

Kelowna, BC

DRAWING TITLE

LANDSCAPE DETAILS

ISSUED FOR / REVISION

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1	22.01.07	Coordination
2	22.01.28	95% Review
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5		

PROJECT NO. 21-086

DESIGN BY KM

DRAWN BY MC/SP

CHECKED BY FB

DATE FEB. 18, 2022

SCALE AS NOTED

PAGE SIZE 24"x36"

SEAL



DRAWING NUMBER

LM-502

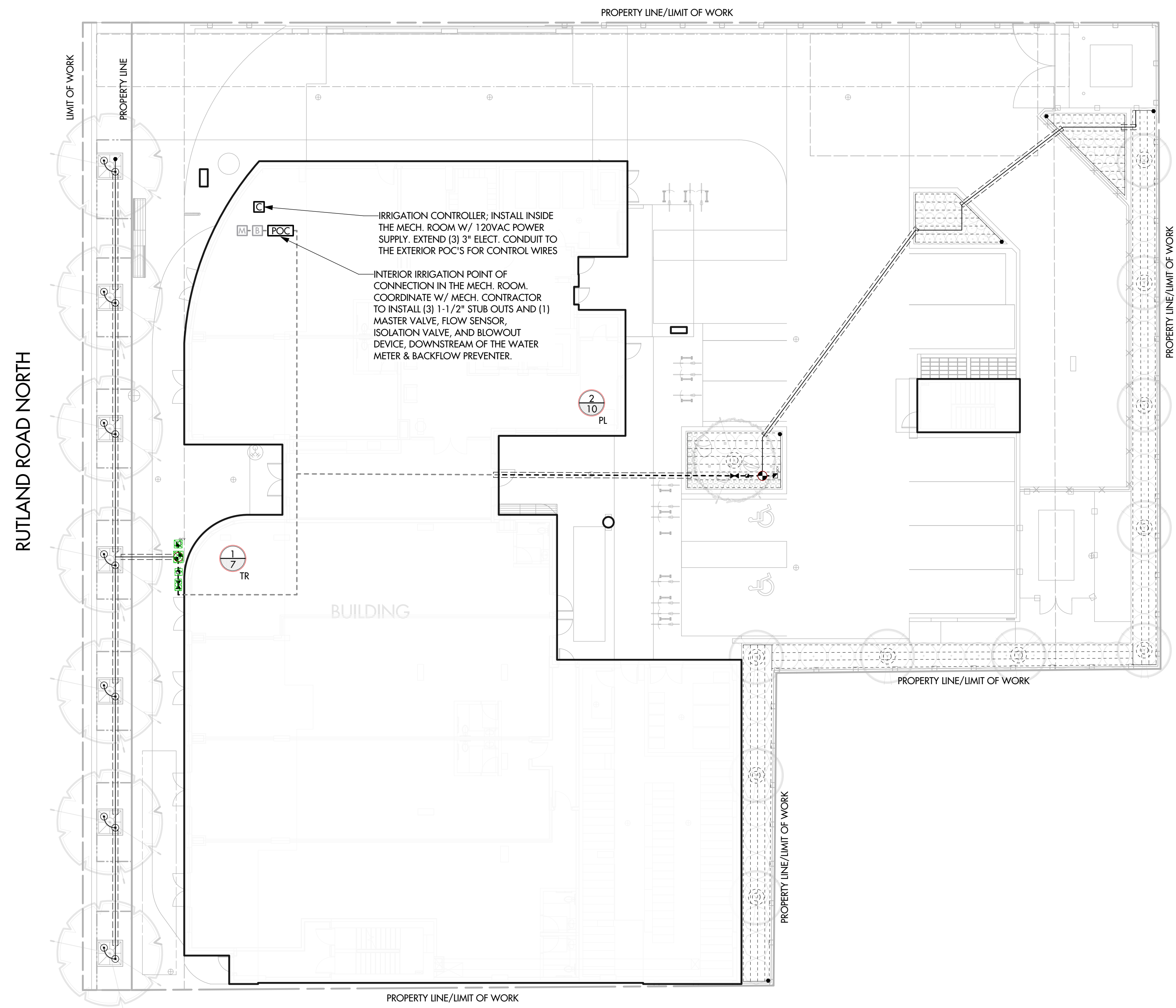
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SCHEDULE C

This forms part of application
 # DP21-0223 DVP21-0224

Planner Initials **KB**



IRRIGATION LEGEND

- FLOOD BUBBLER SYSTEM FOR TREES; (2) HUNTER PROS-02-PRS30 W/ HUNTER PCB-50 BUBBLER NOZZLES (REFER DETAIL 10/U-501)
- POINT SOURCE DRIP SYSTEM FOR PLANTING AREAS; (1) NETAFIM TECHFLOW 2.0 GPH EMITTER PER PLANT. INSTALL ON 1" BLANK POLYETHYLENE TUBING (REFER DETAIL 4/U-501)
- SUBSURFACE DRIP SYSTEM FOR PLANTING AREAS; HUNTER HDL-CV, 0.4 GPH, 0.45m EMITTER SPACING & 0.45m +/- LATERAL SPACING. SUPPLY & FLUSH MANIFOLDS TO BE 1" CLASS 200 PVC. (REFER DETAIL 6/U-501)
- LOW FLOW REMOTE CONTROL VALVE KIT FOR PLANTING AREAS & TREES; HUNTER PCZ-101-40, SIZE PER ZONE CHART (REFER DETAIL 1 & 2/U-501)
- FLUSH VALVE; 3/4" SCHEDULE 40 PVC BALL VALVE (REFER DETAIL 9/U-501)
- DRIP RING FOR TREES IN PLANTING AREAS; NETAFIM TECHLINE CV, 0.9 GPH, 0.3m EMITTER SPACING, 0.5m DIA. (REFER DETAIL 5/U-501)
- VALVE NUMBER
GALLONS PER MINUTE (GPM)
LANDSCAPE TYPE (PL-PLANTING AREA, TR-TREE)
- ISOLATION VALVE; RED-WHITE #206, LINE SIZE (REFER DETAIL 8/U-501)
- QUICK COUPLER VALVE; HUNTER HQ-SRC (REFER DETAIL 3/U-501)
- MAIN LINE; 1" SCHEDULE 40 PVC (REFER DETAIL 7/U-501)
- LATERAL LINE; 1" CLASS 200 PVC PIPE (REFER DETAIL 7/U-501)
- IRRIGATION SLEEVE; SCHEDULE 40 PVC, 3" MIN. OR TWICE THE DIA. OF PIPE CONTAINED. INSTALL IRRIGATION WIRING IN SEPARATE 2" ELECTRICAL CONDUIT. EXTEND SLEEVE 0.3m PAST EDGE OF HARD SURFACE.
- NDS BLACK VALVE BOX W/ OVERLAPPING COVER, REFER DETAILS FOR SIZING
- BACKFLOW PREVENTER (REFER MECH. DWGS)
- WATER METER (REFER MECH. DWGS)
- INTERIOR IRRIGATION POINT OF CONNECTION (POC) (REFER DETAIL 12/U-501):
 ISOLATION VALVE; 1" RED-WHITE #206
 BLOW-OUT DEVICE; 1" SCHEDULE 40 TEE W/ RED WHITE BALL VALVE, 3/4" 600 #WOG W/ PLUG, ANGLE STRAIGHT UP
 MASTER VALVE; HUNTER 1" 200-IBV VALVE W/ ACCU SYNC@ PRESSURE REGULATION
 FLOW SENSOR; 1" HUNTER HC-200-FLOW-B FCT208
- EXTERIOR IRRIGATION POINT OF CONNECTION (POC) (REFER DETAIL 12/U-501):
 ISOLATION VALVE; 1" RED-WHITE #206
 BLOW-OUT DEVICE; 1" SCHEDULE 40 TEE W/ RED WHITE BALL VALVE, 3/4" 600 #WOG W/ PLUG, ANGLE STRAIGHT UP
- CONTROLLER; HUNTER I-CORE (IC6000 PL) CONTROLLER WITH FLOW SMART MODULE. CONTRACTOR SHALL PURCHASE & INSTALL THE CONTROLLER, AS PER THE MANUFACTURER'S RECOMMENDATIONS, INCLUDING ALL ASSOCIATED EQUIPMENT. CONTRACTOR SHALL INCUR ALL FEES ASSOCIATED WITH PURCHASE, INSTALLATION, AND SETUP. (REFER DETAIL 11/U-501)

IRRIGATION NOTES

- 1. SPECIFICATIONS**
ALL SPECIFIED WORK TO MEET THE PROJECT SPECIFICATIONS, AND ALL STANDARDS OR SPECIFICATIONS ESTABLISHED IN THE LATEST EDITION OF THE CANADIAN LANDSCAPE STANDARD, PUBLISHED JOINTLY BY THE CANADIAN NURSERY LANDSCAPE ASSOCIATION (CNLA) AND THE CANADIAN SOCIETY OF LANDSCAPE ARCHITECTS (CSLA).
- 2. VERIFICATION**
SYSTEM DESIGN IS BASED ON (12) G.P.M. & (75) P.S.I. AVAILABLE AT THE POINT OF CONNECTION. VERIFY SAME AND NOTIFY THE OWNER'S REPRESENTATIVE IF SUCH DATA ADVERSELY AFFECTS THE OPERATION OF THE SYSTEM. SUCH NOTICE SHALL BE MADE IN WRITING AND PRIOR TO COMMENCING IRRIGATION WORK.
- 3. UTILITIES**
VERIFY LOCATION OF ALL ON-SITE UTILITIES. RESTORATION OF DAMAGED UTILITIES SHALL BE MADE AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
- 4. SCHEMATIC**
SYSTEM FEATURES ARE SHOWN SCHEMATICALLY FOR GRAPHIC CLARITY. INSTALL ALL PIPING AND VALVES IN COMMON TRENCHES WHERE FEASIBLE AND INSIDE PLANTING AREAS WHENEVER POSSIBLE.
- 5. WATER SERVICE LINE**
EXISTING.
- 6. ELECTRICAL SERVICE**
EXISTING.
- 7. SLEEVING**
ADEQUATELY SIZE ALL SLEEVES SHOWN ON PLAN. SLEEVES SHALL BE INSTALLED AT THE NECESSARY DEPTHS PRIOR TO PAVEMENT CONSTRUCTION. SLEEVING SHALL EXTEND 300MM FROM EDGE OF PAVING INTO LAWN OR PLANTING AREA, AND SHALL HAVE ENDS CLEARLY MARKED ABOVE GRADE UNLESS OTHERWISE SHOWN.
- 8. GRAPHIC CLARITY**
MAIN LINE & IRRIGATION COMPONENTS SHOW ON PLAN FOR GRAPHIC CLARITY. CONTRACTOR TO VERIFY ALL MATERIALS IN THE FIELD. VALVE BOXES TO BE LOCATED IN PLANTING AREAS.
- 9. TESTS AND INSPECTIONS**
AT VARIOUS MILESTONES DURING CONSTRUCTION, INSPECTION AND TESTING OF COMPONENTS WILL BE REQUIRED TO ENSURE PERFORMANCE OF IRRIGATION SYSTEM MEETS EXPECTED STANDARDS. PROVIDE EQUIPMENT AND PERSONNEL NECESSARY FOR PERFORMANCE OF INSPECTIONS AND TESTS. CONDUCT ALL INSPECTIONS AND TESTS IN THE PRESENCE OF THE CONTRACT ADMINISTRATOR. KEEP WORK UNCOVERED AND ACCESSIBLE UNTIL SUCCESSFUL COMPLETION OF INSPECTION OR TEST.
- 10. EQUIVALENT PRODUCTS**
CONTRACTOR MAY USE EQUIVALENT PRODUCTS FOR IRRIGATION COMPONENTS, PROVIDED THAT THE CONTRACTOR RECEIVES WRITTEN APPROVAL/CONSENT FROM THE LANDSCAPE ARCHITECT OR IRRIGATION DESIGNER PRIOR TO PURCHASE AND INSTALLATION.

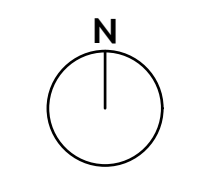
IRRIGATION ZONE CHART

ZONE #	VALVE SIZE	LANDSCAPE TYPE	PRODUCT TYPE	APPLICATION RATE	OPERATING PRESSURE	ZONE FLOW	OPERATING TIME
1	1"	TREES	BUBBLERS	7.4mm/hr	40 PSI	7 GPM	30 MINS / 3X PER WEEK*
2	1"	PLANTING AREAS	DRIP	7.4mm/hr	40 PSI	10 GPM	45 MINS / 2X PER WEEK
3	1"	PLANTING AREAS	DRIP	7.4mm/hr	40 PSI	4 GPM	45 MINS / 2X PER WEEK

* OPERATING TIMES ARE SHOWN AS A BASE THEORETICAL SCHEDULE ONLY, BASED ON EVERY DAY WATERING IN JULY. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR SETTING THE IRRIGATION SCHEDULE TO ENSURE THAT PLANT MATERIAL RECEIVES ADEQUATE WATERING.

TOTAL RUNTIME PER WEEK = 270 MINS / WEEK (4.5 HRS)
 *TREE ZONE RUN TIME BASED ON FIRST YEAR ESTABLISHMENT. REDUCE TO 1X PER WEEK IN 2ND YEAR

LEVEL 1



PROJECT TITLE
155-179 RUTLAND ROAD NORTH
 Kelowna, BC

DRAWING TITLE
IRRIGATION PLAN

ISSUED FOR / REVIEW

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2	22.01.28	95% Review
3	22.02.18	Tender
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5		

PROJECT NO: 21-086

DESIGN BY: KM

DRAWN BY: SP

CHECKED BY: FB

DATE: FEB. 18, 2022

SCALE: 1:200

PAGE SIZE: 24"x36"

SEAL



DRAWING NUMBER

LI -101

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*REFER TO SHEET LI-101 FOR IRRIGATION NOTES, LEGEND & ZONE CHART

SCHEDULE C

This forms part of application
DP21-0223 DVP21-0224

Planner Initials **KB**

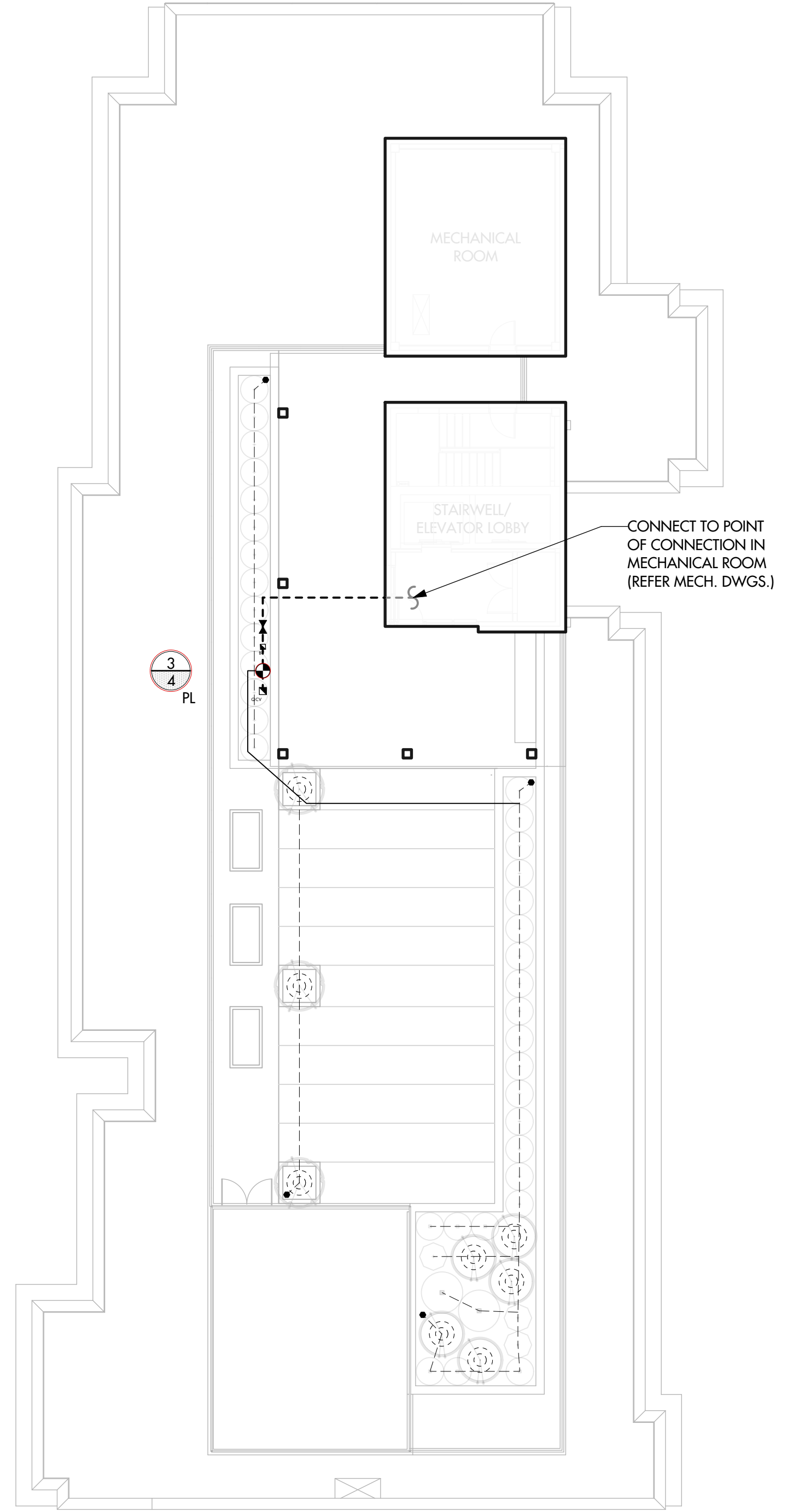


ecora
200-2045 Enterprise Way
Kelowna, BC V1Y 9T5
T (250) 469-9757
www.ecora.ca

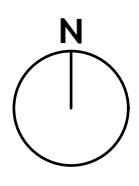
RUTLAND ROAD NORTH



LEVEL 2



ROOF TOP



PROJECT TITLE

155-179 RUTLAND ROAD NORTH

Kelowna, BC

DRAWING TITLE

IRRIGATION PLAN

ISSUED FOR / REVISION

1	22.01.07	Coordination
2	22.01.28	95% Review
3	22.02.18	Tender
4		
5		

PROJECT NO. 21-086

DESIGN BY KM

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CHECKED BY FB

DATE FEB. 18, 2022

SCALE 1:200

PAGE SIZE 24"x36"

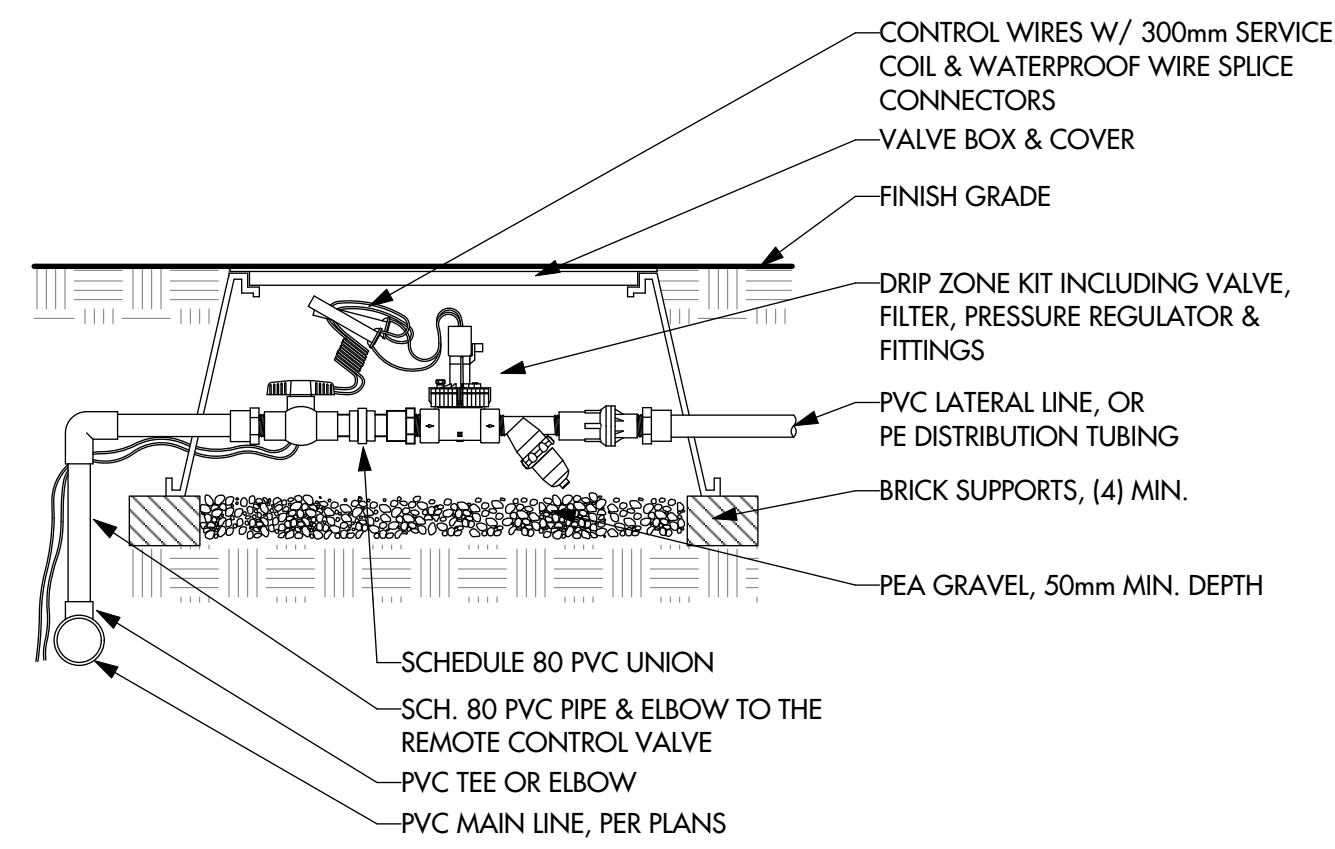
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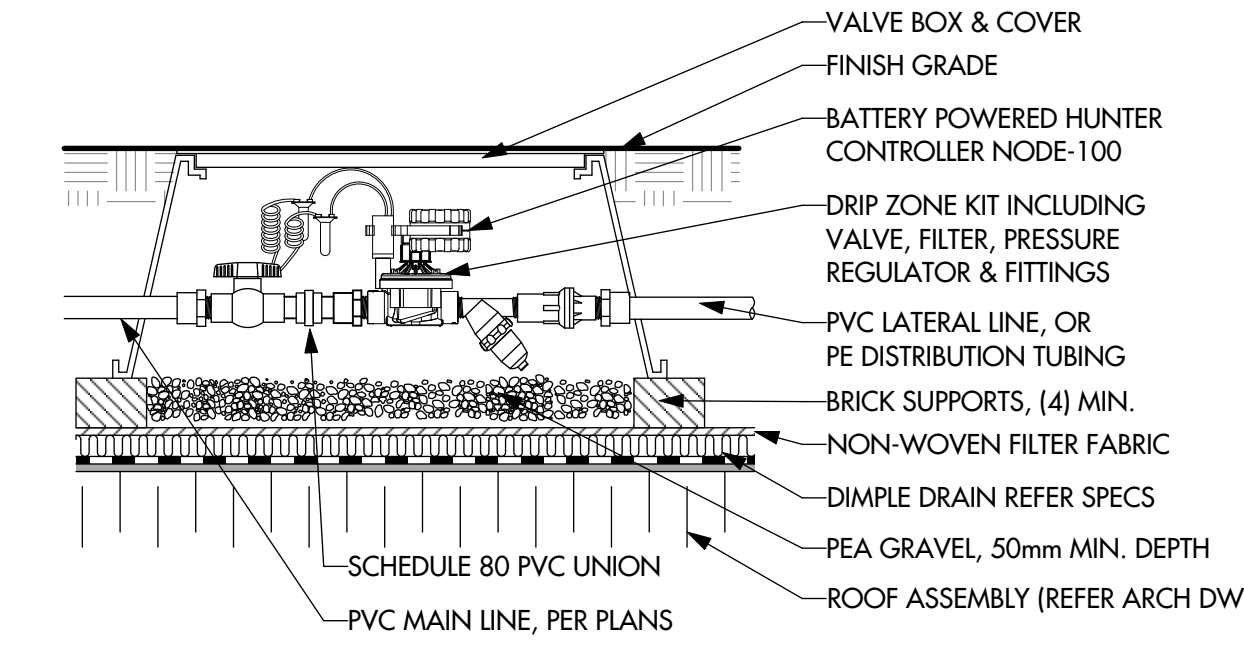
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LI -102

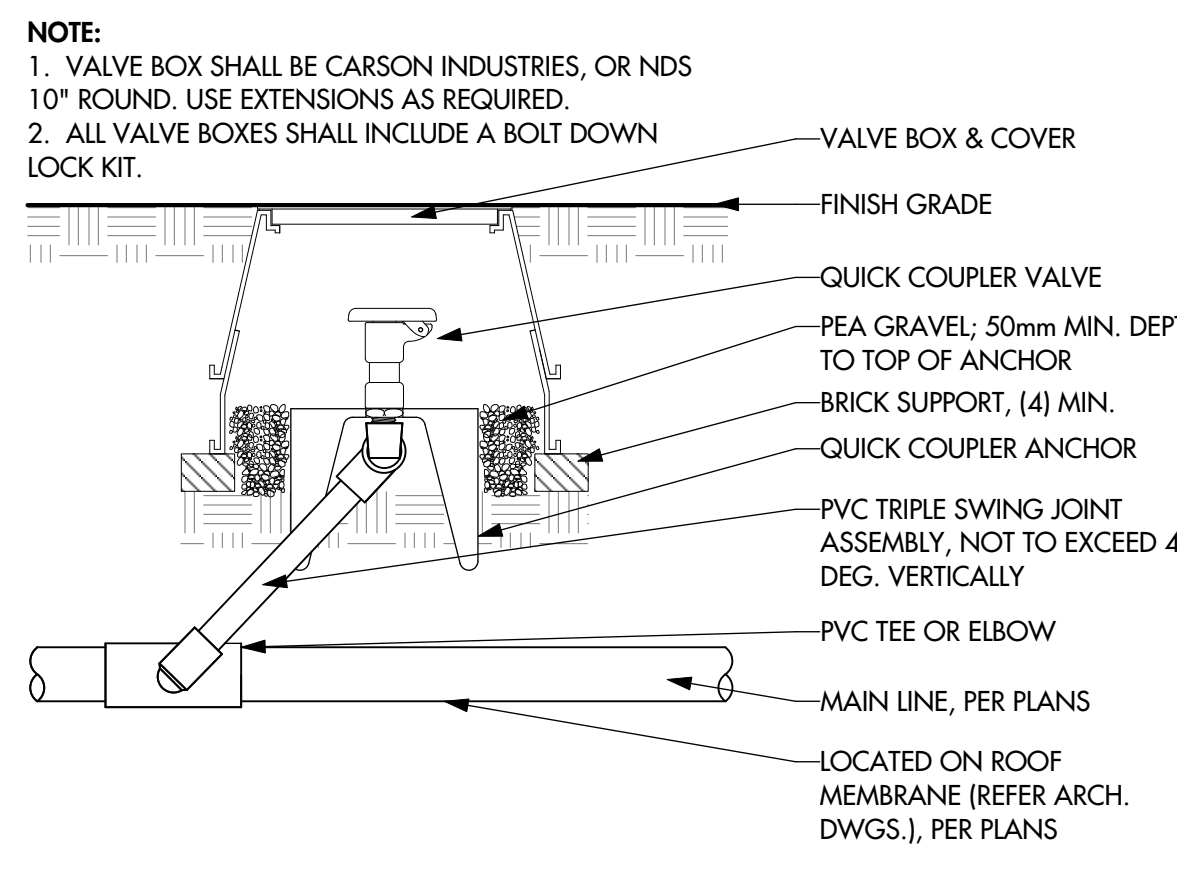
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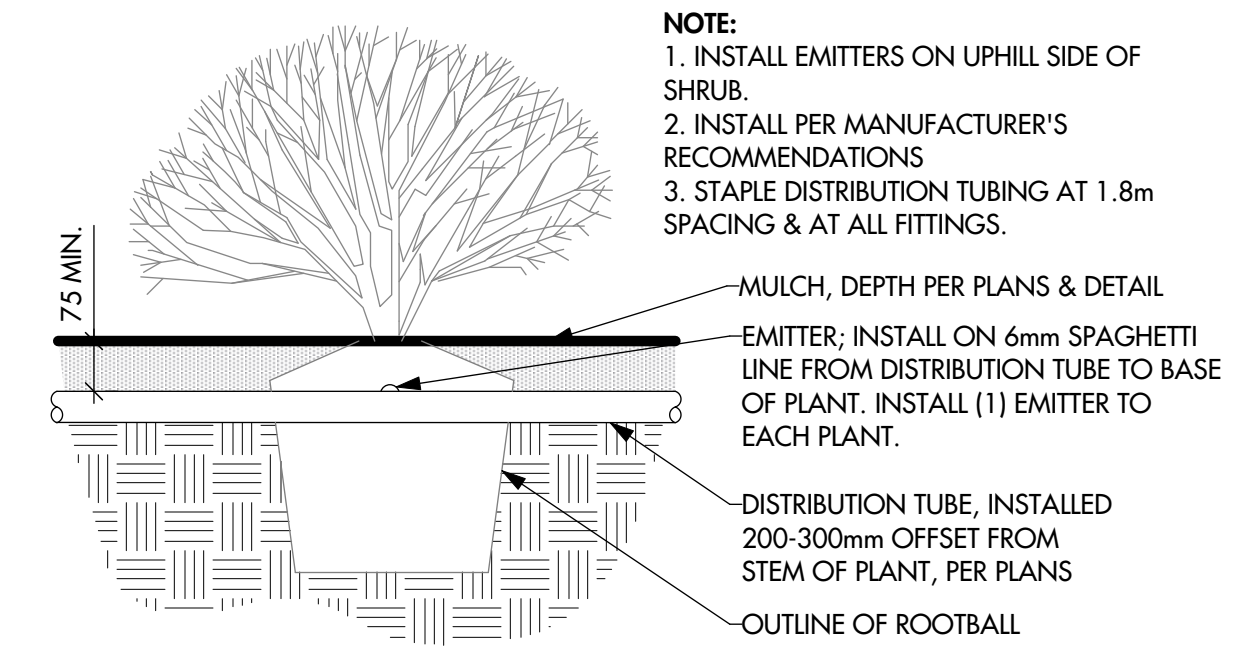
1 Remote Control Valve for Planting/Tree Drip Zones (At Grade) - Section
LI-501 N.T.S



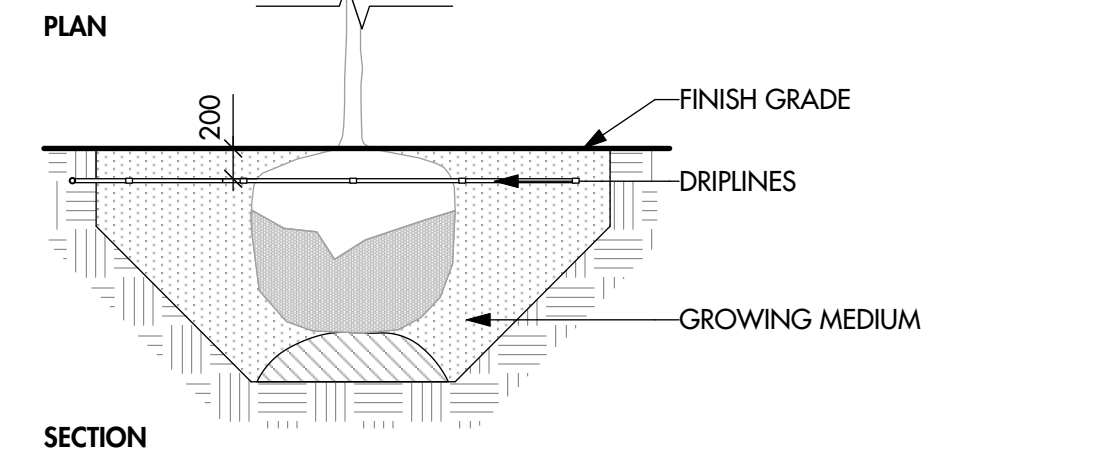
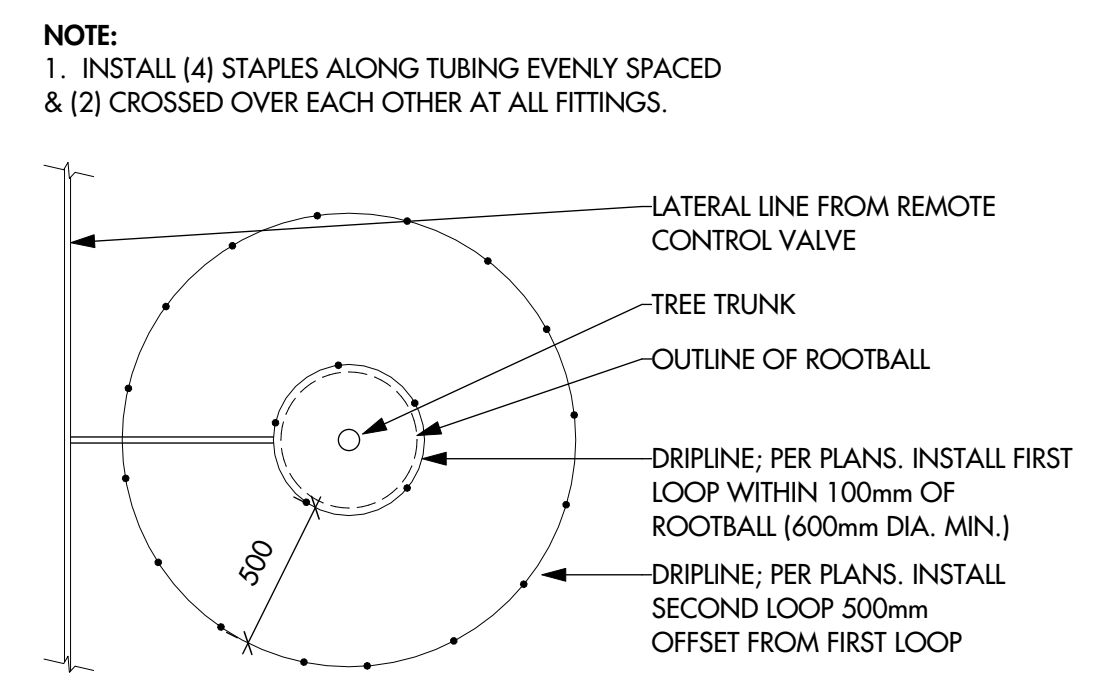
2 Remote Control Valve for Planting Drip Zones (Roof) - Section
LI-501 N.T.S



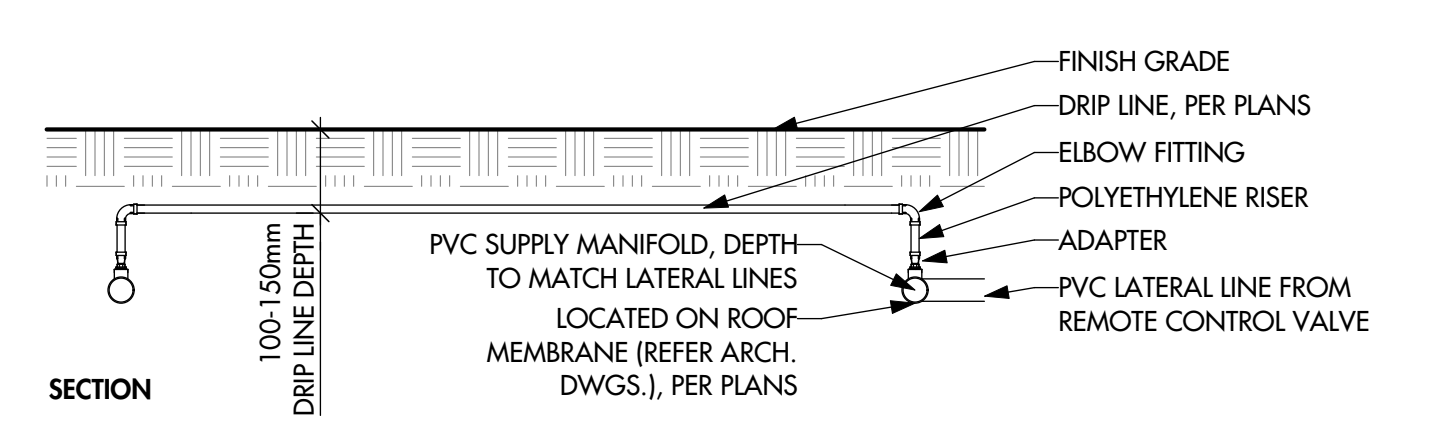
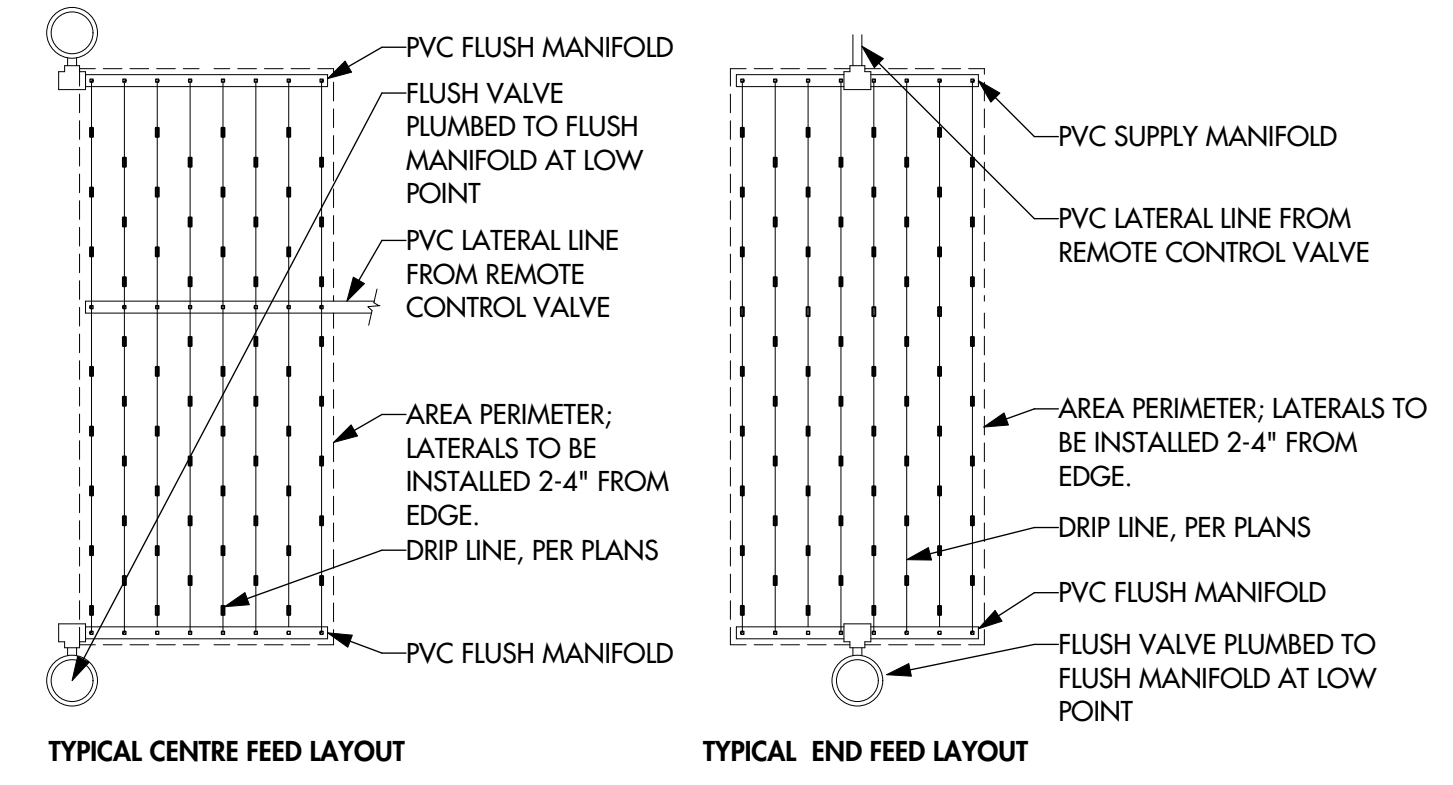
3 Quick Coupler Valve - Section
LI-501 N.T.S



4 Quick Coupler Valve - Section
LI-501 N.T.S

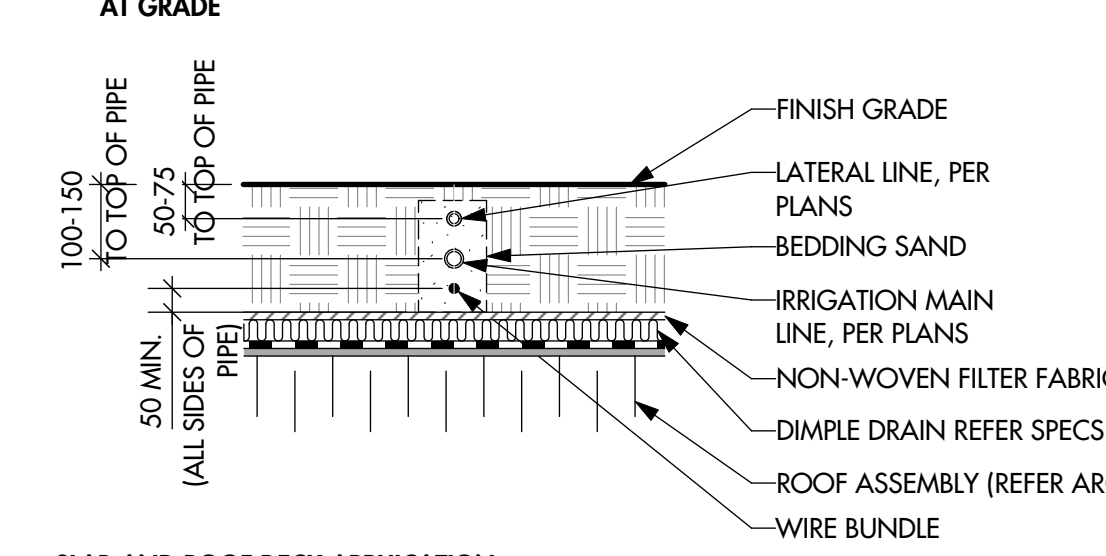
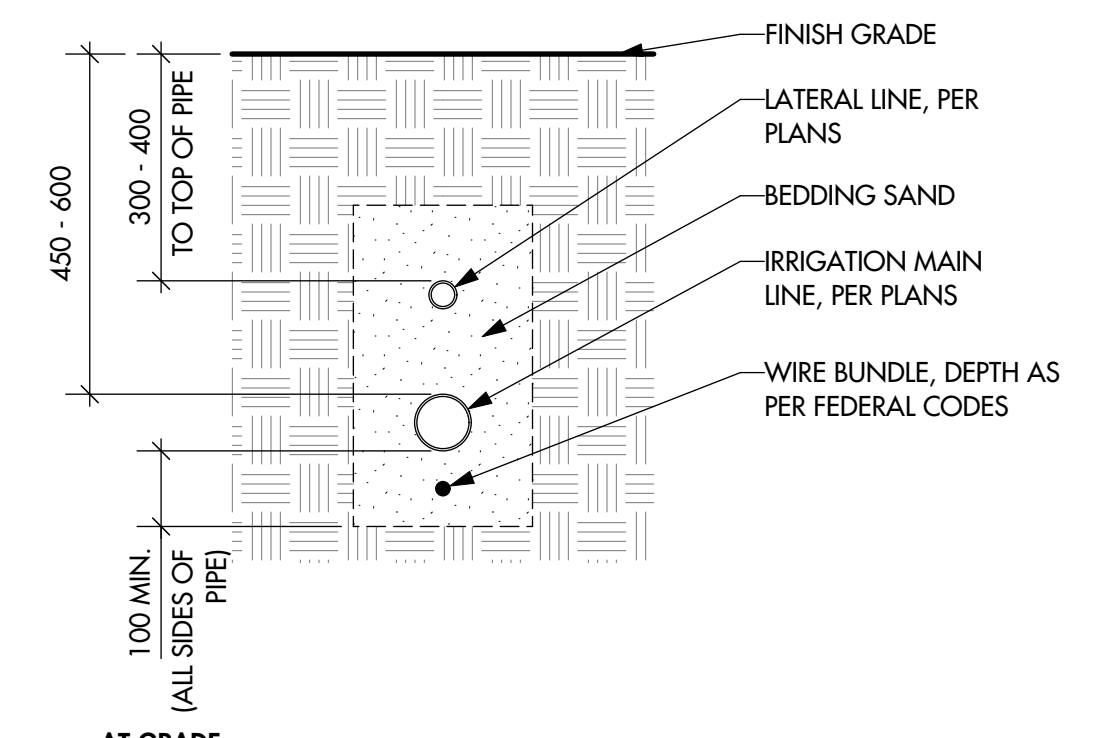


5 Drip Ring for Trees - Section / Plan
LI-501 N.T.S

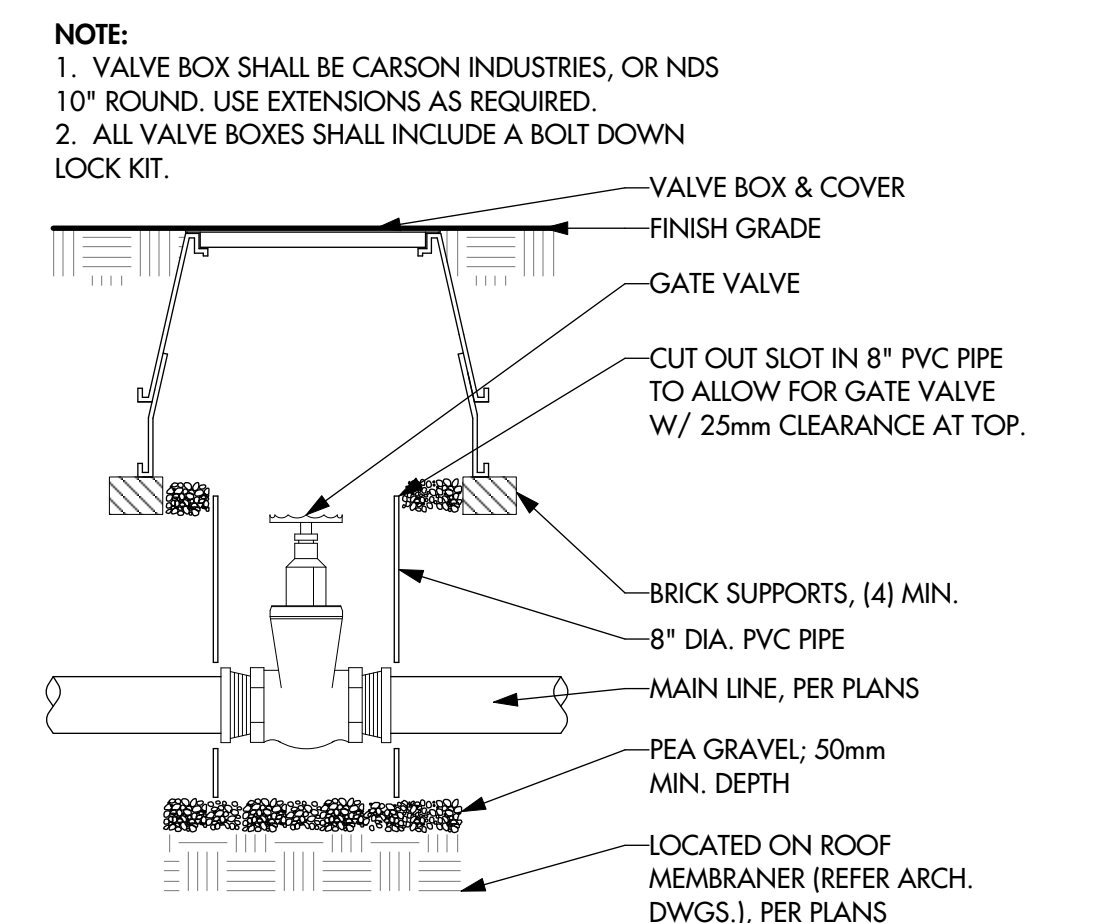


6 Subsurface Drip System - Section / Plan
LI-501 N.T.S

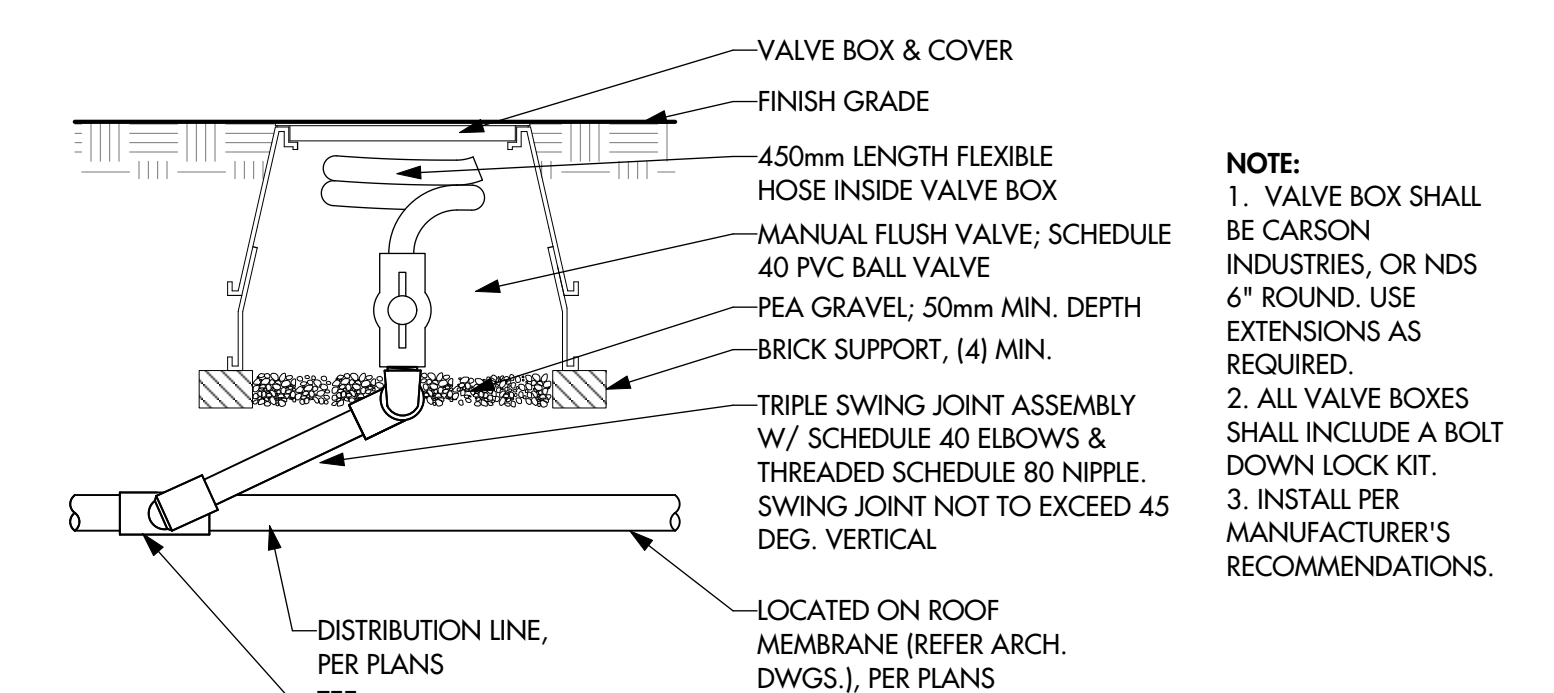
NOTE:
1. CLEAR TRENCH BED OF ALL ROCKS & DEBRIS PRIOR TO SAND BEDDING.
2. TRENCHES SHALL BE AT LEAST 300mm AWAY FROM HARD SURFACES TO AVOID UNDERMINING SUCH SURFACE OR ITS EDGE RETENTION.
3. ALL MAIN LINE, LATERAL LINES & WIRE BUNDLES SHALL BE SAND BEDDED, EXCEPT WHEN PIPE IS WITHIN GROWING MEDIUM FOR PLANTING BEDS. TAMP BY HAND TO ENSURE EQUAL COMPACTION TO THE ADJACENT GROWING MEDIUM.



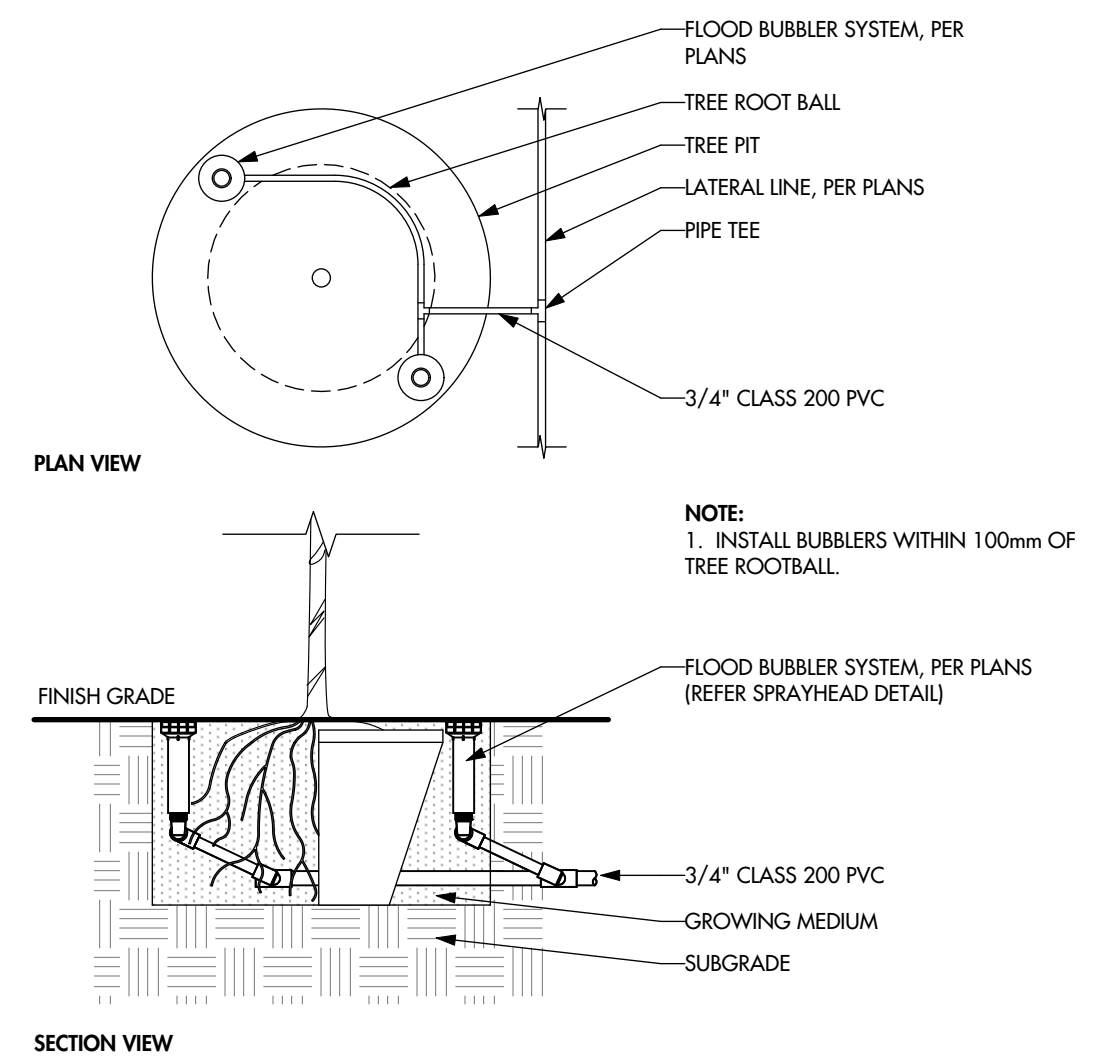
7 Pipe Trench - Section
LI-501 N.T.S



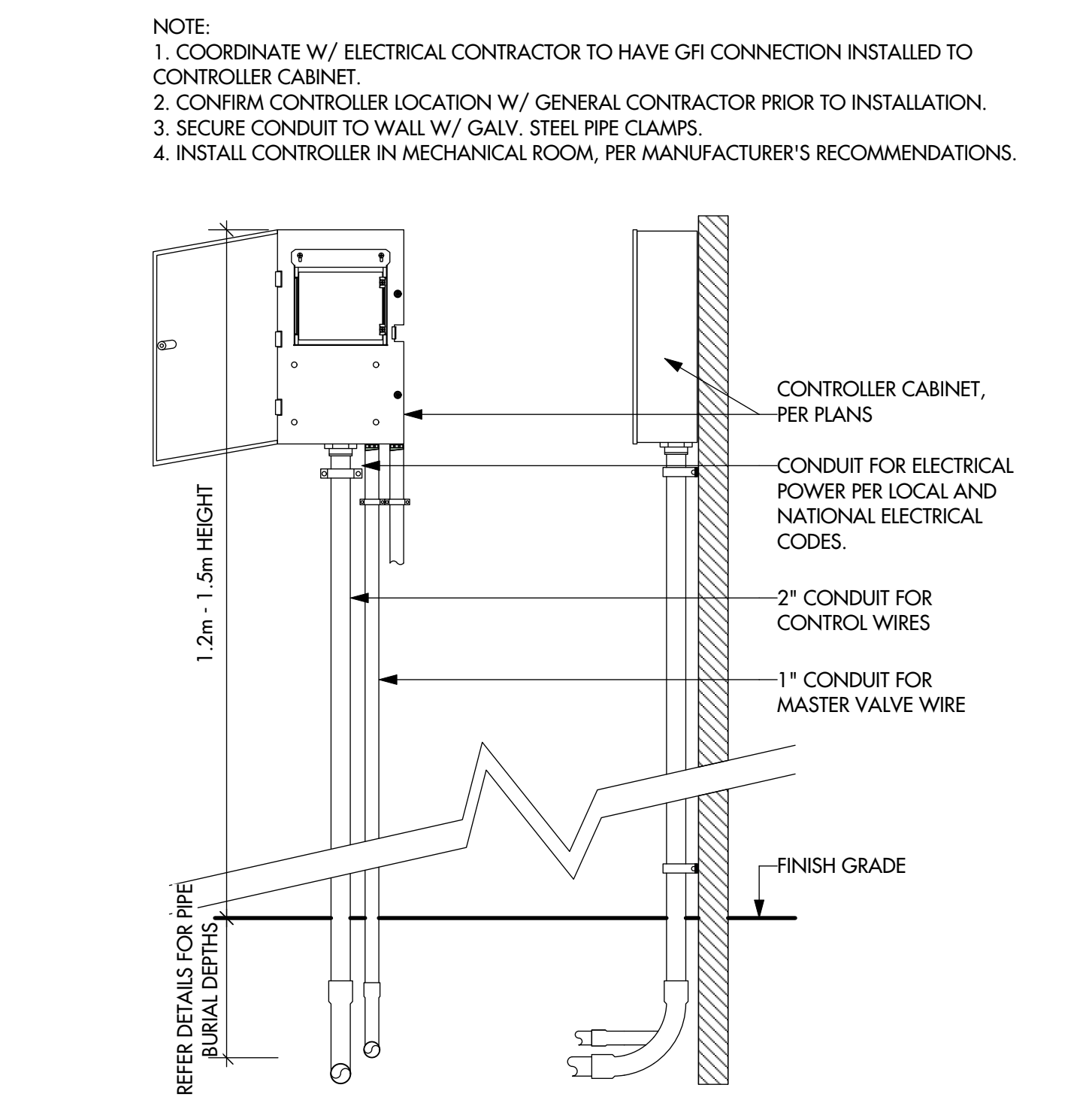
8 Isolation Valve - Section
LI-501 N.T.S



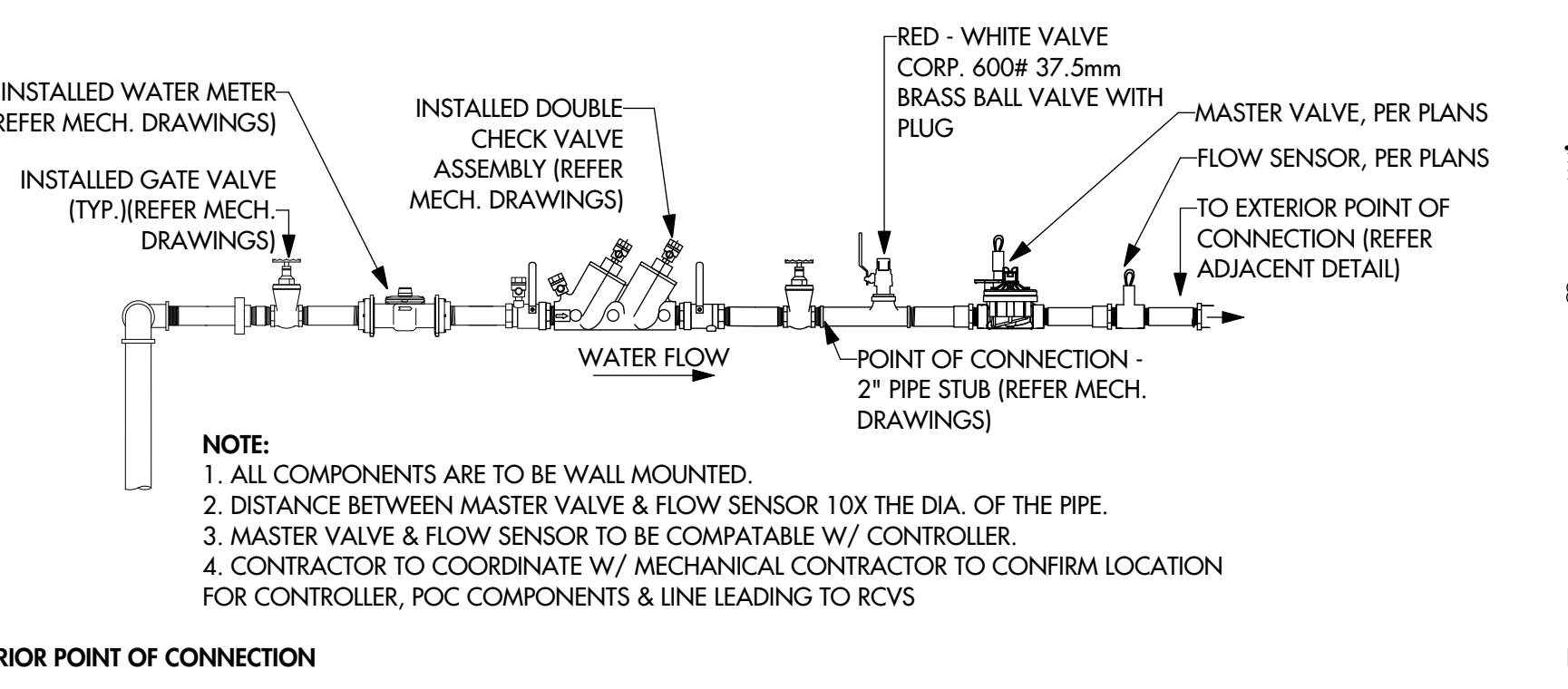
9 Flush Valve - Section
LI-501 N.T.S



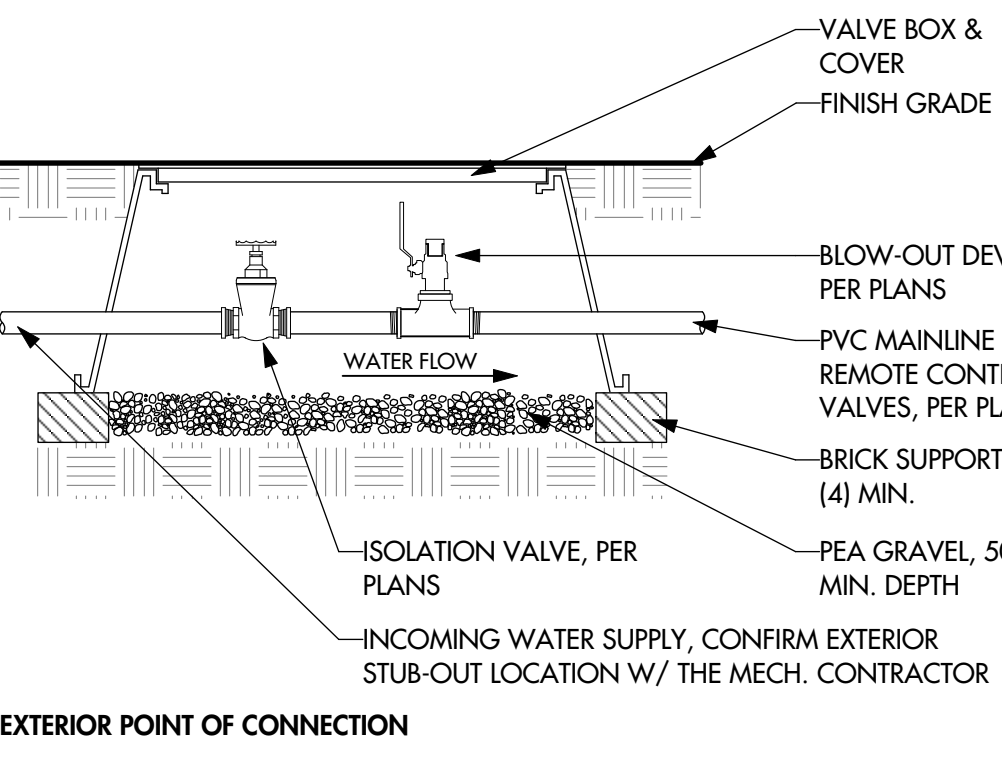
10 Flood Bubbler System for Trees - Plan / Section
LI-501 N.T.S



11 Irrigation Controller - Section
LI-501 N.T.S



12 Irrigation Point of Connection (At Grade) - Section
LI-501 N.T.S



SCHEDULE C

This forms part of application
DP21-0223 DVP21-0224

Planner Initials **KB**

City of Kelowna
DEVELOPMENT PLANNING

PROJECT TITLE
155-179 RUTLAND ROAD NORTH
Kelowna, BC

IRRIGATION DETAILS

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1	22.01.07	Coordination
2	22.01.28	95% Review
3	22.02.18	Issued For Tender
4		
5		

PROJECT NO. 21-086

DESIGN BY KM

DRAWN BY MC/SP

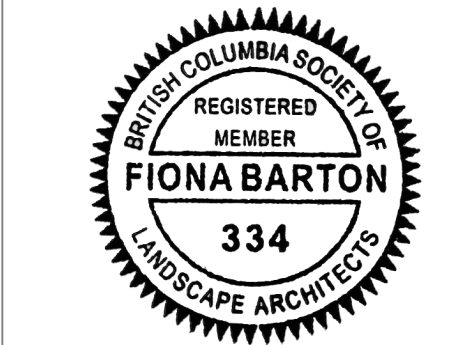
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DATE FEB. 18, 2022

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PAGE SIZE 24"x36"

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DRAWING NUMBER

LI-501



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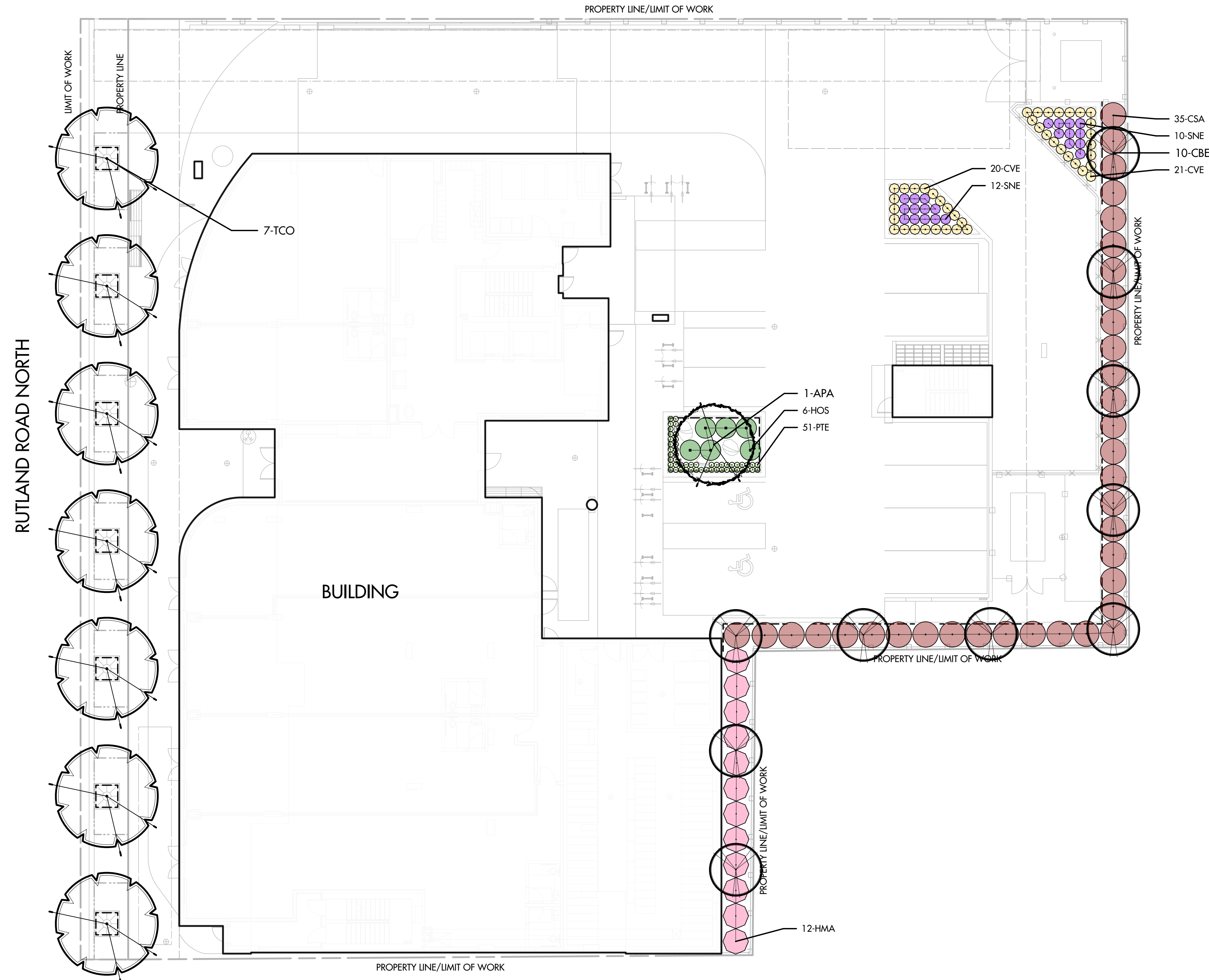
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DP21-0223 DVP21-0224

Planner Initials **KB**

City of Kelowna
DEVELOPMENT PLANNING

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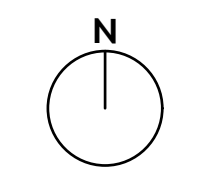
LEGEND

PROPOSED DECIDUOUS TREE

PROPOSED SHRUB, PERENNIAL, & ORNAMENTAL GRASS

PLANTING NOTES

- 1. PLANT MATERIAL**
ALL PLANT MATERIAL SUPPLIED AND PLACED BY THE CONTRACTOR MUST BE CERTIFIED TO BE FREE OF SUDDEN OAK DEATH (PHYTOPHTHORA RAMORUM), ACCORDING TO THE THE CANADIAN FOOD INSPECTION AGENCY (CFIA) OR BCLNA STANDARDS. THE CONTRACTOR WILL BE HELD RESPONSIBLE TO THE OWNER FOR THE SUPPLY AND PLACEMENT OF DISEASED PLANTS RESULTING FROM HIS NEGLIGENCE.
PLANT MATERIAL AND PRODUCTS SHALL BE AVAILABLE FOR INSPECTION BY THE LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. THE CONTRACTOR SHALL PROVIDE A (1) YEAR REPLACEMENT GUARANTEE ON ALL PLANT MATERIAL TO THE OWNER FROM THE DATE OF SUBSTANTIAL PERFORMANCE.
- 2. SUBSTITUTIONS**
THE CONTRACTOR SHALL NOT SUBSTITUTE PLANT MATERIAL OR PRODUCTS WITHOUT THE WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF ANY UNAPPROVED SUBSTITUTIONS.
- 3. QUANTITIES**
THE QUANTITIES SHOWN ON THE LABELS ARE NOT TO BE CONSTRUED AS THE COMPLETE AND ACCURATE LIMITS OF THE CONTRACT. FURNISH AND INSTALL ALL PLANTS SHOWN SCHEMATICALLY ON THE DRAWINGS.
- 4. WOOD MULCH**
THE CONTRACTOR SHALL SUPPLY AND PLACE BLACK WOOD MULCH, AVAILABLE FROM NATURE'S GOLD, OR APPROVED EQUAL, AT 75mm MIN. DEPTH TO THE PLANTING AREAS AS SHOWN ON THE DRAWINGS. NO PLASTIC FILM OR WEED BARRIER FABRIC IS PERMITTED UNLESS OTHERWISE SPECIFIED ON THE DRAWINGS. THE WOOD MULCH PRODUCT SHALL BE NON MATTING, FREE OF CHUNKS, STICKS, SOILS, STONES, CHEMICALS, ROOTS AND SALT.
- 5. GROWING MEDIUM PLACEMENT**
IMPORT GROWING MEDIUM SHALL BE PLACED AT 300mm MIN. DEPTH IN ALL PLANTING AREAS AT GRADE. 300mm DEPTH IN ALL PLANTING AREAS ON SLAB/ROOF AREAS, UNLESS SPECIFIED OTHERWISE ON THE GRADING PLAN, AND 1.0m MIN. DEPTH IN ALL TREE PITS, AS SHOWN IN THE DRAWINGS. GROWING MEDIUM IS TO MEET PROPERTIES OF TYPE 2P FOR PLANTING AREAS AT GRADE, AS PER TABLE T-6.3.5.4 IN THE LATEST EDITION OF THE CANADIAN LANDSCAPE STANDARD. GROWING MEDIUM FOR AREAS ON SLAB/ROOF AREAS SHALL BE SOPRAFLO 1, AVAILABLE FROM SOPREMA INC., OR APPROVED EQUAL. GROWING MEDIUM FOR OFF-SITE LANDSCAPE WORKS TO MEET CITY OF KELOWNA BYLAW 7900 SPECIFICATIONS.
- 6. ROOT BARRIER**
REFER TO MATERIAL PLAN FOR LOCATIONS OF ROOT BARRIER.



PROJECT TITLE
155-179 RUTLAND ROAD NORTH
Kelowna, BC

DRAWING TITLE
PLANTING PLAN

ISSUED FOR / REVISION

1	22.01.07	Coordination
2	22.01.28	95% Review
3	22.02.18	Tender
4		
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PROJECT NO: 21-086
DESIGN BY: KM
DRAWN BY: MC/SP
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PAGE SIZE: 24"x36"

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DRAWING NUMBER

LP -101

PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE/SPACING & REMARKS
TREES				
APA	1	ACER PALMATUM 'BLOODGOOD'	BLOODGOOD JAPANESE MAPLE	6cm CAL.
CBE	10	CARPINUS BETULUS 'FRANS FONTAINE'	FRANS FONTAINE HORNBEAM	6cm CAL.
TCO	7	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LINDEN	6cm CAL.
SHRUBS				
CSA	35	CORNUS SANGUINEA 'WINTER BEAUTY'	BLOOD TWIG DOGWOOD	#02 CONT. /1.8M O.C. SPACING
HIB	5	HIBISCUS 'LIL' KIM VIOLET'	LIL' KIM VIOLET ROSE OF SHARON	#05 CONT. /GRAFTED TREE FORM
HMA	12	HYDRANGEA MACROPHYLLA 'SWEET N' SALS'A'	SWEET N' SALS'A HYDRANGEA	#02 CONT. /1.8M O.C. SPACING
HPA	3	HYDRANGEA PANICULATA 'LIMELIGHT'	LIMELIGHT HYDRANGEA	#05 CONT. /GRAFTED TREE FORM
SBU	6	SPIRAEA BULMALDA 'ANTHONY WATERER'	ANTHONY WATERER SPIREA	#02 CONT. /1.2M O.C. SPACING
SME	2	SYRINGA MEYERI 'PALIBIN'	DWARF KOREAN LILAC	#02 CONT. /1.8M O.C. SPACING
PERENNIALS, GRASSES & GROUNDCOVERS				
CVE	41	COREOPSIS VERTICILLATA 'MOONBEAM'	MOONBEAM THREADLEAF COREOPSIS	#01 CONT. /0.9M O.C. SPACING
EDU	3	EUPATORIUM DUBIUM 'LITTLE JOE'	LITTLE JOE DWARF JOE PYE	#01 CONT. /1.2M O.C. SPACING
HOS	6	HOSTA 'NORTHERN EXPOSURE'	NORTHERN EXPOSURE HOSTA	#01 CONT. /1.5M O.C. SPACING
PTE	51	PACHYANDRA TERMINALIS	JAPANESE SPURGE	#01 CONT. /0.75M O.C. SPACING
PAL	30	PENNISETUM ALOPECUROIDES	FOUNTAIN GRASS	#01 CONT. /1.5M O.C. SPACING
SNE	22	SALVIA NEMOROSA 'MAY NIGHT'	MAY NIGHT SALVIA	#01 CONT. /0.9M O.C. SPACING

LEVEL 1

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*REFER TO SHEET LP-101 FOR PLANTING NOTES, LEGEND & PLANT LIST

SCHEDULE C

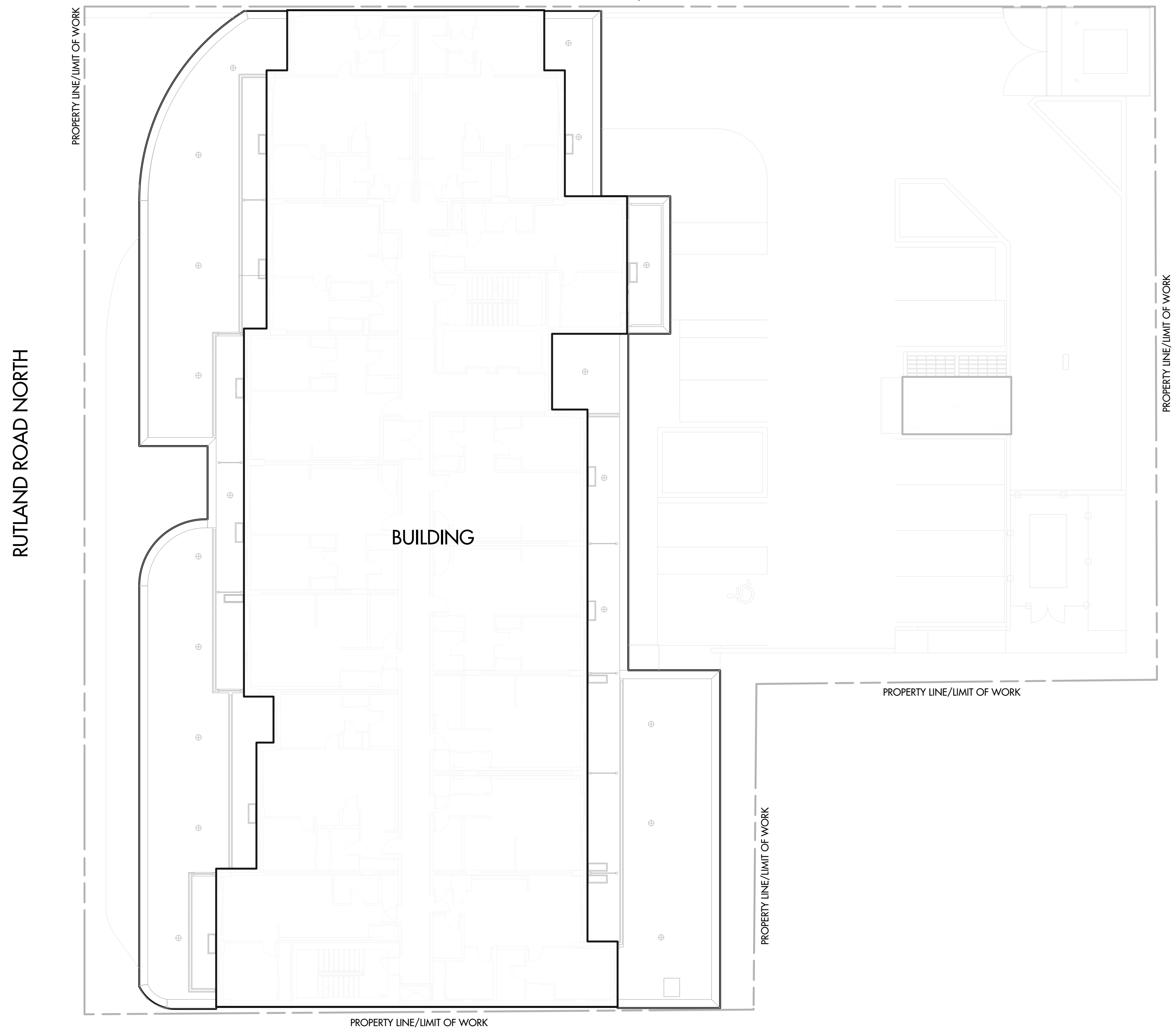
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DP21-0223 DVP21-0224

Planner Initials **KB**

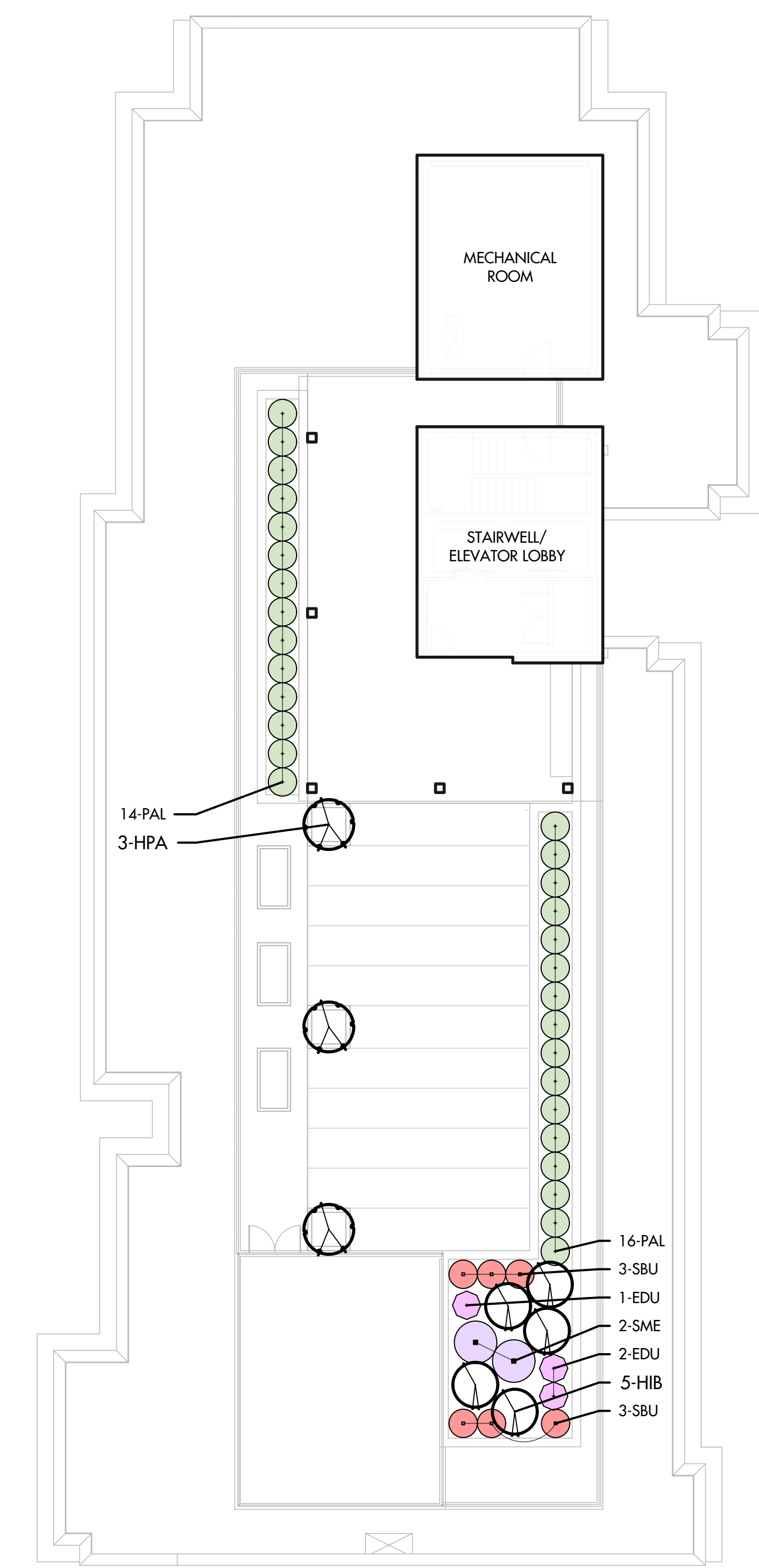
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ecora

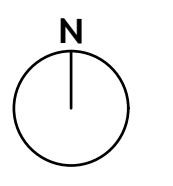
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LEVEL 2



ROOF TOP



PROJECT TITLE
155-179 RUTLAND ROAD NORTH
Kelowna, BC

DRAWING TITLE
PLANTING PLAN

ISSUED FOR / REVISION		
1	22.01.07	Coordination
2	22.01.28	95% Review
3	22.02.18	Tender
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5		

PROJECT NO	21-086
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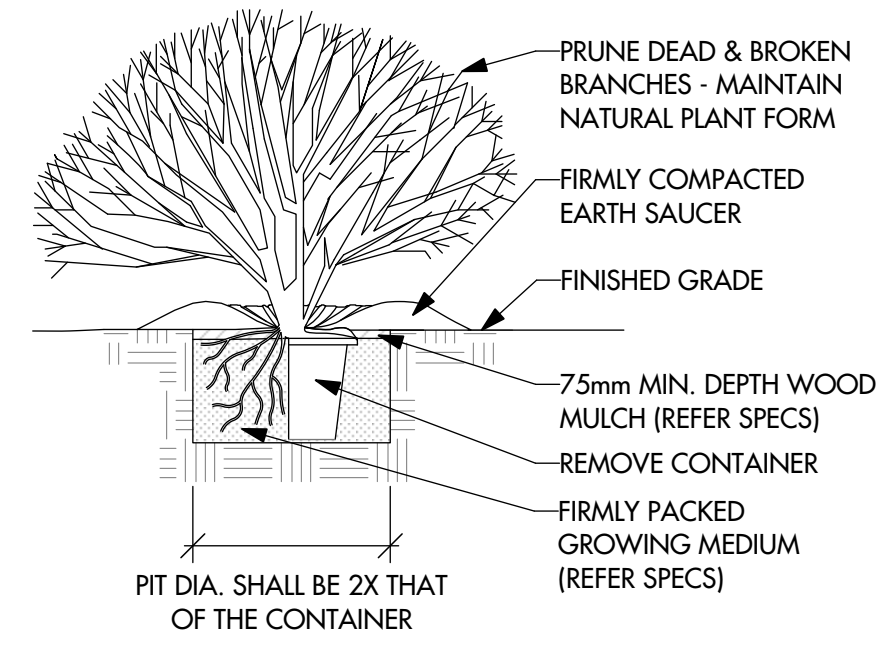
SCHEDULE C

This forms part of application
DP21-0223 DVP21-0224

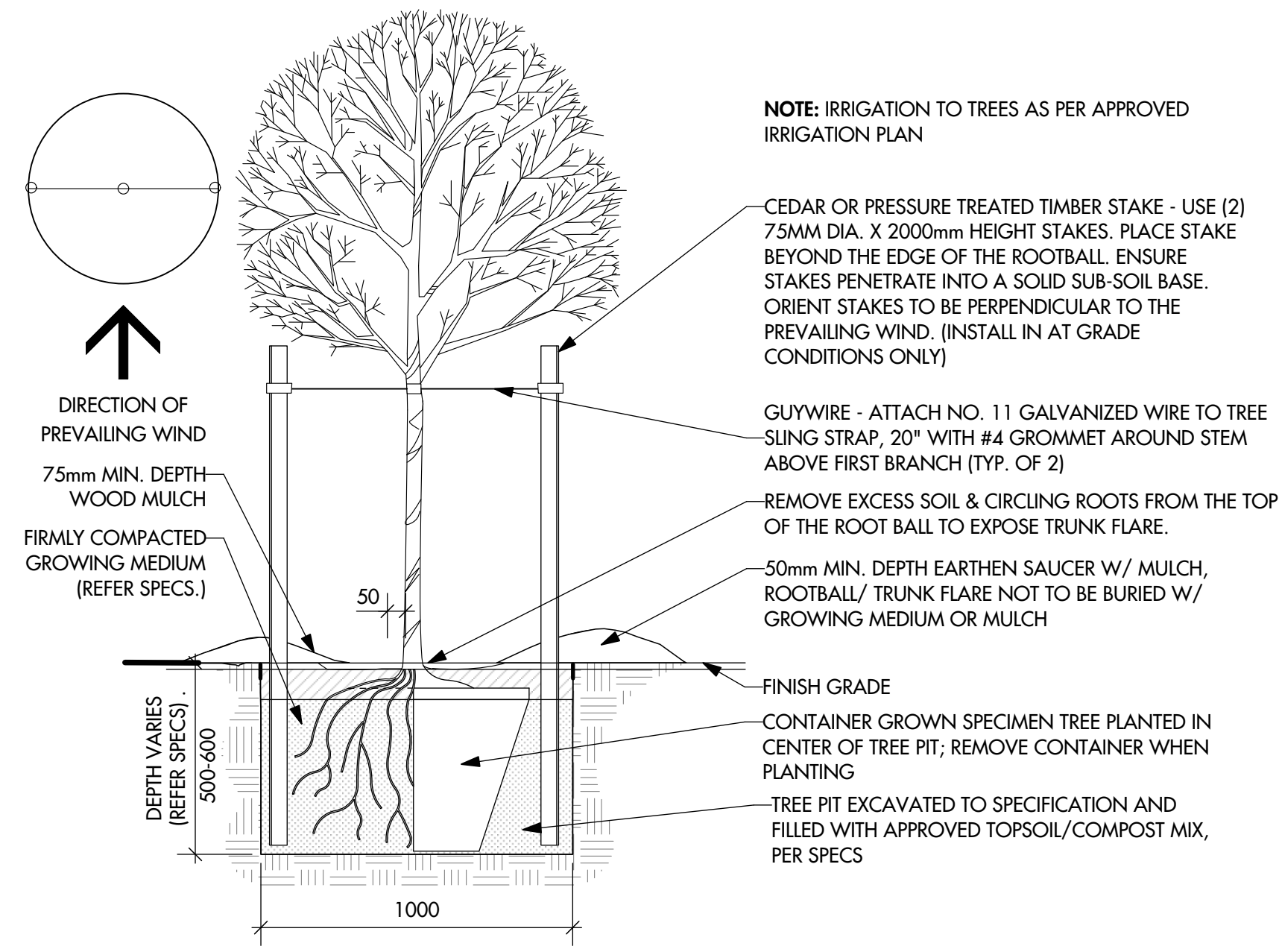
Planner Initials **KB**



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1 Shrub Planting (Typical) - Section
LP-501 N.T.S



2 Tree Planting in Wood Mulch (Typical) - Section
LP-501 N.T.S

NOTE: IRRIGATION TO TREES AS PER APPROVED IRRIGATION PLAN

PROJECT TITLE

155-179 RUTLAND ROAD NORTH

Kelowna, BC

DRAWING TITLE

PLANTING DETAILS

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LP -501

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CITY OF KELOWNA

MEMORANDUM

Date: ~~October 27, 2021~~ April 8, 2022
File No.: DP21-0223
To: Planning and Development Officer (LK) (KB)
From: Development Engineering Manager (RG) (NC)
Subject: 155, 165, & 175-179 Rutland Rd N Form and Character

This amended memo outlines the Development Engineering Branch's updated comments and the original memo comments have been retained as black with updates shown in red.

The Development Engineering Branch has the following comments and requirements associated with this application to review the form and character of a 8 storey mixed use building with ground floor commercial, 7 floors of residential, and 2 floors of underground parking. All requirements will be application at time of Building Permit. The Development Engineering Technician for this project will be Sarah Kelly (skelly@kelowna.ca).

1. GENERAL

- a. The following requirements are valid for two (2) years from the reference date of this memo, or until the application has been closed, whichever occurs first. The City of Kelowna reserves the rights to update/change some or all items in this memo once these time limits have been reached.
- b. This proposed development may require the installation of centralized mail delivery equipment. Please contact Arif Bhatia, Delivery Planning Officer, Canada Post Corporation, 530 Gaston Avenue, Kelowna, BC, V1Y 2K0, (250) 859-0198, arif.bhatia@canadapost.ca to obtain further information and to determine suitable location within the development.
- c. There is a possibility of a high water table or surcharging of storm drains during major storm events. This should be considered in the design of the onsite system.
- d. These Development Engineering comments/requirements are subject to the review and requirements from the Ministry of Transportation and Infrastructure (MoTI).
- e. Consolidation of subject lots and dedication of approximately ~~3m~~ 1m of road along the full frontage of all lots will be a requirement of this development. An additional 2m road reserve will be required along the full frontage of the consolidated lot.

2. DOMESTIC WATER AND FIRE PROTECTION

- a. The subject lots are located within the Rutland Waterworks District (RWD) service area. The developer is required to make satisfactory arrangements with RWD for all water and fire protection-related issues. All charges for service connection and

upgrading costs, as well as any costs to decommission existing services, shall be the responsibility of the developer.

- b. The Developer's Consulting Mechanical Engineer will determine the fire protection requirements of this proposed development and establish hydrant requirements and service needs. All fire flow calculations approved by RWD are to be shared with the Development Engineering Branch upon submittal of off-site civil engineering drawings.
- c. The water system must be capable of supplying the domestic and fire flow demands of the project in accordance with the Subdivision, Development, & Servicing Bylaw No. 7900. Provide water flow calculations for this development to confirm bylaw conformance (150 L/s for apartments/townhouses). Ensure building site is located at an elevation that ensures water pressure is within the bylaw pressure limits. Note: Private pumps are not acceptable for addressing marginal pressure.

3. SANITARY SEWER SYSTEM

- a. The subject lots are currently each serviced with a 150 mm sanitary service off Rutland Rd N. The Applicant's Consulting Mechanical Engineer will determine the requirements of the proposed development and establish the service needs. Only one service will be permitted for this development.
- b. The applicant, at their cost, will arrange for the removal and disconnection of the existing services and installation of one new larger service. New service connection required to be completed with an inspection chamber (c/w Brooks Box) as per SS-S7 and SS-S9.

4. STORM DRAINAGE

- a. The property is located within the City of Kelowna drainage service area. For on-site disposal of drainage water, a hydrogeotechnical report will be required complete with a design for the disposal method (i.e. trench drain / rock pit). The Lot Grading Plan must show the design and location of these systems.
- b. Provide the following drawings:
 - i. A detailed Lot Grading Plan (indicate on the Lot Grading Plan any slopes that are steeper than 30% and areas that have greater than 1.0 m of fill);
 - ii. A detailed Stormwater Management Plan for this subdivision; and,
 - iii. An Erosion and Sediment Control Plan is to be prepared by a Professional Engineer proficient in the field of erosion and sediment control. The plan is to be prepared as per section 3.14 of Schedule 4 of Bylaw 7900. If a line item for ESC is not included in the Engineer's cost estimate for off-site work, then an additional 3% will be added to the performance security based on the total off-site construction estimate.
- c. On-site detention systems are to be compliant with Bylaw 7900, Schedule 4, Section 3.11.1 *Detention Storage*.
- d. As per Bylaw 7900, Schedule 4, Section 3.1.3 Climate Change, the capacity of storm works will include an additional 15 percent (15%) upward adjustment, and applied to the rainfall intensity curve stage (IDF) in Section 3.7.2.

- e. Show details of dedications, rights-of-way, setbacks and non-disturbance areas on the lot Grading Plan.
- f. Register right of ways on private properties for all the storm water infrastructure carrying, conveying, detaining and/or retaining storm water that is generated from the public properties, public road right of ways, and golf course lands.
- g. Where structures are designed or constructed below the proven high groundwater table, permanent groundwater pumping will not be permitted to discharge to the storm system. The City will approve designs that include provisions for eliminating groundwater penetration into the structure, while addressing buoyancy concerns. These design aspects must be reviewed and approved by the City Engineer.

5. ROAD IMPROVEMENTS

- a. Rutland Rd N is included in the 20 Year Major Roads Network as a 4-Lane Arterial and must be upgraded to a full urban standard along the full frontage of the subject property. Required upgrades must include curb and gutter, separated sidewalk, storm drainage system, LED street lighting, landscaped and irrigated boulevard, pavement removal and replacement and re-location or adjustment of utility appurtenances if required to accommodate the upgrading construction. Road cross section will be provided to consulting engineer, upon request, at time of detailed offsite design.
- b. All Landscape and Irrigation plans require design and inspection by a Qualified Professional registered with the BCSLA and the IIABC, are to be included as a line item in the estimate for the Servicing Agreement performance security. Landscape and irrigation plans require approval by the Development Engineering Branch at the same time as other “issued for construction” drawings.
- c. Streetlights must be installed on all public roads. All streetlighting plans are to include photometric calculations demonstrating Bylaw 7900 requirements are met and approval by the Development Engineering Branch at the same time as other “issued for construction” drawings.

6. POWER AND TELECOMMUNICATION SERVICES

- a. All proposed distribution and service connections are to be installed underground. It is the developer’s responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for these services, which would be at the applicant’s cost.
- b. If any road dedication or closure affects lands encumbered by a Utility right-of-way (such as Hydro, Telus, Gas, etc.) please obtain the approval of the utility. Any works required by the utility as a consequence of the road dedication or closure must be incorporated in the construction drawings submitted to the City’s Development Manager.
- c. Re-locate existing poles and utilities, where necessary including within lanes. Remove aerial trespass(es).

7. GEOTECHNICAL STUDY

- a. At the time of Building Permit application the applicant is required to provide a comprehensive geotechnical report (3 copies), prepared by a Professional Engineer competent in the field of hydro-geotechnical engineering to address the items below:

NOTE: The City is relying on the Geotechnical Engineer's report to prevent any damage to property and/or injury to persons from occurring as a result of problems with soil slippage or soil instability related to this proposed subdivision.

- b. The Geotechnical reports must be submitted to the Planning and Development Services Department (Planning & Development Officer) for distribution to the Works & Utilities Department and Inspection Services Division prior to submission of Engineering drawings or application for subdivision approval.
 - i. Area ground water characteristics, including any springs and overland surface drainage courses traversing the property. Identify any monitoring required.
 - ii. Site suitability for development.
 - iii. Site soil characteristics (i.e. fill areas, sulphate content, unsuitable soils such as organic material, etc.).
 - iv. Any special requirements for construction of roads, utilities, and building structures.
 - v. Recommendations for items that should be included in a Restrictive Covenant.
 - vi. Recommendations for roof drains and perimeter drains.
 - vii. Recommendations for erosion and sedimentation controls for water and wind.
 - viii. Any items required in other sections of this document.

8. ROAD DEDICATION/SITE ACCESS

- a. Only one driveway, with a maximum width of 6m, will be permitted and is to be formalized with a concrete letdown as per SS-C7. All additional accesses must be removed.
- b. A ~~3m~~ **1m** road dedication and **2m of road reserve** is required along the full frontage of the subject lots to achieve to future 30m ROW.
- c. **A statutory right of way is required over the 2m road reserve to allow for public access to the sidewalk within the road reserve area.**
- d. Access to this development will be limited to right-in and right-out turns only. Driveway design must incorporate median to restrict turning movements.
- e. Indicate on the site, the locations of the garbage and recycle bins. Provide turning movements for a MSU vehicle to confirm manoeuvrability on site without requiring reverse movement onto City roads.

9. DESIGN AND CONSTRUCTION

- a. Design, construction supervision and inspection of all off-site civil works and site servicing must be performed by a Consulting Civil Engineer and all such work is subject to the approval of the City Engineer. Drawings must conform to City standards and requirements.

- b. Engineering drawing submissions are to be in accordance with the City's "Engineering Drawing Submission Requirements" Policy. Please note the number of sets and drawings required for submissions.
- c. Quality Control and Assurance Plans must be provided in accordance with the Subdivision, Development & Servicing Bylaw No. 7900 (refer to Part 5 and Schedule 3).
- d. A "Consulting Engineering Confirmation Letter" (City document 'C') must be completed prior to submission of any designs.
- e. Before any construction related to the requirements of this subdivision application commences, design drawings prepared by a professional engineer must be submitted to the City's Development Engineering Department. The design drawings must first be "Issued for Construction" by the City Engineer. On examination of design drawings, it may be determined that rights-of-way are required for current or future needs.

10. SERVICING AGREEMENT FOR WORKS AND SERVICES

- a. A Servicing Agreement is required for all offsite works and services on City lands in accordance with the Subdivision, Development & Servicing Bylaw No. 7900. The applicant's Engineer, prior to preparation of Servicing Agreements, must provide adequate drawings and estimates for the required works. The Servicing Agreement must be in the form as described in Schedule 2 of the bylaw.
- b. Part 3, "Security for Works and Services", of the Bylaw, describes the Bonding and Insurance requirements of the Owner. The liability limit is not to be less than \$5,000,000 and the City is to be named on the insurance policy as an additional insured.

11. CHARGES AND FEES

- a. Development Cost Charges (DCC's) are payable.
- b. Fees per the "Development Application Fees Bylaw" include:
 - i. Street/Traffic Sign Fees: at cost (to be determined after design).
 - ii. Survey Monument Fee: \$50.00 per newly created lot (GST exempt).
 - iii. Survey Monument, Replacement Fee: \$1,200.00 (GST exempt) – only if disturbed.
 - iv. Engineering and Inspection Fee: 3.5% of frontage upgrades (plus GST).


~~Ryan O'Sullivan~~ Nelson Chapman, P. Eng
Development Engineering Manager

SK

FORM & CHARACTER – DEVELOPMENT PERMIT GUIDELINES

Chapter 2 - The Design Foundations: apply to all projects and provide the overarching principles for supporting creativity, innovation and design excellence in Kelowna.

- Facilitate Active Mobility
- Use Placemaking to Strengthen Neighbourhood Identity
- Create Lively and Attractive Streets & Public Spaces
- Design Buildings to the Human Scale
- Strive for Design Excellence

The General Residential and Mixed Use Guidelines: provide the key guidelines that all residential and mixed use projects should strive to achieve to support the Design Foundations.

- The General Guidelines are supplement by typology-specific guidelines (e.g., Townhouses & Infill on page 18-19, High-Rise Residential and Mixed-Use on page 18-42), which provide additional guidance about form and character.

Chapter 2 - Design Foundations

Apply To All Projects

Page 18-8

Section 2.1 - General Residential and Mixed Use Design Guidelines

Page 18-9

Section 2.2 - Achieving High Performance

Page 18-17

Chapter 3
Townhouses & Infill

Page 18-19

Chapter 4
Low & Mid-Rise
Residential &
Mixed Use

Page 18-34

Chapter 5
High-Rise
Residential &
Mixed Use

Page 18-42

*Note: Refer to the Design Foundations and the Guidelines associated with the specific building typology.



FORM & CHARACTER - DEVELOPMENT PERMIT GUIDELINES

Consideration has been given to the following guidelines as identified in Chapter 18 of the City of Kelowna 2040 Official Community Plan:

RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE <i>(1 is least complying & 5 is highly complying)</i>	N/A	1	2	3	4	5
CHAPTER 4.0: LOW & MID-RISE RESIDENTIAL & MIXED USE						
4.1 Guidelines						
4.1.1 Relationship to the Street						
Lobby area and main building entrance is clearly visible from the fronting street and sidewalk.					✓	
Wherever possible, blank walls at grade are not encouraged.			✓			
Enclosed parking garages are located away from street frontages or public open space.						✓
Ground oriented units with entries or glazing have been provided to avoid the blank/dead frontage along the street.						✓
When unavoidable, blank walls have been screened with landscaping or have been incorporated with a patio/café or special materials have been provided to make them visually interesting.			✓			
Commercial & Mixed-use Buildings						
Proposed built form has a continuous active and transparent retail frontage at grade and provides a visual connection between the public and private realm.					✓	
Buildings have been sited using a common 'build to' line at or near the front property line to maintain a continuous street frontage. Some variation (1-3m maximum) can be accommodated in ground level set backs to support pedestrian and retail activity by, for example, incorporating a recessed entryway, small entry plaza, or sidewalk café.						✓
Frequent entrances (every 15 m maximum) into commercial street frontages have been incorporated to create punctuation and rhythm along the street, visual interest, and support pedestrian activity.						✓
Residential and Mixed-use Buildings						
Residential buildings at the ground floor have a set back between 3-5m from the property line to create a semi-private entry or transition zone to individual units and to allow for an elevated front entryway or raised patio.	✓					
A maximum 1.2m desired height (e.g., 5-6 steps) for front entryways has been provided. Where the water table requires this to be higher, in these cases, larger patio has been provided and parking has been screened with ramps, stairs, and landscaping.	✓					
Ground floor units accessible from the fronting street or public open spaces have been provided with individual entrances.	✓					
Buildings are sited and oriented so that windows and balconies are overlooking public streets, parks, walkways, and shared amenity spaces while minimizing views into private residences.					✓	



RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE (1 is least complying & 5 is highly complying)	N/A	1	2	3	4	5
4.1.2 Scale and Massing						
Proposed residential building façade has a length of 60m (40m length is preferred).					✓	
Buildings over 40m in length are incorporating significant horizontal and vertical breaks in façade.				✓		
Commercial building facades are incorporating significant break at approximately 35m intervals.				✓		
Proposed residential building has a maximum width of 24m.					✓	
Seven to Twelve Storey Buildings						
Proposed building is provided with a 2-3 storey podium at the base of the building.				✓		
Built form's upper storeys have a minimum 2m stepback and more generous upper storey terraces facing south, and west are provided.		✓				
Minimum 30m building separation between primary building facades is provided.	✓					
Courtyards and mid-block connections within building sideyards are 6m wide (minimum).	✓					
4.1.3 Site Planning						
On sloping sites, building floor levels are following the natural grade and avoiding the blank wall situation.	✓					
Buildings are sited to be parallel to the street and have a distinct front-to-back orientation to public street and open spaces and to rear yards, parking, and/or interior courtyards.						✓
Building sides that are interfacing with streets, mid-block connections, and other open spaces (building fronts) are positively framing and activating streets and open spaces and supporting pedestrian activity.						✓
Larger buildings are broken up with mid-block connections which have public accessibility wherever possible.	✓					
Ground floors adjacent to mid block connections have entrances and windows facing the mid block connection.	✓					
4.1.4 Site Servicing, Access, and Parking						
Vehicular access is provided from the lane.	✓					
Where there is no lane, and where the re-introduction of a lane is difficult or not possible, access is provided from the street, provided: <ul style="list-style-type: none"> Access is from a secondary street, where possible, or from the long face of the block; Impacts on pedestrians and the streetscape is minimized; and, There is no more than one curb cut per property. 						✓
Above grade structure parking should only be provided in instances where the site or high water table does not allow for other parking forms.						✓

RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE <i>(1 is least complying & 5 is highly complying)</i>	N/A	1	2	3	4	5
When parking cannot be located underground due to the high water table and is to be provided above ground, screen the parking structure from public view as follows: <ul style="list-style-type: none"> On portions of the building that front a retail or main street, line the above ground parking with active retail frontage; On portions of the building that front onto non-retail streets, line the above ground parking with an active residential frontage, such as ground oriented townhouse units; When active frontages are not able to be accommodated, screen parking structures by using architectural or landscaped screening elements; On corner sites, screen the parking structure from public view on both fronting streets using the appropriate strategy listed above. 						✓
Buildings with ground floor residential may integrate half-storey underground parking to a maximum of 1.2m above grade, with the following considerations: <ul style="list-style-type: none"> Semi-private spaces should be located above to soften the edge and be at a comfortable distance from street activity; and Where conditions such as the high water table do not allow for this condition, up to 2m is permitted, provided that entryways, stairs, landscaped terraces, and patios are integrated and that blank walls and barriers to accessibility are minimized. 	✓					
4.1.5 Publicly Accessible and Private Open Spaces						
Publicly accessible private spaces (e.g., private courtyards accessible and available to the public) have been integrated with public open areas to create seamless, contiguous spaces.	✓					
Semi-private open spaces have been located to maximize sunlight penetration, minimize noise disruptions, and minimize 'overlook' from adjacent units.					✓	
Outdoor Amenity Areas: design plazas and parks to: <ul style="list-style-type: none"> Contain 'three edges' (e.g., building frontage on three sides) where possible and be sized to accommodate a variety of activities; Be animated with active uses at the ground level; and, Be located in sunny, south facing areas. 	✓					
Internal courtyard design provides: <ul style="list-style-type: none"> amenities such as play areas, barbecues, and outdoor seating where appropriate. a balance of hardscape and softscape areas to meet the specific needs of surrounding residents and/or users. 	✓					
Mid-block connections design includes active frontages, seating, and landscaping.	✓					
Rooftop Amenity Spaces						



RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE <i>(1 is least complying & 5 is highly complying)</i>	N/A	1	2	3	4	5
Shared rooftop amenity spaces (such as outdoor recreation space and rooftop gardens on the top of a parkade) are designed to be accessible to residents and to ensure a balance of amenity and privacy by: <ul style="list-style-type: none"> Limiting sight lines from overlooking residential units to outdoor amenity space areas through the use of pergolas or covered areas where privacy is desired; and Controlling sight lines from the outdoor amenity space into adjacent or nearby residential units. 						✓
Reduce the heat island effect by including plants or designing a green roof, with the following considerations: <ul style="list-style-type: none"> Secure trees and tall shrubs to the roof deck; and Ensure soil depths and types are appropriate for proposed plants and ensure drainage is accommodated. 	✓					
4.1.6 Building Articulation, Features & Materials						
Articulate building facades into intervals that are a maximum of 15m wide for mixed-use buildings and 20m wide for residential buildings. Strategies for articulating buildings should consider the potential impacts on energy performance (see 2.2.1), and include: <ul style="list-style-type: none"> Façade Modulation – stepping back or extending forward a portion of the façade to create a series of intervals in the facade; Repeating window patterns at intervals that correspond to extensions and step backs (articulation) in the building facade; Providing a porch, patio, deck, or covered entry for each interval; Providing a bay window or balcony for each interval, while balancing the significant potential for heat loss through thermal bridge connections which could impact energy performance; Changing the roof line by alternating dormers, stepped roofs, gables, or other roof elements to reinforce the modulation or articulation interval; Changing the materials with the change in building plane; and Provide a lighting fixture, trellis, tree, or other landscape feature within each interval. 						✓
Break up the building mass by incorporating elements that define a building's base, middle and top.					✓	
Use an integrated, consistent range of materials and colors and provide variety by, for example, using accent colors.					✓	
Articulate the facade using design elements that are inherent to the building as opposed to being decorative. For example, create depth in building facades by recessing window frames or partially recessing balconies to allow shadows to add detail and variety as a byproduct of massing.						✓
Incorporate distinct architectural treatments for corner sites and highly visible buildings such as varying the roofline (<i>See Figure 41</i>), articulating the facade, adding pedestrian space, increasing the number and size of windows, and adding awnings and canopies.					✓	
Weather Protection						



RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE <i>(1 is least complying & 5 is highly complying)</i>	N/A	1	2	3	4	5
Provide weather protection (e.g. awnings, canopies, overhangs, etc.) along all commercial streets and plazas (See Figure 42), with particular attention to the following locations: <ul style="list-style-type: none"> • Primary building entrances, • Adjacent to bus zones and street corners where people wait for traffic lights; • Over store fronts and display windows; and • Any other areas where significant waiting or browsing by people occurs. 						✓
Architecturally-integrate awnings, canopies, and overhangs to the building and incorporate architectural design features of buildings from which they are supported.						✓
Place and locate awnings and canopies to reflect the building's architecture and fenestration pattern.						✓
Place awnings and canopies to balance weather protection with daylight penetration. Avoid continuous opaque canopies that run the full length					✓	
Signage						
Provides attractive signage on commercial buildings that identifies uses and shops clearly but which is scaled to the pedestrian rather than the motorist. Some exceptions can be made for buildings located on highways and/or major arterials in alignment with the City's Sign Bylaw.						✓
Avoid the following types of signage: <ul style="list-style-type: none"> • Internally lit plastic box signs; • Pylon (stand alone) signs; and • Rooftop signs. 						✓
Uniquely branded or colored signs are encouraged to help establish a special character to different neighbourhoods.	✓					