

# Development Variance Permit DVP22-0007



This permit relates to land in the City of Kelowna municipally known as

**1786 Crosby Road**

and legally known as

**Lot 8, Section 5, Township 23, ODYD, Plan EPP63600**

and permits the land to be used for the following development:

**Single Dwelling Housing (RU2 – Medium Lot Housing)**

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council Decision                      May 10, 2022

Decision By:                                      COUNCIL

Existing Zone:                                      RU2 – Medium Lot Housing

Future Land Use Designation:              S-RES – Suburban Residential

## **This is NOT a Building Permit.**

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

## **NOTICE**

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner:                                      Alfonso Reda & Cheryl Elaine Reda

Applicant:                                      Protocol Home Planning & Design – Les Csolle

---

Terry Barton  
Community Planning Department Manager  
Planning & Development Services

---

Date

**ATTACHMENT A**

This forms part of application  
# **DVP22-0007**

Planner Initials MT

  
**City of Kelowna**  
COMMUNITY PLANNING

## 1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

## 2. CONDITIONS OF APPROVAL

- a) That variances to the following sections of Zoning Bylaw No. 8000 be granted in accordance with Schedule "A":

**Section 13.2.6(a): RU2 – Medium Lot Housing Development Regulations**

To vary the required maximum site coverage from 40% permitted to 44% proposed.

**Section 13.2.6(e): RU2 – Medium Lot Housing Development Regulations:**

To vary the required minimum rear yard setback from 6.0 m permitted to 2.6 m proposed.

**This Development Variance Permit is valid for two (2) years from the date of approval, with no opportunity to extend.**

## 3. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.  
Security shall ONLY be returned to the signatory of the  
Landscape Agreement or their designates.**

<b>ATTACHMENT</b> <b>A</b>	
This forms part of application # <b>DVP22-0007</b>	
Planner Initials	<b>MT</b>
<b>City of Kelowna</b> COMMUNITY PLANNING 	



# GENERAL SPECIFICATIONS

## CODES & STANDARDS

ALL WORKMANSHIP TO BE OF A STANDARD EQUAL IN ALL RESPECTS TO GOOD NORTH AMERICAN BUILDING PRACTICES AT TIME OF PREPARATION THESE DRAWINGS WERE MADE IN ACCORDANCE TO NATIONAL BUILDING CODE STANDARDS B.C. BUILDING CODE STANDARDS AS WELL AS LOCAL BUILDING CODE REQUIREMENTS FOR SPECIFIC CONDITIONS IT IS THE RESPONSIBILITY OF THE PLAN HOLDER (OWNER OR BUILDER) TO ENSURE THAT ANY CHANGES OR AMENDMENTS TO CODE STANDARDS BE INCORPORATED INTO THESE DRAWINGS ALL WORK SHALL CONFORM TO LOCAL OR REGIONAL BUILDING CODES AND ANY LOCAL BYLAW WHICH MAY TAKE PRECEDENCE

THE BUILDER IS RESPONSIBLE TO VERIFY ALL INFORMATION DIMENSIONS & SPECIFICATIONS REGARDING THESE PLANS PRIOR TO COMMENCEMENT OF CONSTRUCTION WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED MEASUREMENTS ANY VARIATION REGARDING STRUCTURAL ELEMENTS OR SPECIFICATIONS OF THESE DRAWINGS DUE TO VARIATIONS IN SITE CONDITIONS SHALL BE RESOLVED BY THE BUILDER OR OWNER SUCH RESOLUTIONS ARE TO BE THEIR SOLE RESPONSIBILITY.

## CONCRETE FOUNDATIONS

ALL CAST-IN-PLACE CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2900 PSI (20MPa) AT 28 DAYS CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED SOIL OR COMPACTED SOIL TO AN ELEVATION BELOW FROST LEVEL FOOTINGS SHOWN ON THESE DRAWINGS HAVE BEEN DESIGNED FOR A SOIL BEARING CAPACITY OF 2500 PSF IT IS THE RESPONSIBILITY OF THE BUILDER OR OWNER TO HAVE THE FOOTINGS REDESIGNED BY QUALIFIED PERSONS TO SUIT ANY LESSER BEARING CAPACITY CONDITIONS WHICH MAY BE ENCOUNTERED ON SITE FOUNDATION WALLS SHALL NOT BE BACK-FILLED UNTIL CONCRETE OR MASONRY GRout HAS REACHED ITS SPECIFIC 28 DAY STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING SUB-FLOOR) REQUIRED TO STABILIZE WALLS IS COMPLETELY & FULLY MAILED & ANCHORED ALL CONCRETE & MASONRY FOUNDATION WALLS REQUIRED TO EXCEED THE LIMITS STATED IN THE NATIONAL BUILDING CODE ARE REQUIRED TO BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER ALL FOUNDATION WALLS 24" (600mm) AND HIGHER TO HAVE ONE HORIZONTAL 10mm REINFORCING BAR 3" (75mm) FROM TOP OF WALL CENTRE REINFORCING TO BE LAPPED A MINIMUM OF 24" (600mm) ALL FOOTINGS SHALL HAVE TWO (2) 10mm REINFORCING BARS THESE REINFORCING BARS ARE TO BE LOCATED SUCH THAT ONE BAR IS 3" (75mm) CLEAR DISTANCE OF THE SIDE & BOTTOM OF THE FOOTING AT BOTH SIDES OF THE FOOTING GRADE LEVELS SHOWN ON THESE DRAWINGS ARE ESTIMATES ONLY ADJUSTMENTS AS REQUIRED ARE TO BE MADE ON SITE RETAINING WALLS OTHER THAN THE FOUNDATION WALLS OF THE RESIDENCE ARE BEYOND THE SCOPE OF THESE DRAWINGS UNLESS OTHERWISE NOTED

## DEPTH OF FOUNDATIONS

DEPTH OF FOUNDATIONS TO BE AS PER NATIONAL BUILDING CODE STANDARDS AND IN CONJUNCTION WITH STANDARDS ACCEPTABLE TO LOCAL BUILDING AUTHORITY.

## MASONRY ABOVE GRADE

ALL ABOVE GRADE MASONRY IS TO CONFORM TO STANDARDS OF THE NATIONAL BUILDING CODE WHERE BRICK VENEER IS INSTALLED COUNTERFLASHINGS SHALL BE INSTALLED TO A MINIMUM 8" (200mm) UP BEHIND BUILDING FELTS & BELOW THE BOTTOM COURSE WITH VERTICAL JOINTS RACKED CLEAN WEEPHOLES AT MINIMUM 24" (600mm) oc

## CARPENTRY

FRAMING LUMBER SHALL BE No. 2 SPF OR BETTER UNLESS OTHERWISE SPECIFIED FOR OTHER COMMON SPECIES REFER TO SPAN TABLES OF THE CURRENT EDITION OF THE NATIONAL OR B.C. BUILDING CODES ALL BEAM & Lintel SIZES SHOWN ON THE DRAWINGS ARE BASED ON No. 2 SPF & ARE TO BE 2 X 12 LIFT-UP UNLESS OTHERWISE SPECIFIED

JOISTS ARE TO BE DOUBLED UNDER INTERIOR PARTITION WALLS JOISTS SHALL BE PLACED TO MINIMIZE INTERFERENCE WITH HEATING & PLUMBING ELEMENTS

ALL HEADERS & TRIMMERS ARE TO COMPLY WITH CURRENT EDITION OF THE NATIONAL & B.C. BUILDING CODES THE BUILDER OR OWNER ARE TO OBTAIN NECESSARY CERTIFICATES FROM FLOOR JOIST, ROOF TRUSS LVL & GULLAM MANUFACTURERS FOR STRUCTURAL COMPLIANCE FLOOR & ROOF JOIST SPANS OF MORE THAN 7'-0" (2135mm) SHALL BE BRIDGED AT MIDSPAN OR AT 7'-0" (2135mm) oc MAXIMUM UNLESS SHEATHED OR STRAPPED BOTH SIDES WITH WOOD BRIDGING SHALL BE A 2 X 2 DIAGONAL TYPE WHENEVER POSSIBLE WOOD IN CONTACT WITH CONCRETE SHALL BE DAMPROOFED WITH 45# FELT OR CLOSED CELL GASKET MATERIAL OR PRESSURE TREATED WOOD USING A WATERBORNE PRESERVATIVE OR OTHER APPROVED METHOD

INTERIOR FRAMING TO BE 4" (100mm) CLEAR OF BACK & SIDES OF ANY FIREBOX AND 2" (50mm) CLEAR OF BRICK CHIMNEY'S FRAME INTERIOR WALLS 1" (25mm) CLEAR FROM EXTERIOR FIREPLACES

SILL PLATES TO BE ANCHORED TO CONCRETE WITH 5/8" (8mm) ANCHOR BOLTS @ MINIMUM 8'-0" (2400mm) oc OR OTHER APPROVED METHOD FLUSH FRAMED WOOD MEMBERS SHALL BE ANCHORED WITH 2000# (90kg) RATED JOIST HANGERS UNLESS OTHERWISE SPECIFIED DIMENSIONS ARE FROM THE OUTSIDE FACE OF SHEATHING TO THE CENTRE OF PARTITION WALL

## INSULATION - VENTILATION

MINIMUM INSULATION REQUIREMENTS ARE AS FOLLOWS

- ROOF / CEILING: R-44 (R-21-775)  
 - WALLS (2 X 4): R-14 (R-5-23)  
 - WALLS (2 X 6): R-22 (R-9-39)

CEILING INSULATION MAY BE LOOSE FILL OR BATT TYPE WALL & FLOOR INSULATION MUST BE BATT TYPE WALLS & CEILINGS BETWEEN RESIDENCE & ATTACHED GARAGE SHALL BE INSULATED INSULATION REQUIREMENTS MAY VARY WITH HEATING SYSTEMS & LOCAL CONDITIONS ALL ROOF SPACES SHALL BE VENTILATED WITH SOFFIT, ROOF OR GABLE VENTS OR IN COMBINATION THEREOF VENTING SHALL BE EQUALLY DISTRIBUTED BETWEEN TOP OF ROOF SPACES & SOFFITS ALL VENTILATION OF CRAWL SPACES SHALL CONFORM TO STANDARDS OF THE NATIONAL & B.C. BUILDING CODE REQUIREMENTS

## STUCCO PROJECTIONS

STUCCO PROJECTIONS & STUCCO CORBELLING TO BE CONSTRUCTED FROM 2 X 4 LUMBER ON FLAT WITH 3/4" PLYWOOD OVER CORNER BEAD WITH WIRE MESH OR STUCCO WIRE FINISH OVER ALL EXPOSED HORIZONTAL PROJECTIONS TO BE SLOPED A MINIMUM OF 6 DEGREES TO EXTERIOR SIDE FOR DRAINAGE

## EXTERIOR ENTRY DOORS

ALL EXTERIOR ENTRY DOORS TO BE INSTALLED WITH THE FOLLOWING MINIMUM REQUIREMENTS USE SOLID WOOD BLOCKING @ LOCK HEIGHT ON BOTH SIDE OF DOOR JAMBS FOR TWO (2) STUD SPACES (EXCEPT WHERE SIDELIGHTS OCCUR) DEADBOLT LOCK WITH A MINIMUM 1" (25mm) THROW LINGLES SECURED TO DOOR WITH 1" (25mm) SCREWS & INTO FRAME WITH 3" (75mm) SCREWS INTO SOLID WOOD BLOCKING MAIN ENTRANCE DOORS TO HAVE A DOOR VEWER WITH 180 DEGREE VIEW ANGLE OR DOORLIGHT OR SIDELIGHT WITH A PORTION OF CLEAR GLAZING FOR VIEWING SIDELIGHTS OR WINDOWS WITHIN 36" (95mm) OF AN EXTERIOR LOCKING DOOR SHALL HAVE SAFETY LAMINATED, TEMPERED OR WIRED GLAZING SLIDING TYPE PATIO DOORS MUST HAVE A PIN TYPE LOCKING DEVICE (IE TOE LOCK) WITH A MINIMUM 1" (25mm) THROW

## LINTELS & BEARING WALL

ALL LINTELS IN EXTERIOR FRAME WALLS TO BE 2 X 10 SPF UNLESS OTHERWISE SPECIFIED ALL SUPPORT COLUMNS FOR GIRDERS TRUSSES & BEAMS ARE TO BEAR SECURELY ONTO FOUNDATION GROUND SNOW LOAD TAKEN AT 40 PSF (9 kN/m)

## VAPOUR BARRIER & MASTURE RETARDATION

ALL JOINTS IN VAPOUR BARRIER TO BE LAPPED MIN 4" & TO OCCUR OVER FRAMING MEMBERS OR SEALED WITH CAULKING ALL HOLES THROUGH VAPOUR BARRIER FOR WIRES ELECTRICAL BOXES PIPING DUCTS ETC. SHALL BE SEALED SILL PLATES TO BE PRESSURE TREATED OR SEPARATED FROM CONCRETE BY DAMPROOFING MATERIAL MASTURE RESISTANT BACKING IS REQUIRED AROUND ALL BATHUBS OR SHOWERS WHERE CERAMIC TILE & PLASTIC SHEET IS TO BE INSTALLED

## MISCELLANEOUS

NON-HARDENING CAULKING COMPOUND SHALL BE APPLIED OVER & AROUND ALL EXTERIOR OPENINGS ALL AREAS SHALL BE PROPERLY FLASHED WHERE A CHANGE IN EXTERIOR MATERIALS OCCUR OR DISSIMILAR MATERIALS ARE USED FLASHING REQUIRED OVER ALL EXTERIOR OPENINGS ALL SIDING OR STUCCO TO BE A MINIMUM 8" ABOVE FINISHED GRADE LEVEL CAST IRON CHIMNEY FLUES ARE REQUIRED TO BE APPROVED FOR ALL FIREPLACES ALL BALCONY RAILINGS TO BE 3'-6" IN HEIGHT WITH A MAXIMUM SPACING OF 4" BETWEEN VERTICAL MEMBERS MINIMUM DISTANCE BETWEEN HORIZONTAL RAILS TO BE 32" WITH A TOP RAIL ABILITY TO SUSTAIN OUTWARD APPLIED LOAD OF 40 POUNDS PER LINEAL FOOT CLOSETS & CLOSET'S SHALL HAVE AT LEAST ONE ROD & SHELF AND A MINIMUM DEPTH OF 24" (915mm) UNLESS OTHERWISE STATED LINEN CLOSET'S SHALL HAVE 5 ADJUSTABLE SHELVES WHEREVER POSSIBLE BROOM CLOSET'S SHALL HAVE AT LEAST ONE SHELF

## GENERAL NOTES

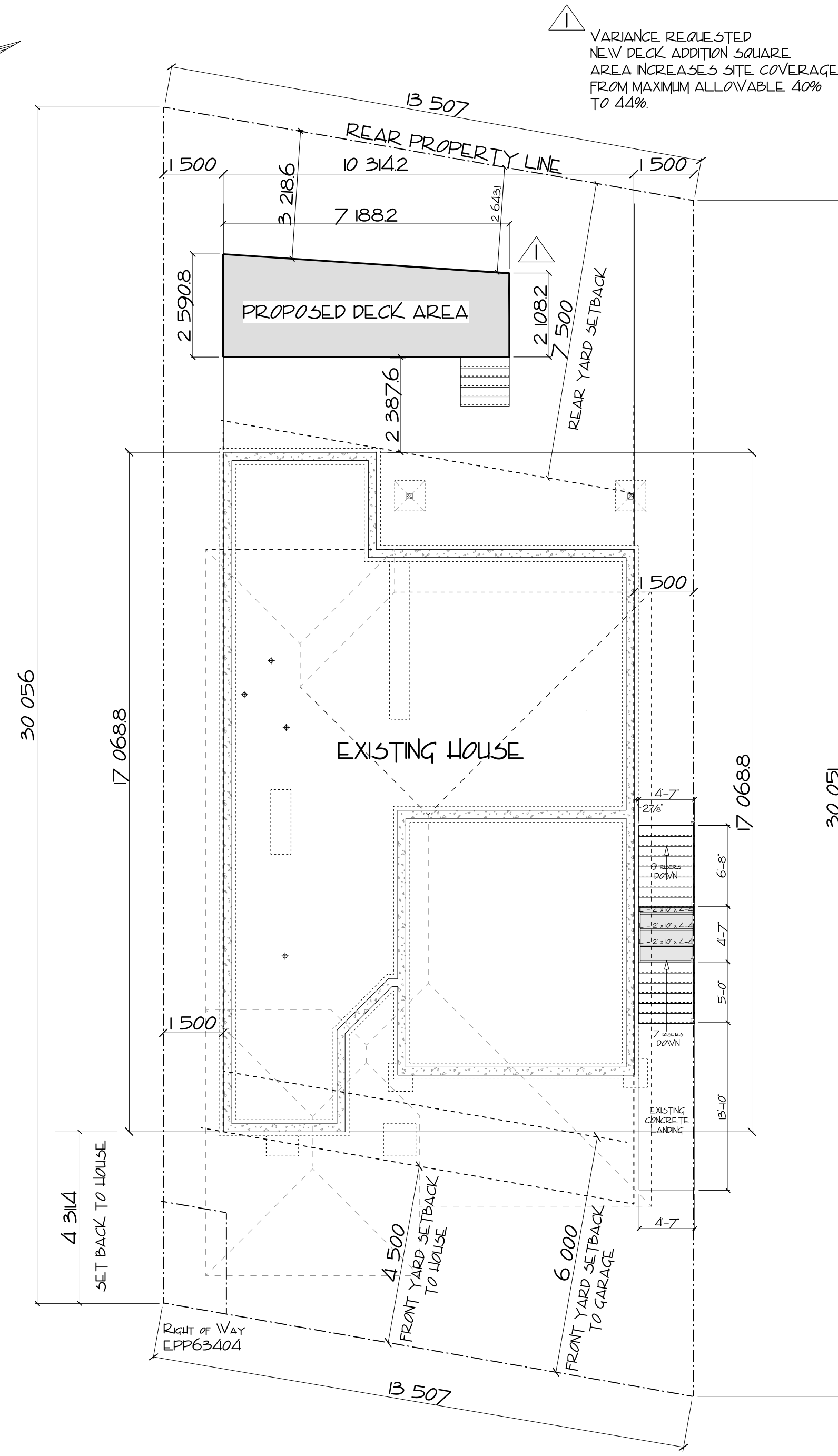
ALL WORK SHALL BE EQUAL IN ALL RESPECTS TO GOOD BUILDING PRACTICES WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS THESE PLANS ARE FOR THE SOLE PURPOSE OF CONSTRUCTION ONLY THEY MAY NOT USED FOR REPEAT CONSTRUCTION OR SOLD TO OTHERS FOR SUCH PURPOSES THE DESIGN CONTAINED HEREIN IS TO BE A GUIDE ONLY AND CAN BE SUBJECT TO CHANGE AT ANY TIME. PROTOCOL HOME PLANNING & DESIGN ITS EMPLOYEES OR PRINCIPALS WILL NOT BE HELD LIABLE FOR ANY CONFLICTS DUE TO UNFORESEEN CIRCUMSTANCES IN CONSTRUCTION BUILDING CODES OR ENGINEERING THAT MAY AFFECT THE ORIGINAL DESIGN OR ANY OTHER CONDITION THAT MAY AFFECT THE OVERALL BUILDING OF THIS OR ANY OTHER RELATED STRUCTURES ON THESE DRAWINGS

ALL DIMENSIONS ARE TO BE VERIFIED ON SITE BY BUILDING CONTRACTOR LOCATIONS OF POST BEARING PADS & BEARING WALL FOOTINGS TO BE CONFIRMED AND THESE LOCATIONS TO BE DETERMINED TO BE ADEQUATE WITH PROPER BEARING ON SUBSTRATE & POTENTIAL LATERAL SHIFT DUE TO VIBRATION AND / OR EARTH MOVEMENT GEO-TECHNICAL SURVEY TO BE CONFIRMED TO VERIFY SUBSTRATE CONDITIONS REQUIRED

## RU2 - MEDIUM LOT HOUSING

### SITE PLAN

Scale: 1:100 (1/8" = 1'-0")



## 1786 CROSBY ROAD

### LEGAL DESCRIPTION

LOT 8  
 EPP63600  
 1786 CROSBY ROAD  
 KELOWNA, BRITISH COLUMBIA

### SITE COVERAGE

TOTAL LOT AREA =	405.7m <sup>2</sup> (4367 sf)
EXISTING HOUSE & GARAGE AREA (Footprint) =	147.62m <sup>2</sup> (1589 sf)
EXISTING DECK COVERAGE =	15.97m <sup>2</sup> (172 sf)
PROPOSED NEW DECK AREA =	16.80m <sup>2</sup> (181 sf)
TOTAL COVERAGE =	180.39m <sup>2</sup> (1942 sf)
180.39m <sup>2</sup> / 405.7m <sup>2</sup> = 44%	
TOTAL ALLOWABLE COVERAGE =	40%

**SITE PLAN**

Scale: AS SHOWN  
 Date: 16 DEC 2021  
 Approved By: [Signature]  
 Checked By: ALFONSO REDA  
 Drawing Number: PT2145-01 of 05

**PROTOCOL**  
 Home Planning & Design

1786 CROSBY ROAD

Phone: 250-878-7318  
 email: protocolplanning@shaw.ca  
 website: protocolhomeplanning.com  
 REGINA, SASKATCHEWAN, SASKATCHEWAN, CANADA

**NOTE:**  
 GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL BUILDING MEASUREMENTS AND COMPLIANCE TO B.C. BUILDING CODE REQUIREMENTS. ALL STRUCTURAL COMPONENTS TO BE ENGINEER DESIGNED OR VERIFIED BY A REGISTERED PROFESSIONAL ENGINEER. ALL LOADS, DEAD LOADS, WIND LOADS, OR SNOW LOADS FOR THE PROPOSED LOCATION OF THE BUILDING, SITE CONDITIONS TO BE TESTED AND APPROVED BY LOCAL BUILDING AUTHORITY REGARDING SUBSTRATE STABILITY AND FROST PENETRATION FOR THE PROPOSED BUILDING. FINAL GRADE REQUIREMENTS TO BE VERIFIED BY THE GENERAL CONTRACTOR TO PROVIDE A POSITIVE SLOPE TO DRAIN AND GROUND WATER DRAINAGE.

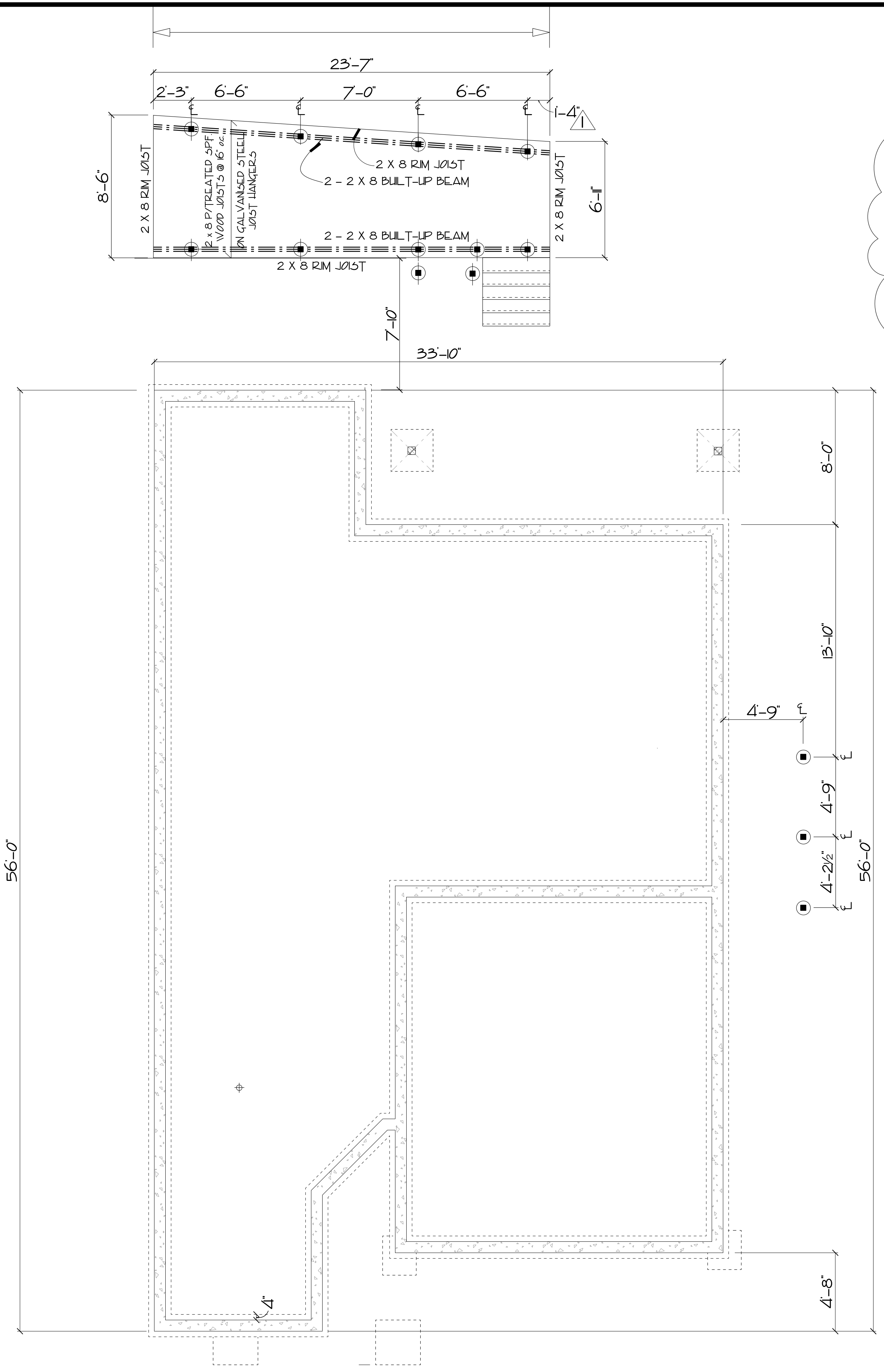


# FOUNDATION PLAN

Scale: 1/4" = 1'-0"

ALL DIMENSIONS SHOWN ARE TO BE VERIFIED ON SITE BY THE BUILDING CONTRACTOR. LOCATIONS OF POST BEARING PADS AND BEARING WALL FOOTINGS ARE TO BE CONFIRMED AND THESE LOCATIONS DETERMINED TO BE ADEQUATE WITH PROPER BEARING OF SUBSTRATE AND POTENTIAL LATERAL SHIFT DUE TO VIBRATION AND / OR EARTH MOVEMENT. A GEO-TECHNICAL SURVEY IS TO BE CONDUCTED TO VERIFY SITE CONDITIONS AS REQUIRED.

ALL MAJOR STRUCTURAL COMPONENTS AND RELATED SUPPORTS & CONNECTIONS ARE TO BE ENGINEER REVIEWED & CERTIFIED AS REQUIRED BY THE MUNICIPAL AUTHORITY HAVING JURISDICTION AND THE LATEST VERSION OF THE NATIONAL & LOCAL BUILDING CODES AND AMENDMENTS THERETO.



⚠️ VARIANCE REQUESTED  
 NEW DECK ADDITION SQUARE  
 AREA INCREASES ALLOWABLE  
 SITE COVERAGE FROM MAX  
 40% TO 44%.

<b>FOUNDATION PLAN</b>	
Scale: A5 SHOWN	Drawn By: CLC
Date: 16 DEC 2021	Checked By: ALFONSO REDA
	Drawing Number: PT2145 - 02 of 05
1786 CROSBY ROAD	

**PROTOCOL**  
 Home Planning & Design

Photo: 250-878-7318 email: protocolplanning@shaw.ca website: protocolhome.design.com

**NOTE:**  
 GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL BUILDING MEASUREMENTS AND COMPLIANCE TO LOCAL BUILDING CODE REQUIREMENTS. ALL STRUCTURAL COMPONENTS TO BE ENGINEER DESIGNED OR VERIFIED FOR COMPLIANCE TO NATIONAL AND LOCAL BUILDING CODES REGARDING LIVE LOADS, DEAD LOADS, WIND LOADS, OR SNOW LOADS FOR THE PROPOSED STRUCTURE. ALL BUILDINGS INCLUDING REPAIRS TO EXISTING STRUCTURE ACCORDING TO LOCAL BUILDING CODES REQUIREMENTS REGARDING STABILITY AND FROST PENETRATION FOR THE PROPOSED BUILDING. FINAL GRADE REQUIREMENTS TO BE VERIFIED BY THE GENERAL CONTRACTOR TO PROVIDE A POSITIVE SLOPE TO DRAIN AND GROUND WATER DRAINAGE.

**GENERAL NOTES**  
 ALL WORK SHALL BE EQUAL IN ALL RESPECTS TO GOOD BUILDING PRACTICES. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS. THESE PLANS ARE FOR THE SOLE PURPOSE OF CONSTRUCTION ONLY. THEY MAY NOT BE USED FOR REPEAT CONSTRUCTION OR SOLD TO OTHERS FOR SUCH PURPOSES. THE DESIGN CONTAINED HEREIN IS TO BE A GUIDE ONLY AND IS SUBJECT TO CHANGE AT ANY TIME. PROTOCOL HOME PLANNING & DESIGN ITS EMPLOYEES OR PRINCIPALS WILL NOT BE HELD RESPONSIBLE FOR ANY CHANGES DUE TO UNFORESEEN CIRCUMSTANCES IN CONSTRUCTION. BUILDING CODES, ENGINEERING, ORIGINAL DESIGN OR ANY OTHER CONDITION THAT MAY AFFECT THE OVERALL BUILDING OF THIS OR RELATED STRUCTURES.

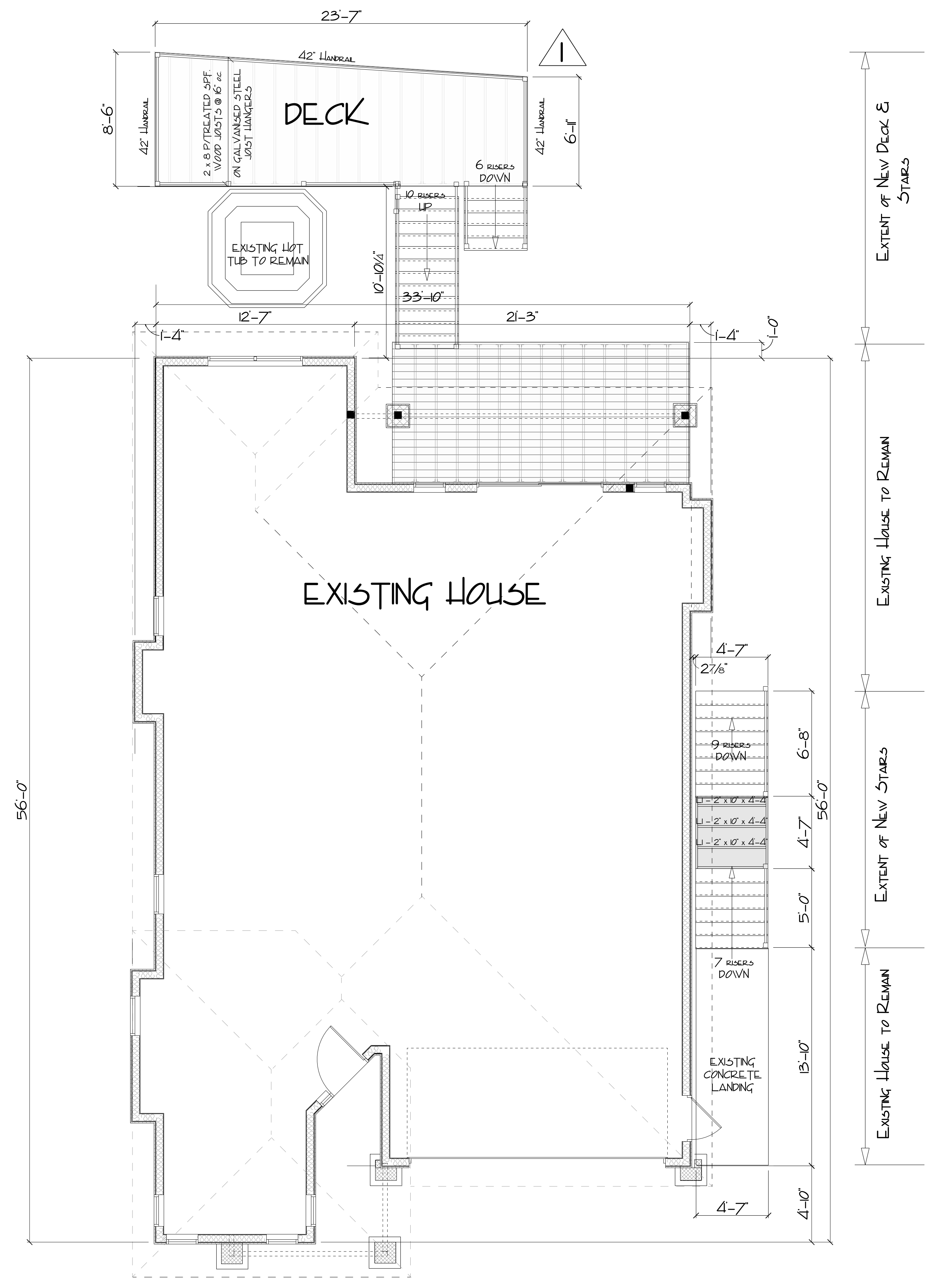


# MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"

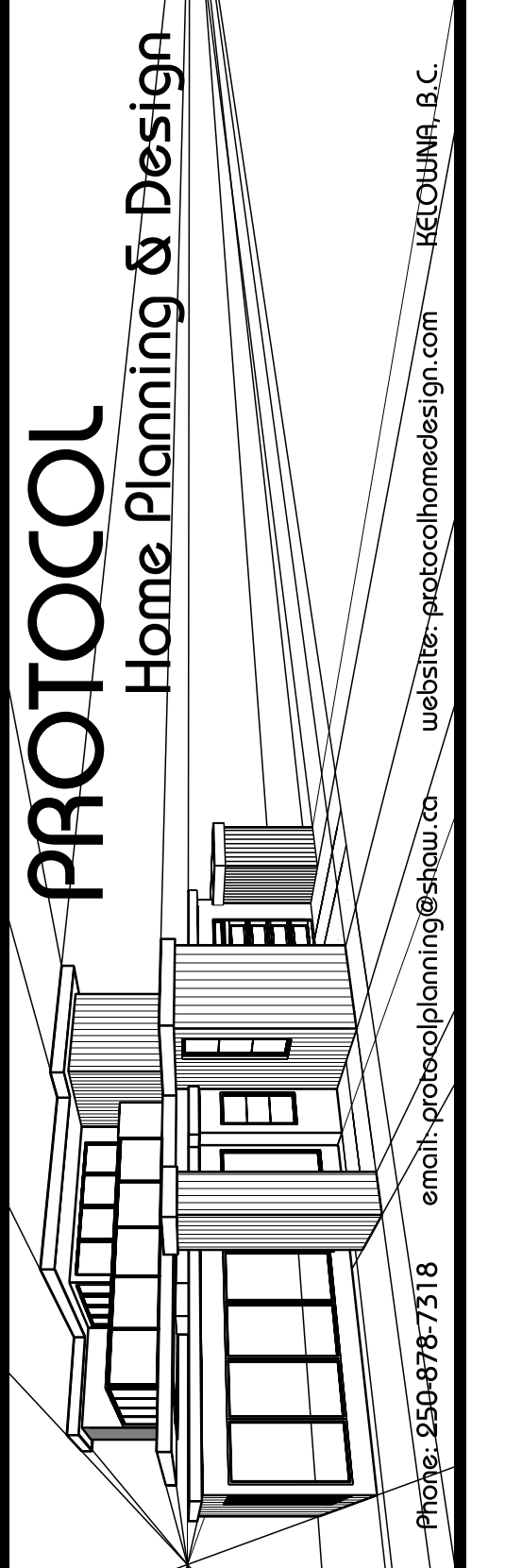
ALL DIMENSIONS SHOWN ARE TO BE VERIFIED ON SITE BY THE BUILDING CONTRACTOR. LOCATIONS OF POST BEARING PADS AND BEARING WALL FOOTINGS ARE TO BE CONFIRMED AND THESE LOCATIONS DETERMINED TO BE ADEQUATE WITH PROPER BEARING OF SUBSTRATE AND POTENTIAL LATERAL SHIFT DUE TO VIBRATION AND / OR EARTH MOVEMENT. A GEO-TECHNICAL SURVEY IS TO BE CONDUCTED TO VERIFY SITE CONDITIONS AS REQUIRED.

ALL MAJOR STRUCTURAL COMPONENTS AND RELATED SUPPORTS & CONNECTIONS ARE TO BE ENGINEER REVIEWED & CERTIFIED AS REQUIRED BY THE MUNICIPAL AUTHORITY HAVING JURISDICTION AND THE LATEST VERSION OF THE NATIONAL & LOCAL BUILDING CODES AND AMENDMENTS THERETO.



⚠️ VARIANCE REQUESTED  
 NEW DECK ADDITION SQUARE  
 AREA INCREASES ALLOWABLE  
 SITE COVERAGE FROM MAX.  
 40% TO 44%.

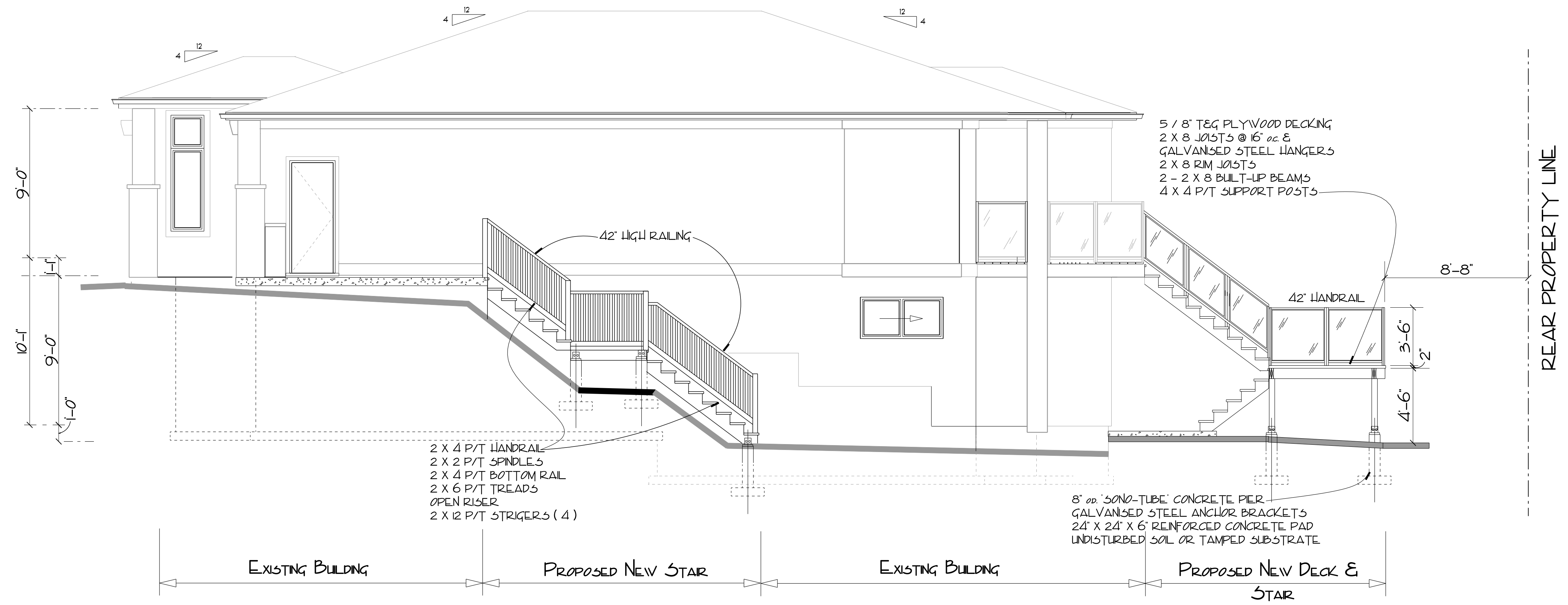
<b>NEW DECK &amp; STAIR ADDITION</b>	
Scale: A5 SHOWN	Drawn By: CLC
Date: 16 DEC 2021	Checked By: ALFONSO REDA
Approved By:	
Drawing Number: PT245 - 03 of 05	
1786 CROSBY ROAD	



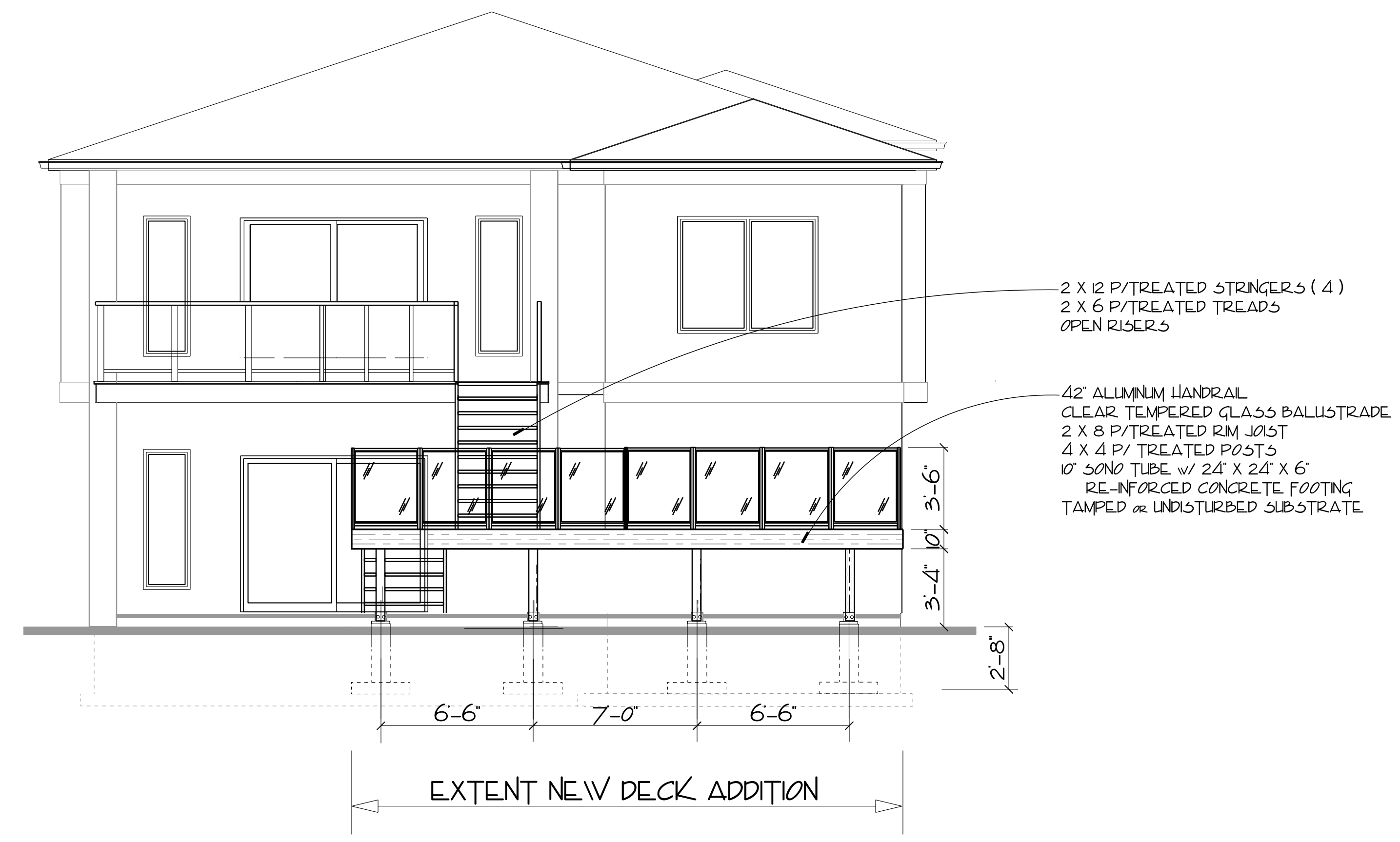
**NOTE:**  
 GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL BUILDING MEASUREMENTS AND COMPLIANCE TO LOCAL BUILDING CODE REQUIREMENTS. ALL STRUCTURAL COMPONENTS TO BE ENGINEER DESIGNED OR VERIFIED FOR COMPLIANCE TO NATIONAL AND LOCAL BUILDING CODES REGARDING LIVE LOADS, DEAD LOADS, WIND LOADS, OR SNOW LOADS FOR THE PROPOSED STRUCTURE. ALL BUILDINGS ATTACHED REGARDING SUBSTRATE STABILITY AND Frost Penetration FOR THE PROPOSED BUILDING. FINAL GRADE REQUIREMENTS TO BE VERIFIED BY THE GENERAL CONTRACTOR TO PROVIDE A POSITIVE SLOPE TO DRAIN AND GROUND WATER DRAINAGE.

**GENERAL NOTES**  
 ALL WORK SHALL BE EQUAL IN ALL RESPECTS TO GOOD BUILDING PRACTICES. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS. THESE PLANS ARE FOR THE SOLE PURPOSE OF CONSTRUCTION ONLY. THEY MAY NOT BE USED FOR REPEAT CONSTRUCTION OR SOLD TO OTHERS FOR SUCH PURPOSES. THE DESIGN CONTAINED HEREIN IS TO BE A GUIDE ONLY AND IS SUBJECT TO CHANGE AT ANY TIME. PROTOCOL HOME PLANNING & DESIGN ITS EMPLOYEES OR PRINCIPALS WILL NOT BE HELD RESPONSIBLE FOR ANY CHANGES DUE TO UNFORESEEN CIRCUMSTANCES IN CONSTRUCTION. BUILDING CODES, ENGINEERING, ORIGINAL DESIGN OR ANY OTHER CONDITION THAT MAY AFFECT THE OVERALL BUILDING OF THIS OR RELATED STRUCTURES.

**R. SIDE ELEVATION**  
 SCALE: 1/4" = 1'-0"



**REAR ELEVATION**  
 SCALE: 1/4" = 1'-0"



ALL DIMENSIONS SHOWN ARE TO BE VERIFIED ON SITE BY THE BUILDING CONTRACTOR. LOCATIONS OF POST BEARING PADS AND BEARING WALL FOOTINGS ARE TO BE CONFIRMED AND THESE LOCATIONS DETERMINED TO BE ADEQUATE WITH PROPER BEARING OF SUBSTRATE AND POTENTIAL LATERAL SHIFT DUE TO VIBRATION AND / OR EARTH MOVEMENT. A GEO-TECHNICAL SURVEY IS TO BE CONDUCTED TO VERIFY SITE CONDITIONS AS REQUIRED.

ALL MAJOR STRUCTURAL COMPONENTS AND RELATED SUPPORTS & CONNECTIONS ARE TO BE ENGINEER REVIEWED & CERTIFIED AS REQUIRED BY THE MUNICIPAL AUTHORITY HAVING JURISDICTION AND THE LATEST VERSION OF THE NATIONAL & LOCAL BUILDING CODES AND AMENDMENTS THERETO.

**GENERAL NOTES**  
 ALL WORK SHALL BE EQUAL IN ALL RESPECTS TO GOOD BUILDING PRACTICES. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS. THESE PLANS ARE FOR THE SOLE PURPOSE OF CONSTRUCTION ONLY. THEY MAY NOT BE USED FOR REPEAT CONSTRUCTION OR SOLD TO OTHERS FOR SUCH PURPOSES. THE DESIGN CONTAINED HEREIN IS TO BE A GUIDE ONLY AND IS SUBJECT TO CHANGE AT ANY TIME. PROTOCOL HOME PLANNING & DESIGN, ITS EMPLOYEES OR PRINCIPALS WILL NOT BE HELD RESPONSIBLE FOR ANY CHANGES DUE TO UNFORESEEN CIRCUMSTANCES IN CONSTRUCTION. BUILDING CODES, ENGINEERING, ORIGINAL DESIGN OR ANY OTHER CONDITION THAT MAY AFFECT THE OVERALL BUILDING OF THIS OR RELATED STRUCTURES.

**ELEVATIONS**

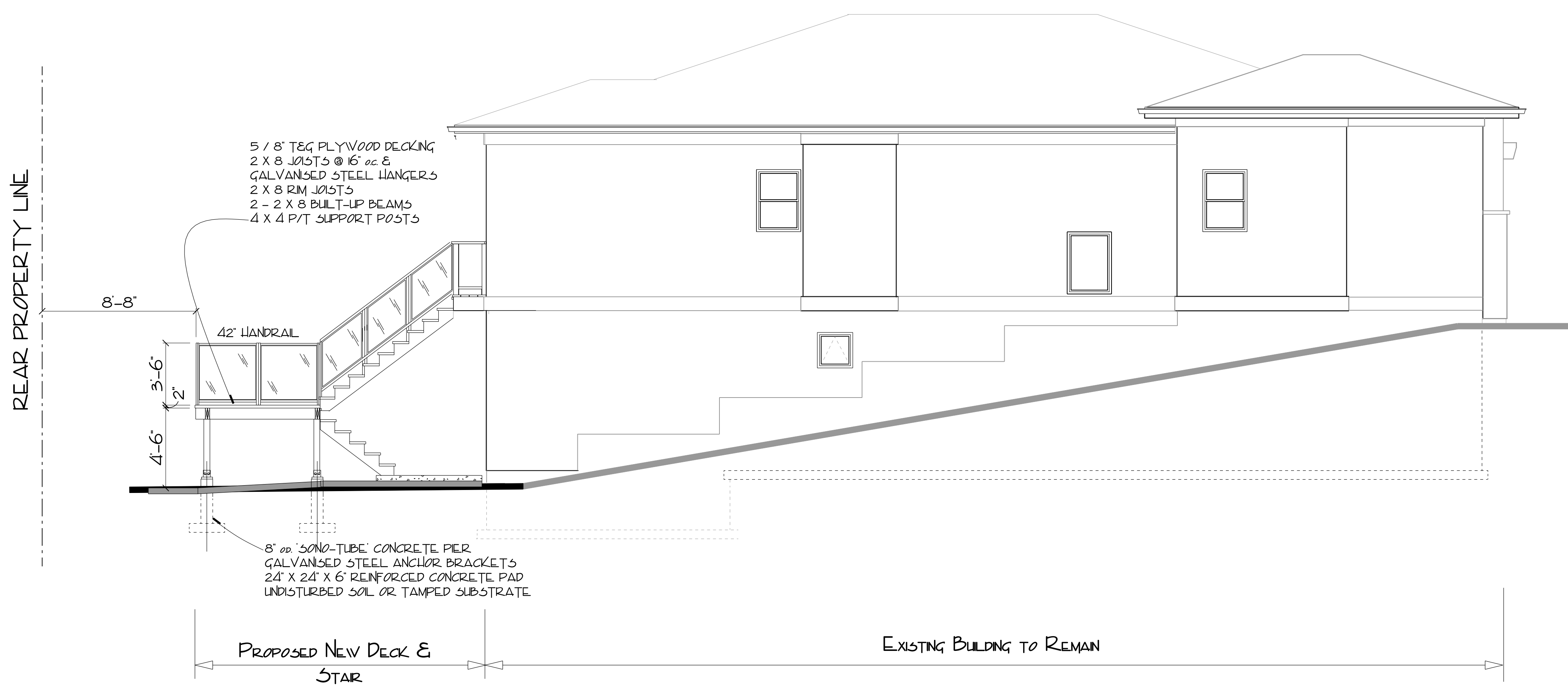
Scale: AS SHOWN	Approved By:	Drawn By: CLC
Date: 16 DEC 2021		Checked By: ALFONSO REDA
		Drawing Number: PT2145 - 04 of 05

**PROTOCOL**  
 Home Planning & Design  
 1786 CROSBY ROAD  
 Kelowna, B.C.  
 Phone: 250-878-7318  
 Email: protocolplanning@shaw.ca  
 Website: protocolhome.com

**NOTE:**  
 GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL BUILDING MEASUREMENTS AND COMPLIANCE TO LOCAL BUILDING CODE REQUIREMENTS. ALL STRUCTURAL COMPONENTS TO BE ENGINEER DESIGNED OR VERIFIED FOR COMPLIANCE TO NATIONAL AND LOCAL BUILDING CODES REGARDING LIVE LOADS, DEAD LOADS, WIND LOADS, OR SNOW LOADS FOR THE PROPOSED WORK. LOCAL BUILDING DEPARTMENTS REGARDING SUBSTRATE STRENGTH, STABILITY AND Frost Penetration FOR THE PROPOSED BUILDING. FINAL GRADE REQUIREMENTS TO BE VERIFIED BY THE GENERAL CONTRACTOR TO PROVIDE A POSITIVE SLOPE TO DRAIN AND GROUND WATER DRAINAGE.



L. SIDE ELEVATION  
 SCALE: 1/4" = 1'-0"



ALL DIMENSIONS SHOWN ARE TO BE VERIFIED ON SITE BY THE BUILDING CONTRACTOR. LOCATIONS OF POST BEARING PADS AND BEARING WALL FOOTINGS ARE TO BE CONFIRMED AND THESE LOCATIONS DETERMINED TO BE ADEQUATE WITH PROPER BEARING OF SUBSTRATE AND POTENTIAL LATERAL SHIFT DUE TO VIBRATION AND / OR EARTH MOVEMENT. A GEO-TECHNICAL SURVEY IS TO BE CONDUCTED TO VERIFY SITE CONDITIONS AS REQUIRED.

ALL MAJOR STRUCTURAL COMPONENTS AND RELATED SUPPORTS & CONNECTIONS ARE TO BE ENGINEER REVIEWED & CERTIFIED AS REQUIRED BY THE MUNICIPAL AUTHORITY HAVING JURISDICTION AND THE LATEST VERSION OF THE NATIONAL & LOCAL BUILDING CODES AND AMENDMENTS THERETO.

GENERAL NOTES  
 ALL WORK SHALL BE EQUAL IN ALL RESPECTS TO GOOD BUILDING PRACTICES.  
 WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS.  
 THESE PLANS ARE FOR THE SOLE PURPOSE OF CONSTRUCTION ONLY. THEY MAY NOT BE USED FOR REPEAT CONSTRUCTION OR SOLD TO OTHERS FOR SUCH PURPOSES THE DESIGN CONTAINED HEREIN IS TO BE A GUIDE ONLY AND IS SUBJECT TO CHANGE AT ANY TIME. PROTOCOL HOME PLANNING & DESIGN ITS EMPLOYEES OR PRINCIPALS WILL NOT BE HELD RESPONSIBLE FOR ANY CHANGES DUE TO UNFORESEEN CIRCUMSTANCES IN CONSTRUCTION. BUILDING CODES, ENGINEERING, ORIGINAL DESIGN OR ANY OTHER CONDITION THAT MAY AFFECT THE OVERALL BUILDING OF THIS OR RELATED STRUCTURES.

ELEVATION	
Scale: A5 SHOWN	Approved By: CLC
Date: 16 DEC 2021	Checked By: ALFONSO REDA
Drawing Number: PT2145 - 05 of 05	
1786 CROSBY ROAD	

**PROTOCOL**  
 Home Planning & Design  
 email: protocolplanning@shaw.ca  
 website: protocolhomedesign.com  
 Kelowna, B.C.  
 Phone: 250-878-7318

NOTE:  
 GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL BUILDING MEASUREMENTS AND COMPLIANCE TO LOCAL BUILDING CODE REQUIREMENTS. ALL STRUCTURAL COMPONENTS TO BE ENGINEER DESIGNED OR VERIFIED FOR COMPLIANCE TO NATIONAL AND LOCAL BUILDING CODES REGARDING LIVE LOADS, DEAD LOADS, WIND LOADS, OR SNOW LOADS FOR THE PROPOSED STRUCTURE. LOCAL BUILDING OFFICERS REGARDING SUPPORT STABILITY AND Frost Penetration FOR THE PROPOSED BUILDING. FINAL GRADE REQUIREMENTS TO BE VERIFIED BY THE GENERAL CONTRACTOR TO PROVIDE A POSITIVE SLOPE TO DRAIN AND GROUND WATER DRAINAGE.















