

BIM 360://Springfield Road/AR_22-I-016_1994 SPRINGFIELD_R21.rvt

2022-01-13 2:11:12 PM

DP AMENDMENT

1994 SPRINGFIELD

1994 SPRINGFIELD RD
KELOWNA, BC V1Y 5V7

ARCHITECTURAL

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LANDSCAPE

- L1 LANDSCAPE PLAN



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STRUCTURAL

ROV CONSULTING INC.
2040 Springfield Rd Unit #101
Kelowna, BC V1Y 9N7



REINBOLD ENGINEERING GROUP
1684 Richter St Unit #3011
Kelowna, BC V1Y 8N3

ELECTRICAL

FALCON ENGINEERING
1715 Dickson Ave Unit #210
Kelowna, BC V1Y 9G6



MCELHANNEY ENGINEERING
570 Raymer Ave Unit #203
Kelowna, BC V1Y 4Z5



ECORA ENGINEERING & RESOURCE GROUP LTD.
200 - 2045 Enterprise Way
Kelowna, BC V1Y 9T5

3	DP AMENDMENT	2022-01-13
2	TRS AMENDED PLANS	2021-10-05
1	ISSUED FOR DEVELOPMENT PERMIT	2021-08-06

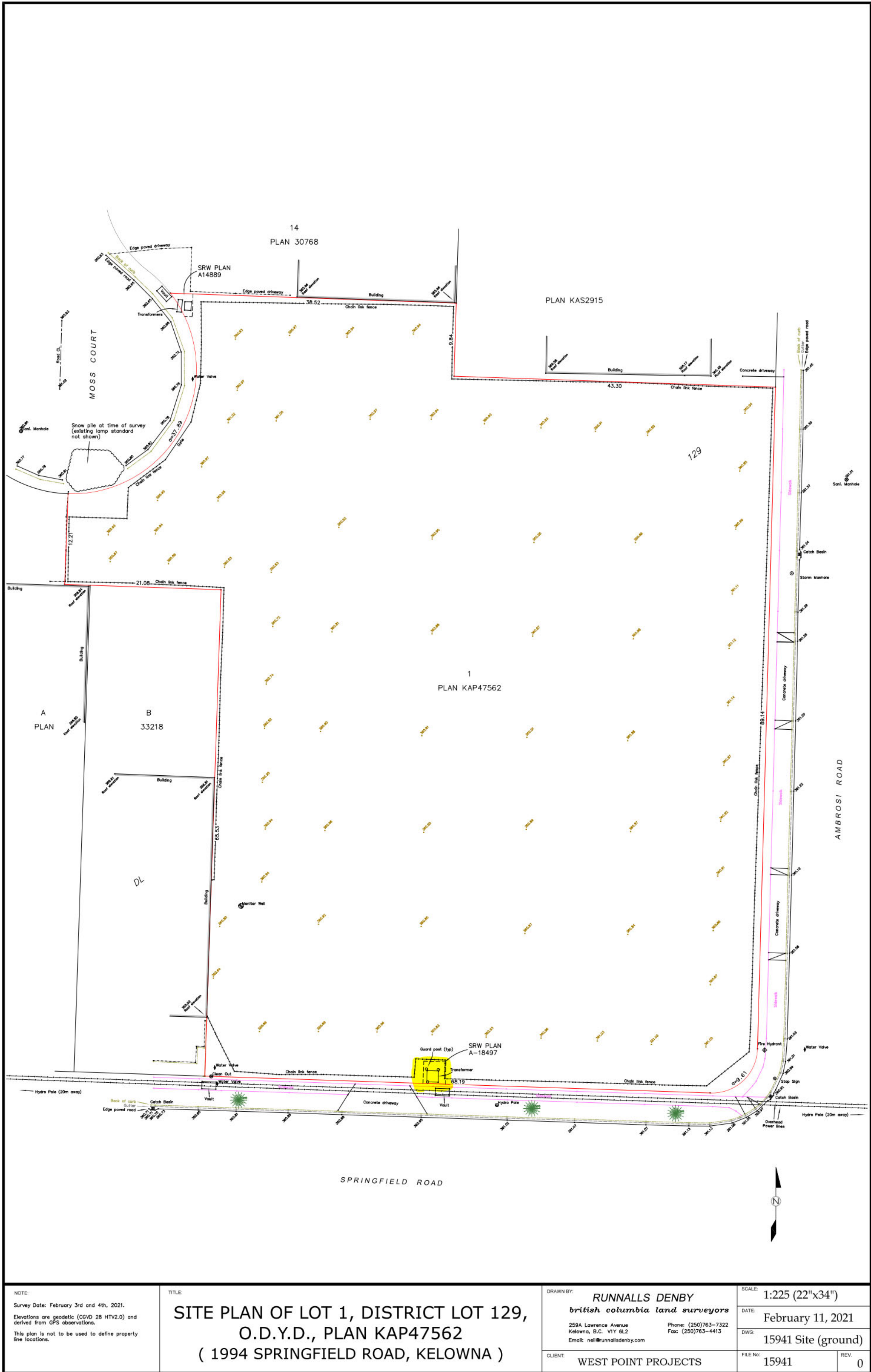
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221-016		

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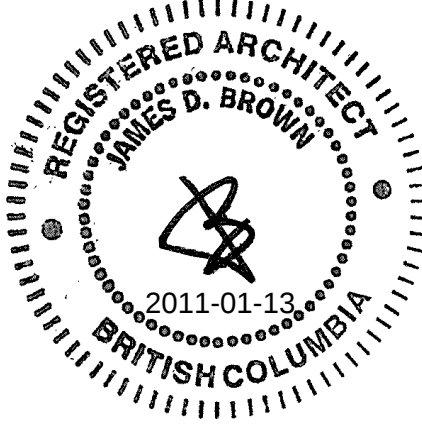


NOTE: ALL INFORMATION OBTAINED FROM SITE SURVEY WAS PERFORMED BY RUNNALLS DENBY BRITISH COLUMBIA LAND SURVEYORS IN ACCORDANCE WITH THE PROVISIONS OF THE SURVEYS ACT. SURVEY COMPLETED FEBRUARY 11, 2021. THE LEGAL SURVEY DEPICTED ON THIS SHEET IS FOR REFERENCE ONLY. ZEIDLER ARCHITECTURE ASSUMES NO RESPONSIBILITY OF THE SURVEY INFORMATION DEPICTED HEREIN.

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PROJECT

1994 SPRINGFIELD

PROJECT ADDRESS

1994 SPRINGFIELD RD
KELOWNA, BC V1Y 5V7

TITLE

SITE SURVEY

PROJECT NO.	DRAWN	CHECKED
221-016		

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DP0.1

PROJECT STATISTICS

EXISTING ZONING: C10 - SERVICE COMMERCIAL

PROPOSED ZONING: C4 - URBAN CENTRE COMMERCIAL

SITE AREA: 1.93 Ac. - 7,796.6 sq.m. - 83,922 sq.ft.

BUILDING AREA:

PARKADE: 72,382 sq.ft. (88% SITE COVERAGE)
(75% MAX COVERAGE)

MAIN FLOOR: 32,037 sq.ft. (38% SITE COVERAGE)
2ND FLOOR: 32,207 sq.ft.
3RD FLOOR: 30,392 sq.ft.
4TH FLOOR: 30,392 sq.ft.
5TH FLOOR: 30,284 sq.ft.
6TH FLOOR: 10,849 sq.ft.

TOTAL FLOOR AREA (ABOVE GRADE): 166,160 sq.ft.

AMENITY AREA: 5,984 sq.ft.
STORAGE LOCKERS: 5,079 sq.ft.
CIRCULATION/SERVICE: 30,317 sq.ft.

NET FLOOR AREA:

RESIDENTIAL: 123,500 sq.ft.
COMMERCIAL: 1,280 sq.ft.

TOTAL NET FLOOR AREA: 124,780 sq.ft.

FAR: 1.49 (MAX 1.49) (BASE 1.3 + PARKING BONUS (194/208)0.2 = 0.19)

BUILDING HEIGHT:

LESSER OF 37.0m or 12 STOREYS for apartment housing.

SETBACKS:

FRONT: 0.0m
SIDE: 0.0m
REAR: 0.0m

UNIT COUNT:

(A) STUDIO: 38 UNITS (19%) (415 sq.ft.)
(B) STUDIO - 1BED: 37 UNITS (19%) (465 sq.ft.)
(C) 1 BED - TYPE 1: 28 UNITS (14%) (585 sq.ft.)
(D) 1 BED - TYPE 2: 29 UNITS (15%) (585 sq.ft.)
(E) 1 BEDROOM + DEN: 12 UNITS (6%) (750 sq.ft.)
(F) 2 BEDROOM: 39 UNITS (20%) (870 sq.ft.)
(G) 3 BED - TYPE1: 5 UNITS (3%) (1000 sq.ft.)
(G) 3 BED - TYPE2: 1 UNITS (1%) (1750 sq.ft.)
TOWNHOUSE: 6 UNITS (3%) (1250 sq.ft.)

TOTAL: 195 UNITS (100%)

PARKING CALCULATION:

PARKING REQUIRED:
177 RESIDENTIAL STALLS (0.8/BACHELOR, 0.9/1BR, 1.0/2BR or MORE)
(0.8x38)+(0.9x106)+(1.0x51)=176.8

27 VISITOR STALLS (0.14/UNIT)
(0.14x195)=27.3

2 COMMERCIAL STALLS (1.3/100m²)
(119x1.3/100)=1.6

TOTAL: 206 STALLS REQUIRED

PARKING PROVIDED:
194 UNDERGROUND STALLS
14 SURFACE STALLS

TOTAL: 208 STALLS PROVIDED (188 REGULAR SIZE)

BICYCLE PARKING CALCULATION:

PARKING REQUIRED:
149 LONG-TERM SPACES (0.75/2BR or less, 1.0/3BR or more)
31 SHORT-TERM SPACES (6 per entrance + 1 per 5 units over 70 units)

PARKING PROVIDED:
149 LONG-TERM SPACES (76 GROUND-ANCHORED, 73 WALL-MOUNTED)
31 SHORT-TERM SPACES

PRIVATE OPEN SPACE CALCULATION:

PRIVATE OPEN SPACE REQUIRED:
(38 x 6.0m²)+(106 x 10.0m²)+(51 x 15.0m²) = 2,053 sq.m. REQUIRED

PRIVATE OPEN SPACE PROVIDED:
PRIVATE BALCONY/PATIO: 1,887.7 sq.m.
INDOOR COMMON AMENITY: 555.9 sq.m.
LANDSCAPED AMENITY TERRACE: 1,244.2 sq.m.

TOTAL: 3,687.8 sq.m. PROVIDED



VIEW FROM SPRINGFIELD ROAD - LOOKING SOUTH EAST



VIEW FROM SPRINGFIELD & AMBROSI - LOOKING NORTH WEST



VIEW FROM AMBROSI ROAD - LOOKING SOUTH



VIEW FROM SPRINGFIELD ROAD - LOOKING NORTH



VIEW FROM AMBROSI ROAD - LOOKING WEST



VIEW FROM AMBROSI ROAD - LOOKING NORTH



VIEW FROM MOSS COURT - LOOKING EAST



VIEW FROM AMBROSI ROAD - LOOKING SOUTH WEST



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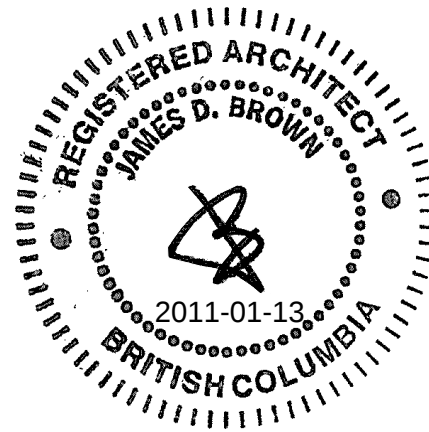
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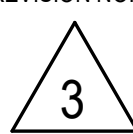
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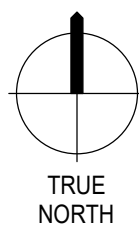
SITE PHOTOGRAPHS
& PROJECT DATA

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221-016	Author	Checker

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DP0.2

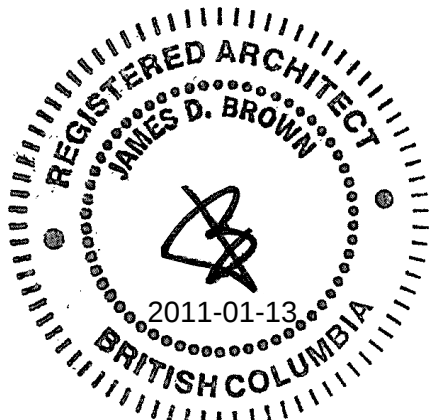




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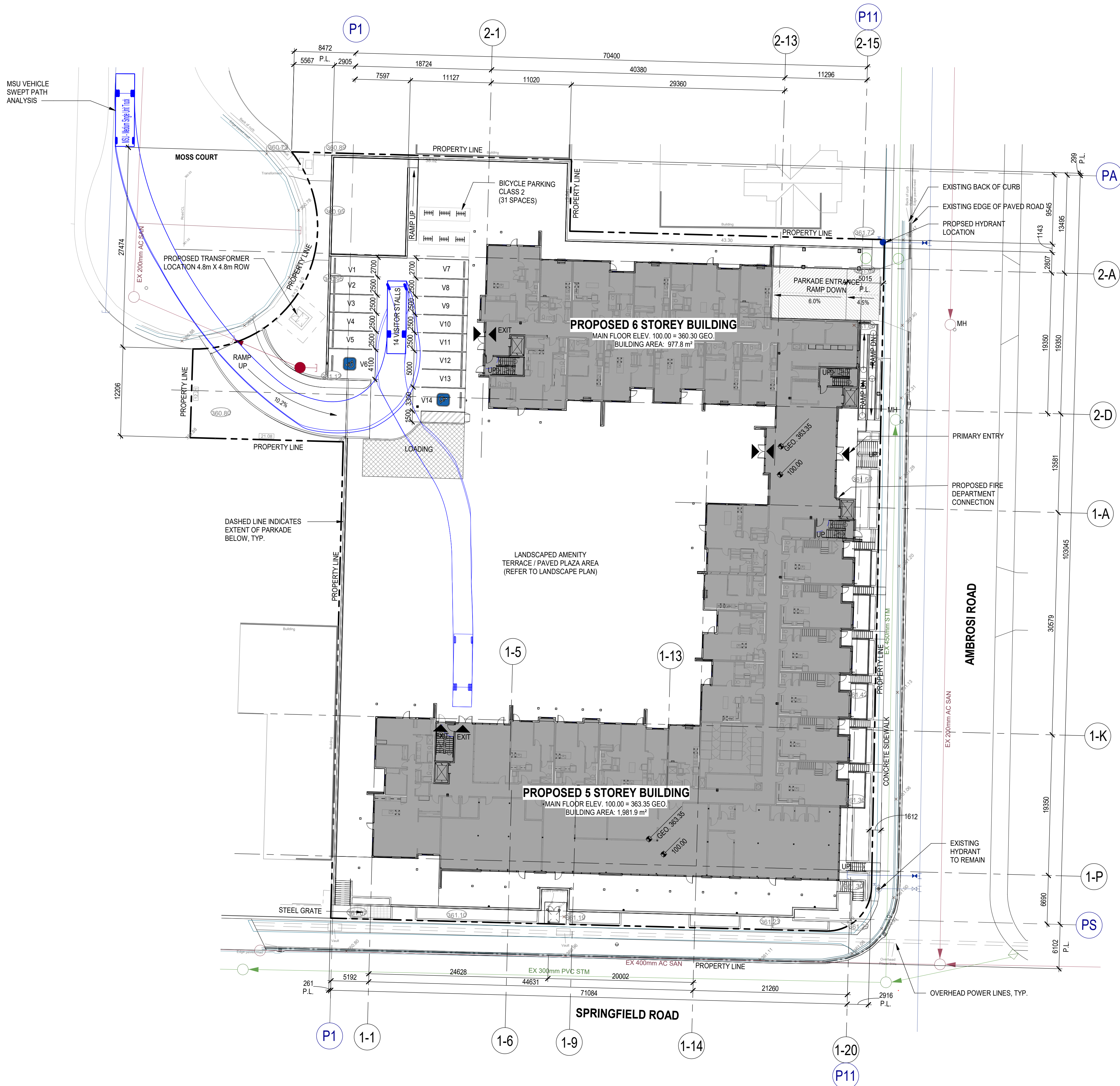
SITE PLAN

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221-016	CJ	ADM

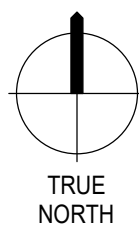
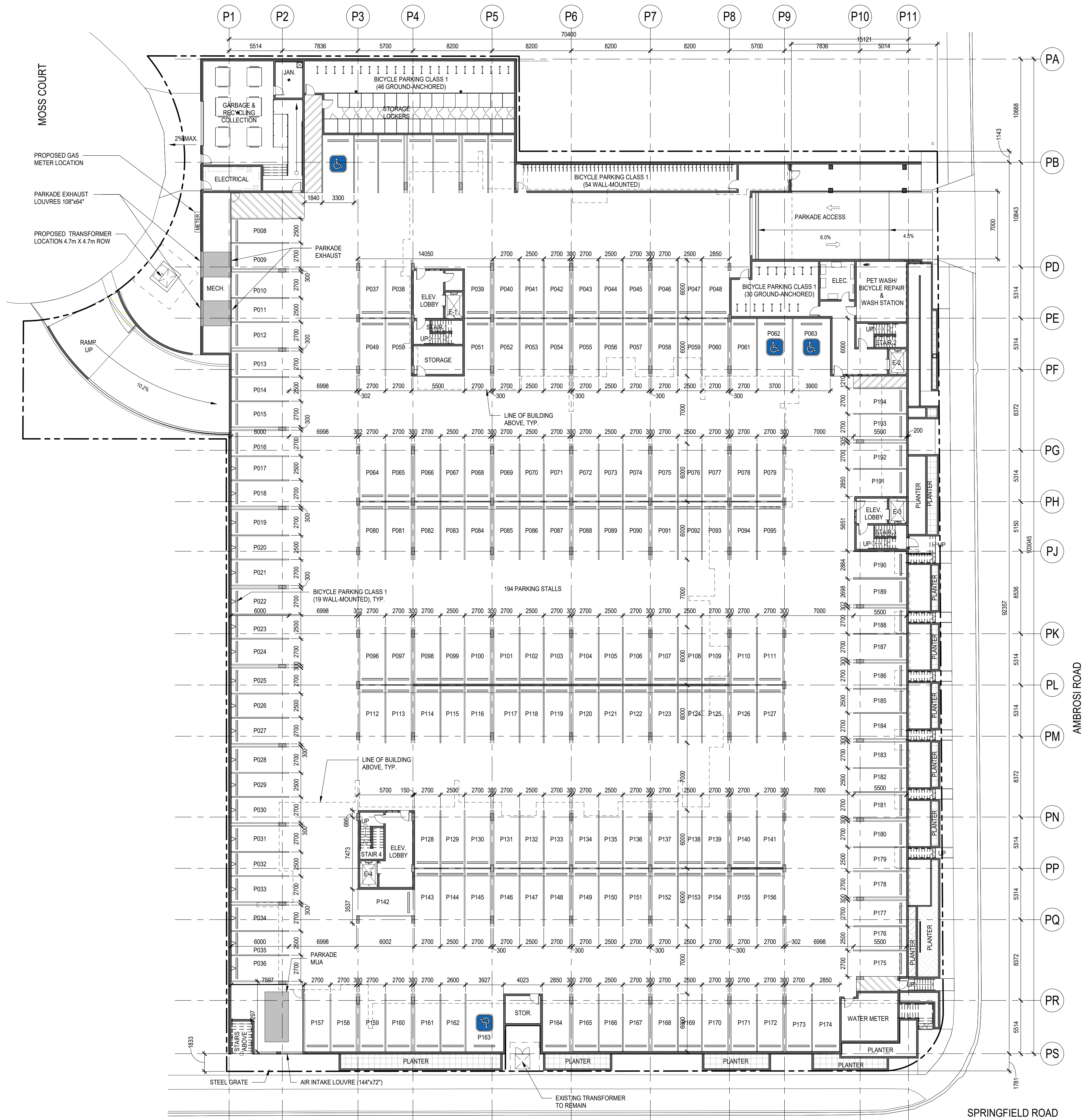
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DP1.1

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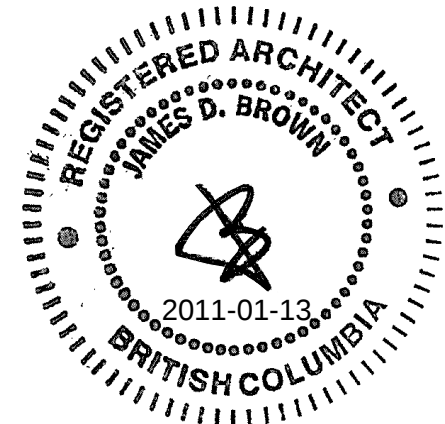
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TITLE

**FLOOR PLAN -
PARKADE**

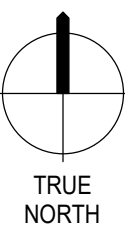
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DP2.1

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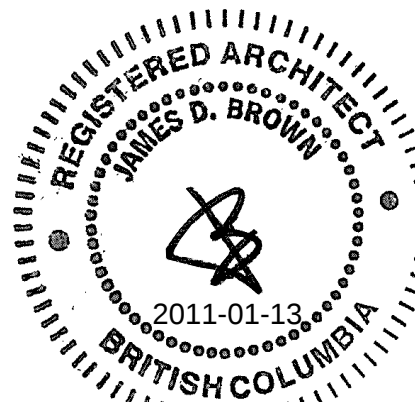
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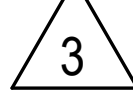
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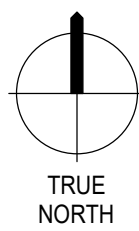
**FLOOR PLAN - LEVEL
1**

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TITLE

FLOOR PLAN - LEVEL 2

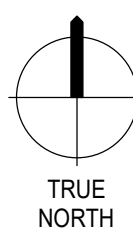
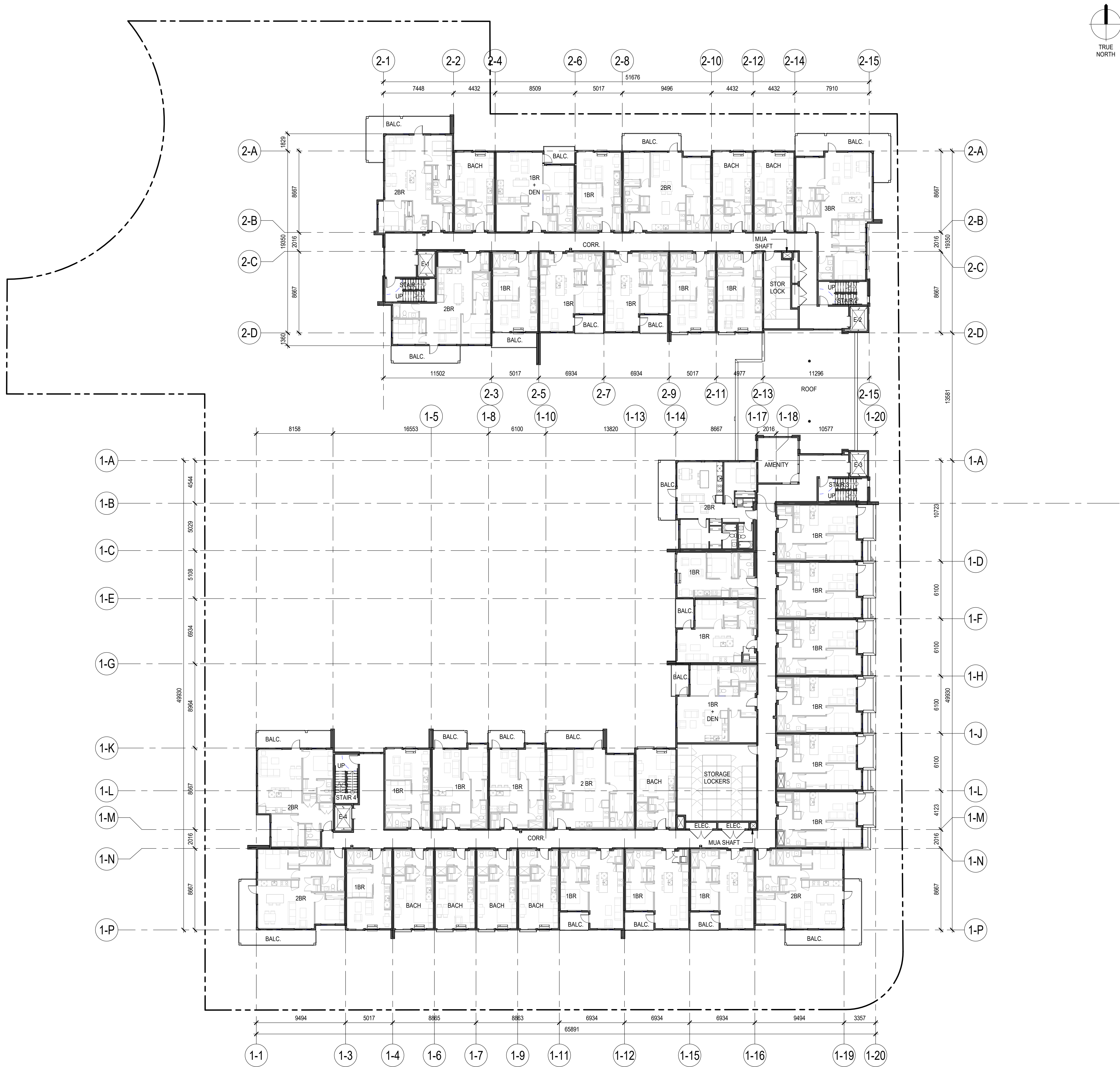
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DP2.3

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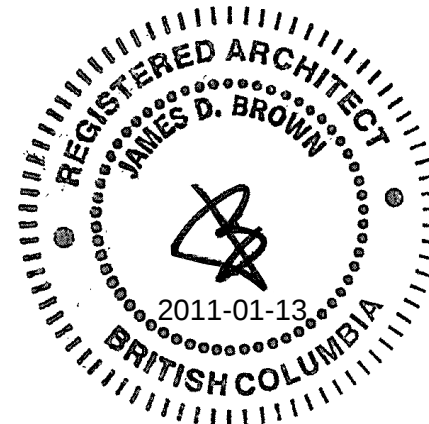




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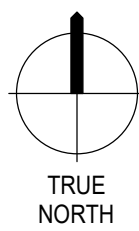
**FLOOR PLAN - LEVEL
3**

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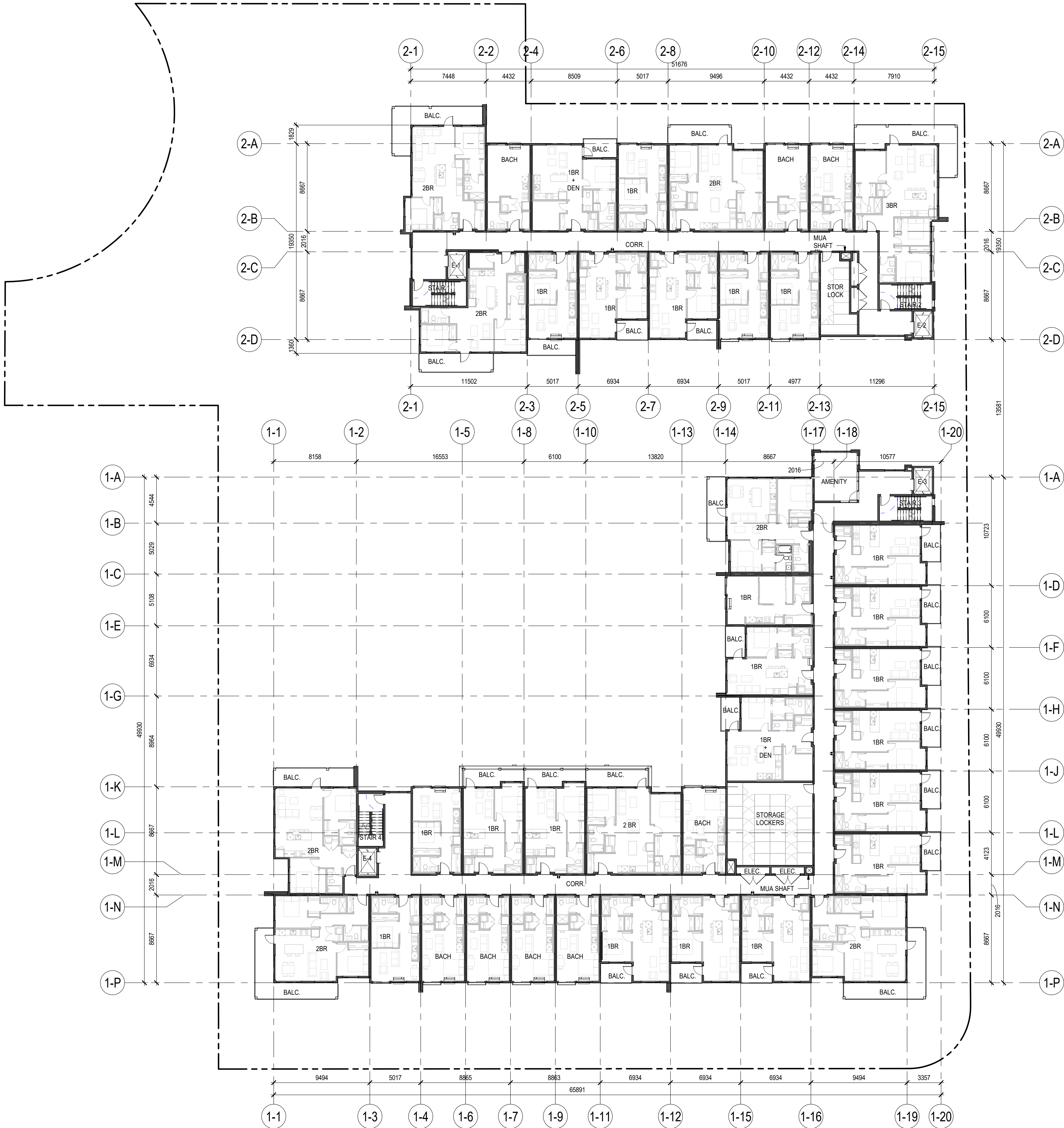
FLOOR PLAN - LEVEL
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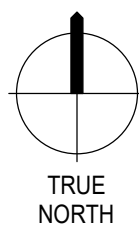
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DP2.5

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TITLE

FLOOR PLAN - LEVEL 5

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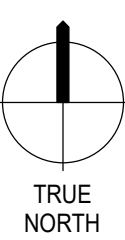
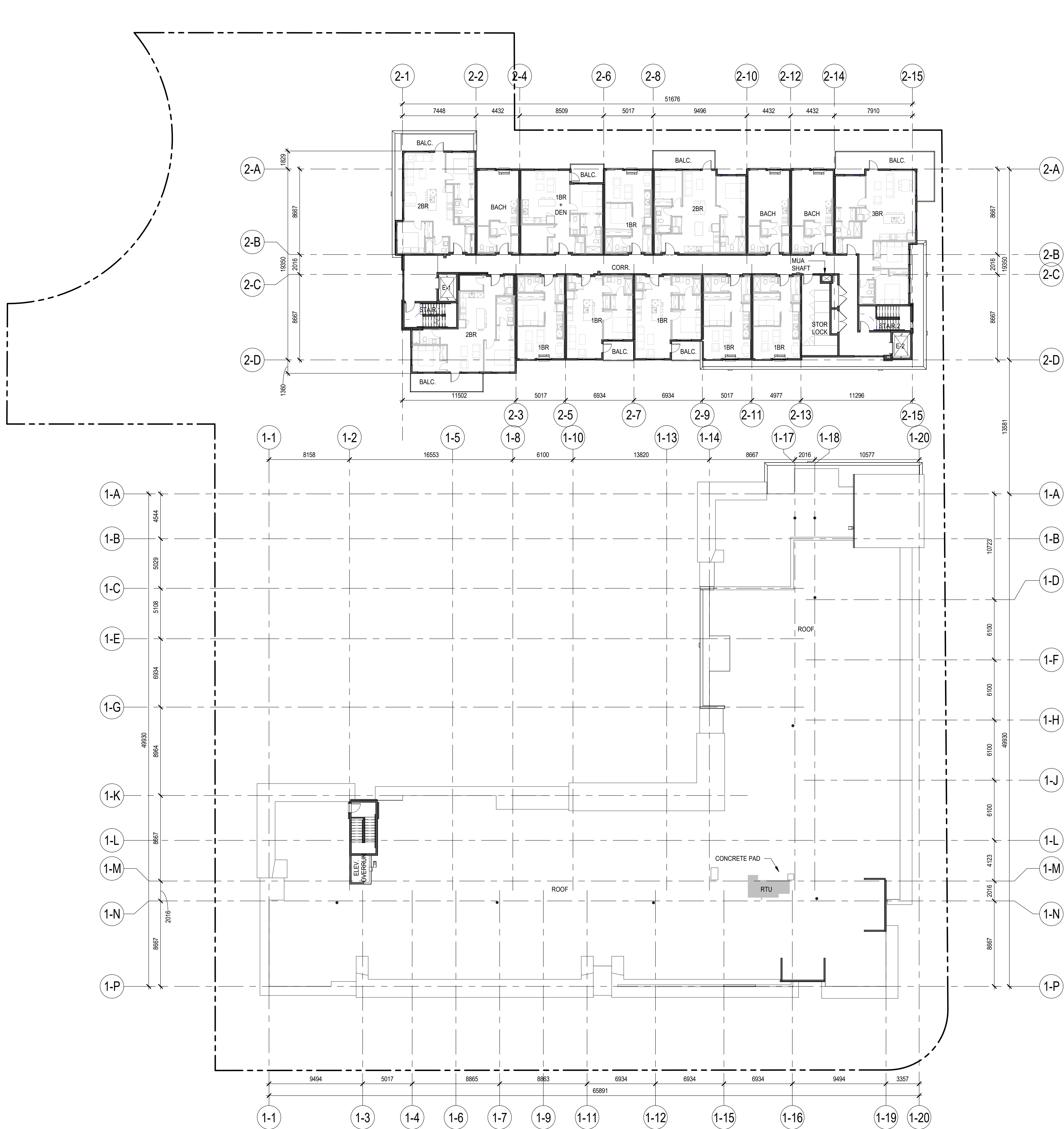
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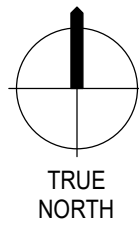
**FLOOR PLAN - LEVEL
6**

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DP2.7

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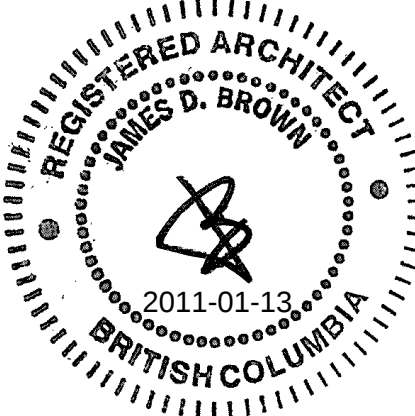
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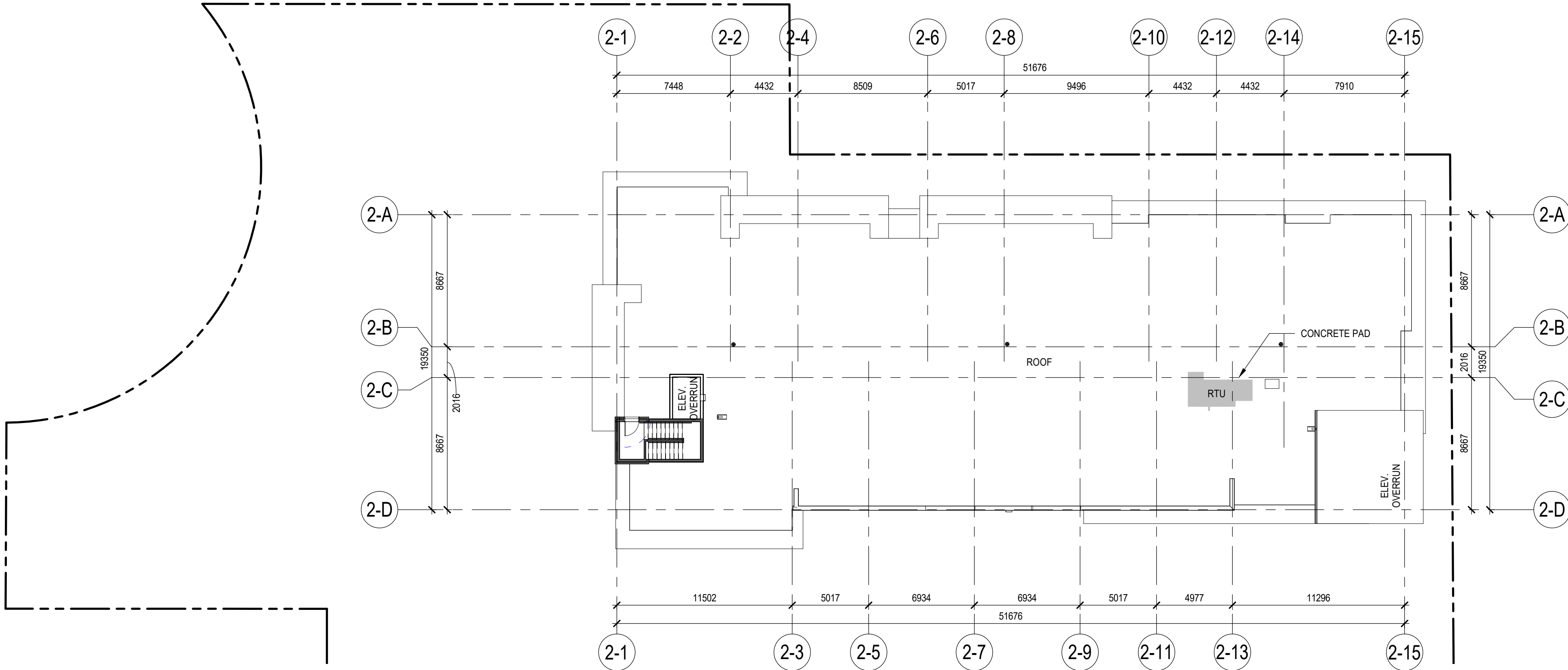
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FLOOR PLAN - ROOF

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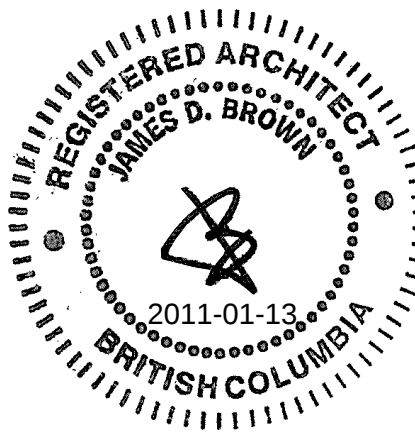
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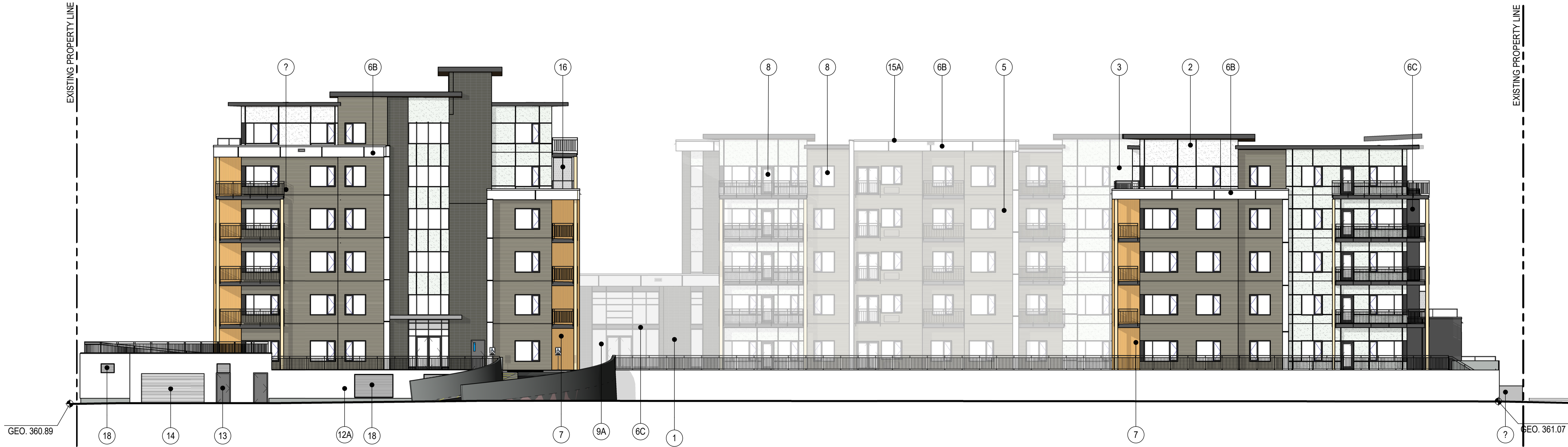
BUILDING
ELEVATIONS

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221-016	Author	Checker

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DP3.1

3



BUILDING ELEVATION - WEST

SCALE: 1 : 200



BUILDING ELEVATION - SOUTH

SCALE: 1 : 200



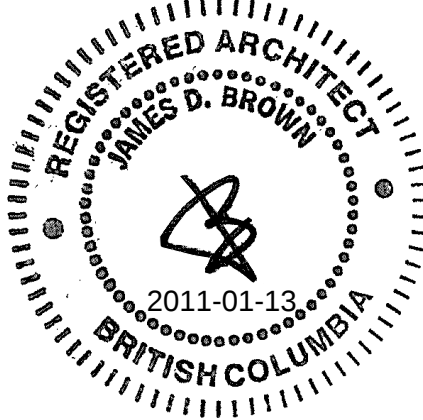
BUILDING ELEVATION - EAST

SCALE: 1 : 200

EXTERIOR MATERIALS AND FINISHES LEGEND	
1	BRICK VENEER (STACKED BOND) (CHARCOAL GREY)
2	STUCCO FINISH (FINE SAND TEXTURE) (ARCTIC WHITE)
3	STUCCO FINISH (FINE SAND TEXTURE) (PEARL GREY)
4	STUCCO FINISH (FINE SAND TEXTURE) (MONTEREY TAUPE)
5	FIBRE CEMENT PLANK SIDING (MONTEREY TAUPE)
6A	HARDIE REVEAL PANEL SYSTEM - ASPYRE COLLECTION (RECESS TRIM) (CONCEALED FASTENERS) (ARTIC WHITE)
6B	HARDIE REVEAL PANEL SYSTEM - (EZ-TRIM) (CONCEALED FASTENERS) (ARTIC WHITE)
6C	HARDIE REVEAL PANEL SYSTEM - ASPYRE COLLECTION (RECESS TRIM) (CONCEALED FASTENERS) (CHARCOAL)
6D	HARDIE REVEAL PANEL SYSTEM - (EZ-TRIM) (CONCEALED FASTENERS) (CHARCOAL)
7	WOOD APPARENT SIDING AND SOFFIT (DESERT OAK)
8	VINYL WINDOWS AND DOORS (BLACK) C/W CLEAR GLAZING
9A	DOUBLE GLAZED, THERMALLY BROKEN, ALUMINUM STOREFRONT GLAZING SYSTEM C/W CLEAR GLAZING AND (BLACK) FRAMES (KAWNEER 451T)
10	ALUMINUM PICKET GUARD RAIL (BLACK)
11	ALUMINUM / GLASS RAILING (BLACK) C/W CLEAR GLAZING
12A	EXPOSED CONCRETE
12B	CAST-IN-PLACE CONCRETE PLANTERS (ARCHITECTURAL GREY)
13	HOLLOW METAL DOOR AND STEEL FRAME (GREY)
14	PREFINISHED SECTIONAL OVERHEAD DOOR (WHITE)
15A	PREFINISHED METAL FLASHING/ CAP FLASHING (WHITE)
15B	PREFINISHED METAL FLASHING/ CAP FLASHING (CHARCOAL)
16	ALUMINUM FRAMED PRIVACY SCREEN (BLACK) WITH OPAQUE TEMPERED FROSTED GLAZING
17	BALCONY COLUMN (WOOD APPARENT CLADDING)
18	PREFINISHED METAL LOUVRES (GREY)
19	ROOF TOP MECHANICAL UNIT (GREY)
20	ALUMINUM STOREFRONT GLAZING SYSTEM SPANDREL PANEL (LIGHT GREY)

NOTE

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3	DP AMENDMENT	2022-01-13
2	TRS AMENDED PLANS	2021-10-05
1	ISSUED FOR DEVELOPMENT PERMIT	2021-08-06

NO.	ISSUE/ REVISION	DATE
-----	-----------------	------

NOT FOR CONSTRUCTION

PROJECT

1994 SPRINGFIELD

PROJECT ADDRESS
1994 SPRINGFIELD RD
KELOWNA, BC V1Y 5V7

TITLE

BUILDING
ELEVATIONS

PROJECT NO.	DRAWN	CHECKED
221-016	Author	Checker

DRAWING NO.	REVISION NO.
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DP3.2

3



BUILDING ELEVATION - NORTH

SCALE: 1 : 200



PARTIAL ELEVATION - SOUTH - COURTYARD

SCALE: 1 : 200



PARTIAL ELEVATION - NORTH - COURTYARD

SCALE: 1 : 200

EXTERIOR MATERIALS AND FINISHES LEGEND

- BRICK VENEER (STACKED BOND) (CHARCOAL GREY)
- STUCCO FINISH (FINE SAND TEXTURE) (ARCTIC WHITE)
- STUCCO FINISH (FINE SAND TEXTURE) (PEARL GREY)
- STUCCO FINISH (FINE SAND TEXTURE) (MONTEREY TAUPE)
- FIBRE CEMENT PLANK SIDING (MONTEREY TAUPE)
- 6A HARDIE REVEAL PANEL SYSTEM - ASPYRE COLLECTION (RECESS TRIM) (CONCEALED FASTENERS) (ARTIC WHITE)
- 6B HARDIE REVEAL PANEL SYSTEM - (EZ-TRIM) (CONCEALED FASTENERS) (ARTIC WHITE)
- 6C HARDIE REVEAL PANEL SYSTEM - ASPYRE COLLECTION (RECESS TRIM) (CONCEALED FASTENERS) (CHARCOAL)
- 6D HARDIE REVEAL PANEL SYSTEM - (EZ-TRIM) (CONCEALED FASTENERS) (CHARCOAL)
- WOOD APPARENT SIDING AND SOFFIT (DESERT OAK)
- VINYL WINDOWS AND DOORS (BLACK) C/W CLEAR GLAZING
- 9A DOUBLE GLAZED, THERMALLY BROKEN, ALUMINUM STOREFRONT GLAZING SYSTEM C/W CLEAR GLAZING AND (BLACK) FRAMES (KAWNEER 451T)
- ALUMINUM PICKET GUARD RAIL (BLACK)
- ALUMINUM / GLASS RAILING (BLACK) C/W CLEAR GLAZING
- 12A EXPOSED CONCRETE
- 12B CAST-IN-PLACE CONCRETE PLANTERS (ARCHITECTURAL GREY)
- HOLLOW METAL DOOR AND STEEL FRAME (GREY)
- 14 PREFINISHED SECTIONAL OVERHEAD DOOR (WHITE)
- 15A PREFINIHSED METAL FLASHING/ CAP FLASHING (WHITE)
- 15B PREFINIHSED METAL FLASHING/ CAP FLASHING (CHARCOAL)
- 16 ALUMINIUM FRAMED PRIVACY SCREEN (BLACK) WITH OPAQUE TEMPERED FROSTED GLAZING
- 17 BALCONY COLUMN (WOOD APPARENT CLADDING)
- 18 PREFINISHED METAL LOUVRES (GREY)
- 19 ROOF TOP MECHANICAL UNIT (GREY)
- 20 ALUMINIUM STOREFRONT GLAZING SYSTEM SPANDREL PANEL (LIGHT GREY)



PERSPECTIVE VIEW - FROM CORNER OF SPRINGFIELD AND AMBROSI RD.



PERSPECTIVE VIEW - SOUTH ELEVATION - FROM SPRINGFIELD RD.



PERSPECTIVE VIEW - WEST ELEVATION - FROM MOSS CT.



PERSPECTIVE VIEW - NORTH ELEVATION - FROM AMBROSI RD.

Zeidler Architecture

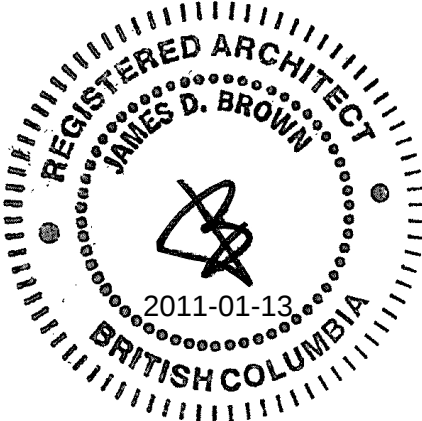
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NOT FOR CONSTRUCTION

PROJECT

1994 SPRINGFIELD

PROJECT ADDRESS

1994 SPRINGFIELD RD
KELOWNA, BC V1Y 5V7

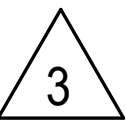
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3D PERSPECTIVE VIEWS

PROJECT NO.	DRAWN	CHECKED
221-016	Author	Checker

DRAWING NO.	REVISION NO.
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DP3.3





PERSPECTIVE VIEW - EAST ELEVATION - FROM AMBROSI RD.



PERSPECTIVE VIEW - SOUTH ELEVATION - FROM COURTYARD



PERSPECTIVE VIEW - NORTH ELEVATION - FROM COURTYARD



PERSPECTIVE VIEW - SOUTH ELEVATION - FROM SPRINGFIELD RD.

Zeidler Architecture

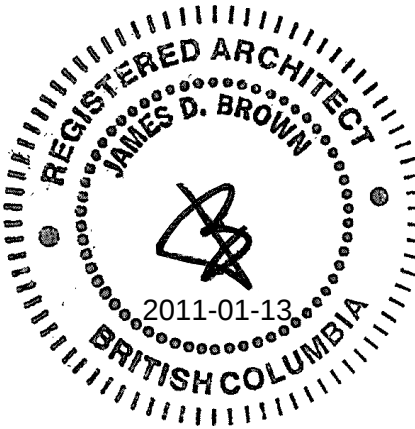
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NOT FOR CONSTRUCTION

PROJECT

1994 SPRINGFIELD

PROJECT ADDRESS

1994 SPRINGFIELD RD
KELOWNA, BC V1Y 5V7

TITLE

3D PERSPECTIVE VIEWS

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221-016	Author	Checker

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DP3.4



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2	TRS AMENDED PLANS	2021-10-05
1	ISSUED FOR DEVELOPMENT PERMIT	2021-08-06

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PROJECT

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KELOWNA, BC V1Y 5V7

TITLE

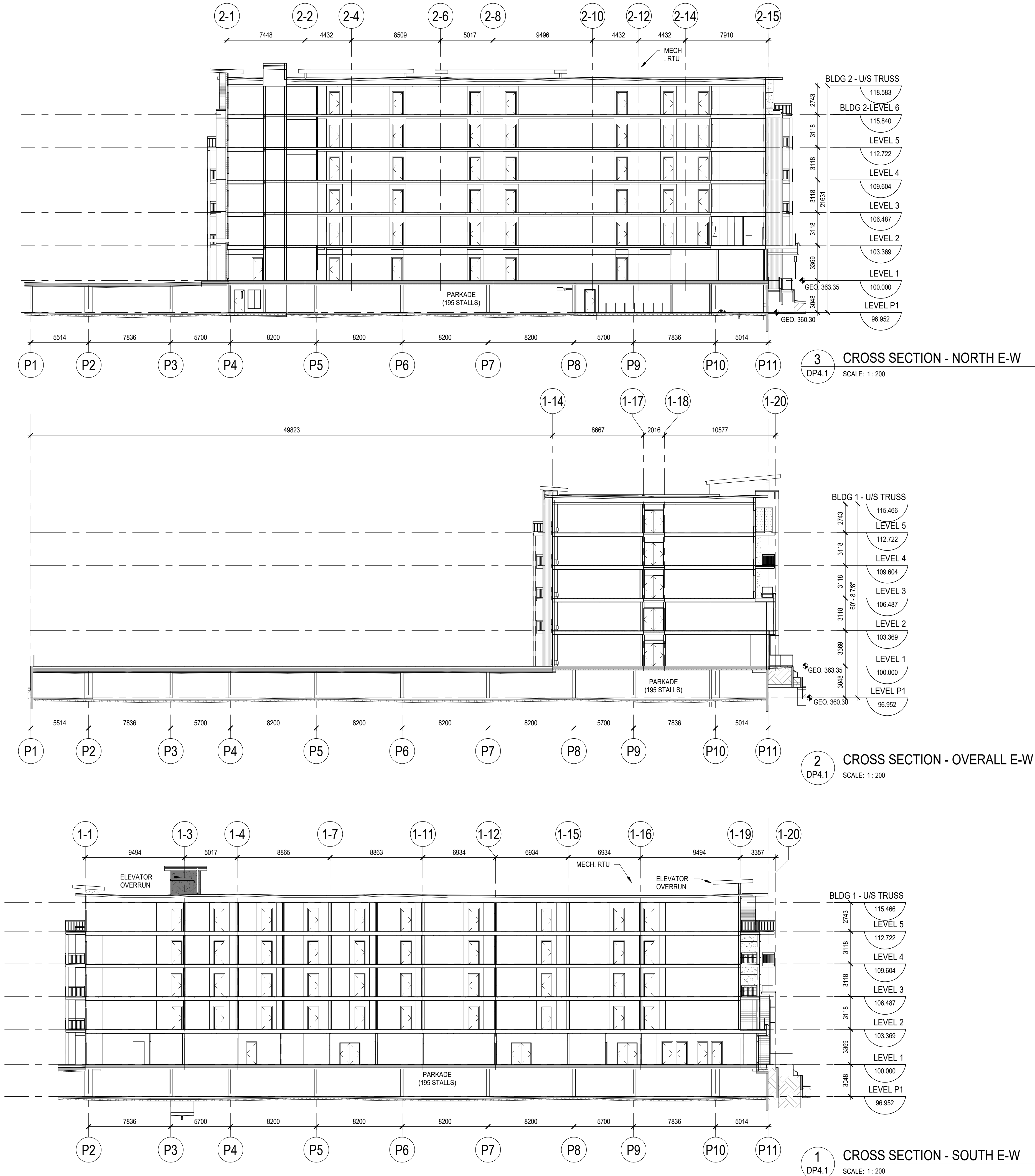
BUILDING SECTIONS

PROJECT NO.	DRAWN	CHECKED
221-016	Author	Checker

DRAWING NO.	REVISION NO.
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DP4.1

3



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NO.	ISSUE/ REVISION	DATE
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NOT FOR CONSTRUCTION

PROJECT

1994 SPRINGFIELD

PROJECT ADDRESS

1994 SPRINGFIELD RD
KELOWNA, BC V1Y 5V7

TITLE

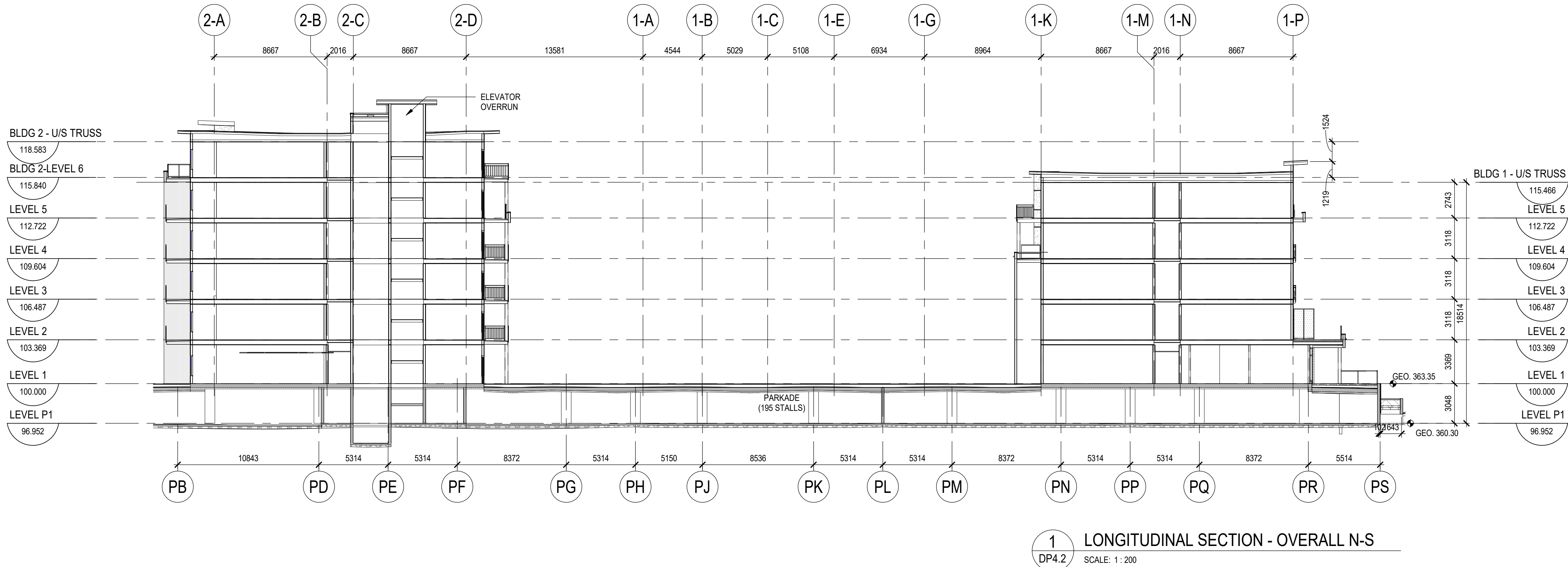
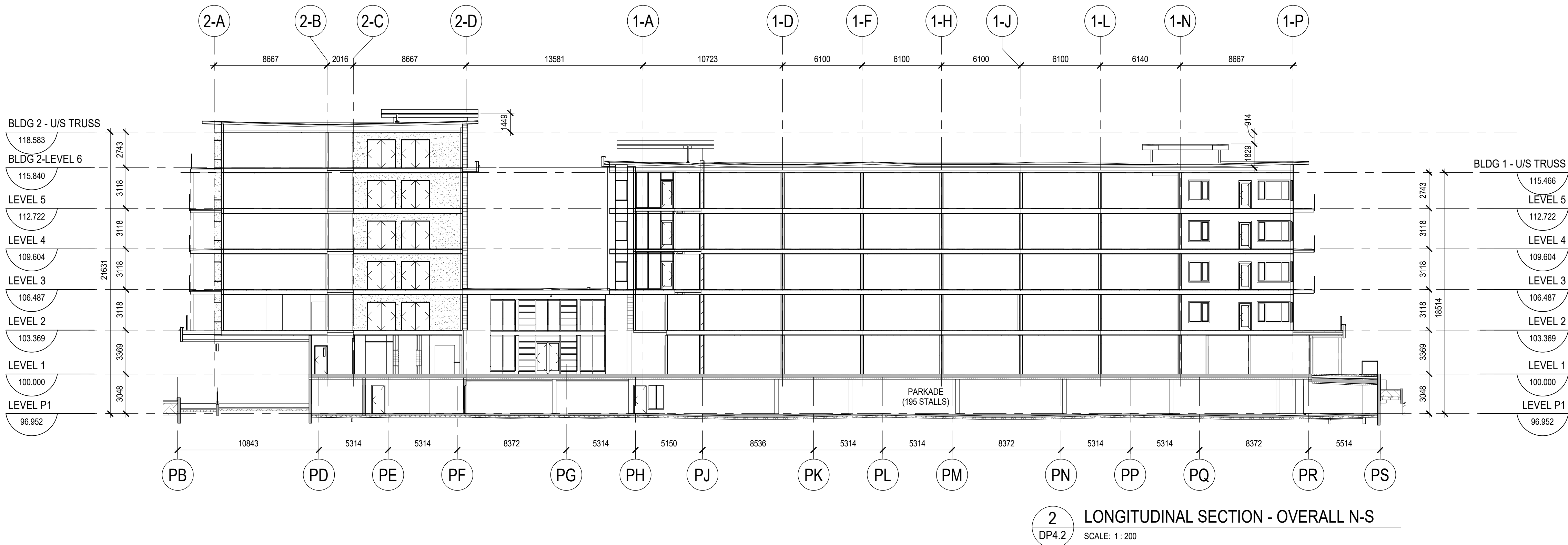
BUILDING SECTIONS

PROJECT NO.	DRAWN	CHECKED
221-016	Author	Checker

DRAWING NO.	REVISION NO.
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DP4.2

3





LEGEND

--- HARD SURFACED TRAVEL PATH TO SAVE AREA

NOTES

1. PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED THE CANADIAN LANDSCAPE STANDARD. ALL OFF-SITE LANDSCAPE WORKS TO MEET CITY OF KELOWNA BYLAW 7900 STANDARDS.
2. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.
3. TREE AND SHRUB BEDS TO BE DRESSED IN A MINIMUM 75mm WOOD MULCH. DO NOT PLACE WEED MAT UNDERNEATH TREE AND SHRUB BEDS.
4. TREE AND SHRUB BEDS TO RECEIVE A MINIMUM 300mm DEPTH TOPSOIL PLACEMENT. TURF TO RECEIVE A MINIMUM OF 150mm DEPTH TOPSOIL PLACEMENT.
5. TURF AREAS FROM SOD SHALL BE NO. 1 GRADE GROWN FROM CERTIFIED SEED OF IMPROVED CULTIVARS REGISTERED FOR SALE IN B.C. AND SHALL BE TOLERANT OF DROUGHT CONDITIONS. A MINIMUM OF 100mm DEPTH OF GROWING MEDIUM IS REQUIRED BENEATH TURF AREAS. TURF AREAS SHALL MEET EXISTING GRADES AND HARD SURFACES FLUSH.
6. SITE GRADING AND DRAINAGE WILL ENSURE THAT ALL STRUCTURES HAVE POSITIVE DRAINAGE AND THAT NO WATER OR LOOSE IMPEDIMENTS WILL BE DISCHARGED FROM THE LOT ONTO ADJACENT PUBLIC, COMMON, OR PRIVATE PROPERTIES.

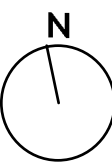
PLANT LIST

BOTANICAL NAME	COMMON NAME	QTY	SIZE/SPACING & REMARKS
TREES			
ACER TATARICUM 'RUGGED CHARM'	RUGGED CHARM MAPLE	7	6cm CAL.
CRATEGUS X MORDENENSIS 'SNOWBIRD'	SNOWBIRD HAWTHORN	20	6cm CAL.
POPULUS X 'BYMIKE'	GATEKEEPER ASPEN	8	6cm CAL.
SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK TREE LILAC	16	6cm CAL.
SHRUBS			
BERBERIS THUNBERGII 'MONOMB'	CHERRY BOMB JAPANESE BARBERRY	134	#02 CONT. /1.2M O.C. SPACING
HYDRANGEA ARBORESCENS 'ANNABELLE'	ANNABELLE HYDRANGEA	86	#02 CONT. /1.5M O.C. SPACING
PERENNIALS & GRASSES			
ACHILLEA MILLEFOLIUM	COMMON YARROW	100	#01 CONT. /0.75M O.C. SPACING
CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FOERSTER'S FEATHER REED GRASS	56	#01 CONT. /1.0M O.C. SPACING
ECHINACEA PURPUREA 'MAGNUS'	MAGNUS CONEFLOWER	100	#01 CONT. /0.75M O.C. SPACING
HELIOTRICHON SEMPERVIRENS	BLUE OAT GRASS	100	#01 CONT. /0.75M O.C. SPACING
HEMEROCALLIS 'RUBY STELLA'	RUBY STELLA DAYLILY	155	#01 CONT. /0.6M O.C. SPACING
MISCANTHUS SINENSIS 'PURPURASCENS'	ORANGE FLAME GRASS	56	#01 CONT. /1.0M O.C. SPACING
PACHYSANDRA TERMINALIS	JAPANESE SPURGE	155	#01 CONT. /0.6M O.C. SPACING
SALVIA NEMOROSA 'MAY NIGHT'	MAY NIGHT SALVIA	155	#01 CONT. /0.6M O.C. SPACING



OUTLAND DESIGN
LANDSCAPE ARCHITECTURE

303-590 KLO Road
Kelowna, BC V1Y 7S2
T (250) 868-9270
www.outlanddesign.ca



PROJECT TITLE

1994 SPRINGFIELD ROAD

Kelowna, BC

DRAWING TITLE

CONCEPTUAL
LANDSCAPE PLAN

ISSUED FOR / REVISION

1	21.08.06	Review
2	21.10.04	Review
3	21.12.20	Revision #1 DP Submission
4		
5		

PROJECT NO.

21-052

DESIGN BY

AM

DRAWN BY

MC

CHECKED BY

FB

DATE

DEC. 20, 2021

SCALE

1:250

PAGE SIZE

24"x36"

SEAL



DRAWING NUMBER

LS-001

ISSUED FOR REVIEW ONLY

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