

# Development Variance Permit

## DVP21-0158



This permit relates to land in the City of Kelowna municipally known as

**4574 Fuller Road**

and legally known as

**Lot 8, District Lot 167, ODYD, Plan KAP70756**

and permits the land to be used for the following development:

### **RU1 – Large Lot Housing (Single Family Dwelling)**

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

<u>Date of Council Decision</u>	November 16 <sup>th</sup> , 2021
<u>Decision By:</u>	COUNCIL
Existing Zone:	RU1 – Large Lot Housing
Future Land Use Designation:	S2RES – Single/Two Unit Residential Major Park/Open Space (Public)

### **This is NOT a Building Permit.**

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

### **NOTICE**


This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Andrew and Brandy Ladd

Applicant: Rockwood Custom Homes

\_\_\_\_\_  
Dean Strachan, RPP, MCIP  
Community Planning and Development Manager  
Development Planning Department

\_\_\_\_\_  
Date

<b>ATTACHMENT</b>		<b>A</b>
This forms part of application		
# DVP21-0158		
Planner Initials	TC	
		<b>City of Kelowna</b> DEVELOPMENT PLANNING

## 1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

## 2. CONDITIONS OF APPROVAL

That variances to the following section of the Zoning Bylaw No. 8000 be granted in accordance with Schedule "A":

### Section 6.11.1: Okanagan Lake Sight Lines

To vary the Okanagan Lake Sight Line regulation from 60 degrees permitted to 8 degrees proposed along the south side;

**This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.**

## 3. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.  
Security shall ONLY be returned to the signatory of the  
Landscape Agreement or their designates.**

<b>ATTACHMENT</b>		<b>A</b>
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Planner Initials	TC	 <b>City of Kelowna</b> DEVELOPMENT PLANNING



To whom it may concern:

DATE: January 11, 2021

We, Brian & Roseanne Peterson, residing at 4576 Fuller Road, Kelowna, BC, acknowledge and support our neighbor's application for variance to the 60-degree sightline relating to the renovation and construction of their home at 4574 Fuller Road, Kelowna, BC. We have reviewed the proposed footprint & architectural drawings on January 11, 2021 and recognize that the impacts to our sightlines are negligible given the orientation of our home and the neighboring property to the North. Thank you.

Sincerely,

SIGNATURE(S):

A handwritten signature in black ink, appearing to be "Brian Peterson", written over a horizontal line.

Brian Peterson

A handwritten signature in black ink, appearing to be "Roseanne Peterson", written over a horizontal line.

Roseanne Peterson

WITNESS:

A handwritten signature in black ink, appearing to be "Brad Tetreau", written over a horizontal line.

Brad Tetreau

DATE:

A handwritten date "Jan 11/20" in black ink, written over a horizontal line.

**ATTACHMENT**

**B**

This forms part of application

# DVP21-0158

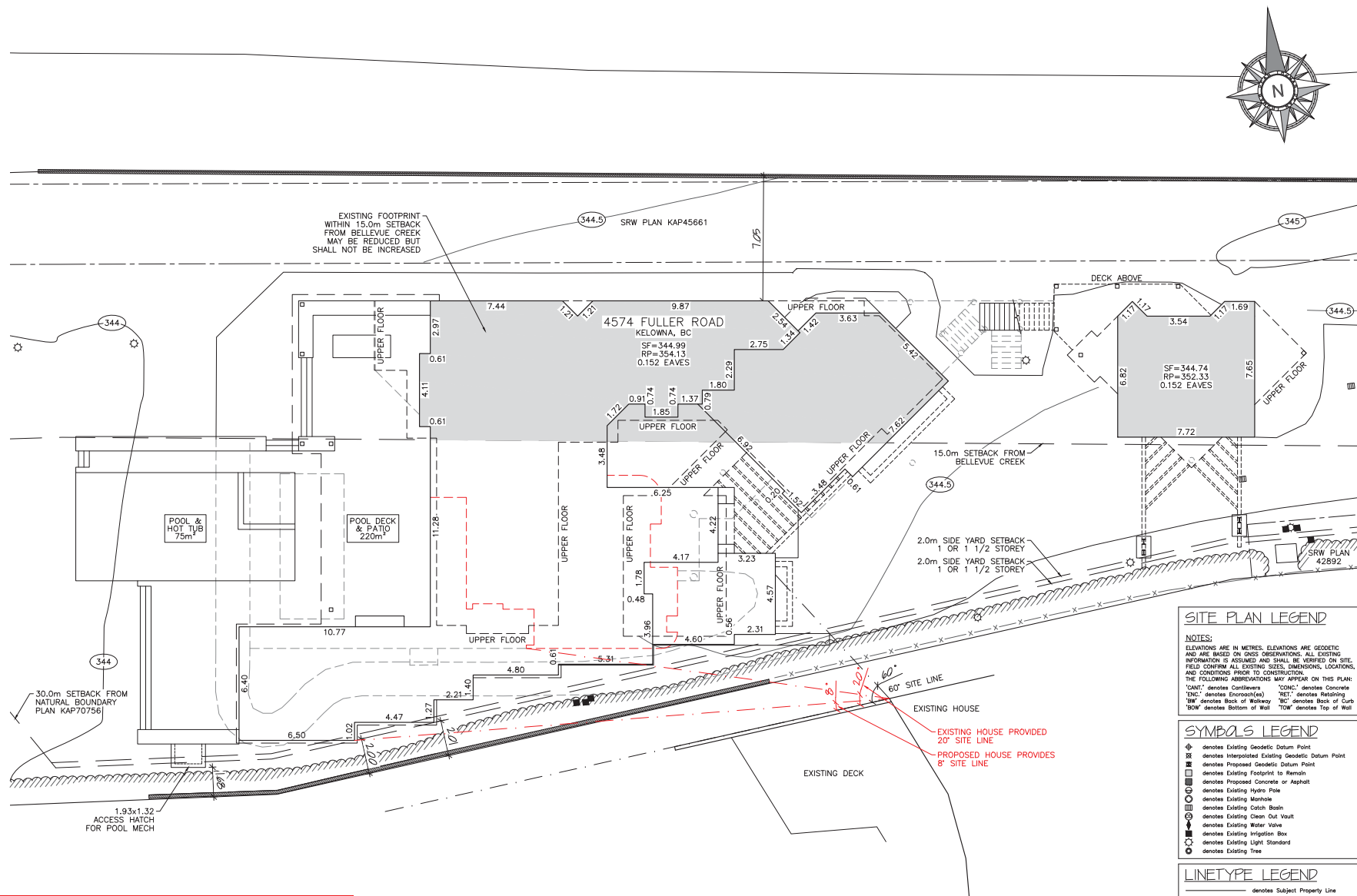
Planner  
Initials

TC

City of

**Kelowna**  
DEVELOPMENT PLANNING





## A

Planner Initials TC

PROJECT:  
**ISSUED FOR  
BUILDING PERMIT**

4574 FULLER ROAD  
KELOWNA, BC

LOT 8  
PLAN KAP70756  
PID 025-383-345

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REVISION SCHEDULE:

1.	ISSUED FOR PERMIT	DEC 17, 2020
2.	ISSUED FOR BUILDING PERMIT	MAY 28, 2021

DRAWN BY: BCL

FLOOR AREAS:

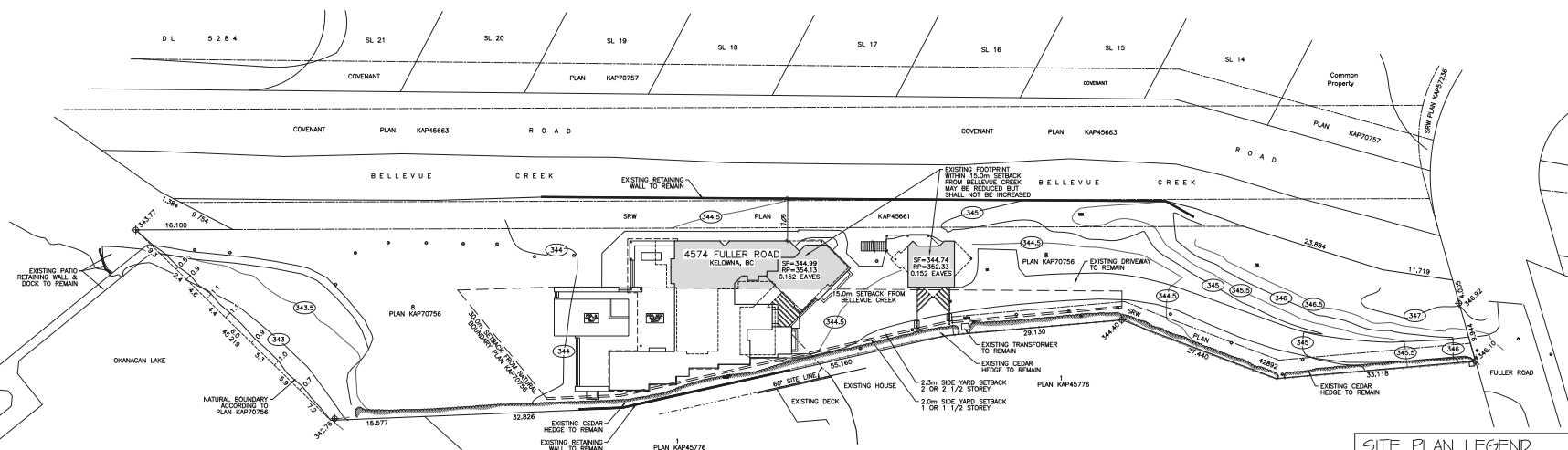
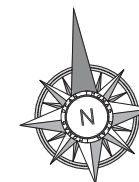
MAIN FLOOR AREA (DEVELOPED)	3676 SQ.FT.
UPPER FLOOR AREA (DEVELOPED)	3567 SQ.FT.
TOTAL DEVELOPED FLOOR AREA ABOVE GRADE	6733 SQ.FT.
ATTACHED GARAGE AREA	1376 SQ.FT.
MECH-STORAGE	165 SQ.FT.
COVERED OUTDOOR SPACE	1364 SQ.FT.
GUEST HOUSE UPPER FLOOR AREA (DEVELOPED)	765 SQ.FT.
GUEST HOUSE GARAGE	582 SQ.FT.
GUEST HOUSE COVERED LANDING	189 SQ.FT.

DRAWING TITLE:

**OVERALL  
SITE PLAN**

SCALE: 1:320  
DATE: MAY 28, 2021

SHEET: **A1.1**



**SITE PLAN LEGEND**

**NOTES:**  
ELEVATIONS ARE IN METRES. ELEVATIONS ARE GEODETIC AND ARE BASED ON GNSS OBSERVATIONS. ALL EXISTING INFORMATION IS ASSUMED AND SHALL BE VERIFIED ON SITE. FIELD CONFIRM ALL EXISTING SIZES, DIMENSIONS, LOCATIONS, AND CONDITIONS PRIOR TO CONSTRUCTION. THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:  
"CANT." denotes Cantilevers "CONC." denotes Concrete  
"ENC." denotes Encroachment "RET." denotes Retaining  
"BW" denotes Back of Walkway "BC" denotes Back of Curb  
"BW" denotes Bottom of Wall "TW" denotes Top of Wall

**SYMBOLS LEGEND**

- ⊕ denotes Existing Geodetic Datum Point
- ⊗ denotes Interpolated Existing Geodetic Datum Point
- ⊞ denotes Proposed Geodetic Datum Point
- denotes Existing Footprint to Remain
- ▣ denotes Proposed Concrete or Asphalt
- ⊙ denotes Existing Hydro Pole
- ⊕ denotes Existing Manhole
- ⊞ denotes Existing Catch Basin
- ⊙ denotes Existing Clean Out Vault
- ⊕ denotes Existing Water Valve
- ⊞ denotes Existing Irrigation Box
- ⊙ denotes Existing Light Standard
- ⊕ denotes Existing Tree

**LINETYPE LEGEND**

- denotes Subject Property Line
- denotes Adjacent Property Lines
- - - denotes Subject Setbacks
- - - denotes Subject Roof Line
- - - denotes Subject Upper Floor
- - - denotes Utility Right of Way
- - - denotes Proposed Fence
- - - denotes Proposed Lot Drainage
- - - denotes Existing to be Removed
- - - denotes Existing Fence

COVERAGE: 1675.85m<sup>2</sup> LOT AREA: 5614.73m<sup>2</sup>  
LOT COVERAGE: 29.85%

**SCHEDULE**

**A**

This forms part of application  
# DVP21-0158

Planner  
Initials **TC**

City of  
**Kelowna**  
DEVELOPMENT PLANNING



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KELOWNA, BC

LOT 8  
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REVISION SCHEDULE:

1.	ISSUED FOR PRICING	DEC 17, 2020
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DRAWN BY: BCL

FLOOR AREAS:

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UPPER FLOOR AREA (DEVELOPED)	3057 SQ.FT.
TOTAL DEVELOPED FLOOR AREA ABOVE GRADE	6733 SQ.FT.
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GUEST HOUSE UPPER FLOOR AREA (DEVELOPED)	785 SQ.FT.
GUEST HOUSE COVERED	592 SQ.FT.
GUEST HOUSE COVERED LANDING	189 SQ.FT.

DRAWING TITLE:

## DETAILED SITE PLAN

SCALE: 1:100  
DATE: MAY 28, 2021

SHEET: A1.2

## SCHEDULE

A

This forms part of application

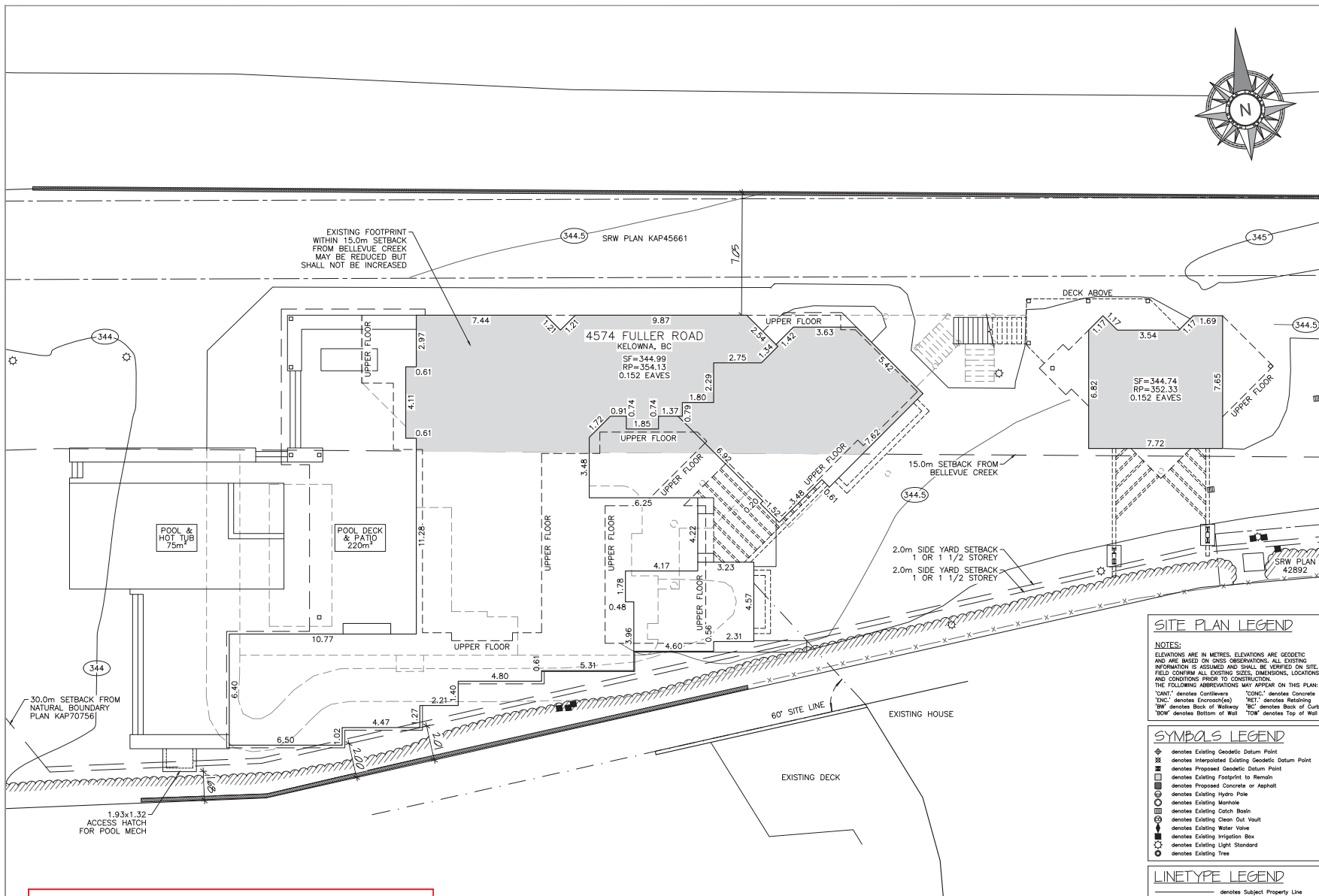
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City of Kelowna  
DEVELOPMENT PLANNING

Planner  
Initials








TC



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COVERAGE: 1675.85m<sup>2</sup> LOT AREA: 5614.79m<sup>2</sup>  
LOT COVERAGE: 29.85%



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KELOWNA, BC

LOT 8  
PLAN KAP70756  
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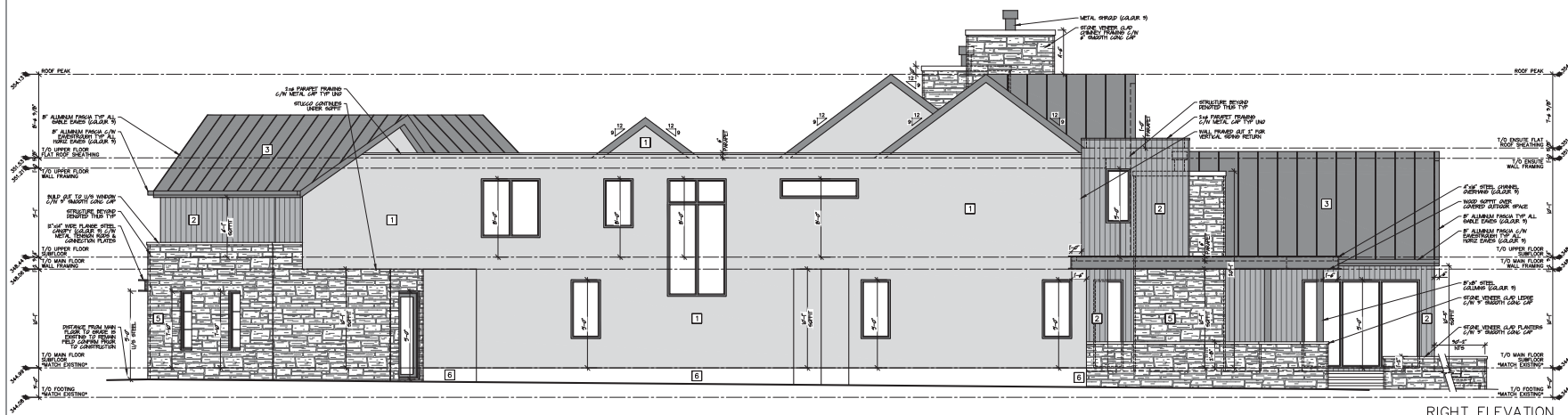
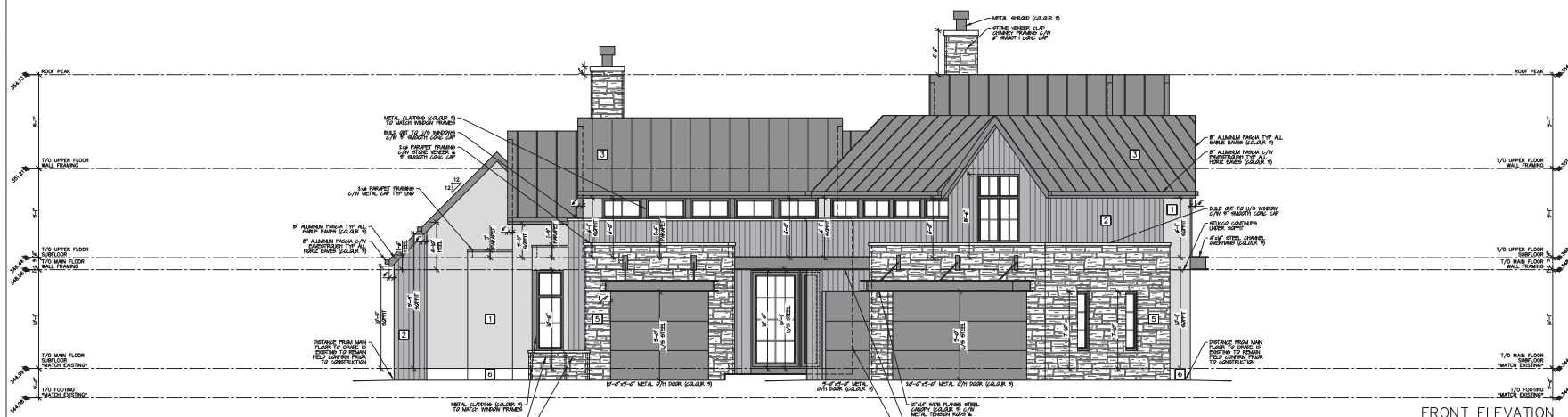
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UPPER FLOOR AREA (DEVELOPED) 3567 SQ.FT.  
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ATTACHED GARAGE AREA 1376 SQ.FT.  
MECH/STORAGE 185 SQ.FT.  
COVERED OUTDOOR SPACE 1264 SQ.FT.  
GUEST HOUSE UPPER FLOOR AREA (DEVELOPED) 785 SQ.FT.  
GUEST HOUSE GARAGE 582 SQ.FT.  
GUEST HOUSE COVERED LANDING 189 SQ.FT.

DRAWING TITLE:

**FRONT & RIGHT  
ELEVATIONS**

SCALE: 3/16" = 1'-0"  
DATE: MAY 28, 2021

SHEET: **A2.1**



# SCHEDULE

A

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GUEST HOUSE GARAGE 582 SQ.FT.  
GUEST HOUSE COVERED LANDING 189 SQ.FT.

DRAWING TITLE:

**REAR & LEFT  
ELEVATIONS**

SCALE: 3/16" = 1'-0"  
DATE: MAY 28, 2021

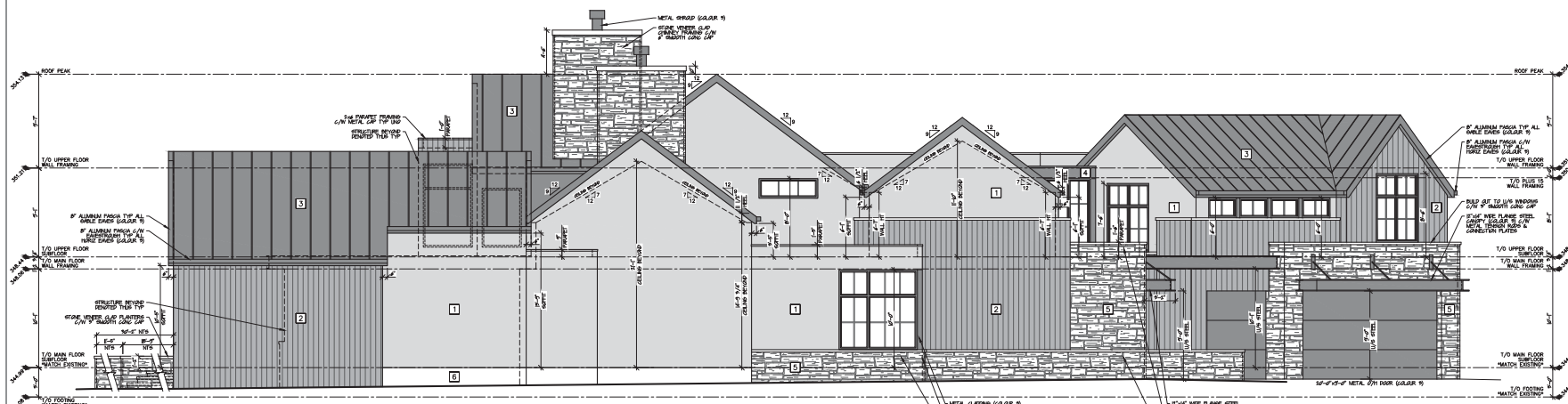
SHEET: **A2.2**



**RENOVATION NOTE**  
ALL EXISTING INFORMATION IS  
SHOWN FOR REFERENCE ONLY. ALL  
CHANGES TO THE EXISTING  
CONDITIONS SHALL BE SHOWN  
ON THIS DRAWING.

**REAR ELEVATION**

**CLADDING AND ROOFING MATERIALS**  
1 METAL SIDING (GULAR 9)  
2 METAL SIDING (GULAR 9)  
3 STAINED REAR METAL ROOF (GULAR 9)  
4 METAL PANEL (W/ REAR) (GULAR 9)  
5 STONE VENEER  
6 BRICK  
7 ALUMINUM SHUTTER (GULAR 9) TOP AND



**RENOVATION NOTE**  
ALL EXISTING INFORMATION IS  
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CONDITIONS SHALL BE SHOWN  
ON THIS DRAWING.

**LEFT ELEVATION**

**CLADDING AND ROOFING MATERIALS**  
1 METAL SIDING (GULAR 9)  
2 METAL SIDING (W/ REAR) (GULAR 9)  
3 STAINED REAR METAL ROOF (GULAR 9)  
4 METAL PANEL (W/ REAR) (GULAR 9)  
5 STONE VENEER  
6 BRICK  
7 ALUMINUM SHUTTER (GULAR 9) TOP AND

**SCHEDULE**

**A**

This forms part of application  
# DVP21-0158



City of  
**Kelowna**  
DEVELOPMENT PLANNING

Planner  
Initials

TC



PROJECT:

**ISSUED FOR  
BUILDING PERMIT**

4574 FULLER ROAD

KELOWNA, BC

LOT 8  
PLAN KAP70756  
PID 025-383-345

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REVISION SCHEDULE:

1. ISSUED FOR PRICING DEC 17, 2020  
2. ISSUED FOR BUILDING PERMIT MAY 28, 2021

DRAWN BY: BCL

FLOOR AREAS:

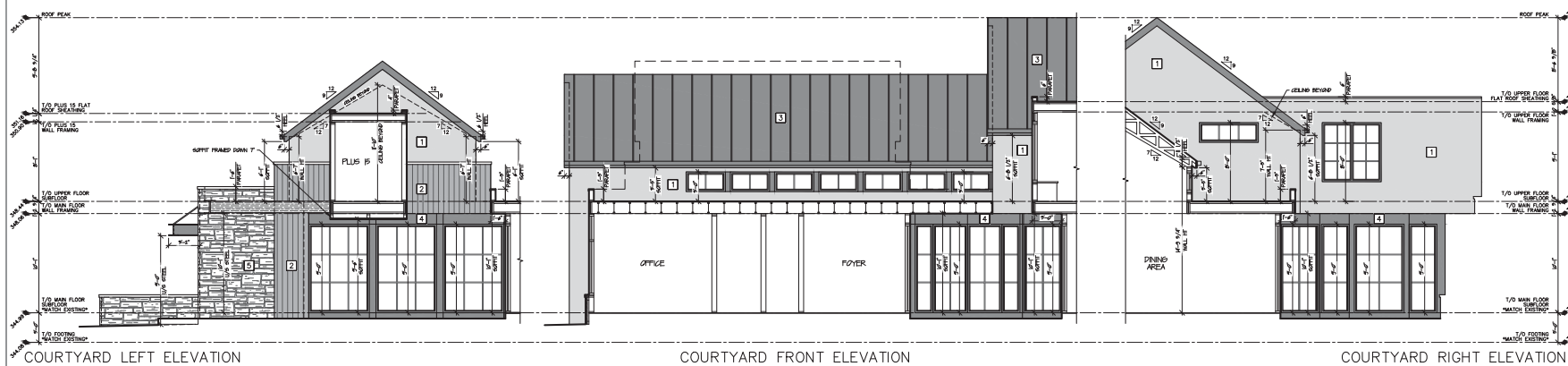
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ATTACHED GARAGE AREA 1376 SQ.FT.  
MECH/STORAGE 185 SQ.FT.  
COVERED OUTDOOR SPACE 1354 SQ.FT.  
GUEST HOUSE UPPER FLOOR AREA (DEVELOPED) 785 SQ.FT.  
GUEST HOUSE GARAGE 582 SQ.FT.  
GUEST HOUSE COVERED LANDING 189 SQ.FT.

DRAWING TITLE:

**COURTYARD & TRIPLE  
GARAGE ELEVATIONS**

SCALE: 3/16" = 1'-0"  
DATE: MAY 28, 2021

SHEET: **A2.3**

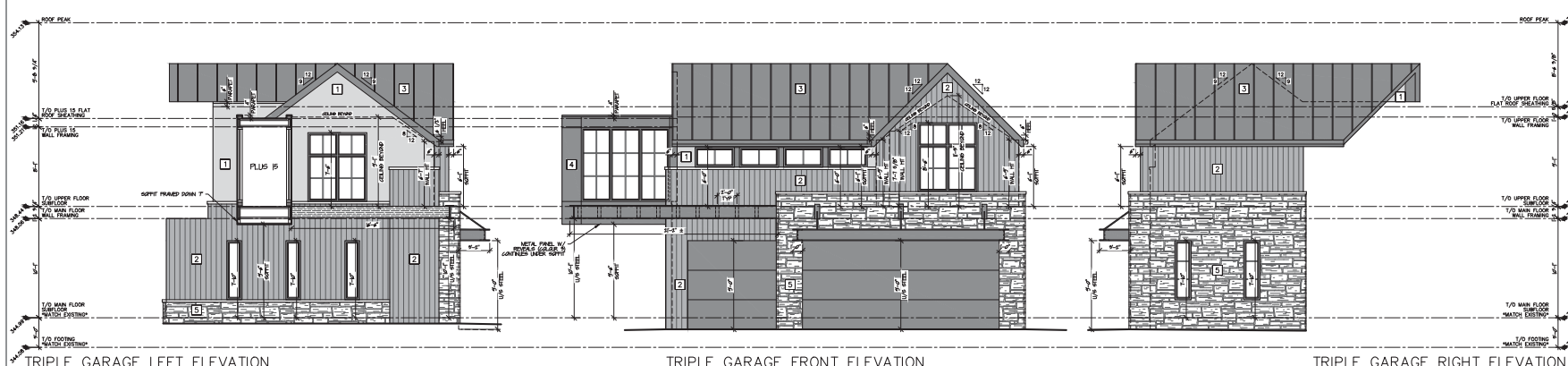


COURTYARD LEFT ELEVATION

COURTYARD FRONT ELEVATION

COURTYARD RIGHT ELEVATION

RENOVATION NOTE	CLADDING AND ROOFING MATERIALS
1. ALL EXISTING INFORMATION IS SHOWN AND SHALL BE VERIFIED PRIOR TO CONSTRUCTION. ANY DISCREPANCIES OR OMISSIONS SHALL BE REPORTED TO THE DESIGN PROFESSIONAL PRIOR TO CONSTRUCTION.	1. ASPHALT/SHINGLE ROOFING
	2. VERTICAL SERRA W/ ROOF BRAN (COLOR 1)
	3. SERRA WOOD METAL ROOF (COLOR 1)
	4. METAL PANEL W/ ROOF BRAN (COLOR 1)
	5. SERRA WOOD
	6. SERRA
	7. ALUMINUM SERRA (COLOR 1) TYP. UNO



TRIPLE GARAGE LEFT ELEVATION

TRIPLE GARAGE FRONT ELEVATION

TRIPLE GARAGE RIGHT ELEVATION

RENOVATION NOTE	CLADDING AND ROOFING MATERIALS
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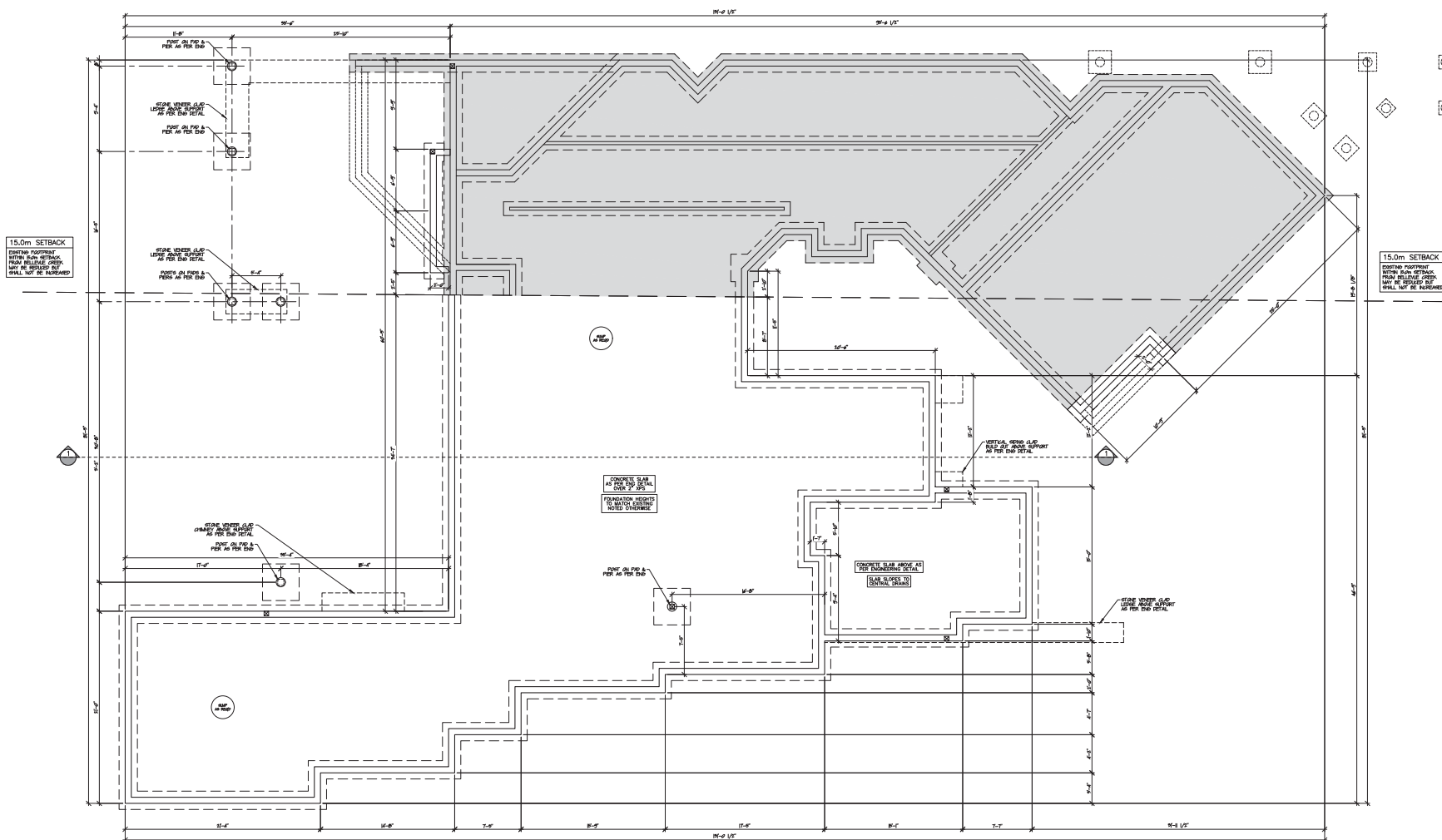
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GUEST HOUSE GARAGE	592 SQ.FT.
GUEST HOUSE COVERED LANDING	189 SQ.FT.

DRAWING TITLE:

## FOUNDATION PLAN

SCALE: 3/16" = 1'-0"  
DATE: MAY 28, 2021

SHEET: A3.1



FOUNDATION PLAN  
FOUNDATION HEIGHTS TO MATCH EXISTING UNLESS OTHERWISE NOTED

FOOTINGS SHOWN ON DESIGN DRAWINGS ARE FOR  
REFERENCE ONLY. BUILDER TO VERIFY ALL  
FOOTING REQUIREMENTS WITH ENGINEERING AND  
LAYOUTS PRIOR TO CONST.

☐ EXISTING TO REMAIN      ☐ EXISTING TO BE REMOVED

A

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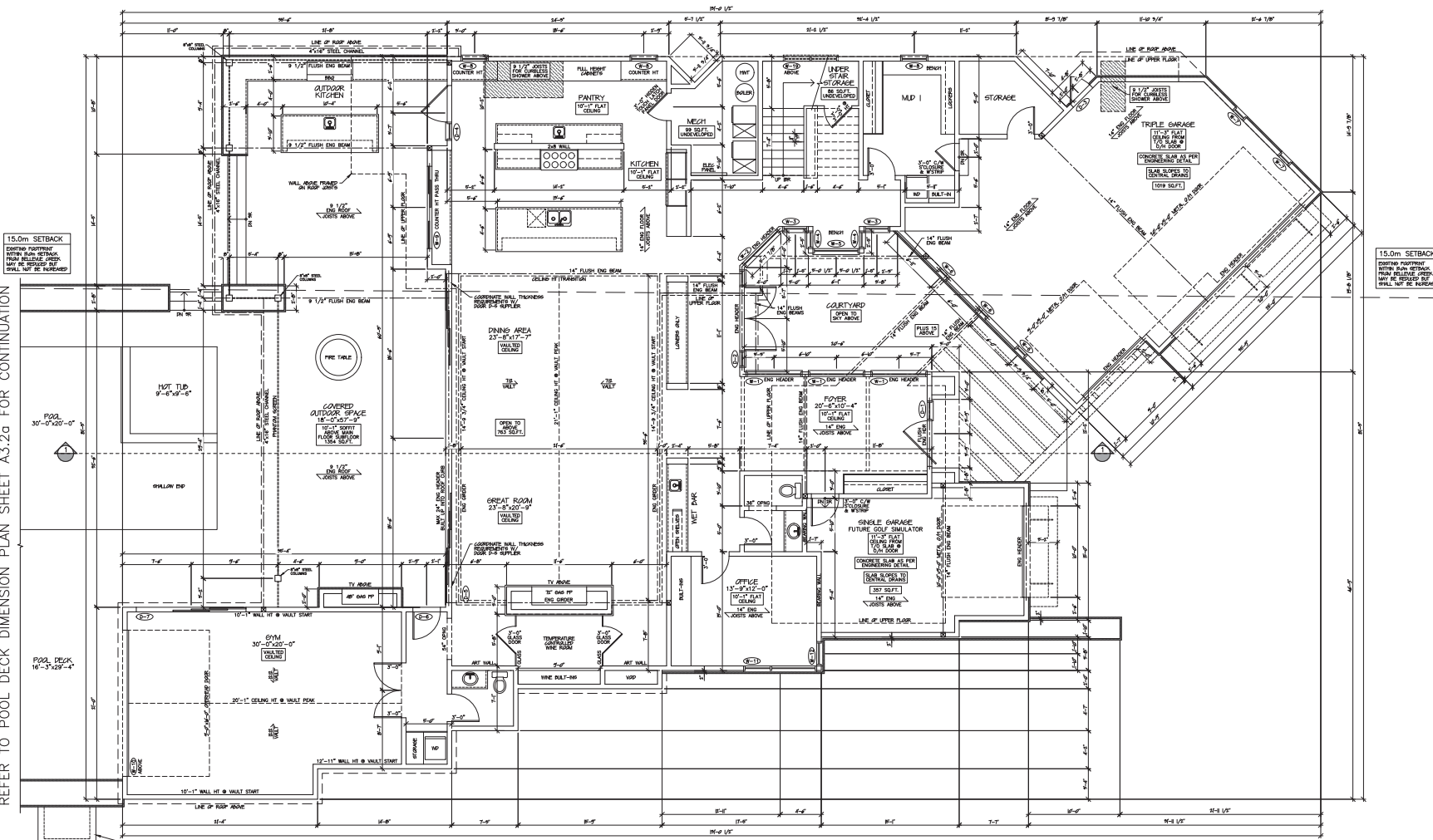
**MAIN FLOOR PLAN**

SCALE: 3/16" = 1'-0"  
DATE: MAY 28, 2021

SHEET:

**A3.2**

REFER TO POOL DECK DIMENSION PLAN SHEET A3.2a FOR CONTINUATION



**SCHEDULE**

**A**

This forms part of application  
# DVP21-0158

Planner  
Initials

TC

City of  
**Kelowna**  
DEVELOPMENT PLANNING



PROJECT:

**ISSUED FOR  
BUILDING PERMIT**

4574 FULLER ROAD  
KELOWNA, BC

LOT 8  
PLAN KAP70756  
PID 025-383-345

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**REVISION SCHEDULE:**

1.	ISSUED FOR PRICING	DEC 17, 2020
2.	ISSUED FOR BUILDING PERMIT	MAY 28, 2021

DRAWN BY: BCL

**FLOOR AREAS:**

MAIN FLOOR AREA (DEVELOPED)	3676 SQ.FT.
UPPER FLOOR AREA (DEVELOPED)	3057 SQ.FT.
TOTAL DEVELOPED FLOOR AREA ABOVE GRADE	6733 SQ.FT.
ATTACHED GARAGE AREA	1376 SQ.FT.
MECH/STORAGE	185 SQ.FT.
COVERED OUTDOOR SPACE	1354 SQ.FT.
GUEST HOUSE UPPER FLOOR AREA (DEVELOPED)	785 SQ.FT.
GUEST HOUSE GARAGE	582 SQ.FT.
GUEST HOUSE COVERED LANDING	189 SQ.FT.

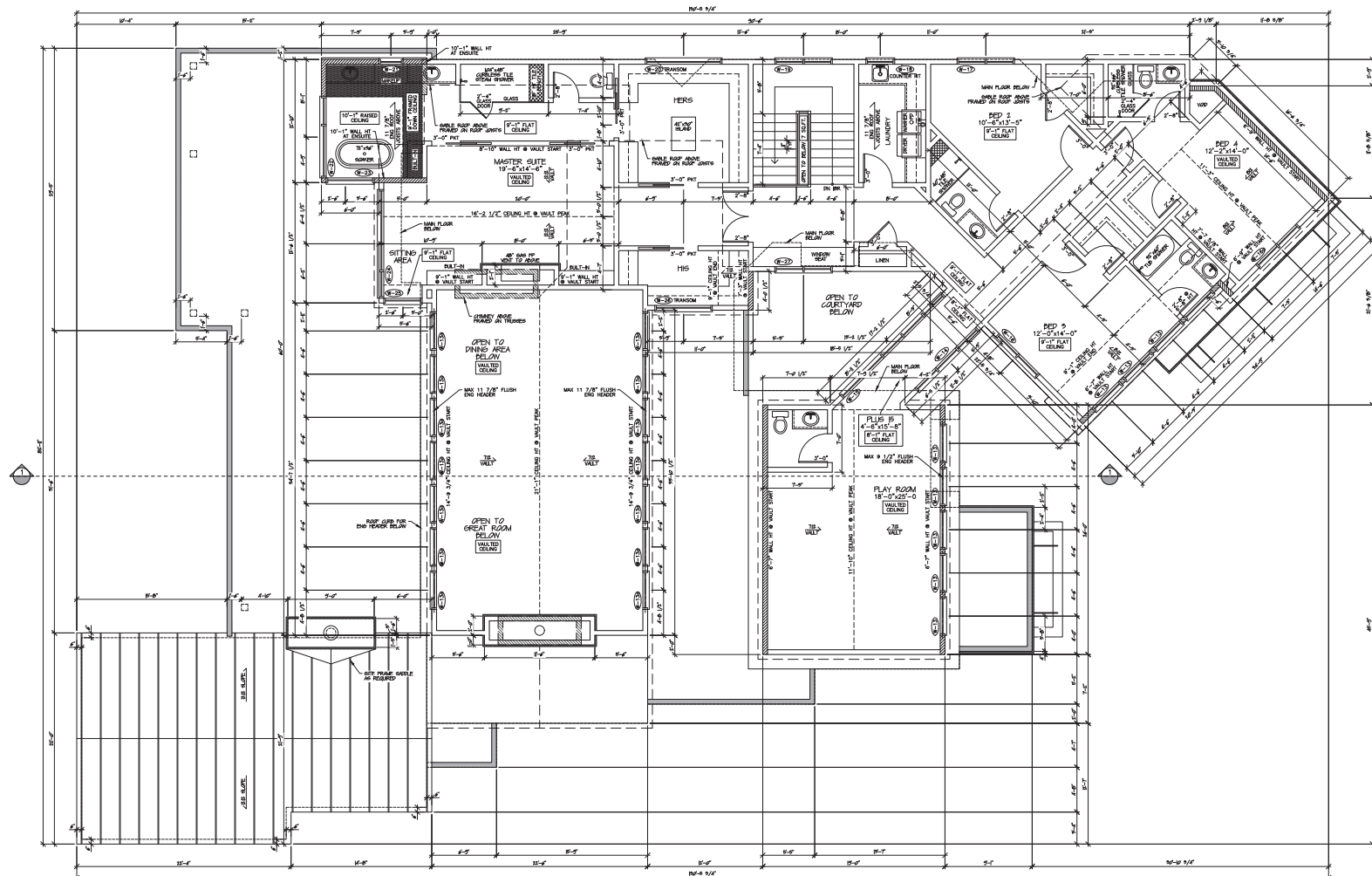
DRAWING TITLE:

**UPPER FLOOR PLAN**

SCALE: 3/16" = 1'-0"  
DATE: MAY 28, 2021

SHEET:

**A3.3**



**UPPER FLOOR PLAN**  
UPPER FLOOR AREA (DEVELOPED) - 3057 SQ.FT.

9'-1" UPPER FLOOR WALLS U.N.O.  
8'-0" HT. DOORS U.N.O./8'-0" HT. FRAMED OPENINGS U.N.O.  
ALL DOORS TO HAVE 6" JAMB ON HINGE SIDE OR CENTERED U.N.O.  
ALL UPPER FLOOR INTERIOR WALLS TO BE 2x6 U.N.O.  
SITE COORD. JOIST SPACING WITH MECHANICAL & LAYOUTS  
AS REQUIRED TO AVOID MECHANICAL CONFLICTS  
NO PLUMBING IN EXTERIOR WALLS

**SCHEDULE**

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DRAWN BY: BCL

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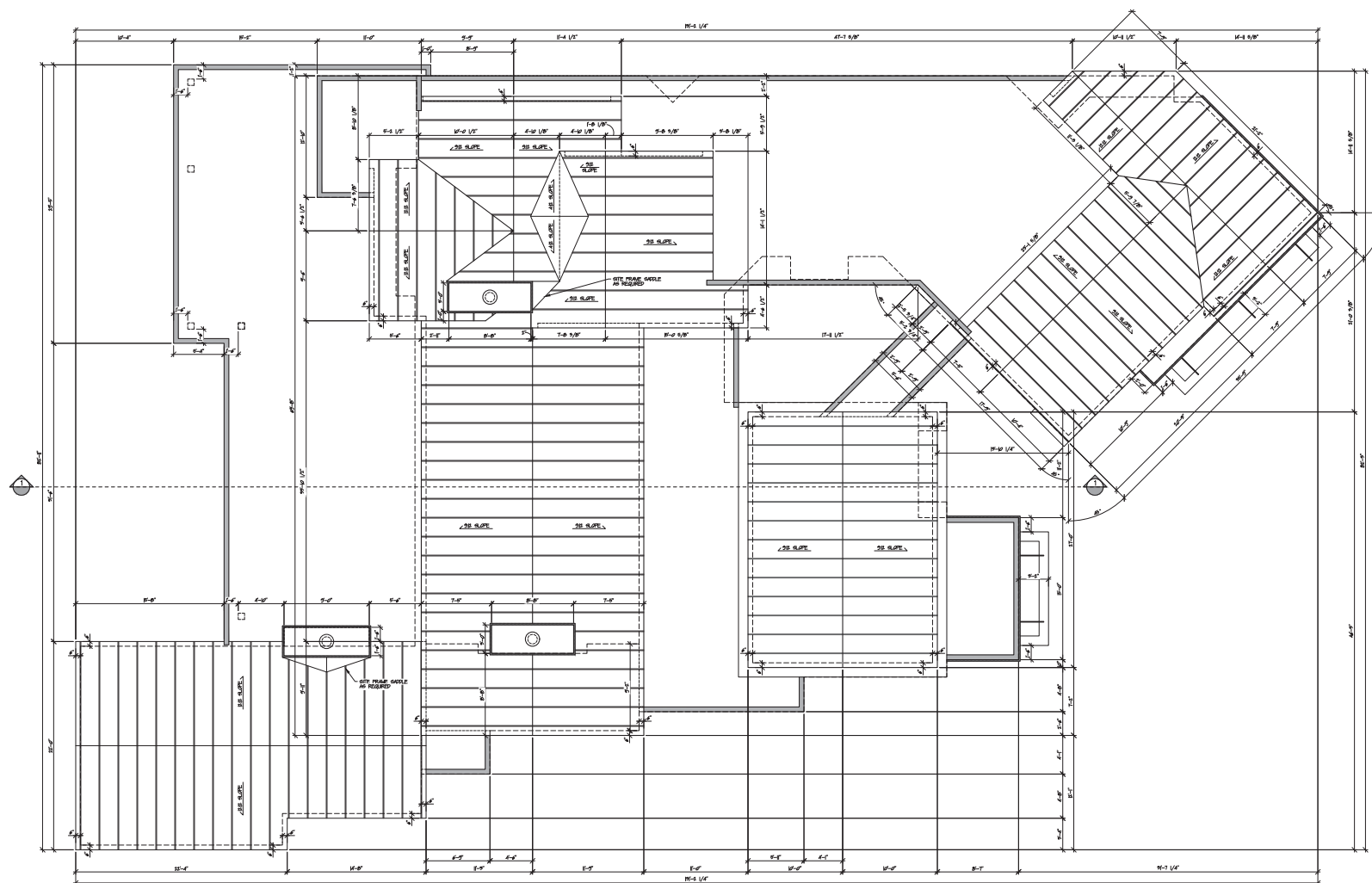
DRAWING TITLE:

**ROOF PLAN**

SCALE: 3/16" = 1'-0"  
DATE: MAY 28, 2021

SHEET:

**A3.4**



**ROOF PLAN**

SADDLE THE UP SLOPE SIDE OF ALL FLAT PROJECTIONS AND VALLEYS.  
ALL SADDLES SHALL BE INSTALLED WITH A FINISHED SLOPE OF MIN 2%  
NORMAL ASPHALT SHINGLES MIN. SLOPE = 4:12  
LOW SLOPE ASPHALT SHINGLES MIN. SLOPE = 2:12  
MODIFIED BITUMINOUS MEMBRANE (TORCH ON) MIN. SLOPE = 2%  
PROFIED METAL ROOFING MIN. SLOPE = 3:12 UNLESS OTHERWISE  
APPROVED BY MANUFACTURER'S WRITTEN INSTRUCTIONS

**SCHEDULE**

**A**

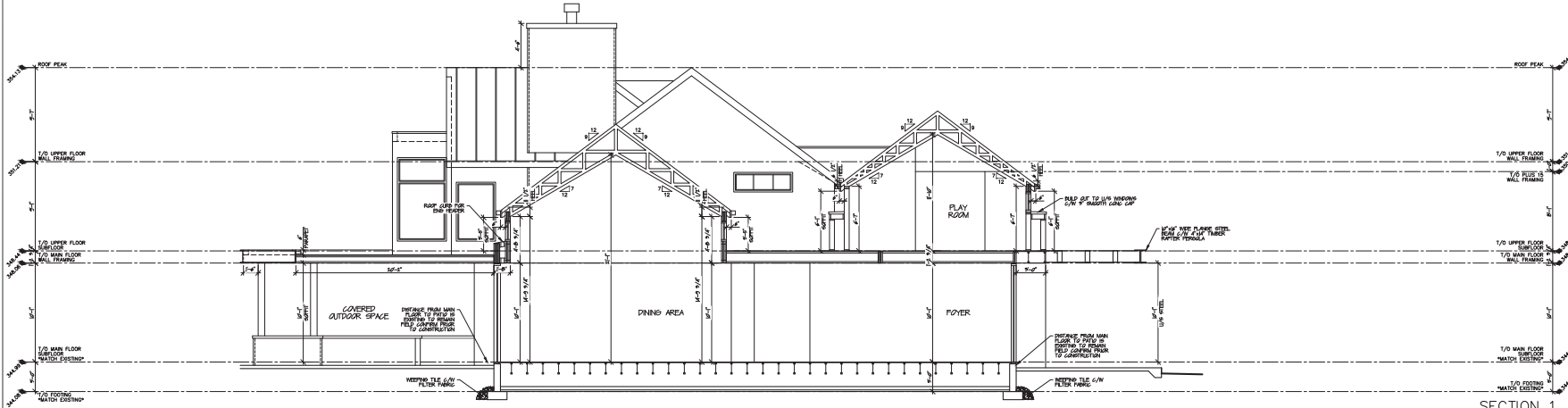
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# DVP21-0158

Planner  
Initials

TC

City of  
**Kelowna**  
DEVELOPMENT PLANNING





SECTION 1

**RENOVATION NOTE**  
ALL EXISTING INFORMATION  
SHOWN AND SHALL BE THE  
RESPONSIBILITY OF THE  
OWNER TO VERIFY THE  
EXISTING CONDITIONS  
BEFORE CONSTRUCTION.

**ROCKWOOD**

403 | 452 | 5955  
6107 6th STREET SE  
CALGARY, ALBERTA  
T2H 1L9

**DEANTHOMAS**  
DESIGN GROUP

403 | 719 | 6641  
SUITE 11, 1111 3rd STREET SE  
CALGARY, ALBERTA  
T2G 2S8

PROJECT:

**ISSUED FOR  
BUILDING PERMIT**

4574 FULLER ROAD

KELOWNA, BC

LOT 8

PLAN KAP70756

PID 025-383-345

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DRAWN BY: BCL

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GUEST HOUSE GARAGE	582 SQ.FT.
GUEST HOUSE COVERED LANDING	189 SQ.FT.

DRAWING TITLE:

**SECTIONS**

SCALE: 3/16" = 1'-0"  
DATE: MAY 28, 2021

SHEET:

**A4.1**

**SCHEDULE**

**A**

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**Kelowna**  
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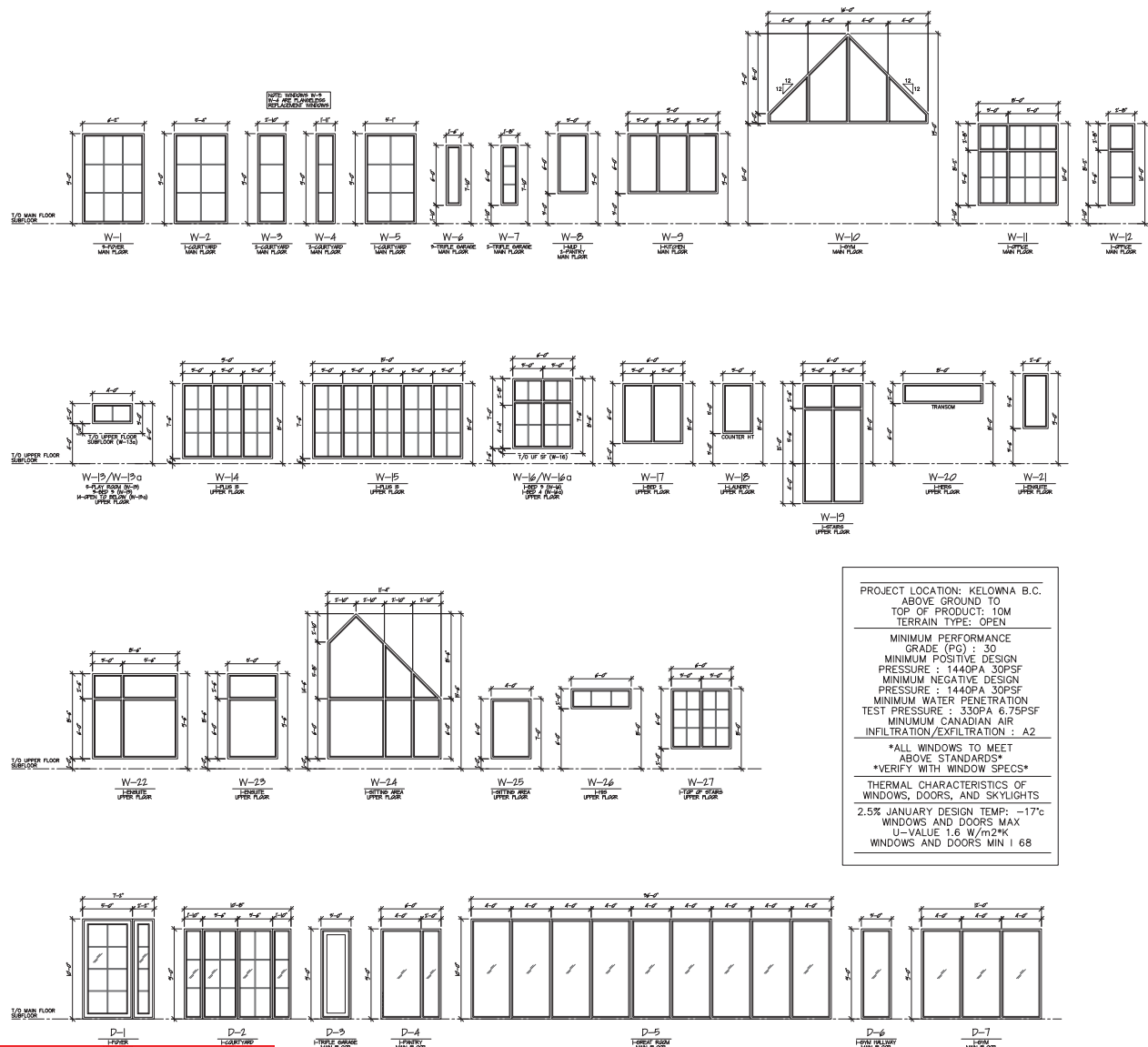
DRAWING TITLE:

WINDOW & DOOR  
SCHEDULE

SCALE: 3/16" = 1'-0"  
DATE: MAY 28, 2021

SHEET:

A5.1



PROJECT:

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KELOWNA, BC

LOT 8  
PLAN KAP70756  
PID 025-383-345

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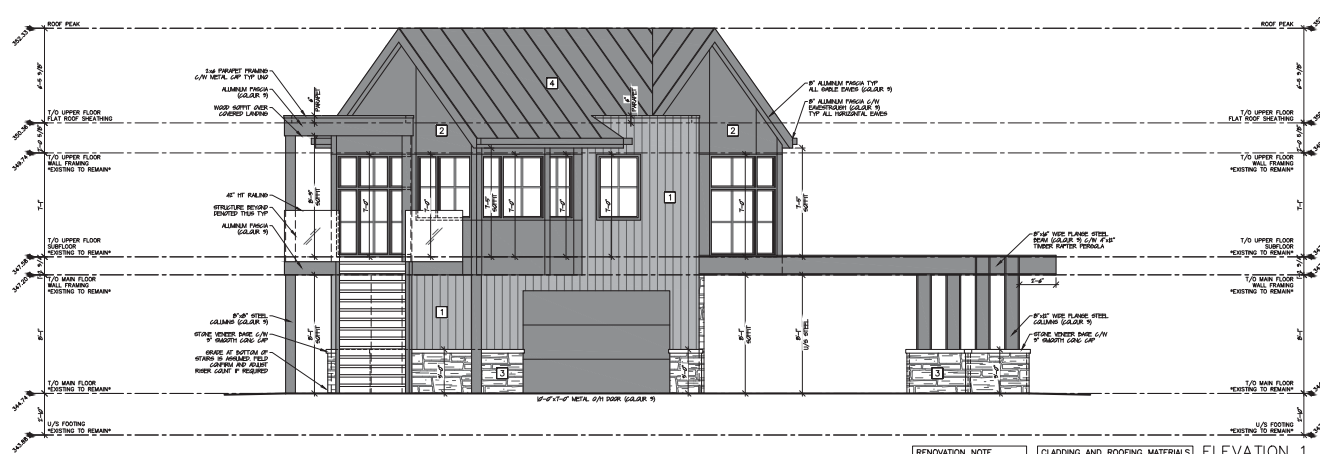
DRAWING TITLE:

**GUEST HOUSE  
ELEVATIONS 1 & 2**

SCALE: 1/4" = 1'-0"  
DATE: MAY 28, 2021

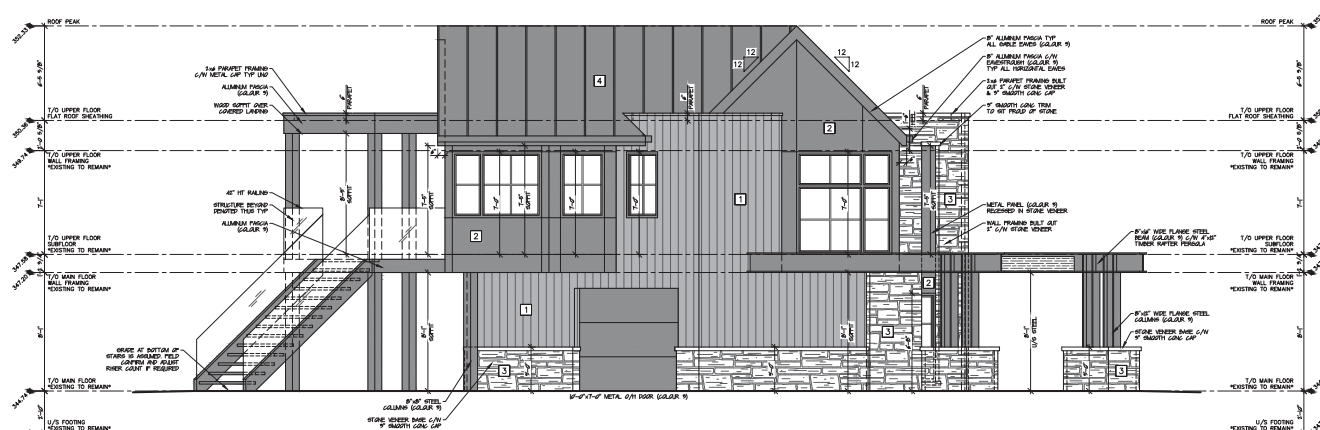
SHEET:

**G2.1**



RENOVATION NOTE	CLADDING AND ROOFING MATERIALS
ALL EXISTING INFORMATION IS TO REMAIN UNLESS INDICATED OTHERWISE. ANY CHANGES TO THE EXISTING PLAN OR ELEVATION SHALL BE INDICATED BY A NOTE OR A DIMENSION LINE. ANY CHANGES TO THE EXISTING PLAN OR ELEVATION SHALL BE INDICATED BY A NOTE OR A DIMENSION LINE.	1 VERTICAL Siding 1/2" ROOF DRUM (SUGAR 1)
	2 METAL PANEL 1/2" REVEALS (SUGAR 1)
	3 STONE VENEER
	4 STANDING SEAM METAL ROOF (SUGAR 1)
	5 ALUMINUM SHUTTER (SUGAR 1) TYP 120"

ELEVATION 1



RENOVATION NOTE	CLADDING AND ROOFING MATERIALS
ALL EXISTING INFORMATION IS TO REMAIN UNLESS INDICATED OTHERWISE. ANY CHANGES TO THE EXISTING PLAN OR ELEVATION SHALL BE INDICATED BY A NOTE OR A DIMENSION LINE. ANY CHANGES TO THE EXISTING PLAN OR ELEVATION SHALL BE INDICATED BY A NOTE OR A DIMENSION LINE.	1 VERTICAL Siding 1/2" ROOF DRUM (SUGAR 1)
	2 STANDING SEAM METAL ROOF (SUGAR 1)
	3 METAL PANEL 1/2" REVEALS (SUGAR 1)
	4 STONE VENEER
	5 ALUMINUM SHUTTER (SUGAR 1) TYP 120"

ELEVATION 2

**SCHEDULE**

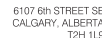
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Planner  
Initials

TC

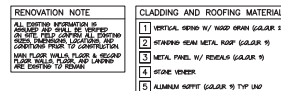
City of  
**Kelowna**  
DEVELOPMENT PLANNING



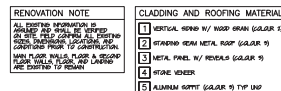
SUITE 11, 1111 3rd STREET SE  
CALGARY, ALBERTA  
T2G 2S6

LOT 8  
PLAN KAP70756  
PID 025-383-345

SHEET: G2.2



ELEVATION 3



FLYVATION 4



PROJECT:

**ISSUED FOR  
BUILDING PERMIT**

4574 FULLER ROAD  
KELOWNA, BC

LOT 8  
PLAN KAP70756  
PID 025-383-345

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**REVISIONS**

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DRAWN BY: BCL

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GUEST HOUSE COVERED LANDING	189 SQ.FT.

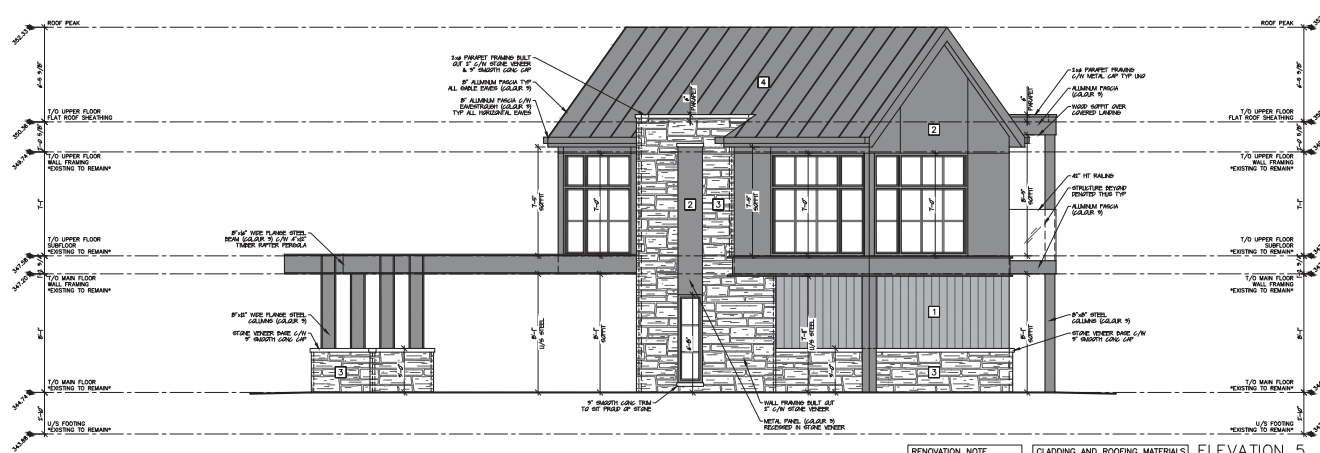
DRAWING TITLE:

**GUEST HOUSE  
ELEVATIONS 5 & 6**

SCALE: 1/4" = 1'-0"  
DATE: MAY 28, 2021

SHEET:

**G2.3**



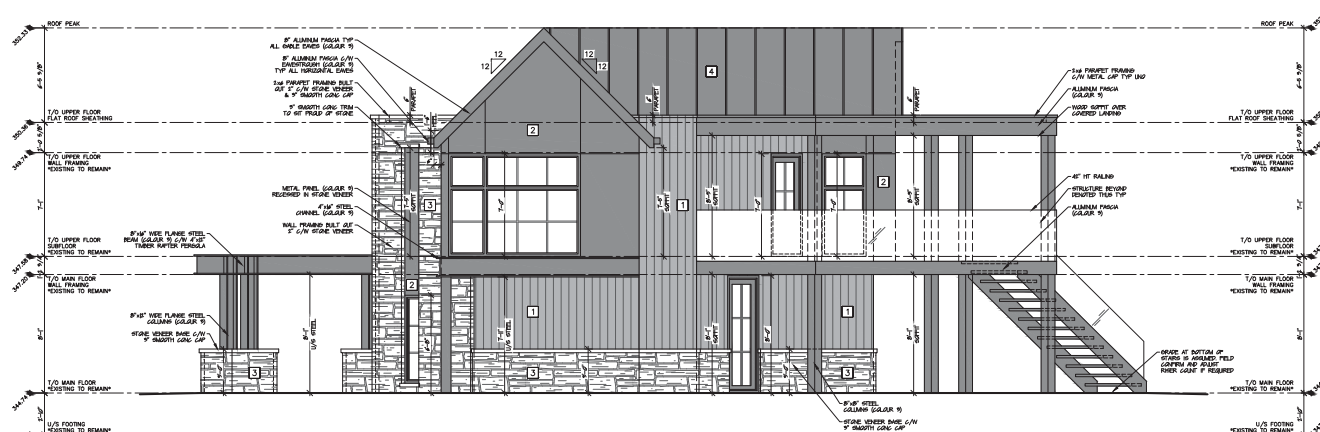
**RENOVATION NOTE**

ALL EXISTING INFORMATION IS SHOWN AS RECEIVED. ANY CHANGES TO THE EXISTING INFORMATION ARE SHOWN IN RED. ANY CHANGES TO THE EXISTING INFORMATION ARE SHOWN IN RED.

**CLADDING AND ROOFING MATERIALS**

- 1 VERTICAL SIDING W/ HAZEL GRAY (COLOR 1)
- 2 STANDING SEAM METAL ROOF (COLOR 9)
- 3 METAL PANEL W/ REVEALS (COLOR 9)
- 4 STONE VENEER
- 5 ALUMINUM SHUTTER (COLOR 9) TYP. UAD

ELEVATION 5



**RENOVATION NOTE**

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**CLADDING AND ROOFING MATERIALS**

- 1 VERTICAL SIDING W/ HAZEL GRAY (COLOR 1)
- 2 STANDING SEAM METAL ROOF (COLOR 9)
- 3 METAL PANEL W/ REVEALS (COLOR 9)
- 4 STONE VENEER
- 5 ALUMINUM SHUTTER (COLOR 9) TYP. UAD

ELEVATION 6

**SCHEDULE**

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TC

City of  
**Kelowna**  
DEVELOPMENT PLANNING



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BUILDING PERMIT**

4574 FULLER ROAD  
KELOWNA, BC

LOT 8  
PLAN KAP70756  
PID 025-383-345

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DRAWN BY: BCL

FLOOR AREAS:

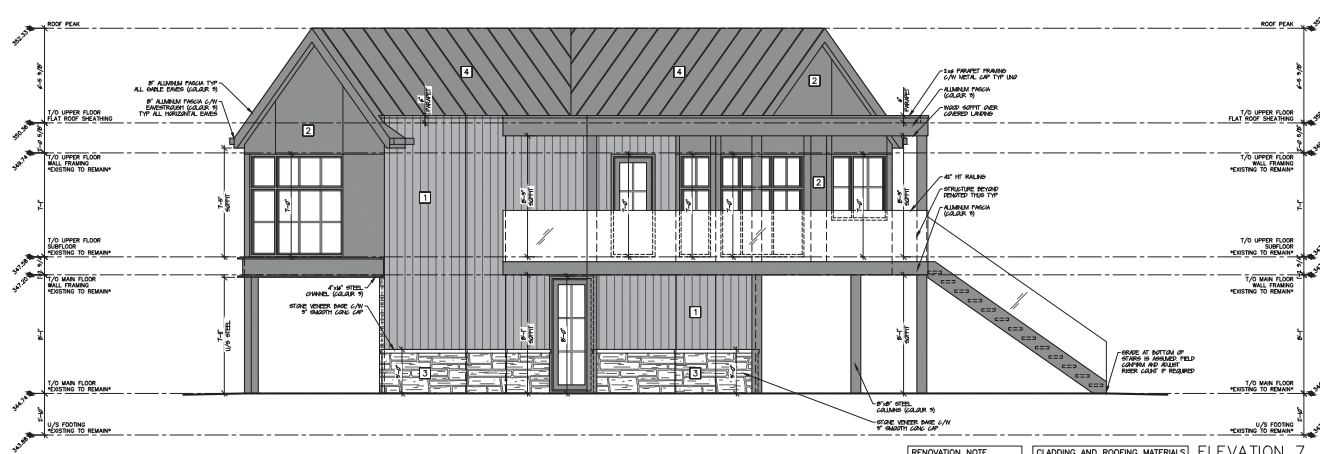
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DRAWING TITLE:

**GUEST HOUSE  
ELEVATIONS 7 & 8**

SCALE: 1/4" = 1'-0"  
DATE: MAY 28, 2021

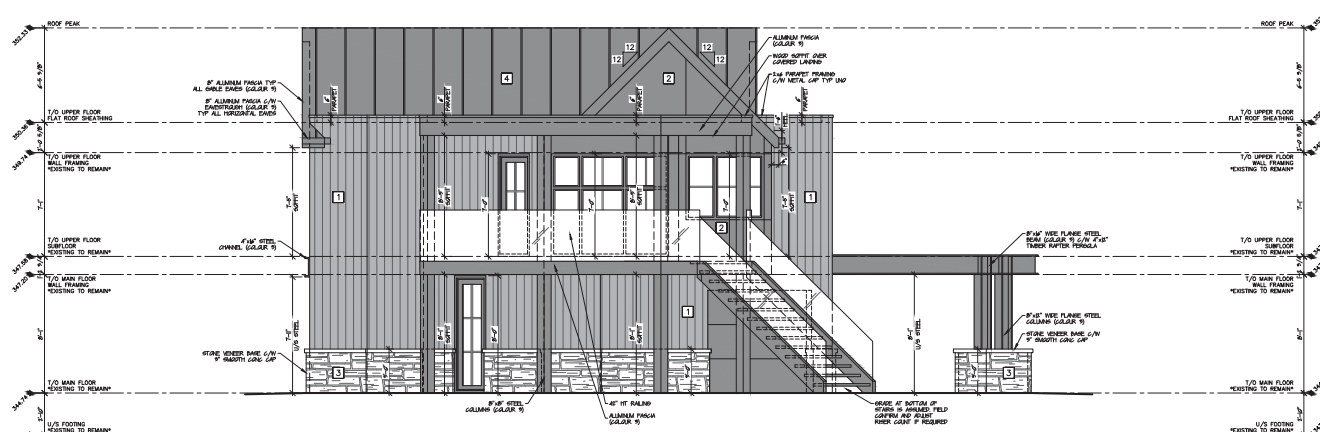
SHEET: **G2.4**



RENOVATION NOTE	
1.	ALL EXISTING INFORMATION IS TO BE MAINTAINED UNLESS OTHERWISE NOTED.
2.	NEW WORK SHALL BE SHOWN IN RED.
3.	EXISTING WORK TO BE REMOVED SHALL BE SHOWN IN RED WITH A DASHED LINE.
4.	NEW WORK SHALL BE SHOWN IN RED WITH A SOLID LINE.
5.	EXISTING WORK TO BE REMOVED SHALL BE SHOWN IN RED WITH A DASHED LINE.

CLADDING AND ROOFING MATERIALS	
1.	VERTICAL SIDING W/ HORIZONTAL GRAIN (COLOR: 1)
2.	SHINGLED ROOF METAL ROOF (COLOR: 1)
3.	METAL PANEL W/ HORIZONTAL GRAIN (COLOR: 1)
4.	STONE VENEER
5.	ALUMINUM SHUTTER (COLOR: 1) TYP. UNO

ELEVATION 7



RENOVATION NOTE	
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2.	SHINGLED ROOF METAL ROOF (COLOR: 1)
3.	METAL PANEL W/ HORIZONTAL GRAIN (COLOR: 1)
4.	STONE VENEER
5.	ALUMINUM SHUTTER (COLOR: 1) TYP. UNO

ELEVATION 8

**SCHEDULE**

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## REVISION SCHEDULE

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DRAWN BY: BCI

## FLOOR AREAS

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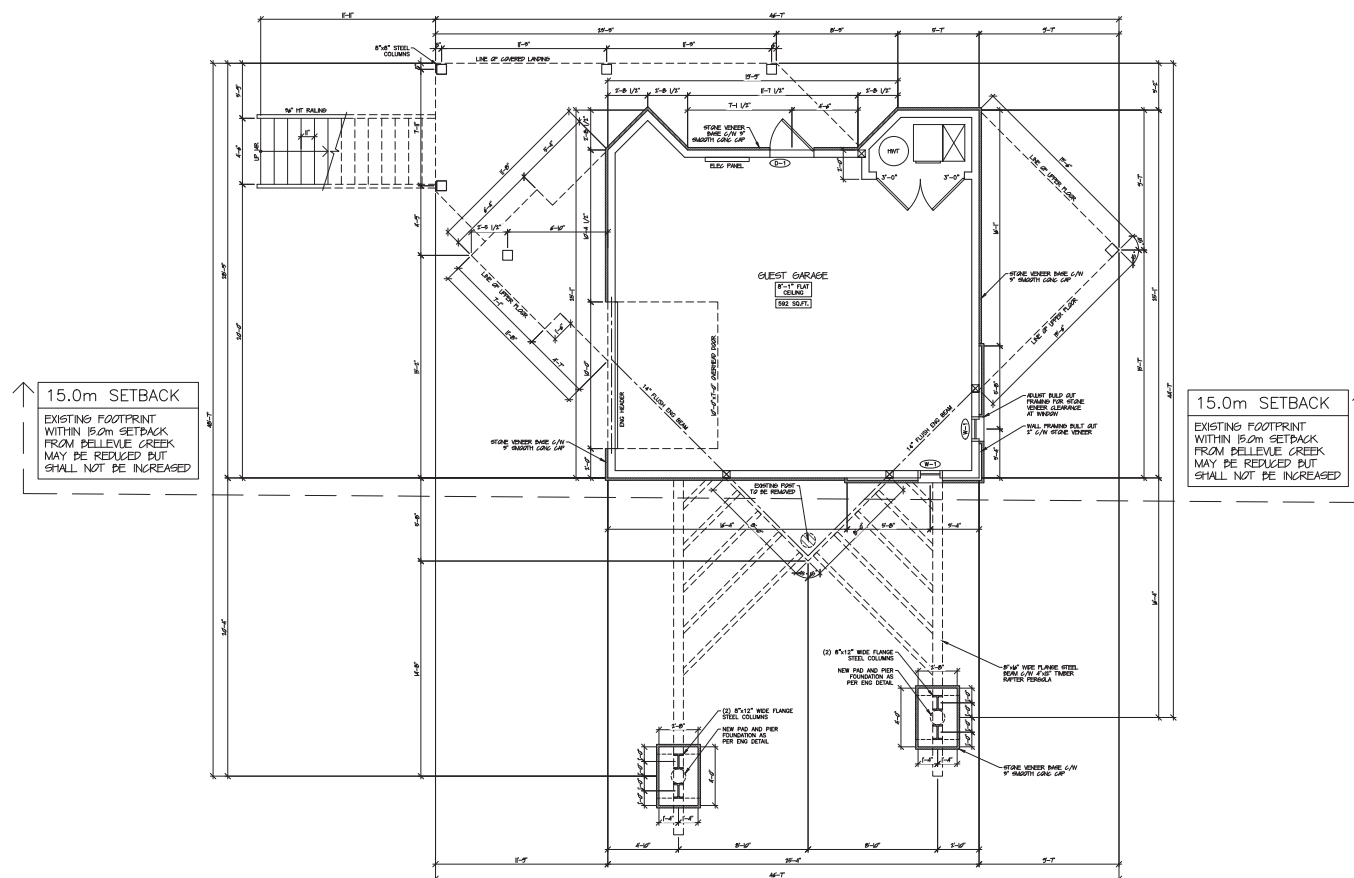
DRAWING TITLE

GUEST HOUSE  
MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"  
DATE: MAY 28, 2021

SHEET:

G3.1



## RENOVATION NOTE

ALL EXISTING INFORMATION IS ASSUMED AND SHALL BE VERIFIED ON SITE. FIELD CONFIRM ALL EXISTING SIZES, DIMENSIONS, LOCATIONS, AND CONDITIONS PRIOR TO CONSTRUCTION.

MAIN FLOOR WALLS, FLOOR & SECOND  
FLOOR WALLS, FLOOR, AND LANDING  
ARE EXISTING TO REMAIN

GUEST HOUSE  
MAIN FLOOR PLAN  
MAIN FLOOR GARAGE AREA - 592 SQ.FT.

TOTAL DEVELOPED FLOOR AREA ABOVE GRADE - 785 SQ.FT.

8'-1" MAIN FLOOR WALLS TYP.

6'-8" HT. DOORS U.N.O.  
HAVE 6" LAMP ON HINGE SIDE OF

N FLOOR INTERIOR WALLS TO BE

6'-8" HT. DOORS U.N.O.  
ALL DOORS TO HAVE 6" JAMB ON HINGE SIDE OR CENTERED U.N.O.  
ALL MAIN FLOOR INTERIOR WALLS TO BE 2x6 U.N.O.  
SITE COORD. JOIST SPACING WITH MECHANICAL & LAYOUTS  
AS REQUIRED TO AVOID MECHANICAL CONFLICTS  
NO PLUMBING IN EXTERIOR WALLS

## SCHEDULE

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City of Kelowna  
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REVISION SCHEDULE:

1. ISSUED FOR PRICING DEC 17, 2020  
2. ISSUED FOR BUILDING PERMIT MAY 28, 2021

DRAWN BY: BCL

FLOOR AREAS:

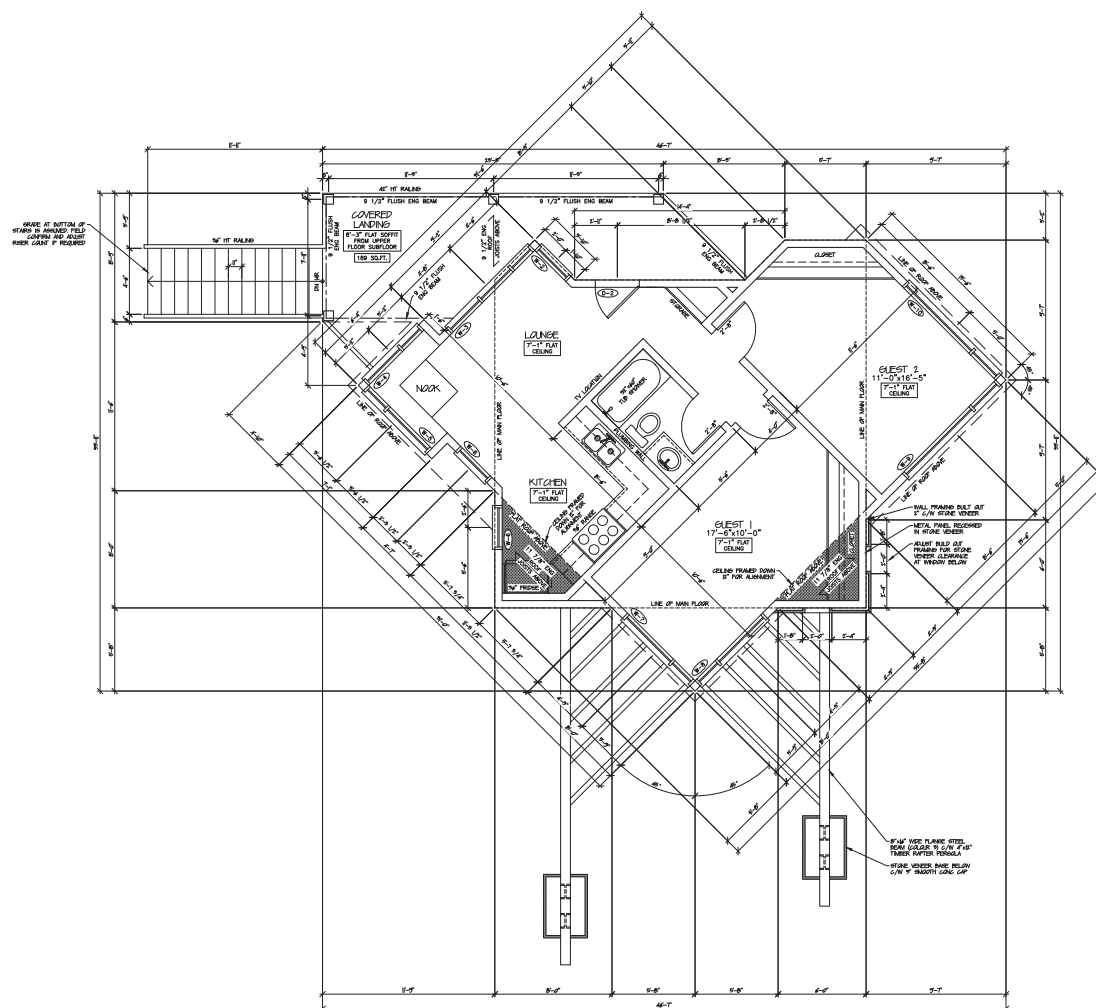
MAIN FLOOR AREA (DEVELOPED) 3676 SQ.FT.  
UPPER FLOOR AREA (DEVELOPED) 3567 SQ.FT.  
TOTAL DEVELOPED FLOOR AREA ABOVE GRADE 6733 SQ.FT.  
ATTACHED GARAGE AREA 1376 SQ.FT.  
MECH/STORAGE 185 SQ.FT.  
COVERED OUTDOOR SPACE 1354 SQ.FT.  
GUEST HOUSE UPPER FLOOR AREA (DEVELOPED) 785 SQ.FT.  
GUEST HOUSE GARAGE 592 SQ.FT.  
GUEST HOUSE COVERED LANDING 189 SQ.FT.

DRAWING TITLE:

**GUEST HOUSE  
UPPER FLOOR PLAN**

SCALE: 1/4" = 1'-0"  
DATE: MAY 28, 2021

SHEET: **G3.2**



**RENOVATION NOTE**  
ALL EXISTING INFORMATION IS ASSUMED AND SHALL BE VERIFIED ON SITE. FIELD CONFIRM ALL EXISTING SIZES, DIMENSIONS, LOCATIONS, AND CONDITIONS PRIOR TO CONSTRUCTION.  
MAIN FLOOR WALLS, FLOOR & SECOND FLOOR WALLS, FLOOR, AND LANDING ARE EXISTING TO REMAIN.

**GUEST HOUSE  
UPPER FLOOR PLAN**  
UPPER FLOOR AREA (DEVELOPED) - 785 SQ.FT.  
7'-1" UPPER FLOOR WALLS U.N.O.  
6'-8" HT. DOORS U.N.O.  
ALL DOORS TO HAVE 6" JAMB ON HINGE SIDE OR CENTERED U.N.O.  
ALL UPPER FLOOR INTERIOR WALLS TO BE 2x6 U.N.O.  
SITE COORD. JOIST SPACING WITH MECHANICAL & LAYOUTS AS REQUIRED TO AVOID MECHANICAL CONFLICTS  
NO PLUMBING IN EXTERIOR WALLS

**SCHEDULE**

**A**

This forms part of application  
# **DVP21-0158**



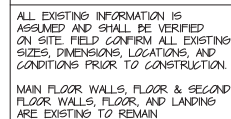
City of  
**Kelowna**  
DEVELOPMENT PLANNING

Planner  
Initials

**TC**

LOT 8  
PLAN KAP70756  
PID 025-383-345

SHEET: G3.3



SADDLE THE UP SLOPE SIDE OF ALL FLAT PROJECTIONS AND VALLEYS.  
ALL SADDLES SHALL BE INSTALLED WITH A FINISHED SLOPE OF MIN 2%  
NORMAL ASPHALT SHINGLES MIN. SLOPE = 4:12  
MODIFIED BITUMINOUS MEMBRANE (TORCH ON) MIN. SLOPE = 2%  
PROFILED METAL ROOFING MIN. SLOPE = 3:12 UNLESS OTHERWISE  
APPROVED BY MANUFACTURER'S WRITTEN INSTRUCTIONS

City of Kelowna  
DEVELOPMENT PLANNING

Planner  
Initials

TC

G3.3

PROJECT:

**ISSUED FOR  
BUILDING PERMIT**

4574 FULLER ROAD  
KELOWNA, BC

LOT 8  
PLAN KAP70756  
PID 025-383-345

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REVISION SCHEDULE:

1. ISSUED FOR PERMIT DEC 17, 2020  
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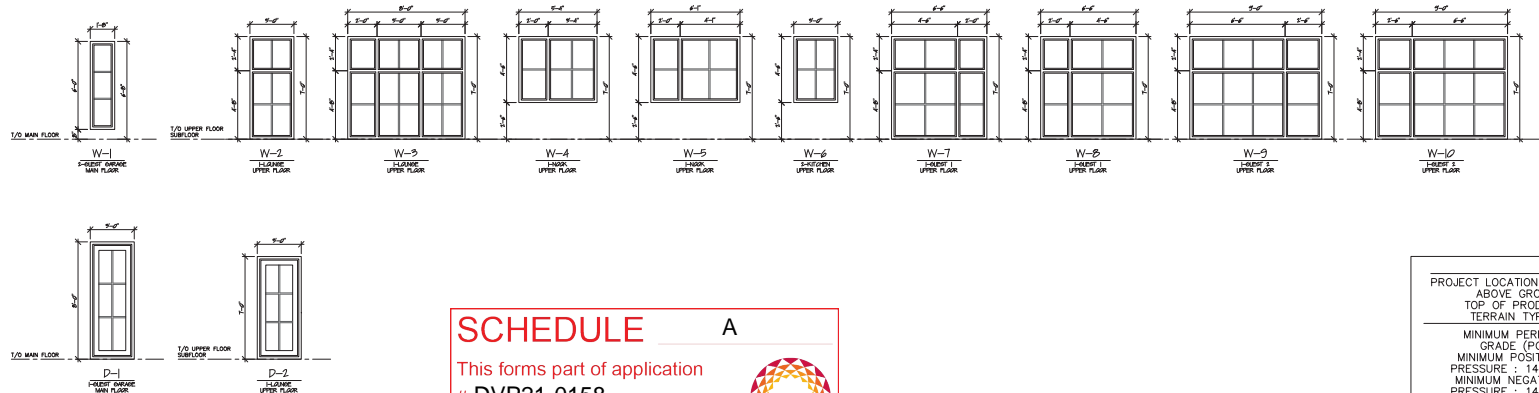
DRAWING TITLE:

**GUEST HOUSE WINDOW  
& DOOR SCHEDULE**

SCALE: 1/4" = 1'-0"  
DATE: MAY 28, 2021

SHEET:

**G5.1**



**SCHEDULE A**

This forms part of application  
# DVP21-0158

Planner Initials **TC**

City of Kelowna  
DEVELOPMENT PLANNING

PROJECT LOCATION: KELOWNA B.C.  
ABOVE GROUND TO  
TOP OF PRODUCT: 10M  
TERRAIN TYPE: OPEN

MINIMUM PERFORMANCE  
GRADE (PG) : 30  
MINIMUM POSITIVE DESIGN  
PRESSURE : 1440PA 30PSF  
MINIMUM NEGATIVE DESIGN  
PRESSURE : 1440PA 30PSF  
MINIMUM WATER PENETRATION  
TEST PRESSURE : 330PA 6.75PSF  
MINIMUM CANADIAN AIR  
INFILTRATION/EXFILTRATION : A2

\*ALL WINDOWS TO MEET  
ABOVE STANDARDS\*  
\*VERIFY WITH WINDOW SPECS\*

THERMAL CHARACTERISTICS OF  
WINDOWS, DOORS, AND SKYLIGHTS  
2.5% JANUARY DESIGN TEMP: -17°C  
WINDOWS AND DOORS MAX  
U-VALUE 1.6 W/m<sup>2</sup>\*K  
WINDOWS AND DOORS MIN I 68

