

Development Permit & Development Variance Permit DP21-0009 / DVP21-0012



This permit relates to land in the City of Kelowna municipally known as 575 Patterson Avenue

and legally known as Lot 13 District Lot 14 ODYD Plan 3249

and permits the land to be used for the following development:

RM3 – Low Density Multiple Housing

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council Decision November 16th, 2021
Decision By: COUNCIL
Development Permit Area: Comprehensive Development Permit Area
Existing Zone: RM3 – Low Density Multiple Housing
Future Land Use Designation: MRL – Multiple Unit Residential (Low Density)

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Dream Chaser Management & Development Ltd., Inc.No. C1120607
Applicant: Dean Neveu – Dream Chaser Homes

Terry Barton
Development Planning Department Manager
Planning & Development Services

Date

ATTACHMENT		A
This forms part of application		
# DP21-0009/DVP21-0012		
Planner Initials		TC
		 City of Kelowna DEVELOPMENT PLANNING

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.
- e) That variance to the following section of the Zoning Bylaw No. 8000 be granted in accordance with Schedule "A":

Section 8.2.19(a): Section 8 - Parking and Loading, Off-Street Parking Regulations, Accessible Parking

Standards:

To vary the required accessible stall from 1 required to 0 proposed.

Table 8.3.1: Section 8 - Parking and Loading, Required Off-Street Parking Requirements, Residential Parking:

To vary the minimum required parking stalls from 9 required to 4 proposed (including visitor parking).

Section 13.9.6(e): RM3 – Low Density Multiple Housing Development Regulations

To vary the required side yard setback from 4.5m required to 2.0m proposed.

Section 13.9.6(g): RM3 – Low Density Multiple Housing Development Regulations

To vary the minimum distance between two principal dwellings from 3.0m required to 2.0m proposed.

This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.

3. PERFORMANCE SECURITY


As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) An Irrevocable Letter of Credit **OR** certified cheque in the amount of **\$12,556,60**

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

ATTACHMENT		A
This forms part of application		
# DP21-0009/DVP21-0012		
Planner Initials	TC	
		City of Kelowna DEVELOPMENT PLANNING

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**

DRAFT

ATTACHMENT A

This forms part of application

DP21-0009/DVP21-0012

Planner
Initials

TC

City of
Kelowna
DEVELOPMENT PLANNING



March 16, 2021

RE: Arborist Report for Davey Tree Experts - For property located at 575 Patterson Ave., Kelowna, BC

Applicant: Davey Tree Experts
C/o: Ralph Nevill
Phone: 250 – 801 - 6077
Email: Ralph.Nevill@davey.com

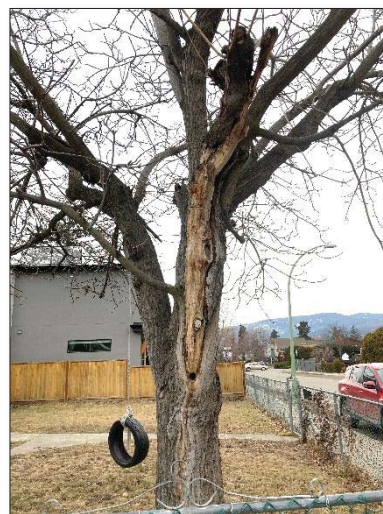
Due to concerns regarding the condition of a tree located at the address named above, an assessment was requested. This site was inspected on March 4, 2021. Seven photographs have been included as part of this report.

Limitations: This report is based on a visual assessment, from the ground only. No core or tissue samples were taken; no root crown excavations were performed. This report provides no undertakings regarding the future condition or behavior of the trees reviewed in it. Tree hazards and conditions do change over time, and the evaluation period for this report is valid for the day on which it was performed only. Trees should always be re-assessed if changes are noted, or after any major weather events. Recommendations are to serve only as a guideline for the retention and protection of the tree(s), and are made according to commonly accepted arboricultural practices, and do not guarantee the survival and/or safety of the specimen(s). No responsibility is assumed for any legal matters as a result of this report. The consultant shall not be required to give testimony or attend court by any reason of this report unless subsequent contractual arrangements are made, including payment of additional fees for such services. Loss or alteration of any part of this report invalidates the entire report. Possession of this report or a copy thereof does not imply right of publication or use for any purpose by any other than the person to whom it is addressed, without verbal or written consent of the consultant. No part of this report shall be conveyed by anyone to the public by any means without prior written consent of the consultant.

Yours truly,



Ralph Nevill – sent electronically
ISA Certified Arborist #WC-5232 AM
ISA TRAQ Certified Tree Risk Assessor
Ralph.Nevill@Davey.com



Tree #1 is assessed as being at high risk of scaffold limb failure due to significant decay. The deficient pruning history, the significant defects and the extensive decay throughout the scaffold limbs and union make this tree an unsuitable candidate for retention.

<u>TREE</u> #	<u>SPECIES</u>	<u>DBH</u> (cm)	<u>HEIGHT</u> (m) est.	<u>Condition</u>	<u>OBSERVATIONS & RECOMMENDATIONS</u>
1	Walnut (<i>Juglans</i> <i>sp.</i>)	Est. 50	10	Declining	<p>This tree has three stems commencing at about 4ft. The canopy has been previously topped at about 18ft creating large pruning wounds. There are longitudinal cracks with extensive decay in the three main scaffold limbs which have poor attachment. The extensive decay extends into the union and trunk. In one of the stems there is a bird nest indicative of the significant extent of the decay. Small dead branches on the scaffold limbs are also observed. Despite the decline caused by decay, there is vigorous new twig growth at the extremity of the limbs which has developed a wide canopy contributing to the risk of the scaffold limb failure. Pruning the canopy to mitigate the risk of failure is not feasible due to the extent of the decay in the scaffold limbs, union and trunk.</p> <p>The subject site front yard and the driveway are the targets</p> <p>RECOMMENDATIONS: Remove this tree; it is at high risk of scaffold limb failure due to decay within the scaffold limbs and union.</p> <p>Likelihood of Failure = Probable Likelihood of Impacting Target = High Likelihood of Failure & Impact = Likely Consequences of Failure = Significant Overall Risk Rating = High</p>



Bird nesting in the trunk indicative of extensive decay in the trunk.

ATTACHMENT
B

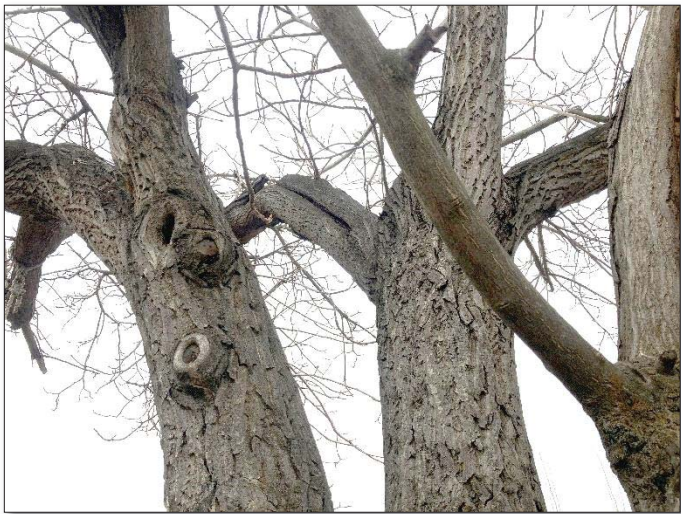
This forms part of application
DP21-0009 / DVP21-0012

Planner Initials

TC



City of
Kelowna
DEVELOPMENT PLANNING



There are longitudinal cracks with extensive decay in the three main scaffold limbs which have poor attachment. The extensive decay extends into the union and trunk.

ATTACHMENT		B
This forms part of application # DP21-0009 / DVP21-0012		
Planner Initials	TC	 City of Kelowna <small>DEVELOPMENT PLANNING</small>





ATTACHMENT C

This forms part of application

DP21-0009 / DVP21-0012

Planner
Initials

TC

City of
Kelowna
DEVELOPMENT PLANNING



DEVELOPMENT PERMIT GUIDELINES*Comprehensive Development Permit Area*

Consideration has been given to the following guidelines as identified in Section 14.A. of the City of Kelowna Official Community Plan relating to Comprehensive Development Permit Areas:

COMPREHENSIVE DEVELOPMENT PERMIT AREA	YES	NO	N/A
Authenticity and Regional Expression			
Do landscaping and building form convey a character that is distinct to Kelowna and the Central Okanagan?	✓		
Are materials in keeping with the character of the region?	✓		
Are colours used common in the region's natural landscape?	✓		
Does the design provide for a transition between the indoors and outdoors?	✓		
Context			
Does the proposal maintain the established or envisioned architectural character of the neighbourhood?	✓		
Does interim development consider neighbouring properties designated for more intensive development?	✓		
Are façade treatments facing residential areas attractive and context sensitive?	✓		
Are architectural elements aligned from one building to the next?	✓		
For exterior changes, is the original character of the building respected and enhanced?			✓
Is the design unique without visually dominating neighbouring buildings?	✓		
For developments with multiple buildings, is there a sense of architectural unity and cohesiveness?	✓		
Relationship to the Street			
Do buildings create the desired streetscape rhythm?	✓		
Are parkade entrances located at grade?			✓
For buildings with multiple street frontages, is equal emphasis given to each frontage?			✓
Massing and Height			
Does the design mitigate the actual and perceived mass of buildings?	✓		
Does the height consider shading and view impacts for neighbouring properties and transition to less intensive areas?	✓		
Human Scale			
Are architectural elements scaled for pedestrians?	✓		
Are façades articulated with indentations and projections?	✓		

COMPREHENSIVE DEVELOPMENT PERMIT AREA	YES	NO	N/A
Are top, middle and bottom building elements distinguished?			✓
Do proposed buildings have an identifiable base, middle and top?			✓
Are building facades designed with a balance of vertical and horizontal proportions?		✓	
Are horizontal glazed areas divided into vertically proportioned windows separated by mullions or building structures?			✓
Does the design incorporate roof overhangs and the use of awnings, louvers, canopies and other window screening techniques?	✓		
Is the visual impact of enclosed elevator shafts reduced through architectural treatments?			✓
Exterior Elevations and Materials			
Are buildings finished with materials that are natural, local, durable and appropriate to the character of the development?	✓		
Are entrances visually prominent, accessible and recognizable?	✓		
Are higher quality materials continued around building corners or edges that are visible to the public?	✓		
Are a variety of materials used to create contrast, enhance the pedestrian environment and reduce the apparent mass of a building?	✓		
Are elements other than colour used as the dominant feature of a building?	✓		
Public and Private Open Space			
Does public open space promote interaction and movement through the site?		✓	
Are public and private open spaces oriented to take advantage of and protect from the elements?	✓		
Is there an appropriate transition between public and private open spaces?			✓
Are amenities such as benches, garbage receptacles, bicycle stands and community notice boards included on site?		✓	
Site Access			
Is the safe and convenient movement of pedestrians prioritized?	✓		
Are alternative and active modes of transportation supported through the site design?		✓	
Are identifiable and well-lit pathways provided to front entrances?	✓		
Do paved surfaces provide visual interest?		✓	
Is parking located behind or inside buildings, or below grade?	✓		
Are large expanses of parking separated by landscaping or buildings?			✓
Are vehicle and service accesses from lower order roads or lanes?	✓		



COMPREHENSIVE DEVELOPMENT PERMIT AREA	YES	NO	N/A
Do vehicle and service accesses have minimal impact on the streetscape and public views?	✓		
Is visible and secure bicycle parking provided in new parking structures and parking lots?		✓	
Environmental Design and Green Building			
Does the proposal consider solar gain and exposure?	✓		
Are green walls or shade trees incorporated in the design?	✓		
Does the site layout minimize stormwater runoff?	✓		
Are sustainable construction methods and materials used in the project?	✓		
Are green building strategies incorporated into the design?	✓		
Decks, Balconies, Rooftops and Common Outdoor Amenity Space			
Are decks, balconies or common outdoor amenity spaces provided?	✓		
Does hard and soft landscaping enhance the usability of decks, balconies and outdoor amenity spaces?	✓		
Are large flat expanses of roof enhanced with texture, colour or landscaping where they are visible from above or adjacent properties?	✓		
Amenities, Ancillary Services and Utilities			
Are loading, garage, storage, utility and other ancillary services located away from public view?	✓		
Are vents, mechanical rooms / equipment and elevator penthouses integrated with the roof or screened with finishes compatible with the building's design?	✓		
Landscape Development and Irrigation Water Conservation			
Does landscaping:	-	-	-
• Compliment and soften the building's architectural features and mitigate undesirable elements?	✓		
• Maintain the dominant pattern of landscaping along the street and surrounding properties?	✓		
• Enhance the pedestrian environment and the sense of personal safety?	✓		
• Screen parking areas, mechanical functions, and garbage and recycling areas?	✓		
• Respect required sightlines from roadways and enhance public views?	✓		
• Retain existing healthy mature trees and vegetation?	✓		
• Use native plants that are drought tolerant?	✓		
• Define distinct private outdoor space for all ground-level dwellings?	✓		
Do any fences and retaining walls create visual interest and enhance the pedestrian environment?	✓		



COMPREHENSIVE DEVELOPMENT PERMIT AREA	YES	NO	N/A
Do parking lots have one shade tree per four parking stalls?			✓
Does the Landscape Architect's Landscape Water Conservation Report:	-	-	-
<ul style="list-style-type: none"> Meet the requirements for Landscape Water Budget calculations for the landscaped area? 	✓		
<ul style="list-style-type: none"> Indicate how the development complies with or varies from the Landscape Water Conservation Guidelines? 	✓		
<i>Landscape Water Conservation Guidelines</i>			
Are plants grouped into "hydro-zones" of high, medium and low or unirrigated / unwatered areas?	✓		
Does at least 25% of the total landscaped area require no irrigation / watering?	✓		
Does at least 25% of the total landscaped area require low water use?	✓		
Does at most 50% of the total landscaped area require medium or high water use?	✓		
Is mulch cover provided for shrubs and groundcover to reduce soil evaporation?	✓		
Do water features such as pools and fountains use recirculated water systems?			✓
Do landscape installation standards meet the requirements of the BC Landscape Standard and / or the Master Municipal Construction Document?	✓		
Are the required written declarations signed by a qualified Landscape Architect?	✓		
<i>Irrigation System Guidelines</i>			
Is the Irrigation Plan prepared by a Qualified Professional?	✓		
Are irrigation circuits grouped into "hydro-zones" of high, medium and low or unirrigated / unwatered areas consistent with the landscaping plan?	✓		
Is drip or low volume irrigation used?	✓		
Are the required written declarations signed by a qualified Certified Irrigation Designer?	✓		
Crime prevention			
Are CPTED practices as related to landscaping, siting, form and exterior design included in the design?	✓		
Are building materials vandalism resistant?		✓	
Universal Accessible Design			
Is access for persons with disabilities integrated into the overall site plan and clearly visible from the principal entrance?	✓		
Are the site layout, services and amenities easy to understand and navigate?	✓		
Lakeside Development			
Are lakeside open spaces provided or enhanced?			✓

COMPREHENSIVE DEVELOPMENT PERMIT AREA	YES	NO	N/A
Are lake views protected?			✓
Does lakeside development act as a transition between the lake and inland development?			✓
Signs			
Do signs contribute to the overall quality and character of the development?			✓
Is signage design consistent with the appearance and scale of the building?			✓
Are signs located and scaled to be easily read by pedestrians?			✓
For culturally significant buildings, is the signage inspired by historical influences?			✓
Lighting			
Does lighting enhance public safety?	✓		
Is "light trespass" onto adjacent residential areas minimized?	✓		
Does lighting consider the effect on the façade, neighbouring buildings and open spaces?	✓		
Is suitably scaled pedestrian lighting provided?	✓		
Does exterior street lighting follow the International Dark Sky Model to limit light pollution?			

SCHEDULE

A

This forms part of application

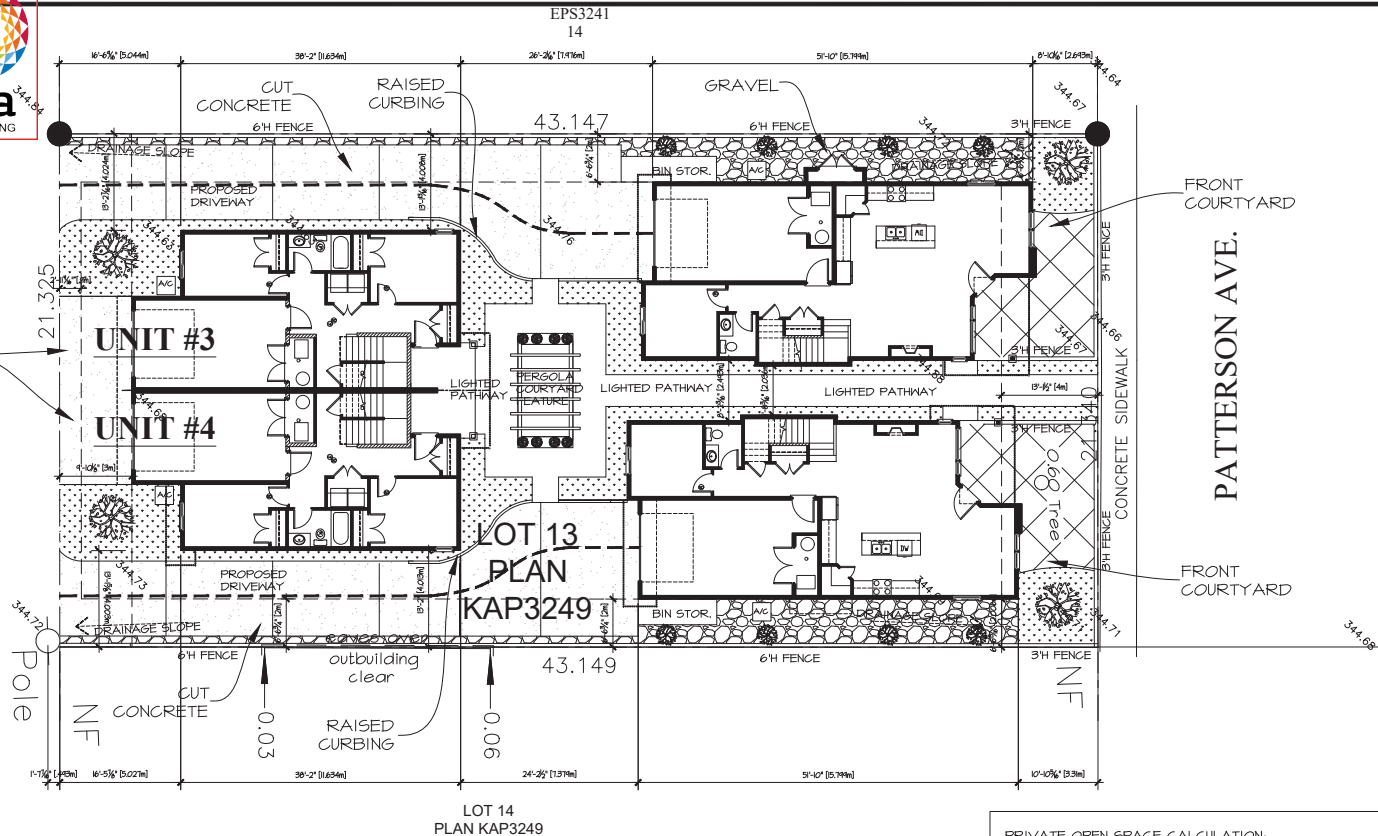
DP21-0009 / DVP21-0012

Planner
Initials TC



PROPOSED DRIVEWAYS

LANE



SITE COVERAGE CALCULATION:

SITE AREA = 920.45 m²

PROPOSED BUILDING AREA(S) :

BLDG./UNIT 1 & 2 = (2 * 113.39 m²) = 226.78m²

BLDG./UNIT 3 & 4 = (2 * 81.61 m²) = 163.22m²

TOTAL = 390m²

COVERAGE = 42.37% (MAX. 55% ALLOWED)

COVERAGE (INCLUDING DRIVEWAY)

= 2(80m) / 920.45 = 17.38 + 42.37% = 59.75

(MAX. 60% ALLOWED)

FLOOR AREA RATIO = (MAX. 80% ALLOWED)

BLDG./UNIT 1 = (180.98m²) = 19.66%

BLDG./UNIT 2 = (179.4m²) = 19.49%

BLDG./UNIT 3 & 4 = (2 * 120.40m²) = 240.80m² = 26.16%

F.A.R. = 65.31 %

SITE PLAN

1/8" = 1'-0"

NOTE:
EXACT BUILDING LOCATION &
ELEVATION TO BE DETERMINED
ON SITE. CONFIRM ALL SETBACKS
AND LOT LINES WITH REGISTERED
LOT PLAN PRIOR TO CONSTRUCTION.

PRIVATE OPEN SPACE CALCULATION:

PROPOSED ROOF TOP PATIO AREA(S) :

BLDG./UNIT 1 & 2 = (2 * 70.7 m²) = 141.4m²

BLDG./UNIT 3 = 60.48m²

BLDG./UNIT 4 = 64.29m²

TOTAL = 266.17m²

PROPOSED DECK UPPER FLOOR(S) :

BLDG./UNIT 3 = 10.33m²

BLDG./UNIT 4 = 10.33m²

TOTAL = 20.66m²

PROPOSED FRONT COURTYARD AREA(S) :

BLDG./UNIT 1 = 24.15m²

BLDG./UNIT 2 = 26.66m²

TOTAL = 50.81m²

ERRORS AND OMISSIONS

- EVAN GILBERT DRAFTING & DESIGN INC. shall not be responsible for any variances from the structural drawings and specifications, or adjustments required resulting from conditions encountered at the job site, and is the sole responsibility of the owner or contractor.
- EVAN GILBERT DRAFTING & DESIGN INC. makes every effort to provide complete and accurate construction drawings. However, we assume no liability for any errors or omissions which may affect construction. It is the responsibility of all trades and sub-trades to check and verify all dimensions and details before commencing with their portion of the construction. Should any discrepancies be found on these plans please advise our office so we can make the necessary corrections.

REVISIONS

REV	DATE	DESCRIPTION
A	03/05/21	ISSUED FOR REZONING
B	04/09/21	PLAN CHANGES
C	06/23/21	PLAN CHANGES

EVAN GILBERT
drafting & design
www.egdrafting.ca
www.egdesigning.ca 778.478.7722

PROJECT TITLE

575
PATTERSON
AVE.
KELOWNA, BC

DATE: 06/23/21

DRAWING SCALE: 1/8" = 1'0"

DRAWN BY: EKG

CHECKED BY: EKG

APPROVED BY:

SHEET NAME

SITE PLAN

PROGRESS

FOR TENDER

REVISION PLAN NUMBER:

C 806

SHEET NUMBER SHEET

A1 1 OF 15

SCHEDULE A

This forms part of application
DP21-0009 / DVP21-0012

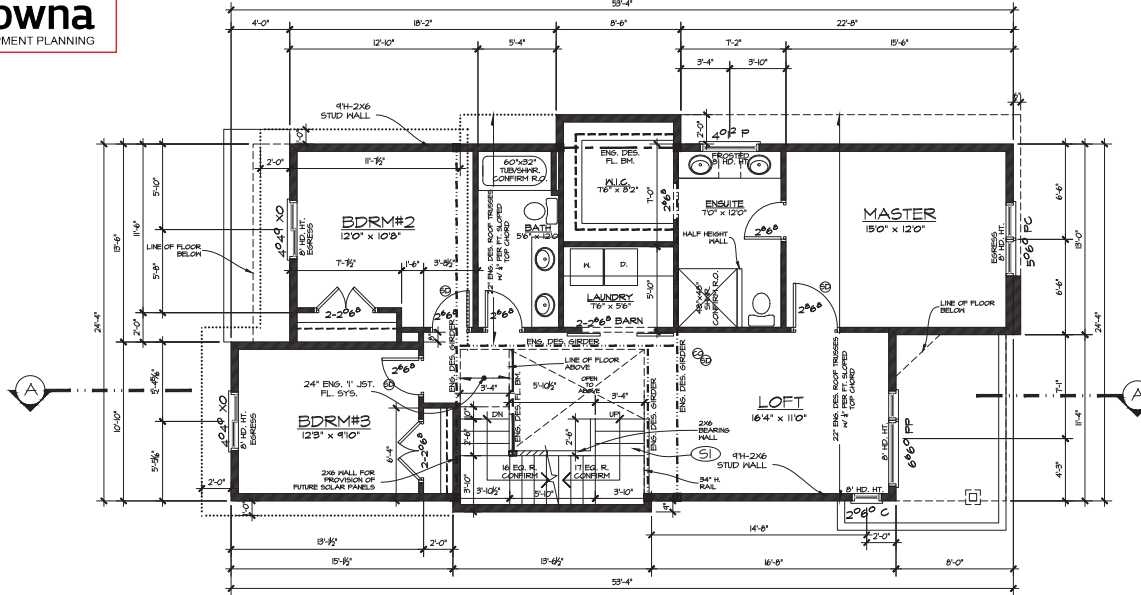


City of
Kelowna
DEVELOPMENT PLANNING

Planner
Initials **TC**

REVISIONS

REV	DATE	DESCRIPTION
A	03/05/21	ISSUED FOR REZONING
B	04/09/21	PLAN CHANGES
C	06/23/21	PLAN CHANGES



UPPER FLOOR (UNIT# 1)

FINISHED AREA = 1114 SQ. FT.
STAIRS TO ROOFTOP PATIO = 66 SQ.FT.
FOOTPRINT AREA PER UNIT
= 1219 SQ. FT.
(9' CEILING)

NOTE:
-CONCRETE PROVISION REQUIRED FOR
FUTURE SOLAR PANELS ON ROOF AS
PER BUILDING CODE. TRUSSES TO BE
DESIGNED TO CARRY SOLAR PANELS.
-SO BUILDING CODE PROVISION FOR
THE ROUGH-IN FOR A SUPERFLOOR
DRAINAGE SYSTEM MAY REQUIRE
INSTALLATION OF A RADON VENT PIPE WHICH
EXTENDS THROUGH AND TERMINATES OUTSIDE
THE BUILDING.

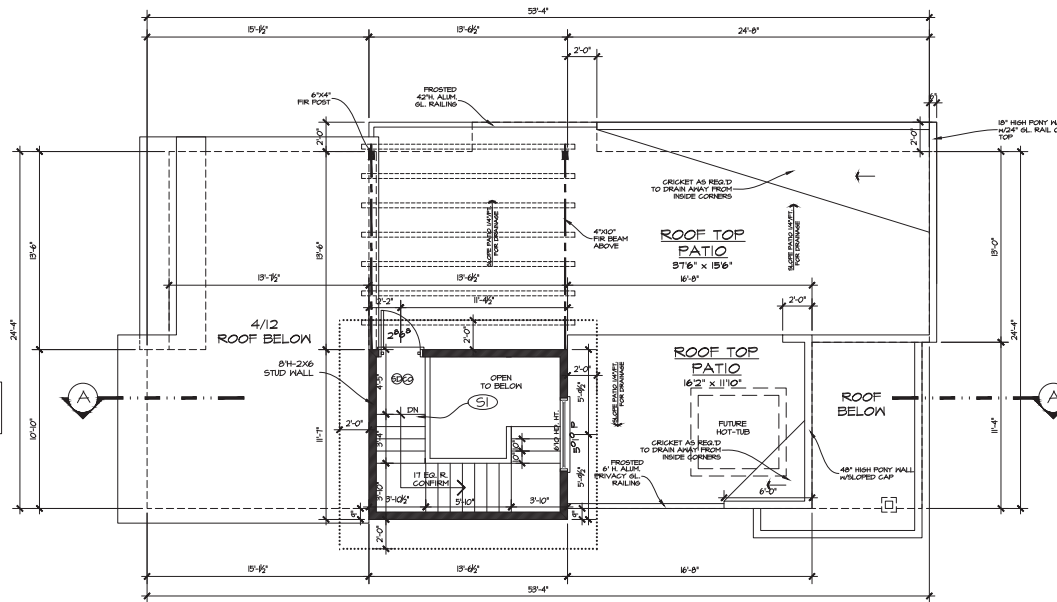
NOTE:
-FRAMER TO CONFIRM ALL PLUMBING
FIXTURE & FIREPLACE R.O.'S PRIOR
TO STARTING CONSTRUCTION
-FRAMER TO PROVIDE PROPER
BACKING FOR TONNEL BARS, GRAB
BARS, CURTAIN RODS, CLOSET RODS,
PAPER HOLDERS, AND SIMILAR.
FIXTURES AS REQ'D
-ELECTRICAL CONTRACTOR LAYOUT
WITH CUSTOMER ON SITE PRIOR TO
HIRING.
-TRUSS LAYOUT AS PER ENG. DES.
TRUSS DRAWINGS.

NOTE:
-STRUCTURAL ENGINEER TO CONFIRM
ALL FOOTINGS, FOUNDATION WALLS,
BEAMS, HEADERS, COLUMNS, BEARING
WALLS, JOISTS, AND ANY OTHER
STRUCTURAL COMPONENTS OF THE
BUILDING.

NO H.R.V. INSTALLED

ERRORS AND OMISSIONS

- EVAN GILBERT DRAFTING & DESIGN INC. shall not be responsible for any variances from the structural drawings and specifications, or adjustments required resulting from conditions encountered at the job site, and is the sole responsibility of the owner or contractor.
- EVAN GILBERT DRAFTING & DESIGN INC. makes every effort to provide complete and accurate construction drawings. However, we assume no liability for any errors or omissions which may affect construction. It is the responsibility of all trades and sub-trades to check and verify all dimensions and details before commencing with their portion of the construction. Should any discrepancies be found on these plans please advise our office so we can make the necessary corrections.



ROOF ACCESS/TERRACE (UNIT# 1)

STAIRS = 153 SQ. FT.
DECK AREA = 145 SQ. FT.
(8' CEILING)

EVAN GILBERT
drafting & design
www.egdrafting.ca
www.egdesigning.ca 778.478.7722

PROJECT TITLE

**575
PATTERSON
AVE.
KELOWNA, BC**

DATE: 06/23/21

DRAWING SCALE: 1/4" = 1'0"

DRAWN BY: EKG

CHECKED BY: EKG

APPROVED BY:

SHEET NAME

UNIT #1
UPPER FLOOR PLAN &
ROOF TERRACE PLAN

FOR TENDER

REVISION PLAN NUMBER:

C 806

SHEET NUMBER SHEET

A4 4 OF 15

SCHEDULE

A

This forms part of application

DP21-0009 / DVP21-0012



Planner
Initials

TC

City of
Kelowna
DEVELOPMENT PLANNING

REBAR IN FOOTINGS & WALLS
TO CONFORM TO B.C.B.C. 2012
STANDARDS, OR IF WALLS &
FOOTINGS ARE TO BE ENGINEERED
ARE TO CONFORM TO ENG. DRES.

min. 4" inside diam.
undisturbed or well
compacted soil

DRAINAGE TILE & BIG O DETAIL
SCALE: 1/2" = 1'-0"

FOOTINGS ARE TO BE DESIGNED
FOR AN ALLOWABLE SOIL BEARING
(PRESSURE OF 145 KPA/3000 PSF)

TYP. EXTERIOR MALL
2x6 PL. c/n ANC. BOLTS
4'-0" o.c., OVER 4" SILL GASKET

DAMP-PROOF
EXT. FACE
OF CONC.

2 1/2" STYROFOAM

4" BIG O IN GRAVEL BED
APPROVED OUTFLOW
AREA NOT CONNECTED TO
ANYTHING ABOVE GRADE
(eg. DOWNSPOUTS)

FOUNDATION WALL BELOW SLAB
SCALE: 1/2" = 1'-0"

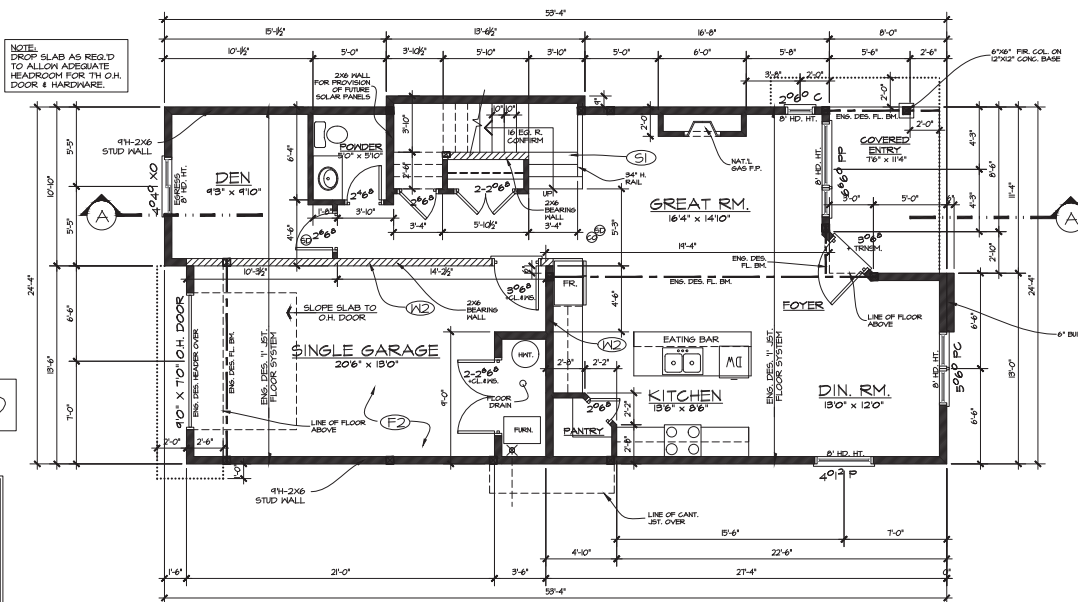
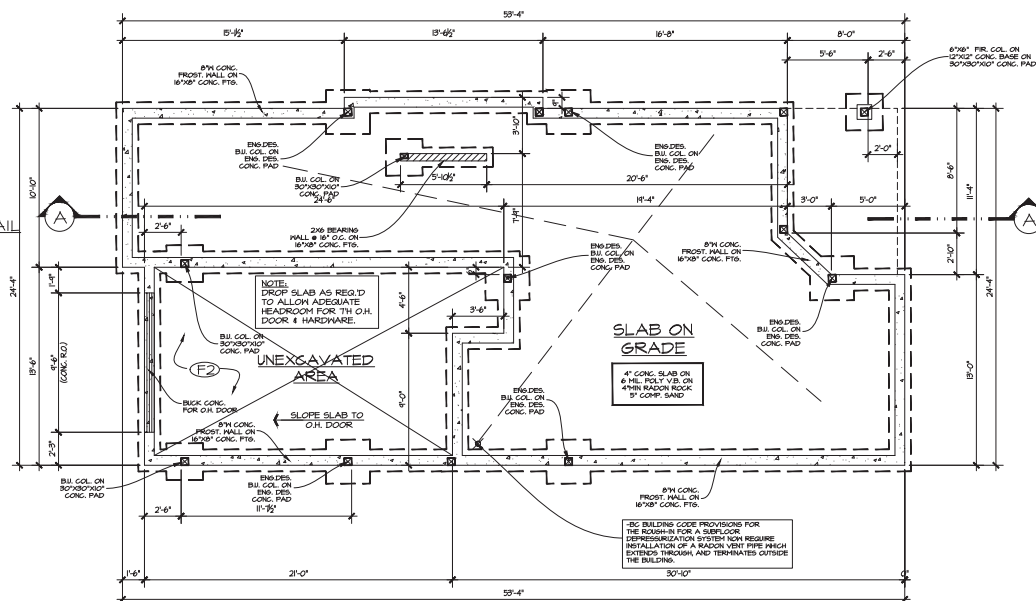
NOTE:
-STRUCTURAL ENGINEER TO CONFIRM
ALL FOOTINGS, FOUNDATION WALLS,
BEAMS, HEADERS, COLUMNS, BEARING
WALLS, JOISTS, AND ANY OTHER
STRUCTURAL COMPONENTS OF THE
BUILDING.

NOTE:
-BUILDING CODE PROVISIONS FOR
THE ROUGH-IN FOR A SUBFLOOR
DEHUMIDIFICATION SYSTEM REQUIRE
INSTALLATION OF A RADON VENT PIPE WHICH
EXTENDS THROUGH AND TERMINATES OUTSIDE
THE BUILDING.

NO H.R.V. INSTALLED

ERRORS AND OMISSIONS

- EVAN GILBERT DRAFTING & DESIGN INC. shall not be responsible for any variances from the structural drawings and specifications, or adjustments required resulting from conditions encountered at the job site, and is the sole responsibility of the owner or contractor.
- EVAN GILBERT DRAFTING & DESIGN INC. makes every effort to provide complete and accurate construction drawings. However, we assume no liability for any errors or omissions which may affect construction. It is the responsibility of all trades and sub-trades to check and verify all dimensions and details before commencing with their portion of the construction. Should any discrepancies be found on these plans please advise our office so we can make the necessary corrections.



REVISIONS

REV	DATE	DESCRIPTION
A	03/05/21	ISSUED FOR REZONING
B	04/09/21	PLAN CHANGES
C	06/23/21	PLAN CHANGES

EVAN
GILBERT
drafting & design
www.evgdrafting.ca
www.evgdesigning.ca
778.478.7722

PROJECT TITLE

575
PATTERSON
AVE.
KELOWNA, BC

DATE: 06/23/21

DRAWING SCALE: 1/4" = 1'0"

DRAWN BY: EKG

CHECKED BY: EKG

APPROVED BY:

SHEET NAME

UNIT #2
FOUNDATION &
MAIN FLOOR PLAN

PROGRESS

FOR TENDER

REVISION	PLAN NUMBER
C	806
SHEET NAME	SHEET
A6	6 OF 15

SCHEDULE A

This forms part of application

DP21-0009 / DVP21-0012

Planner
Initials

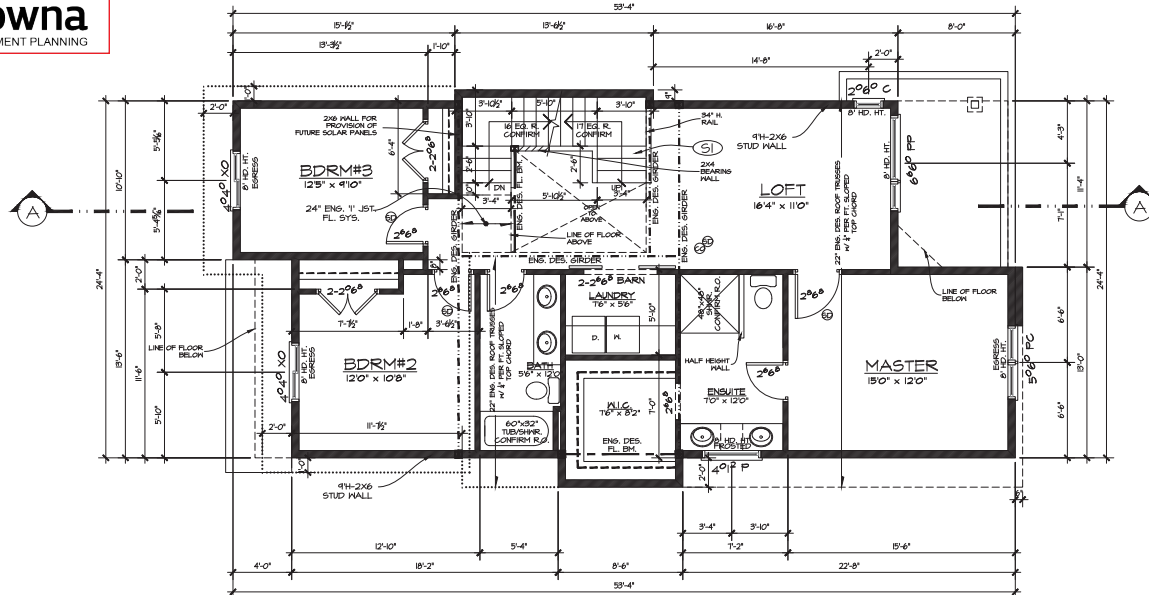
TC

City of
Kelowna
DEVELOPMENT PLANNING



REVISIONS

REV	DATE	DESCRIPTION
A	03/05/21	ISSUED FOR REZONING
B	04/09/21	PLAN CHANGES
C	06/23/21	PLAN CHANGES



UPPER FLOOR (UNIT# 2)

FINISHED AREA = 1114 SQ. FT.
STAIRS TO ROOFTOP PATIO = 66 SQ. FT.
FOOTPRINT AREA PER UNIT
= 1219 SQ. FT.
(9' CEILING)

NOTE:
-CONCRETE PROVISION REQUIRED FOR FUTURE SOLAR PANELS ON ROOF AS PER BUILDING CODE TRUSSES TO BE DESIGNED TO CARRY SOLAR PANELS.
-CONTRACTOR TO CONFIRM.
-BATHING CODE PROVISIONS FOR THE ROOM-IN FOR A SUBFLOOR.
-DETERMINATION OF A SUBFLOOR REQUIRE INSTALLATION OF A RAFTER WITH PIPE WHICH EXTENDS THROUGH, AND TERMINATES OUTSIDE THE BUILDING.

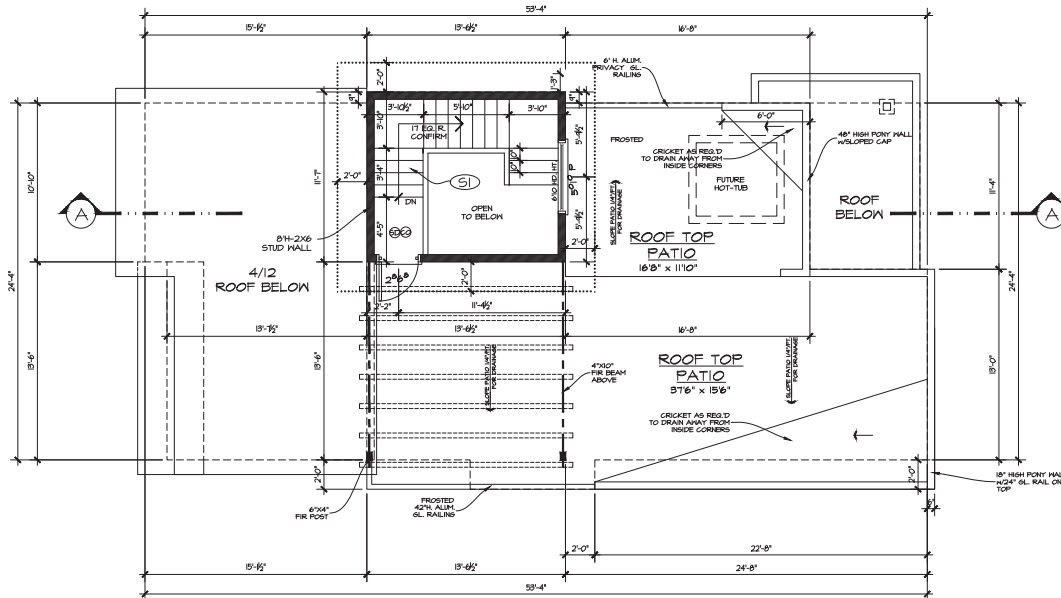
NOTE:
-FRAMER TO CONFIRM ALL PLUMBING FIXTURES & FINISHES, R.O.S. PRIOR TO STARTING CONSTRUCTION.
-FRAMER TO PROVIDE PROPER BACKING FOR TONEL BARS, GRAB BARS, CURTAIN RODS, CLOSET RODS, PAPER HOLDERS, AND SIMILAR FIXTURES AS REQ'D.
-ELECTRICAL CONTRACTOR LAYOUT WITH CUSTOMER ON SITE PRIOR TO WIRING.
-TRUSS LAYOUT AS PER ENG. DES. TRUSS DRAWINGS.

NOTE:
-STRUCTURAL ENGINEER TO CONFIRM ALL FOOTINGS, FOUNDATION WALLS, BEAMS, HEADERS, COLUMNS, BEARING WALLS, JOISTS, AND ANY OTHER STRUCTURAL COMPONENTS OF THE BUILDING.

NO H.R.V. INSTALLED

ERRORS AND OMISSIONS

- EVAN GILBERT DRAFTING & DESIGN INC. shall not be responsible for any variances from the structural drawings and specifications, or adjustments required resulting from conditions encountered at the job site, and is the sole responsibility of the owner or contractor.
- EVAN GILBERT DRAFTING & DESIGN INC. makes every effort to provide complete and accurate construction drawings. However, we assume no liability for any errors or omissions which may affect construction. It is the responsibility of all trades and sub-trades to check and verify all dimensions and details before commencing with their portion of the construction. Should any discrepancies be found on these plans please advise our office so we can make the necessary corrections.



ROOF ACCESS/TERRACE (UNIT# 2)

STAIRS = 153 SQ. FT.
DECK AREA = 145 SQ. FT.
(8' CEILING)

EVAN GILBERT
drafting & design
www.egdrafting.ca
778.478.7722

PROJECT TITLE

**575
PATTERSON
AVE.
KELOWNA, BC**

DATE: 06/23/21

DRAWING SCALE: 1/4" = 1'0"

DRAWN BY: EKG

CHECKED BY: EKG

APPROVED BY:

SHEET NAME

UNIT #2
UPPER FLOOR PLAN &
ROOF TERRACE PLAN

PROGRESS

FOR TENDER

REVISION	PLAN NUMBER
C	806
SHEET NUMBER	SHEET
A7	7 OF 15

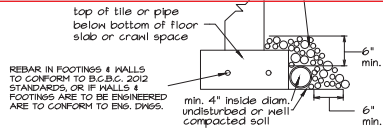
A

DP21-0009 / DVP21-0012



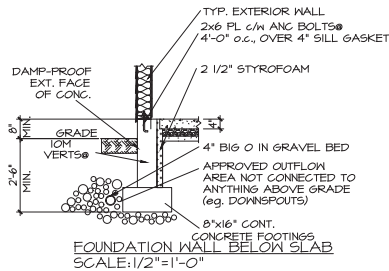
TC

City of Kelowna
DEVELOPMENT PLANNING



DRAINAGE TILE & BIG O DETAIL
SCALE: 1"=1'-0"

FOOTINGS ARE TO BE DESIGNED FOR AN ALLOWABLE SOIL BEARING PRESSURE OF 145 KPa(3000 PSF)



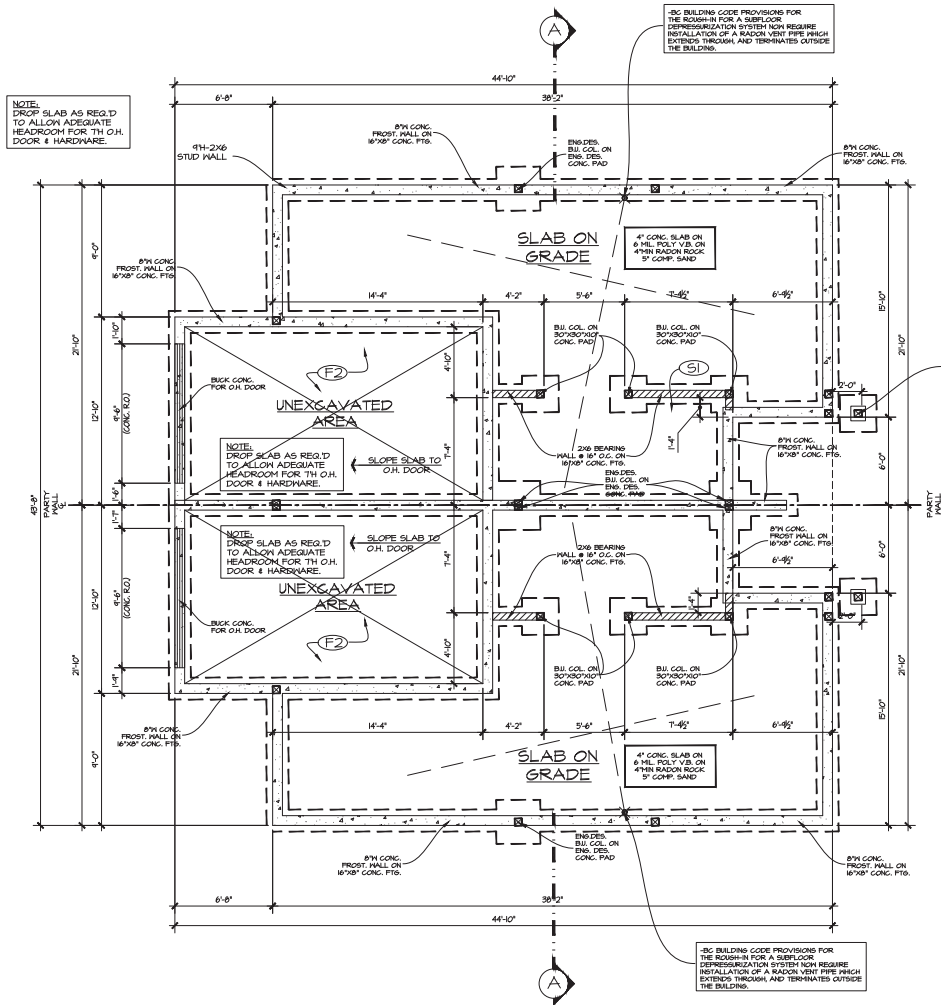
NOTE:
-CONDUIT PROVISION REQUIRED FOR
FUTURE SOLAR PANELS ON ROOF AS
PER BUILDING CODE. TRUSSES TO BE
DESIGNED TO CARRY SOLAR PANELS
CONTRACTOR TO CONFIRM.

NOTE:
-FOUNDATION HEIGHTS MAY VARY AS
PER SITE GRADE.
-ALL FOOTINGS TO BE BELOW FROST
LINE.
-STEP FOOTINGS 2' MAX. VERT. & 2'
MIN. HORIZ.

NOTE:
-STRUCTURAL ENGINEER TO CONFIRM ALL FOOTINGS, FOUNDATION WALLS, BEAMS, HEADERS, COLUMNS, BEARING WALLS, JOISTS, AND ANY OTHER STRUCTURAL COMPONENTS OF THE BUILDING.

NO H.R.V. INSTALLED

- EVAN GILBERT DRAFTING & DESIGN INC. shall not be responsible for any variances from the structural drawings and specifications, or adjustments required resulting from conditions encountered at the job site, and is the sole responsibility of the owner or contractor.
- EVAN GILBERT DRAFTING & DESIGN INC. makes every effort to provide complete and accurate construction drawings. However, we assume no liability for any omissions or errors that may occur. We assume no liability for any omissions or errors that may occur. It is the responsibility of all trades and sub-trades to check and verify all dimensions and details before commencing with their portion of the construction. Should any discrepancies be found on these plans please advise our office so we can make the necessary corrections.



FOUNDATION PLAN
(UNIT# 3)

FOUNDATION PLAN
(UNIT# 4)

REV	DATE	DESCRIPTION
A	03/05/21	ISSUED FOR REZONING
B	04/29/21	PLAN CHANGES
C	08/23/21	PLAN CHANGES

PROJECT TITLE

**575
PATTERSON
AVE.
KELOWNA, BC**

DATE:	06/23/21
DRAWING SCALE:	1/4" = 1'0"
DRAWN BY:	EKG
CHECKED BY:	EKG
APPROVED BY:	

UNIT #3 & #4
FOUNDATION
PLAN

PROGRESS FOR TENDER

REVISION C	PLAN NUMBER: 806
SHEET NUMBER A10	SHEET 10 OF 15

SCHEDULE

A

This forms part of application

DP21-0009 / DVP21-0012

City of
Kelowna
DEVELOPMENT PLANNING

Planner
Initials

TC



REVISIONS

REV	DATE	DESCRIPTION
A	03/05/21	ISSUED FOR REZONING
B	04/29/21	PLAN CHANGES
C	06/23/21	PLAN CHANGES

NOTE:
DROP SLAB AS REQ'D
TO ALLOW ADEQUATE
HEADROOM FOR TH O.H.
DOOR & HARDWARE

PATTERN INDICATES
SPRAY FOAM INSULATION
MIN. = R-25/61 FOR UPPER
FLOOR OVER ENTRY & DECK
JET ABOVE GARAGE

NOTE:
-CONSULT PROVISION REQUIRED FOR
FIXTURE & FIREPLACE, R.O.S. PRIOR
TO STARTING CONSTRUCTION.
-PRIOR TO PROVIDE PROPER
BACKING FOR TOILET BARS, GRAB
BARS, CURTAIN RODS, CLOSET RODS,
PAPER HOLDERS, AND SIMILAR
FIXTURES AS REQ'D
-ELECTRICAL CONTRACTOR LAYOUT
WITH CUSTOMER ON SITE PRIOR TO
WIRING
-TRUSS LAYOUT AS PER ENG. DES.
TRUSS DRAWINGS.

NOTE:
-STRUCTURAL ENGINEER TO CONFIRM
ALL FOOTINGS, FOUNDATION WALLS
BEAMS, HEADERS, COLUMNS, BEARING
WALLS, JOISTS, AND ANY OTHER
STRUCTURAL COMPONENTS OF THE
BUILDING.

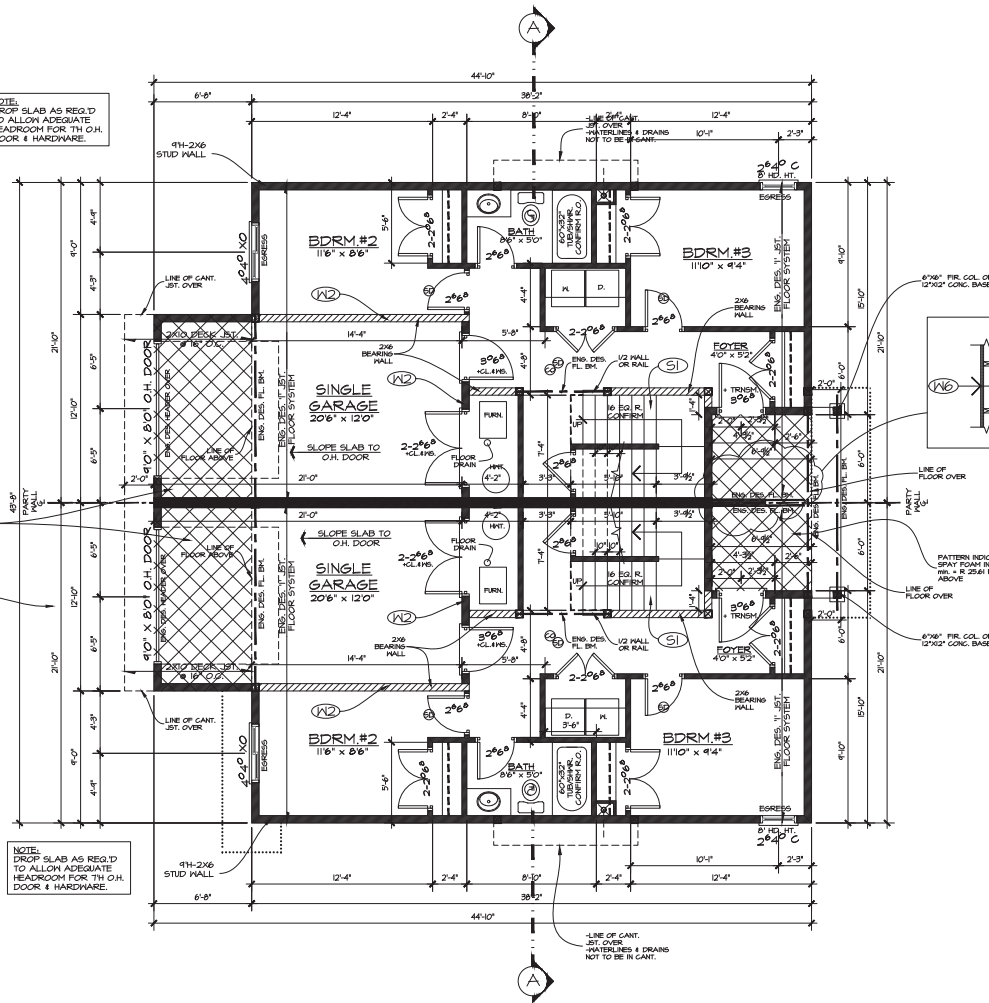
PATTERN INDICATES TO
SPRAY FOAM INSULATION
MIN. = R-25/61 FOR FLOOR
ABOVE

NOTE:
DROP SLAB AS REQ'D
TO ALLOW ADEQUATE
HEADROOM FOR TH O.H.
DOOR & HARDWARE

NO H.R.V. INSTALLED

ERRORS AND OMISSIONS

- EVAN GILBERT DRAFTING & DESIGN INC. shall not be responsible for any variances from the structural drawings and specifications, or adjustments required resulting from conditions encountered at the job site, and is the sole responsibility of the owner or contractor.
- EVAN GILBERT DRAFTING & DESIGN INC. makes every effort to provide complete and accurate construction drawings. However, we assume no liability for any errors or omissions which may affect construction. It is the responsibility of all trades and sub-trades to check and verify all dimensions and details before commencing with their portion of the construction. Should any discrepancies be found on these plans please advise our office so we can make the necessary corrections.



MAIN FLOOR (UNIT #3)

FINISHED AREA = 523 SQ. FT.
UNDER STAIRS STOR. = 64 SQ.FT.
MECH. = 28 SQ. FT.
FOOTPRINT AREA PER UNIT
= 876 SQ. FT.
(9' CEILING)

EXTERIOR 1.5HR. FIRE RESISTANT PARTITION WALL BETWEEN UNIT 3 & 4 ENTRY/FRONT DOORS

COMPONENTS
1. LATCHES ON 1.5" OFFSET BOWDO
2. 1st FLOOR = 6" O.C. (2" ABSORPTIVE MATERIAL)
3. 2nd FLOOR = 1.5" OFFSET BOWDO
NOTE:
REFER TO CBC TABLE A-4.10.3.1.A
WALL NUMBER K26.

MAIN FLOOR (UNIT #4)

FINISHED AREA = 523 SQ. FT.
UNDER STAIRS STOR. = 64 SQ.FT.
MECH. = 28 SQ. FT.
FOOTPRINT AREA PER UNIT
= 876 SQ. FT.
(9' CEILING)

**EVAN
GILBERT**
drafting & design
www.evgdrafting.ca
778.478.7722

PROJECT TITLE

**575
PATTERSON
AVE.
KELOWNA, BC**

DATE: 06/23/21

DRAWING SCALE: 1/4" = 1'0"

DRAWN BY: EKG

CHECKED BY: EKG

APPROVED BY:

SHEET NAME

**UNIT #3 & #4
MAIN FLOOR
PLAN**

PROGRESS

FOR TENDER

REVISION PLAN NUMBER

C 806

SHEET NUMBER SHEET

A11 11 OF 15

SCHEDULE

A

This forms part of application

DP21-0009 / DVP21-0012

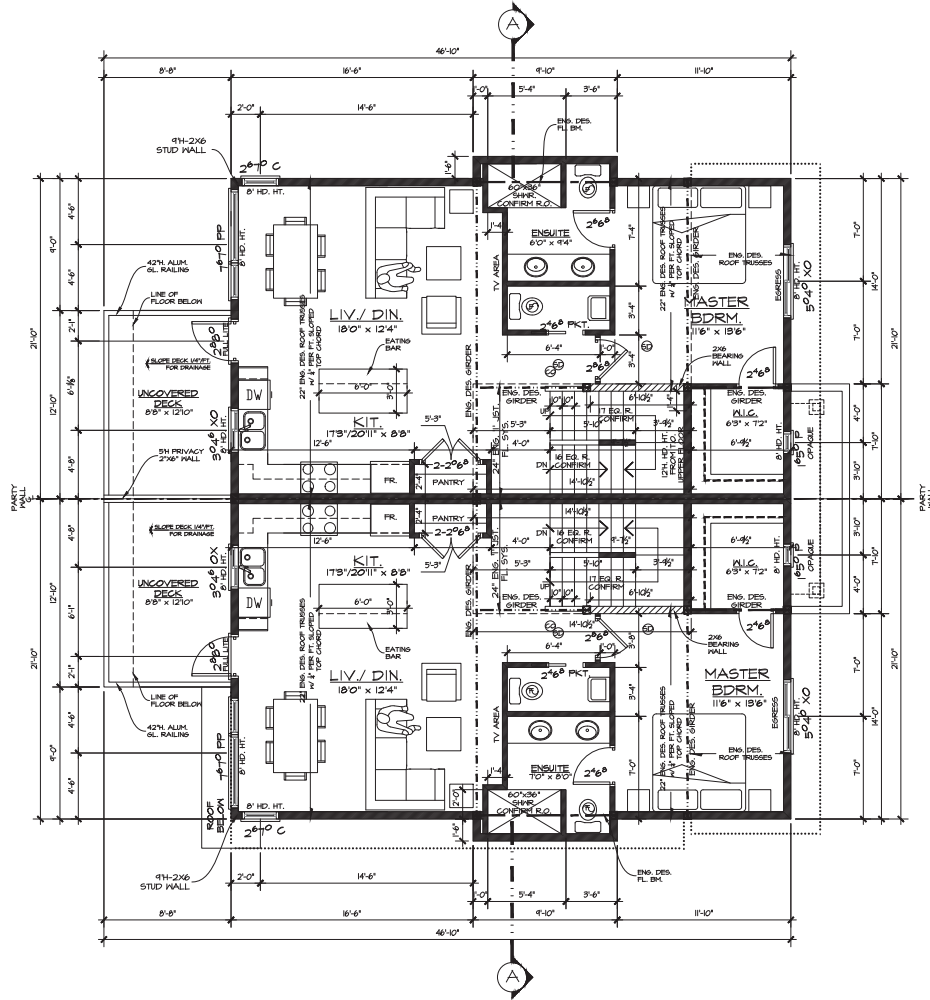


Planner
Initials

TC

REVISIONS

REV	DATE	DESCRIPTION
A	03/05/21	ISSUED FOR REZONING
B	04/29/21	PLAN CHANGES
C	06/23/21	PLAN CHANGES



UPPER FLOOR (UNIT# 3)

FINISHED AREA = 773 SQ. FT.
(ACCESS STAIR TO ROOF
TERRACE 75 SQ. FT.)
DECK AREA = 111 SQ. FT.
(9' CEILING)

UPPER FLOOR (UNIT# 4)

FINISHED AREA = 773 SQ. FT.
(ACCESS STAIR TO ROOF
TERRACE 75 SQ. FT.)
DECK AREA = 111 SQ. FT.
(9' CEILING)

NOTE:
-CONDUCT PROVISION REQUIRED FOR
FUTURE SOLAR PANELS ON ROOF AS
PER BUILDING CODE. TRUSSES TO BE
DESIGNED TO CARRY SOLAR PANELS.
CONTRACTOR TO CONFORM
-BC BUILDING CODE PROVISIONS FOR
THE ROOF-HS FOR A SURFLOO
DEPRESSURIZATION SYSTEM NOW REQUIRE
INSTALLATION OF A RADON VENT PIPE WHICH
EXTENDS THROUGH, AND TERMINATES OUTSIDE
THE BUILDING.

NOTE:
-FRAMER TO CONFIRM ALL PLUMBING
FIXTURE & FIREPLACE R.O.'S PRIOR
TO STARTING CONSTRUCTION.
-FRAMER TO PROVIDE PROPER
BACKING FOR TOILET BARS, GRAB
BARS, CURTAIN RODS, CLOSET RODS,
PAPER HOLDERS, AND SIMILAR
FIXTURES AS REQ'D
-ELECTRICAL CONTRACTOR LAYOUT
WITH CUSTOMER ON SITE PRIOR TO
WIRING.
-TRUSS LAYOUT AS PER ENS. DES.
TRUSS DRAWINGS.

NOTE:
-STRUCTURAL ENGINEER TO CONFIRM
ALL FOOTINGS, FOUNDATION WALLS,
BEAMS, HEADERS, COLUMNS, BEARING
WALLS, JOISTS, AND ANY OTHER
STRUCTURAL COMPONENTS OF THE
BUILDING.

NO H.R.V. INSTALLED

ERRORS AND OMISSIONS

- EVAN GILBERT DRAFTING & DESIGN INC. shall not be responsible for any variances from the structural drawings and specifications, or adjustments required resulting from conditions encountered at the job site, and is the sole responsibility of the owner or contractor.
- EVAN GILBERT DRAFTING & DESIGN INC. makes every effort to provide complete and accurate construction drawings. However, we assume no liability for any errors or omissions which may affect construction. It is the responsibility of all trades and sub-trades to check and verify all dimensions and details before commencing with their portion of the construction. Should any discrepancies be found on these plans please advise our office so we can make the necessary corrections.



PROJECT TITLE

**575
PATTERSON
AVE.
KELOWNA, BC**

DATE: 06/23/21

DRAWING SCALE: 1/4" = 1'0"

DRAWN BY: EKG

CHECKED BY: EKG

APPROVED BY:

SHEET NAME

UNIT #3 & #4
UPPER FLOOR
PLAN

FOR TENDER

REVISION PLAN NUMBER:
C 806

SHEET NUMBER SHEET
A12 12 OF 15

SCHEDULE

A

This forms part of application

DP21-0009 / DVP21-0012



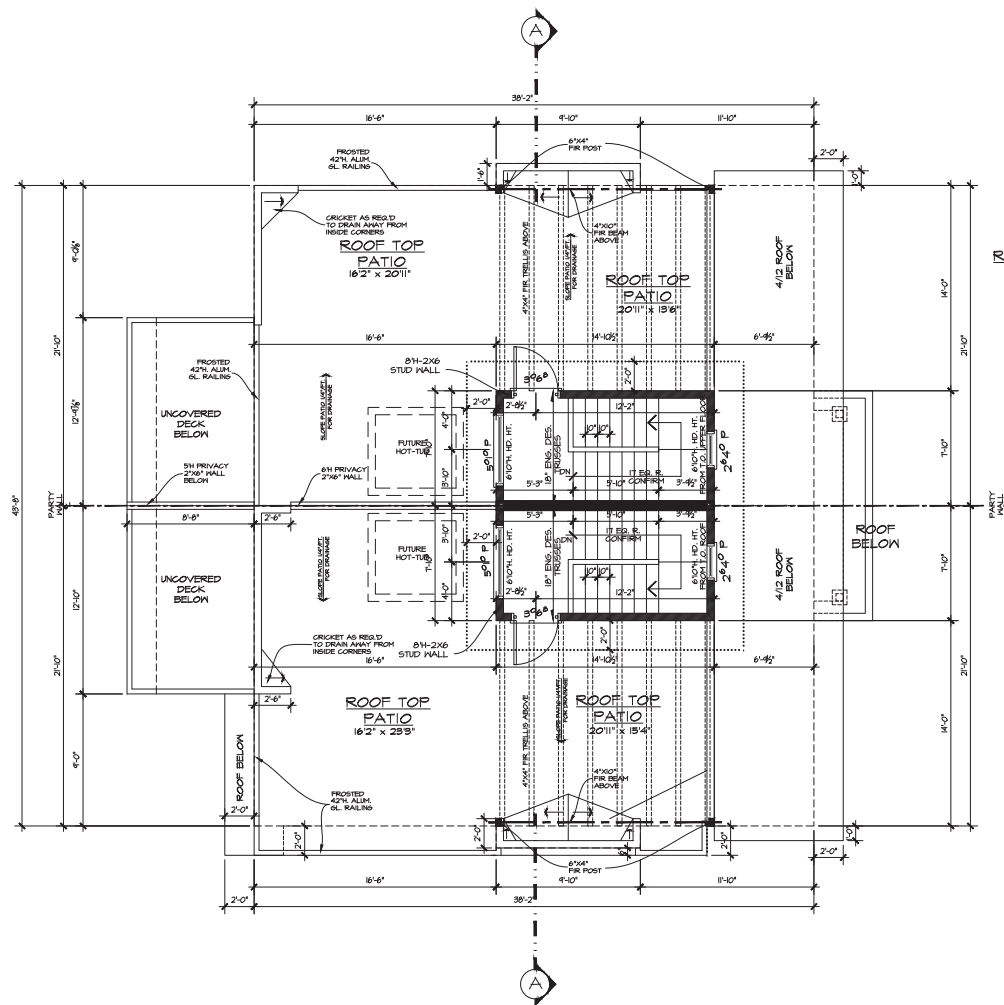
City of
Kelowna
DEVELOPMENT PLANNING

Planner
Initials

TC

REVISIONS

REV	DATE	DESCRIPTION
A	03/05/21	ISSUED FOR REZONING
B	04/29/21	PLAN CHANGES
C	06/23/21	PLAN CHANGES



ROOF ACCESS/TERRACE

(UNIT# 3)

STAIRS = 117 SQ. FT.
DECK AREA = 561 SQ. FT.
(8' CEILING)

ROOF ACCESS/TERRACE

(UNIT# 4)

STAIRS = 117 SQ. FT.
DECK AREA = 600 SQ. FT.
(8' CEILING)

NOTE:
-CONDUIT PROVISION REQUIRED FOR FUTURE SOLAR PANELS ON ROOF AS PER BUILDING CODE. TRUSSES TO BE DESIGNED TO CARRY SOLAR PANELS. CONTRACTOR TO CONFIRM.
-NO BUILDING CODE PROVISIONS FOR THE ROOFING FOR A SIBLOCK DEPRESSURIZATION SYSTEM. NON REQUIRE INSTALLATION OF A RADON VENT PIPE WHICH EXTENDS THROUGH AND TERMINATES OUTSIDE THE BUILDING.

NOTE:
-FRAMER TO CONFIRM ALL PLUMBING FIXTURE & FIRST-PLACE R.O.'S PRIOR TO STARTING CONSTRUCTION.
-FRAMER TO PROVIDE PROPER BACKING FOR TONEL BARS, GRAB BARS, CURTAIN RODS, CLOSET RODS, PAPER HOLDERS, AND SIMILAR. FIXTURES AS REQ'D.
-ELECTRICAL CONTRACTOR LAYOUT WITH CUSTOMER ON SITE PRIOR TO WIRING.
-TRUSS LAYOUT AS PER ENG. DES. TRUSS DRAWINGS.

NOTE:
-STRUCTURAL ENGINEER TO CONFIRM ALL FOOTINGS, FOUNDATION WALLS, BEAMS, HEADERS, COLUMNS, BEARING WALLS, JOISTS, AND ANY OTHER STRUCTURAL COMPONENTS OF THE BUILDING.

NO H.R.V. INSTALLED

ERRORS AND OMISSIONS

- EVAN GILBERT DRAFTING & DESIGN INC. shall not be responsible for any variances from the structural drawings and specifications, or adjustments required resulting from conditions encountered at the job site, and is the sole responsibility of the owner or contractor.
- EVAN GILBERT DRAFTING & DESIGN INC. makes every effort to provide complete and accurate construction drawings. However, we assume no liability for any errors or omissions which may affect construction. It is the responsibility of all trades and sub-trades to check and verify all dimensions and details before commencing with their portion of the construction. Should any discrepancies be found on these plans please advise our office so we can make the necessary corrections.

EVAN GILBERT
drafting & design
www.egdrafting.ca
www.egdesigning.ca
778.478.7722

PROJECT TITLE

**575
PATTERSON
AVE.
KELOWNA, BC**

DATE: 06/23/21

DRAWING SCALE: 1/4" = 1'0"

DRAWN BY: EKG

CHECKED BY: EKG

APPROVED BY:

SHEET NAME

**UNIT #3 & #4
ROOF ACCESS/
TERRACE PLAN**

PROGRESS

FOR TENDER

REVISION PLAN NUMBER

C 806

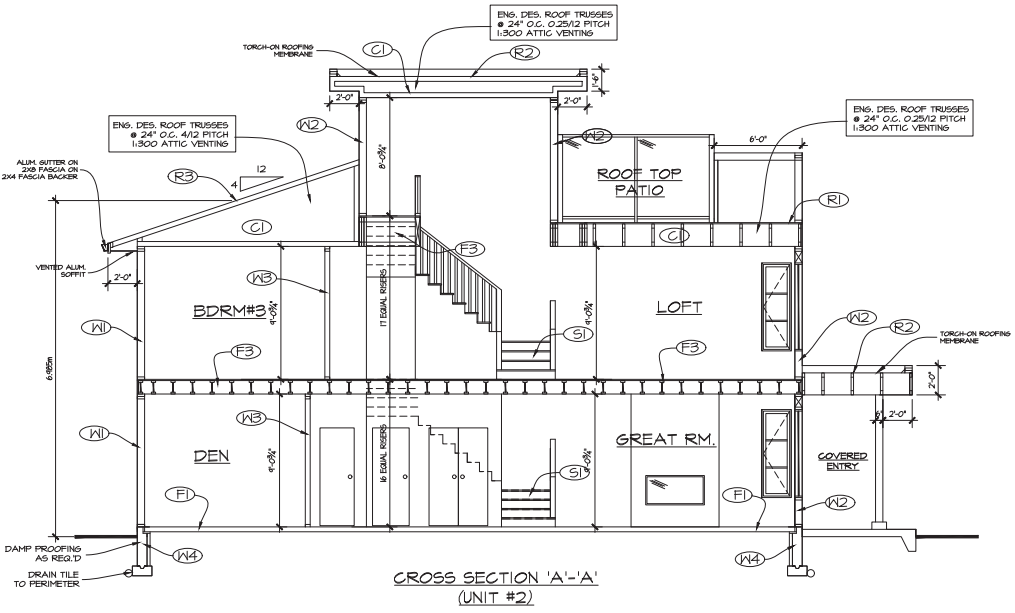
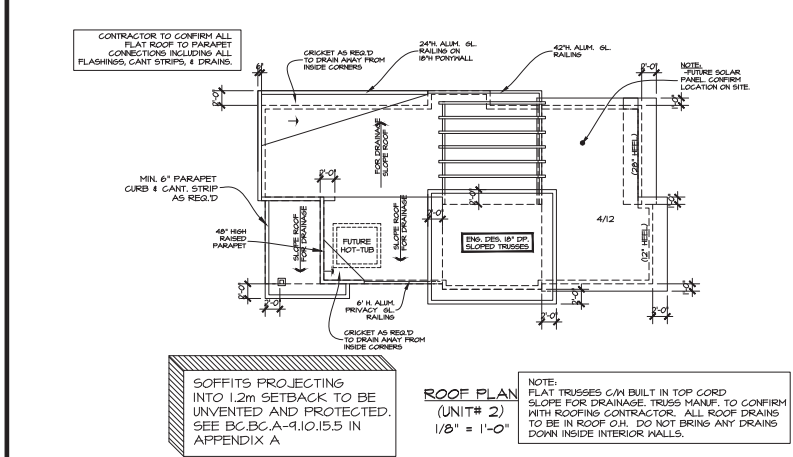
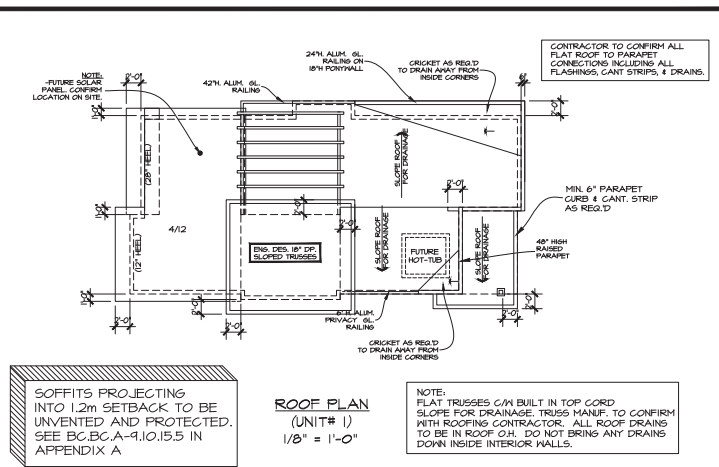
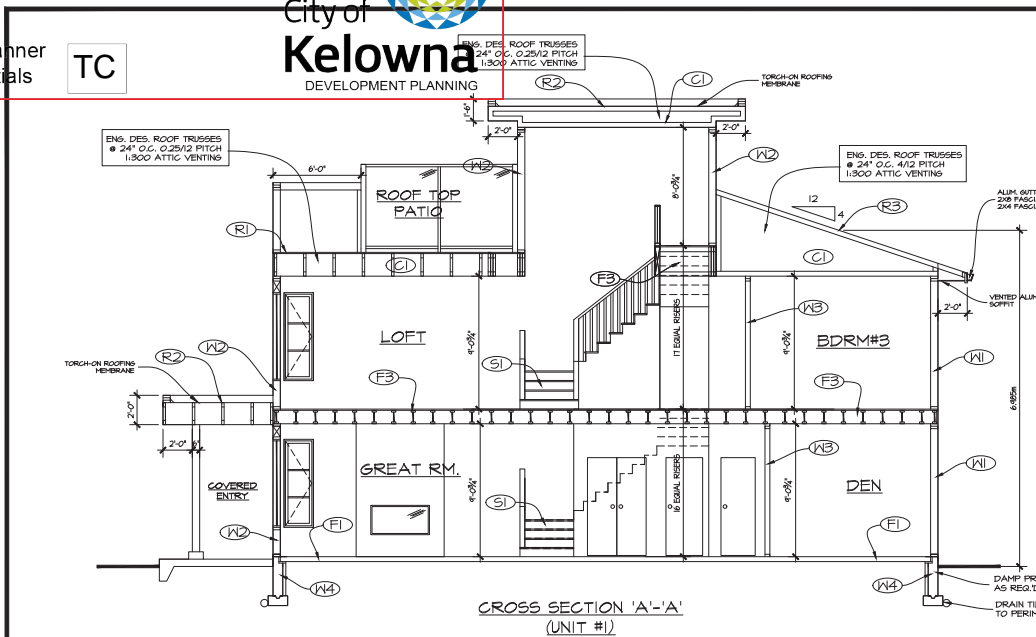
SHEET NUMBER SHEET

A13 13 OF 15

SCHEDULE B

This forms part of application
DP21-0009 / DVP21-0012

Planner
Initials TC



ERRORS AND OMISSIONS

• EVAN GILBERT DRAFTING & DESIGN INC. shall not be responsible for any variances from the structural drawings and specifications, or adjustments required resulting from conditions encountered at the job site, and is the sole responsibility of the owner or contractor.

• EVAN GILBERT DRAFTING & DESIGN INC. makes every effort to provide complete and accurate construction drawings. However, we assume no liability for any errors or omissions which may affect construction. It is the responsibility of all trades and sub-trades to check and verify all dimensions and details before commencing with their portion of the construction. Should any discrepancies be found on these plans please advise our office so we can make the necessary corrections.

REVISIONS		
REV	DATE	DESCRIPTION
A	03/05/21	ISSUED FOR REZONING
B	04/09/21	PLAN CHANGES
C	06/23/21	PLAN CHANGES

EVAN GILBERT

drafting & design

www.evgdrafting.ca
www.evgdrafting.us 778.478.7722

PROJECT TITLE

575 PATTERSON AVE.
KELOWNA, BC

DATE:

06/23/21

DRAWING SCALE:

1/4" = 1'-0"

DRAWN BY:

EKG

CHECKED BY:

EKG

APPROVED BY:

SHEET NAME

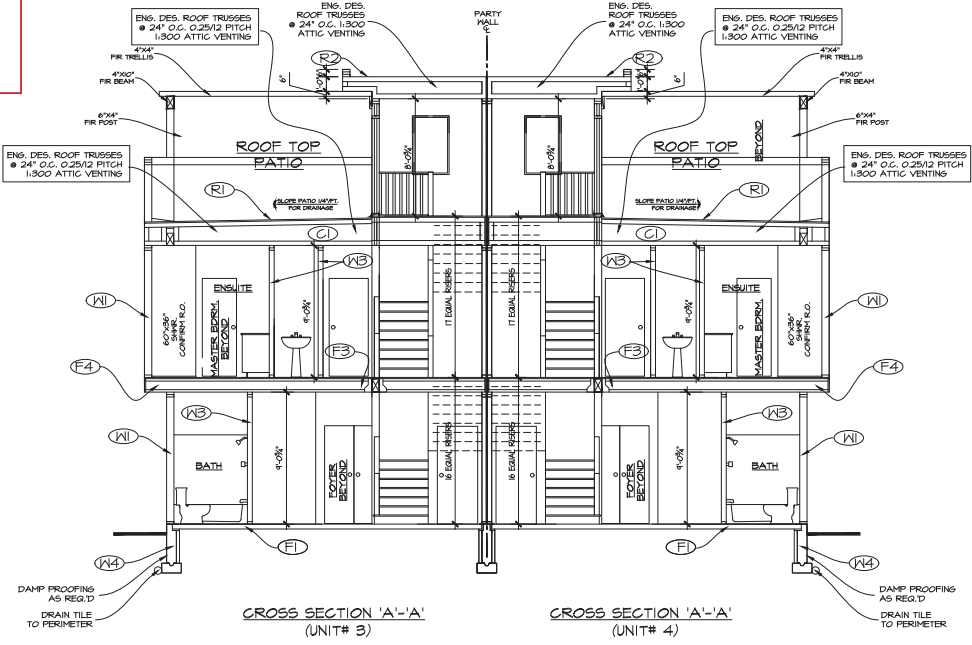
UNIT #1 & #2
SECTION & ROOF
PLAN

PROGRESS

FOR TENDER

REVISION	PLAN NUMBER
C	806

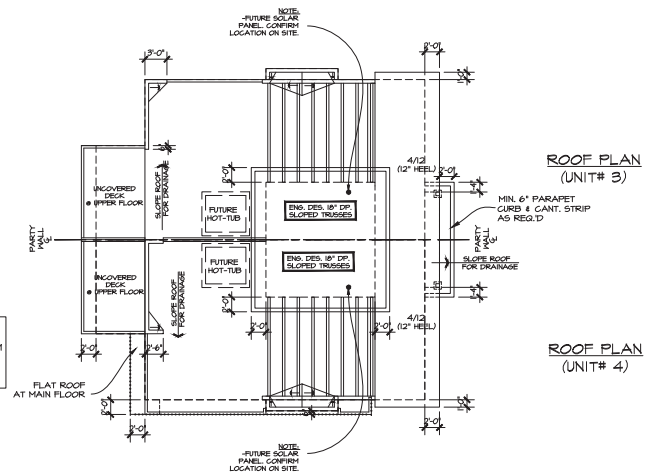
SHEET NUMBER	SHEET
A8	8 OF 15



SOFFITS PROJECTING INTO 1.2m SETBACK TO BE UNVENTED AND PROTECTED. SEE BC.BC.A-4.10.15.5 IN APPENDIX A

CONTRACTOR TO CONFIRM ALL FLAT ROOF TO PARAPET CONNECTIONS INCLUDING ALL FLASHINGS, GUT STRIPS, & DRAINS.

NOTE: FLAT TRUSSES CAN BE BUILT IN TOP GIRD SLOPE FOR DRAINAGE. TRUSS MANUF. TO CONFIRM WITH ROOFING CONTRACTOR. ALL ROOF DRAINS TO BE IN ROOF O.V. DO NOT BRING ANY DRAINS DOWN INSIDE INTERIOR WALLS.



ERRORS AND OMISSIONS

- EVAN GILBERT DRAFTING & DESIGN INC. shall not be responsible for any variances from the structural drawings and specifications, or adjustments required resulting from conditions encountered at the job site, and is the sole responsibility of the owner or contractor.
- EVAN GILBERT DRAFTING & DESIGN INC. makes every effort to provide complete and accurate construction drawings. However, we assume no liability for any errors or omissions which may affect construction. It is the responsibility of all trades and sub-trades to check and verify all dimensions and details before commencing with their portion of the construction. Should any discrepancies be found on these plans please advise our office so we can make the necessary corrections.

REVISIONS		
REV	DATE	DESCRIPTION
A	03/05/21	ISSUED FOR REZONING
B	04/29/21	PLAN CHANGES
C	06/23/21	PLAN CHANGES

EVAN GILBERT

drafting & design

www.egdrafting.ca
www.egdesigning.ca
778.478.7722

PROJECT TITLE

575 PATTERSON AVE.
KELOWNA, BC

DATE:

06/23/21

DRAWING SCALE:

1/4" = 1'0"

DRAWN BY:

EKG

CHECKED BY:

EKG

APPROVED BY:

SHEET NAME

UNIT #3 & #4
SECTION & ROOF
PLAN

FOR TENDER

REVISION	PLAN NUMBER
C	806

SHEET NUMBER	SHEET
A14	14 OF 15

SCHEDULE

B

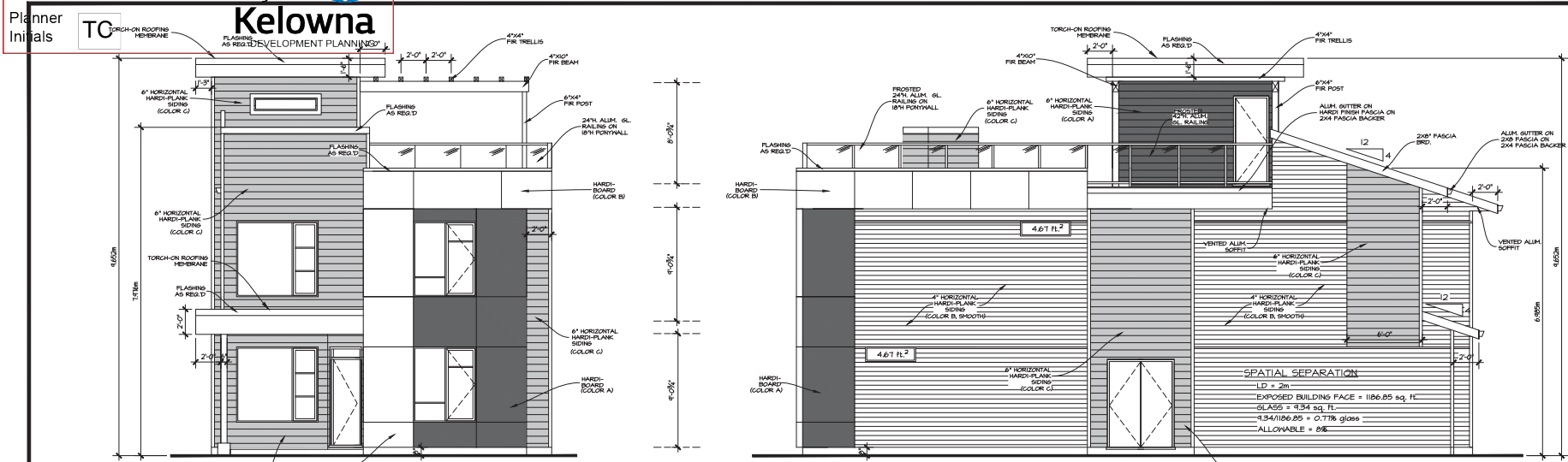
This forms part of application
DP21-0009 / DVP21-0012



City of
Kelowna

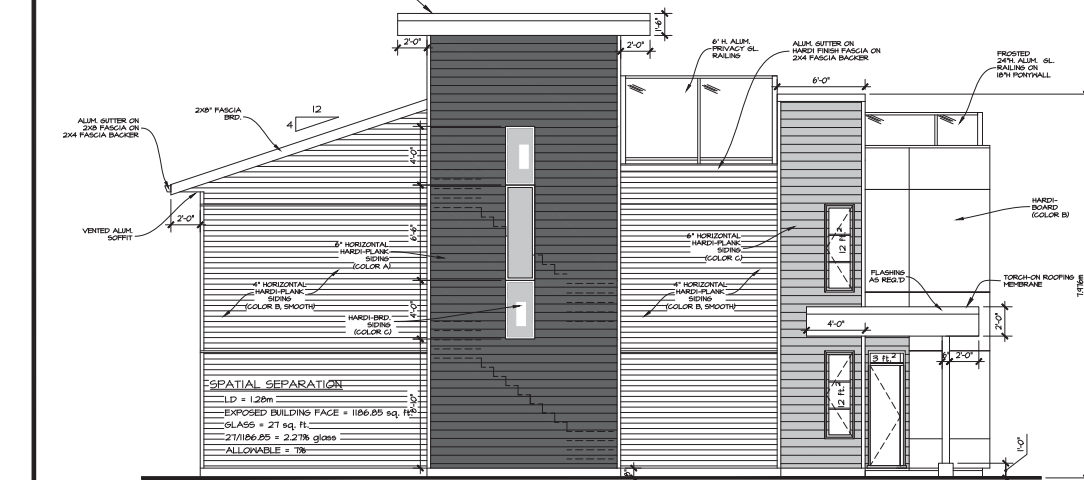
Planner
Initials

TC

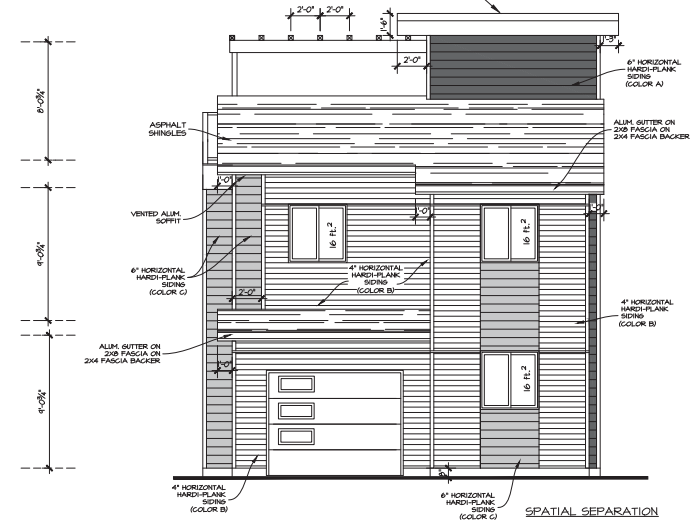


FRONT ELEVATION
(UNIT# 1)

RIGHT ELEVATION
(UNIT# 1)



LEFT ELEVATION
(UNIT# 1)



REAR ELEVATION
(UNIT# 1)

ERRORS AND OMISSIONS

- EVAN GILBERT DRAFTING & DESIGN INC. shall not be responsible for any variances from the structural drawings and specifications, or adjustments required resulting from conditions encountered at the job site, and is the sole responsibility of the owner or contractor.
- EVAN GILBERT DRAFTING & DESIGN INC. makes every effort to provide complete and accurate construction drawings. However, we assume no liability for any errors or omissions which may affect construction. It is the responsibility of all trades and sub-trades to check and verify all dimensions and details before commencing with their portion of the construction. Should any discrepancies be found on these plans please advise our office so we can make the necessary corrections.



SOFFITS PROJECTING
INTO 1.2m SETBACK TO BE
UNVENTED AND PROTECTED.
SEE B.C.B.C.A-9.10.15 IN
APPENDIX A

REVISIONS

REV	DATE	DESCRIPTION
A	03/05/21	ISSUED FOR REZONING
B	04/05/21	PLAN CHANGES
C	06/23/21	PLAN CHANGES

EVAN GILBERT
drafting & design
www.evan-gilbert.com
778.478.7722

PROJECT TITLE

**575
PATTERSON
AVE.
KELOWNA, BC**

DATE: 06/23/21

DRAWING SCALE: 1/4" = 1'0"

DRAWN BY: EKG

CHECKED BY: EKG

APPROVED BY:

SHEET NAME

UNIT #1
ELEVATION'S

FOR TENDER

REVISION PLAN NUMBER

C 806

SHEET NUMBER SHEET

A2 2 OF 15

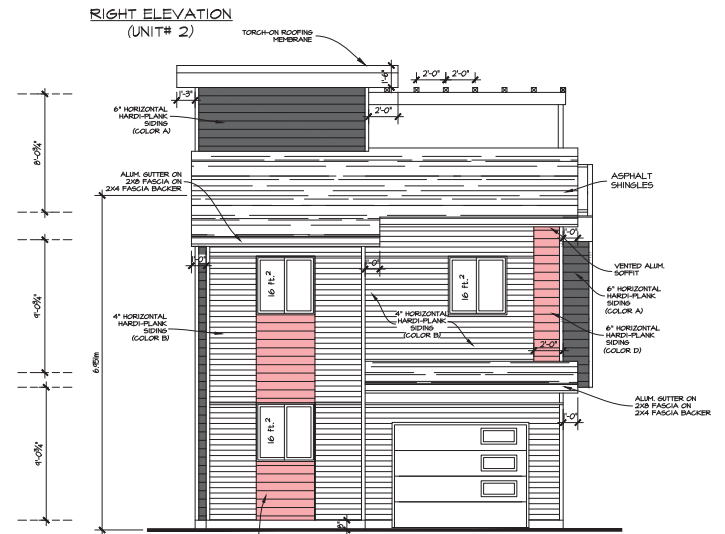
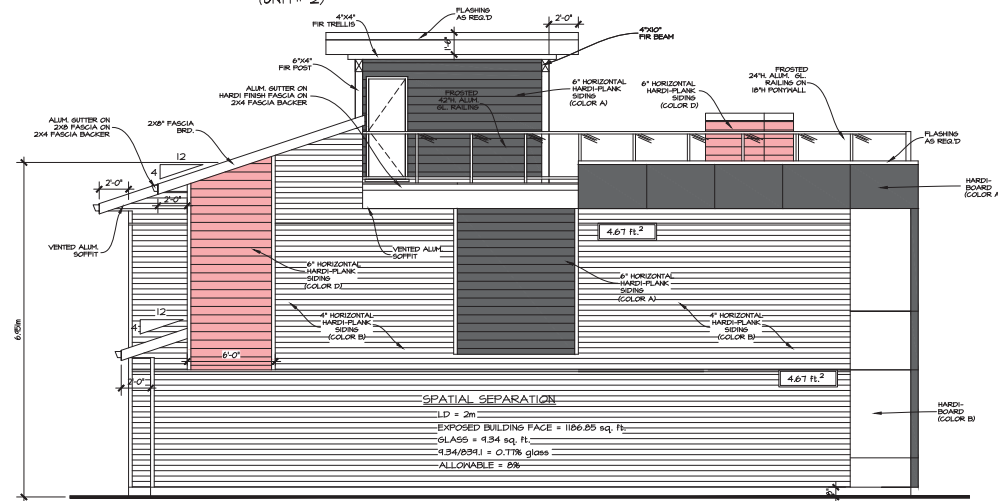
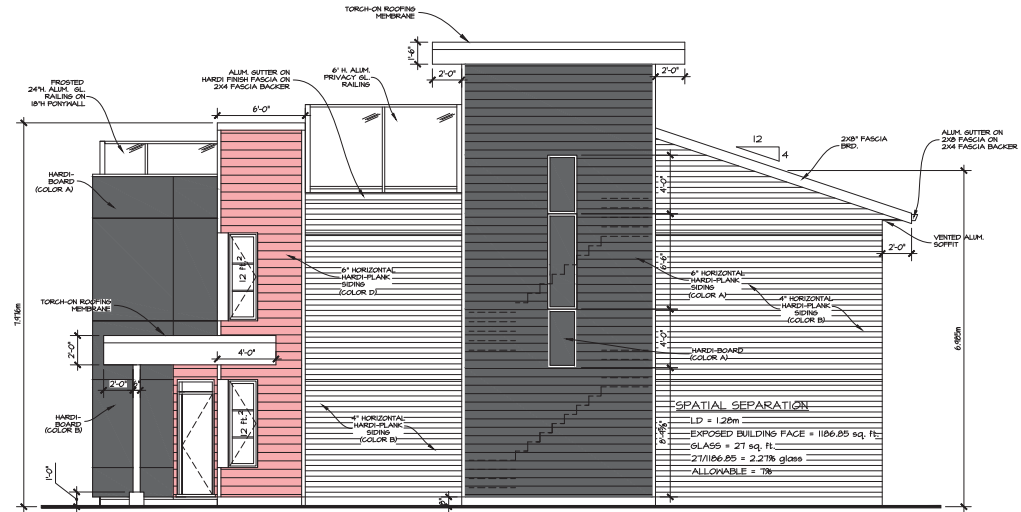
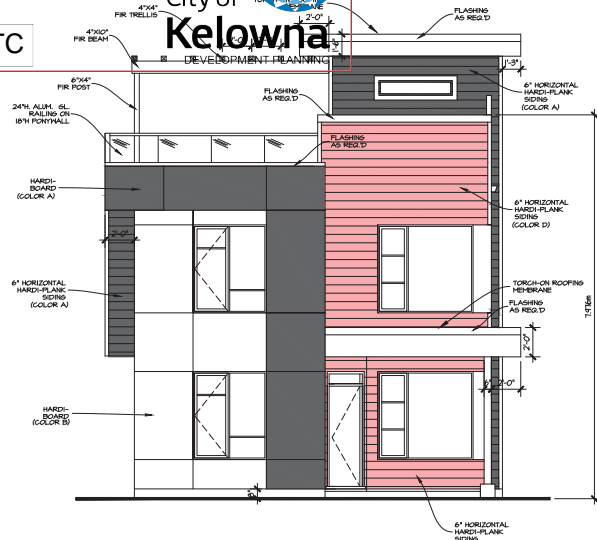
SCHEDULE B

This forms part of application
DP21-0009 / DVP21-0012



Planner Initials TC

City of Kelowna
DEVELOPMENT PLANNING



ERRORS AND OMISSIONS

- EVAN GILBERT DRAFTING & DESIGN INC. shall not be responsible for any variances from the structural drawings and specifications, or adjustments required resulting from conditions encountered at the job site, and is the sole responsibility of the owner or contractor.
- EVAN GILBERT DRAFTING & DESIGN INC. makes every effort to provide complete and accurate construction drawings. However, we assume no liability for any errors or omissions which may affect construction. It is the responsibility of all trades and sub-trades to check and verify all dimensions and details before commencing with their portion of the construction. Should any discrepancies be found on these plans please advise our office so we can make the necessary corrections.



REVISIONS

REV	DATE	DESCRIPTION
A	03/05/21	ISSUED FOR REZONING
B	04/09/21	PLAN CHANGES
C	06/23/21	PLAN CHANGES

EVAN GILBERT
drafting & design
www.egdrafting.ca
www.egdesigning.ca 778.478.7722

PROJECT TITLE

575 PATTERSON AVE.
KELOWNA, BC

DATE: 06/23/21

DRAWING SCALE: 1/4" = 1'0"

DRAWN BY: EKG

CHECKED BY: EKG

APPROVED BY:

SHEET NAME

UNIT #2
ELEVATION'S

FOR TENDER

REVISION PLAN NUMBER

C 806

SHEET NUMBER SHEET

A5 5 OF 15

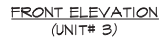
B

DP21-0009 / DVP21-0012



City of Kelowna
DEVELOPMENT PLANNING

TC



FRONT ELEVATION
(UNIT# 3)



RIGHT ELEVATION
(UNIT# 4)



REAR ELEVATION
(INIT# 4)



LEFT ELEVATION
(UNIT# 3)

- EYAN GILBERT DRAFTING & DESIGN INC. shall not be responsible for any variances from the structural drawings and specifications, or adjustments required resulting from conditions encountered at the job site, and is the sole responsibility of the owner or contractor.
- EYAN GILBERT DRAFTING & DESIGN INC. makes every effort to provide complete and accurate construction drawings. However, we assume no liability for any errors or omissions that may occur. The contractor is responsible for all trades and sub-trades to check and verify all dimensions and details before commencing with their portion of the construction. Should any discrepancies be found on these plans please advise our office so we can make the necessary corrections.

SPATIAL SEPARATION (PER UNIT)
LD = 7.532m
EXPOSED BUILDING FACE = 513.42 sq. ft.
GLASS = 42 sq. ft.
42/513.42 = 8.2% glass
ALLOWABLE = 84.3%

COLOR A
NIGHT GREY

COLOR B
ARCTIC WHITE

COLOR C
CASCADE SLAT

COLOR D
RIVER ROCK

[illegible]

EVAN GILBERT

drafting & design

www.evgdrafting.ca
 www.evgdrafting.us
 778.478.7792

PROJECT TITLE

575

PATTERSON

AVE.

KELOWNA, BC

DATE:	06/23/21
DRAWING SCALE:	1/4" = 10"
DRAWN BY:	EKG
CHECKED BY:	EKG
APPROVED BY:	
SHEET NAME	
UNIT #3 & #4 ELEVATIONS	

PROGRAM

FOR TENDER

REVISION <div style="font-size: 2em; font-weight: bold; margin: 10px 0;">C</div>	PLAN NUMBER: <div style="font-size: 2em; font-weight: bold; margin: 10px 0;">806</div>
SHEET NUMBER <div style="font-size: 2em; font-weight: bold; margin: 10px 0;">A9</div>	SHEET <div style="font-size: 2em; font-weight: bold; margin: 10px 0;">9</div> <div style="font-size: 1.5em; font-weight: bold; margin: 5px 0;">OF 15</div>

LEGAL DESCRIPTION:
LOT 15 PLAN KAPS244

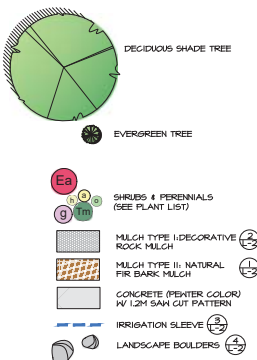
GENERAL NOTES:

1. ALL LANDSCAPING TO CONFORM TO THE LATEST EDITION OF THE 'CANADIAN LANDSCAPE STANDARD' UNLESS OTHERWISE NOTED HEREIN.
2. ALL LANDSCAPE PLANTINGS SHALL HAVE UNDERGROUND IRRIGATION INSTALLED, UNLESS NOTED. THE CONTRACTOR IS RESPONSIBLE FOR PREPARING SHOP DRAWINGS FOR IRRIGATION SYSTEM DESIGN. REFER TO SPECIFICATIONS, CONTRACTOR TO PROVIDE SHOP DRAWINGS TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
3. THE CONTRACTOR TO LOCATE AND MARK ALL UNDERGROUND SERVICES THAT MAY BE AFFECTED BY THE WORK AND REPAIR ALL DAMAGES TO EXISTING CONDITION.
4. LANDSCAPE GRADING SHALL CONFORM TO THE SITE GRADING AND DRAINAGE PLAN PREPARED BY OTHERS, UNLESS OTHERWISE DETERMINED ON SITE BY THE ARCHITECT AND/OR ENGINEER.
5. THIS PLAN IS PREPARED FOR PERMIT APPLICATION ONLY AND SHALL NOT BE USED FOR CONSTRUCTION UNLESS APPROVED IN WRITING BY LIMINAL DESIGN.
6. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO ANY LANDSCAPE CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THEY HAVE THE COMPLETE AND MOST RECENT LANDSCAPE DOCUMENTS. THE DOCUMENTS SHALL BE COMPLETE, CURRENT AND PRINTED TO SCALE.

LANDSCAPE AREA CALCULATIONS:
TOTAL SITE AREA: 920,44M²
LANDSCAPED AREA WITHIN PROPERTY: 308,84M² (33.6%)

NOTE: LANDSCAPE CALCULATIONS BASED ON TOTAL LANDSCAPE AREA IN THE SUBJECT PROPERTY, INCLUDING PROPOSED IMPROVEMENTS.

LEGEND:



PLANT LIST

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE/SPACING
TREES				
02	CN	Cupressus nortkottensis 'Green Arrow'	Weeping Australian Yellow Cedar	Eq post as shown
02	GB	Ginkgo biloba 'Autumn Gold'	Autumn Gold Maidenhair Tree	50cm cal/ as shown
02	SR	Magnolia stellata	Star Magnolia	Eq post as shown
SHRUBS				
30	Bs	Buxus microphylla 'Sprenger'	Sprenger Boxwood	#5 post/ISM GC
10	Bx	Buxus x 'Green Mountain'	Green Mountain Boxwood	#5 post/ISM GC
05	Ea	Eucymia alata 'Compacta'	Compact Burning Bush	#5 post/ISM GC
04	Pm	Pinus mugo var. pumilo	Dwarf Mugo Pine	#5 post/ISM GC
06	Rw	Rhododendron x 'White Lights'	White Lights Azalea	#5 post/ISM GC
04	Sb	Spiraea pendula 'Gold Girl'	Gold Girl Spiraea	#5 post/ISM GC
12	Tx	Taxus x media 'Spartan'	Spartan Yew	#5 post/ISM GC
04	Tm	Taxus x media 'Tartan'	Tartan Yew	#5 post/ISM GC
PERENNIALS & GROUND COVERS				
61	a	Asotites chremonensis 'Milk and Honey'	Milk and Honey Chinese Asotites	#1 post/ISM GC
12	c	Galanthopsis x acutiflora 'Ondine'	Vanguard Rose Grass	#1 post/ISM GC
5	e	Echinacea purpurea 'Magnus'	Purple Coneflower	#1 post/ISM GC
06	h	Larodula x intermedia 'Grenadine'	Grenadine Lander	#1 post/ISM GC
17	a	Matricaria inodora 'Spartan'	Spartan Yew	#1 post/ISM GC
26	n	Nepeta 'Six Hills Giant'	Giant Catnip	#1 post/ISM GC
51	k	Pachysandra terminalis	Japanese pachysandra	#1 post/ISM GC
04	h	Shadblow 'Autumn Frost'	Hosta hybrid	#1 post/ISM GC
04	w	Wisteria sinensis	Chinese wisteria	#1 post/ISM GC
BULBS				
24	x	Allium 'Gladstone'	Ornamental Onion	sub/ISM GC

SCHEDULE

C

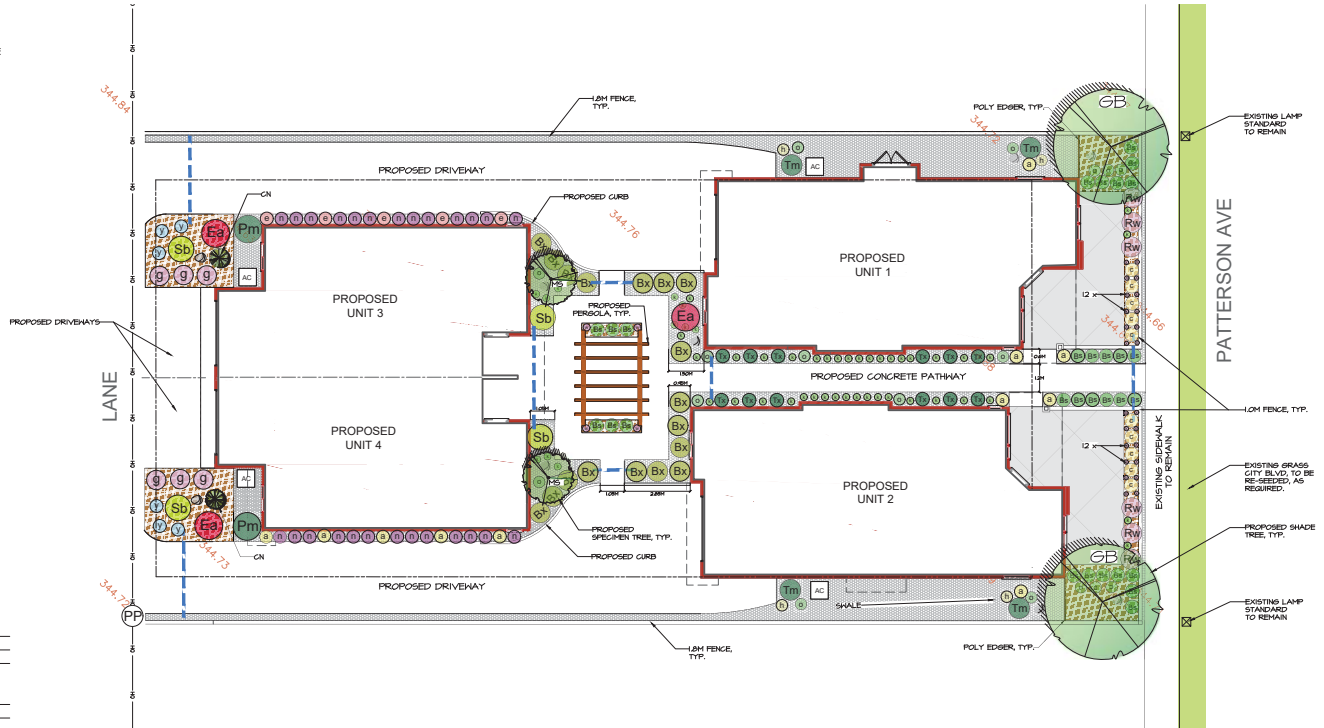
This forms part of application

DP21-0009 / DVP21-0012

Planner
Initials

TC

City of
Kelowna
DEVELOPMENT PLANNING



CL	RECEIVED FOR DP	04/09/21
CL	ISSUED FOR DEVELOPMENT PERMIT	08/04/21
CL	ISSUED FOR REVIEW	08/03/21
CL	ISSUED FOR REVIEW	09/08/21
MD	REVISION	08/03/21

CONSULTANTS

LIMINAL DESIGN
LANDSCAPE ARCHITECTURE + URBAN DESIGN

PROJECT TITLE
**PROPOSED MULTI-FAMILY
DEVELOPMENT
575 PATTERSON AVE
KELOWNA, BC**

CLIENT
DREAM CHASER HOMES

SHEET TITLE
LANDSCAPE PLAN

DRAWN BY LAB	DRAWING NO. L-1
SCALE 1:100	DATE DRAWN 04/18/21
DATE DRAWN 04/18/21	REPRODUCED/PLOTTED

