



DVP20-0199

734 Mayfair Court

Development Variance Permit Application



Proposal

- ▶ To vary the required minimum rear yard setback and the minimum distance to a principal dwelling for a carriage house on the subject property.

Development Process

Nov 4, 2020

Development Application Submitted



Staff Review & Circulation



Feb 15, 2021

Public Notification Received



Nov 16, 2021

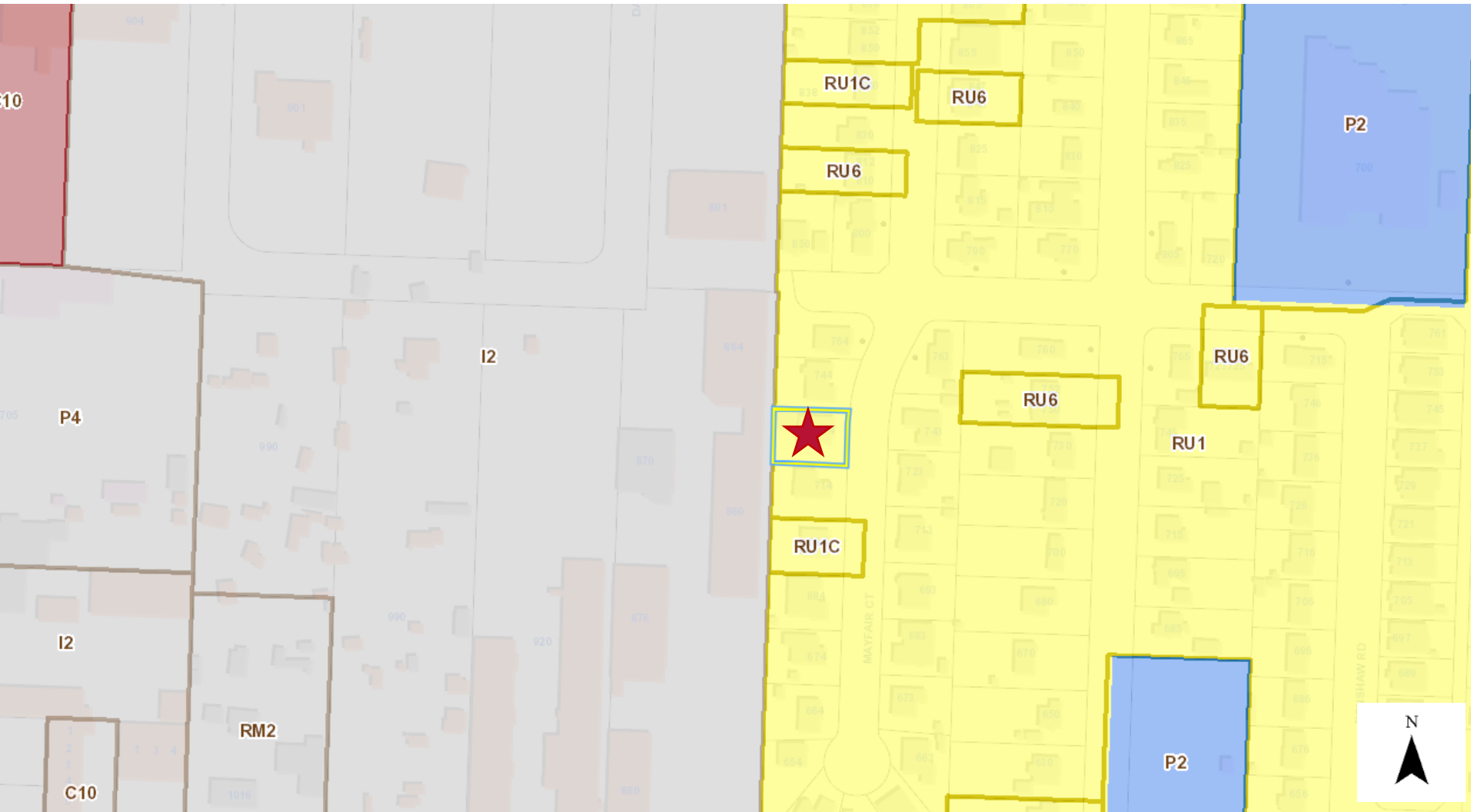
Development Variance Permit



Building Permit

} Council
Approval

Future Land Use / Zoning



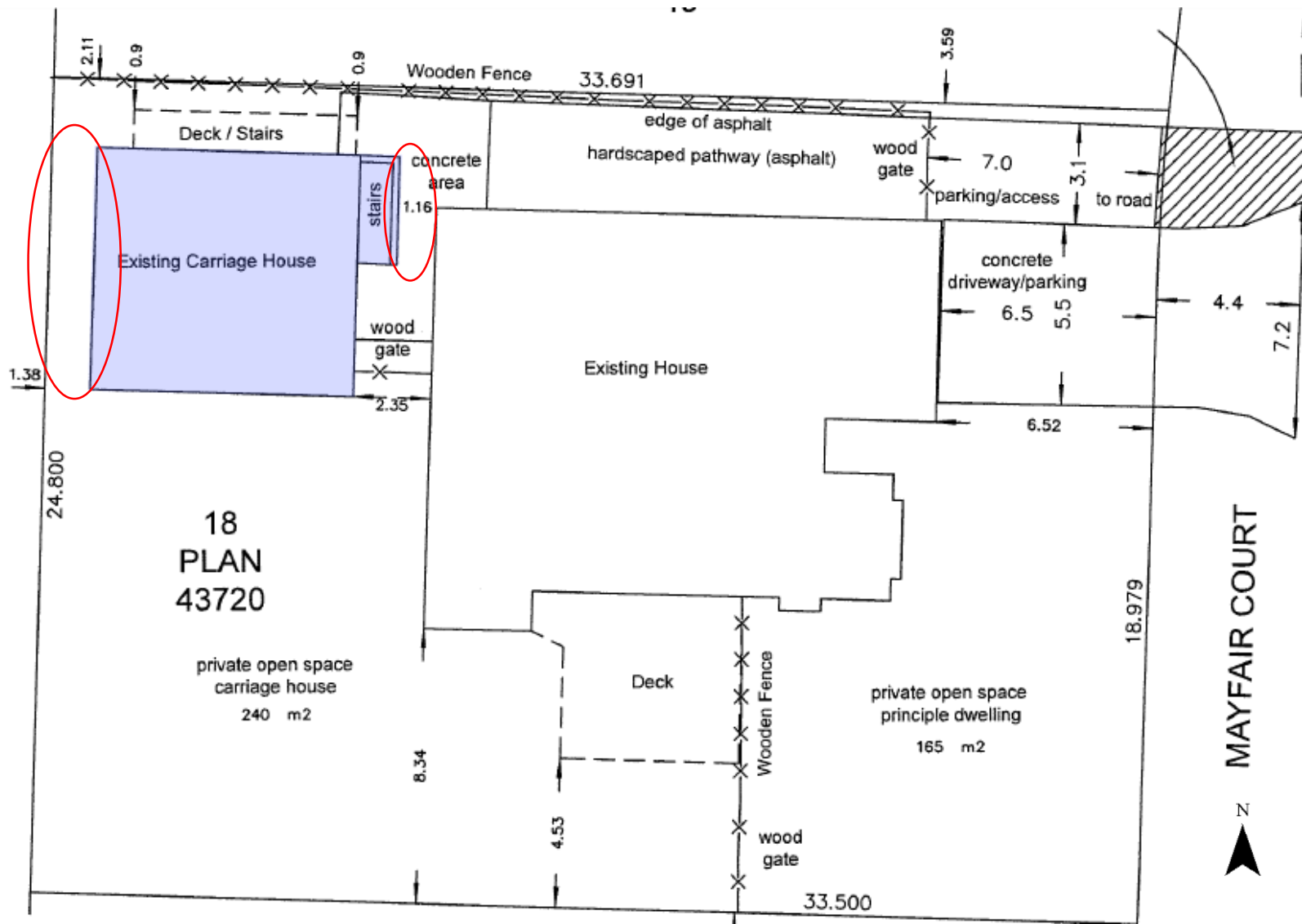
Subject Property Map



Project details

- ▶ A building permit to construct the accessory building was issued in June 2012.
- ▶ Legalize use of existing accessory building as a carriage house.
 - ▶ Vary minimum rear yard setback from 1.5 m to 1.38 m
 - ▶ Vary minimum distance to principal dwelling from 3.0 m to 1.16 m
- ▶ Section 219 Covenant registered on title restricting the use of the lower floor of the carriage house from being used as a dwelling.

Site Plan



Existing Accessory Building/Carriage House



Development Planning

- ▶ Meets the intent of Official Community Plan Urban Infill Policies:
 - ▶ Compact Urban Form
 - ▶ Sensitive Infill
 - ▶ Carriage Houses and Accessory Apartments

- ▶ Building is already existing
 - ▶ Reduced rear yard setback to a developed industrial lot
 - ▶ Spatial separation requirements to principal addressed through Building Permit process

Staff Recommendation

- ▶ Staff recommend **support** for the development variance permit to facilitate the conversion of the existing dwelling into a carriage house
 - ▶ Meets the intent of the Official Community Plan
 - ▶ Existing building



Conclusion of Staff Remarks