

ATTACHMENT A

This forms part of application

DP19-0156

Planner
Initials

WN

City of
Kelowna
COMMUNITY PLANNING



Development Permit Permit DP19-0156

This permit relates to land in the City of Kelowna municipally known as:

(W OF) Highway 97 North

and legally known as:

Lot 1 Section 2 Township 23 ODYD Plan EPP76079

and permits the land to be used for the following development:

Industrial

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council Decision November 8, 2021

Decision By: COUNCIL

Development Permit Area: Comprehensive Development Permit Area

This permit will not be valid if development has not commenced by November 8, 2023.

Existing Zone: I1 – Business Industrial

Future Land Use Designation: IND - Industrial

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: 1207431 B.C. Ltd., Inc.No. BC1207431

Applicant: CTQ Consultants Ltd., Ed Grifone

Terry Barton
Development Planning Department Manager
Development Planning

Date

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.

This Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) An Irrevocable Letter of Credit in the amount of **\$ 150,325.00**

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

5. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

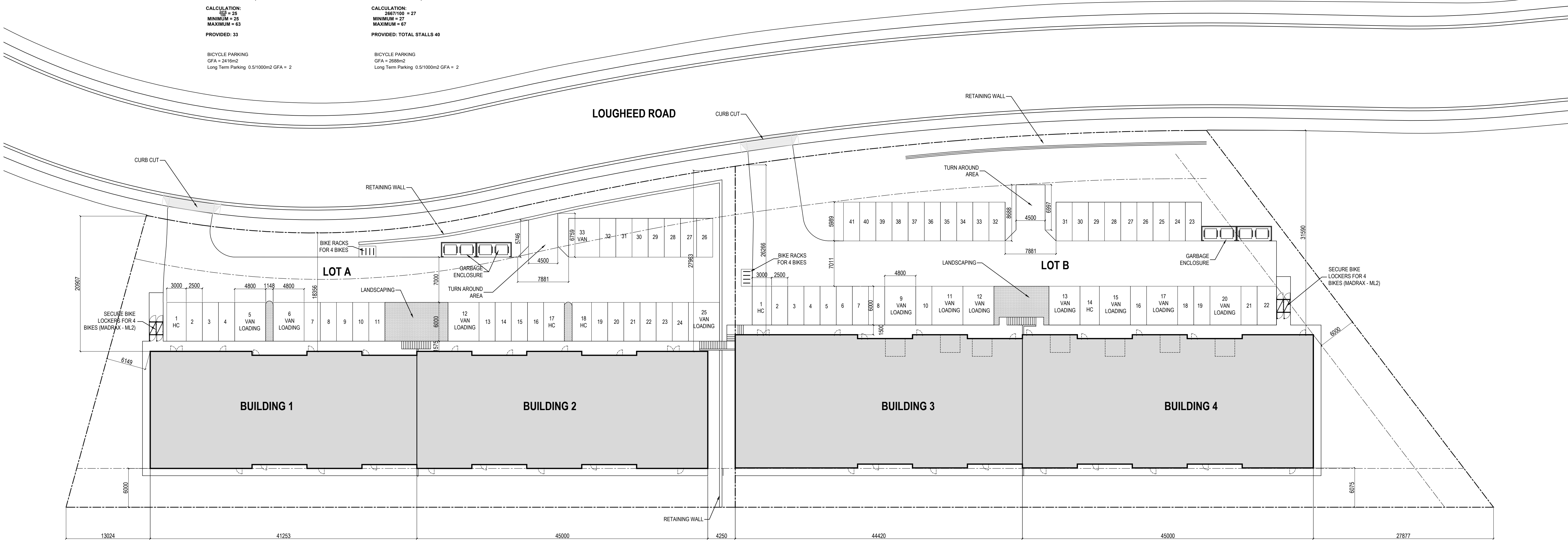
**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**

ZONING ANALYSIS
CIVIC ADDRESS LOUGHEED ROAD, KELOWNA, BC
LEGAL DESCRIPTION
ZONING CODE: I-1 CATEGORY: BUSINESS INDUSTRIAL
DEVELOPMENT REGULATIONS:
REQUIRED
- MAXIMUM FLOOR AREA RATIO (FAR) = 1.2 - MAXIMUM HEIGHT = 16.0m OR 5 STORIES - FRONT YARD SETBACK = 6.0m - MINIMUM SIDE YARD = 0.0m ADJACENT TO TO COMMERCIAL OR INDUSTRIAL AND 6.0m ABUTTING OTHER ZONES. MINIMUM SIDE YARD IS 4.5m FROM A FLANKING STREET - MINIMUM REAR YARD = 0.0m ADJACENT TO TO COMMERCIAL OR INDUSTRIAL AND 6.0m ABUTTING OTHER ZONES.

LOT A	LOT B
SITE AND BUILDING AREA SITE AREA SA: 4457 m ² BUILDING BA: 1588 m ² SITE COVERAGE ((BA/SA)x100): ((1588/4457)x100) = 35% BUILDING BUILDING FOOTPRINT AREA 1588 m ²	SITE AND BUILDING AREA SITE AREA SA: 5405 m ² BUILDING BA: 1801 m ² SITE COVERAGE ((BA/SA)x100): ((1801/5405)x100) = 28% BUILDING BUILDING FOOTPRINT AREA 1801 m ²
BUILDING GROSS FLOOR AREA SITE AREA SA: 4457 m ² ALLOWABLE FAR: 4457x1.2=5348.4 BUILDING NFA: 2416m ² F.A.R. (NFA/SA): 2416/4457m ² = 0.54 FLOOR MAIN FLOOR SECOND FLOOR / MEZZANINES Total Net Floor Area (NFA) 1588 m ² 828 m ² 2416.0 m ²	BUILDING GROSS FLOOR AREA SITE AREA SA: 5405 m ² ALLOWABLE FAR: 5405x1.2=6486 BUILDING NFA: 2667m ² F.A.R. (NFA/SA): 2667/5405m ² = 0.49 FLOOR MAIN FLOOR SECOND FLOOR / MEZZANINES Total Net Floor Area (NFA) 1801 m ² 866 m ² 2667.0 m ²

BUILDING SPECIFICS	BUILDING SPECIFICS
FRONT YARD - 18m REAR YARD - 6m SIDE YARD - 5m and 4.5m BUILDING HEIGHT - 9.8m / 2 stories OUTDOOR STORAGE - NONE OUTDOOR DISPLAY - NONE FAR - 0.54 SITE COVERAGE - 35% TOTAL NET FLOOR AREA - 2416.0 m ²	FRONT YARD - 26m REAR YARD - 6m SIDE YARD - 5m and 6m BUILDING HEIGHT - 9.8m / 2 stories OUTDOOR STORAGE - NONE OUTDOOR DISPLAY - NONE FAR - 0.49 SITE COVERAGE - 28% TOTAL NET FLOOR AREA - 2667.0 m ²

PARKING SCHEDULE	PARKING SCHEDULE
INDUSTRIAL - MINIMUM = 1 per 100m ² MAXIMUM = 2.5 per 100m ² CALCULATION: $\frac{1588}{100} = 25$ MINIMUM = 25 MAXIMUM = 63 PROVIDED: 33 BICYCLE PARKING GFA = 2416m ² Long Term Parking 0.5/1000m ² GFA = 2	INDUSTRIAL - MINIMUM = 1 per 100m ² MAXIMUM = 2.5 per 100m ² CALCULATION: $\frac{2667}{100} = 27$ MINIMUM = 27 MAXIMUM = 67 PROVIDED: TOTAL STALLS 40 BICYCLE PARKING GFA = 2668m ² Long Term Parking 0.5/1000m ² GFA = 2



SCHEDULE A

This forms part of application

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WM

City of
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COMMUNITY PLANNING



ISSUE NO. DATE

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CONSULTANTS
DiStefano Jaud, Architecture

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PROJECT
**LOUGHEED ROAD
COMMERCIAL PARK**

PROJECT NUMBER
DJA 2021-21

PROJECT LOCATION
LOUGHEED ROAD, KELOWNA

SHEET TITLE
**SITE PLAN
BYLAW REVIEW**

DATE
OCTOBER 15, 2021

SHEET NUMBER

A1.0

SCALE
1:300

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PROJECT
LOUGHEED ROAD
COMMERCIAL PARK

PROJECT NUMBER
DJA 2021-21

PROJECT LOCATION
LOUGHEED ROAD, KELOWNA

SHEET TITLE
WEST BUILDING ELEVATIONS
BUILDINGS 1, 2, 3 & 4

DATE
September 24, 2021

SHEET NUMBER

A3.1

SCALE
1:125

BUILDING 2

BUILDING 1

BUILDING 4

BUILDING 3

1 BUILDING 1 & 2 MAIN / WEST ELEVATION
A3.1 1:125

2 BUILDING 3 & 4 MAIN / WEST ELEVATION
A3.1 1:125

SCHEDULE B

This forms part of application
DP19-0156

Planner
Initials WM

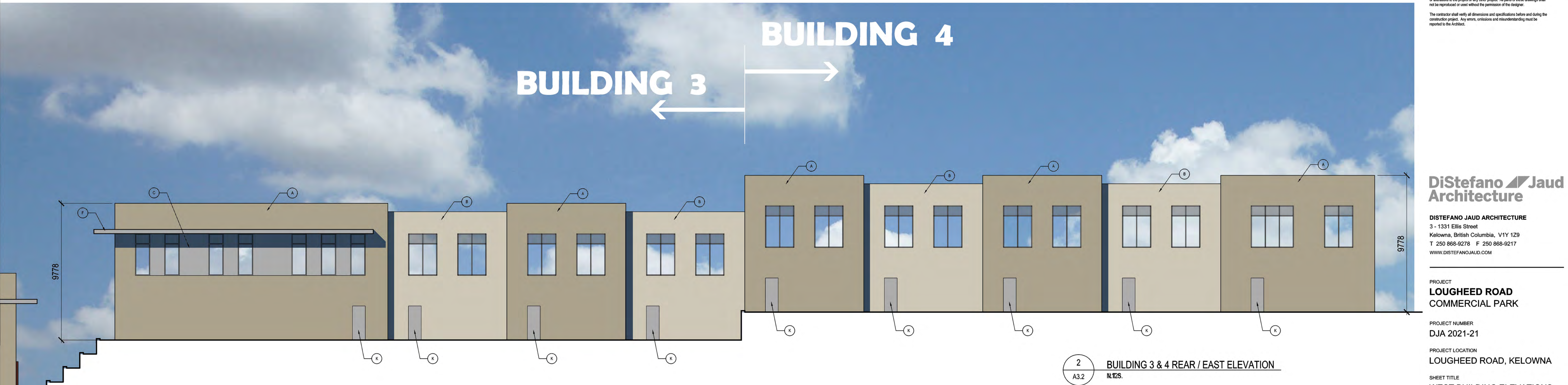


EXTERIOR CLADDING LEGEND					
TYPE	DESCRIPTION		TYPE	DESCRIPTION	
A	TILT-UP CONCRETE WALL	PAINTE COLOUR -1	G	WINDOW MULLIONS	
B	TILT-UP CONCRETE WALL	PAINTE COLOUR -2	H	METAL CLAD FRAME AND CANOPY	
C	TILT-UP CONCRETE WALL	PAINTE COLOUR -3	J	OVERHEAD DOOR	
D	LONGBOARD OR EQUIVALENT METAL SIDING WOOD GRAIN FINISH - BEND IN PANEL TO CREATE CANOPY OVER ENTRIES		K	MAN DOOR	
F	METAL CANOPY			SPANDREL PANEL	
				GLASS	



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PROJECT
LOUGHEED ROAD
COMMERCIAL PARK

PROJECT NUMBER
DJA 2021-21

PROJECT LOCATION
LOUGHEED ROAD, KELOWNA

SHEET TITLE
WEST BUILDING ELEVATIONS
BUILDINGS 1, 2, 3 & 4

DATE
SEPTEMBER 24, 2021

SHEET NUMBER
A3.2

SCALE
N.T.S.

1
A3.2
BUILDING 1 & 2 REAR/ EAST ELEVATION
N.T.S.

2
A3.2
BUILDING 3 & 4 REAR / EAST ELEVATION
N.T.S.

EXTERIOR CLADDING LEGEND					
TYPE			DESCRIPTION		
A			TILT-UP CONCRETE WALL		
B			PAINT COLOUR -1		
C			TILT-UP CONCRETE WALL		
D			PAINT COLOUR -2		
E			TILT-UP CONCRETE WALL		
F			PAINT COLOUR -3		
G			LONGBOARD OR EQUIVALENT METAL SIDING		
H			WOOD GRAIN FINISH - BEND IN PANEL TO CREATE		
I			CANOPY OVER ENTRIES		
J			METAL CANOPY		
K			WINDOW MULLIONS		
L			METAL CLAD FRAME AND CANOPY		
M			OVERHEAD DOOR		
N			MAN DOOR		
O			SPANDREL PANEL		
P			GLASS		

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PROJECT
LOUGHEED ROAD
COMMERCIAL PARK

PROJECT NUMBER
DJA 2021-21

PROJECT LOCATION
LOUGHEED ROAD, KELOWNA

SHEET TITLE
BUILDINGS 1, 2, 3 & 4
SOUTH AND NORTH
ELEVATIONS

DATE
SEPTEMBER 24, 2021

SHEET NUMBER

A3.3

SCALE
1:125



1 BUILDING 1 SOUTH ELEVATION
A3.3 N.T.S.

2 BUILDING 2 NORTH ELEVATION
A3.3 1:125



3 BUILDING 3 SOUTH ELEVATION
A3.3 1:125

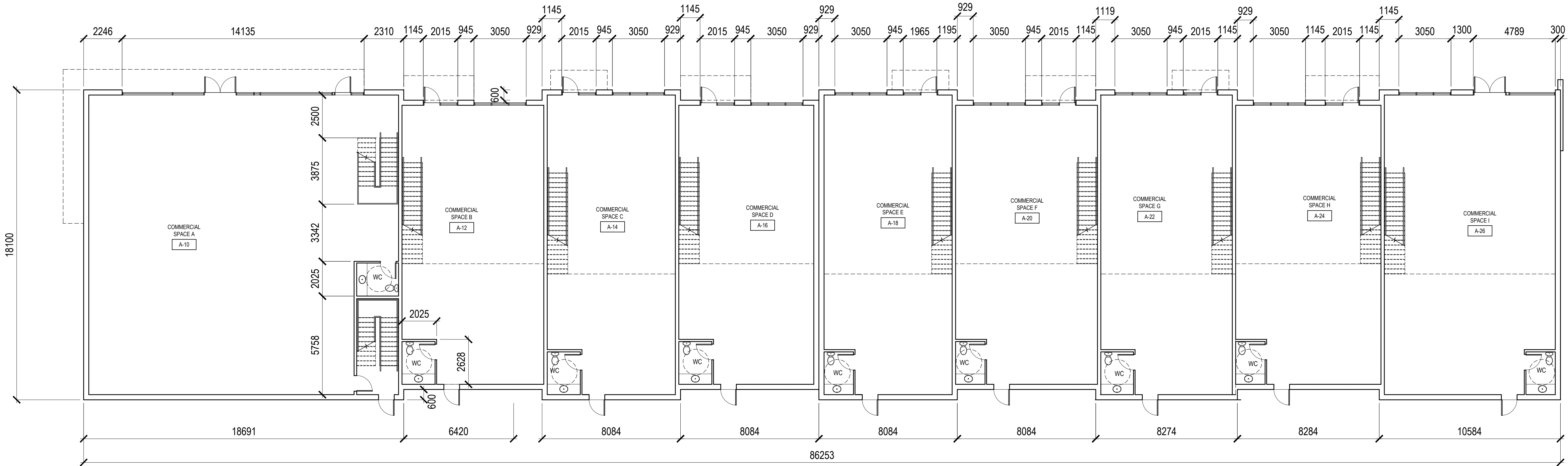
4 BUILDING 4 NORTH ELEVATION
A3.3 1:125

EXTERIOR CLADDING LEGEND					
TYPE			DESCRIPTION		
A			TILT-UP CONCRETE WALL	G	WINDOW MULLIONS
B			PAINT COLOUR -1	H	METAL CLAD FRAME AND CANOPY
C			TILT-UP CONCRETE WALL	J	OVERHEAD DOOR
D			PAINT COLOUR -2	K	MAN DOOR
E			TILT-UP CONCRETE WALL		SPANDREL PANEL
F			PAINT COLOUR -3		GLASS
			LONGBOARD OR EQUIVALENT METAL SIDING		
			WOOD GRAIN FINISH - BEND IN PANEL TO CREATE		
			CANOPY OVER ENTRIES		
			METAL CANOPY		

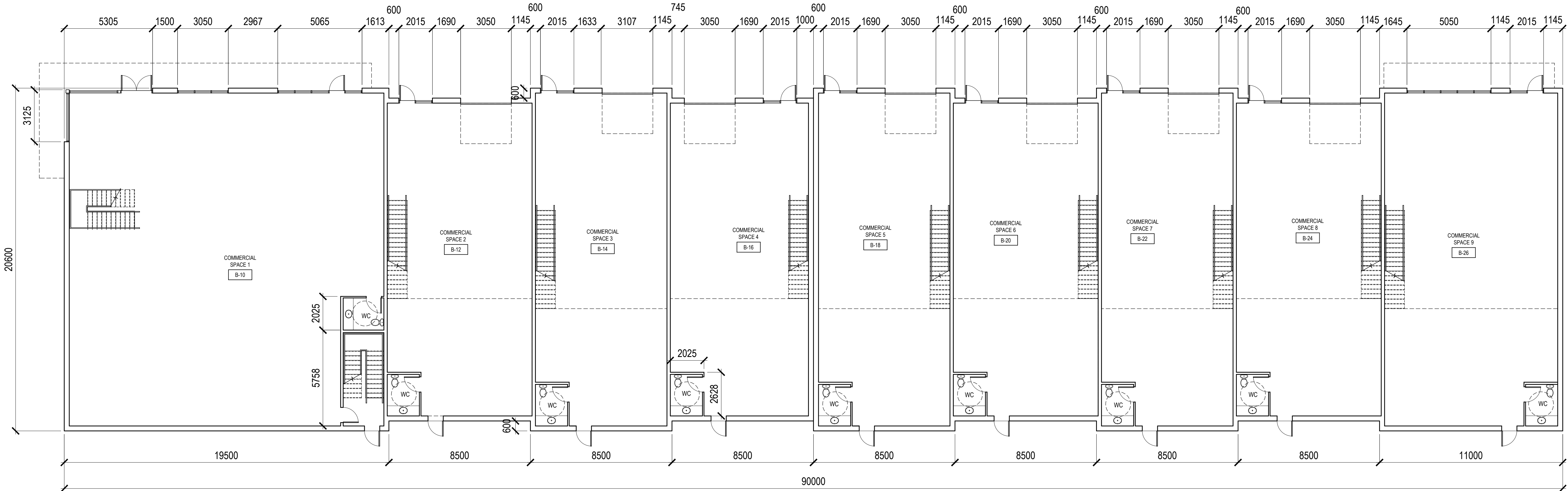
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1 MAIN FLOOR PLAN BUILDING A
A2.1 1:125



2 MAIN FLOOR PLAN BUILDING B
A2.1 1:125

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PROJECT
LOUGHEED ROAD
COMMERCIAL PARK

PROJECT NUMBER
DJA 2021-21

PROJECT LOCATION
LOUGHEED ROAD, KELOWNA

SHEET TITLE
MAIN FLOOR PLAN
BUILDING 1 & 2

DATE
SEPTEMBER 24, 2021

SHEET NUMBER

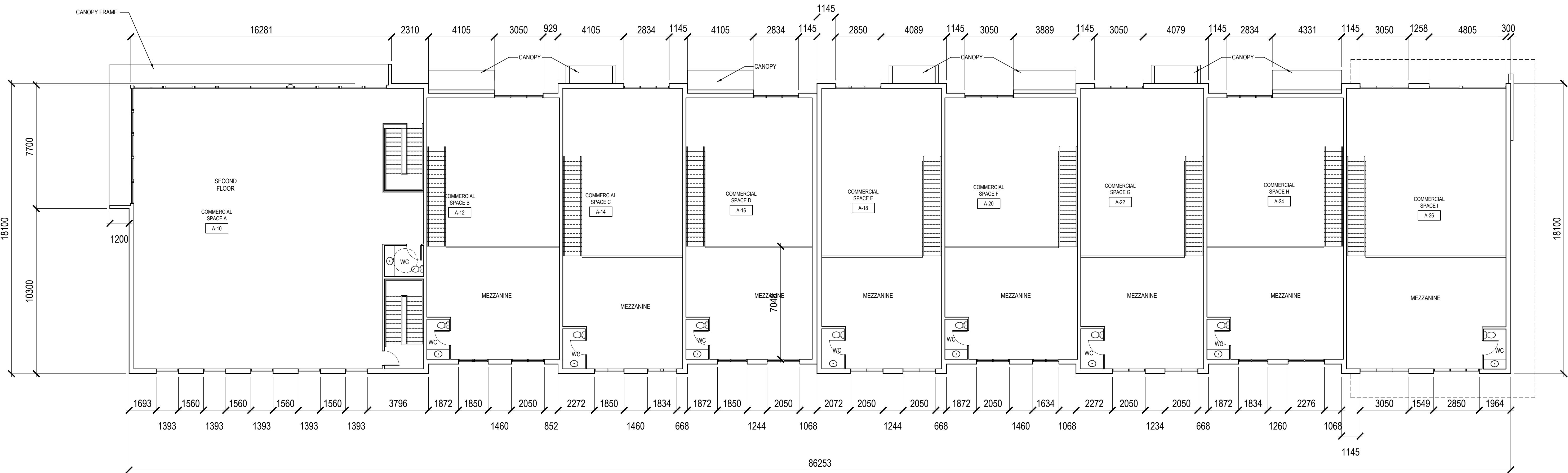
A2.1

SCALE
N.T.S.

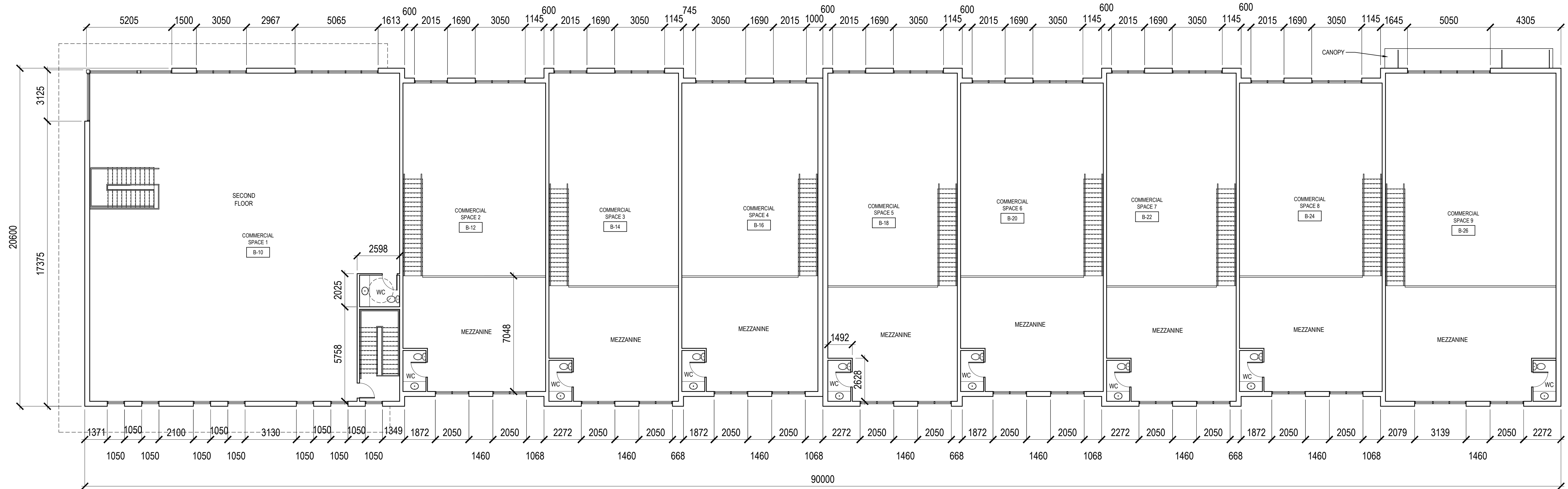
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1 SECOND FLOOR PLAN BUILDING A
A2.2 1:125



2 SECOND FLOOR PLAN BUILDING B
A2.2 1:125

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PROJECT
**LOUGHEED ROAD
COMMERCIAL PARK**

PROJECT NUMBER
DJA 2021-21

PROJECT LOCATION
LOUGHEED ROAD, KELOWNA

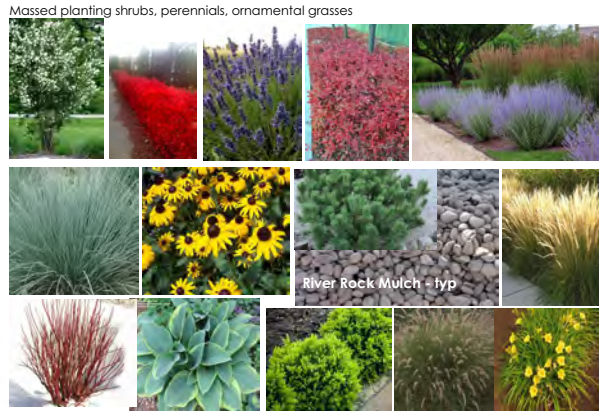
SHEET TITLE
**SECOND FLOOR PLAN
BUILDING 1 & 2**

DATE
SEPTEMBER 24, 2021

SHEET NUMBER

A2.2

SCALE
1:125



Proposed Plant List - LOUGHEED ROAD				
Symbol	Botanical Name	Common Name	Size	Spacing
	Gedidia triacanthos 'Skyline'	Skyline Honeylocust	75 mm cal	
	Magnolia stellata	Star Magnolia - tree form	60 mm cal	
	Ulmus americana 'Palmore'	Palmore Elm	75 mm cal	
	Pinus ponderosa	Ponderosa Pine	1.8m ht.	
	Buxus microphylla	Japanese Boxwood	#2	8m OC
	Cornus sericea	Arctic Fire Red Twig Dogwood	#2	1.2m OC
	Euonymus alata compacta	Dwarf Burning Bush	#2	1.2m OC
	Perovskia atriplicifolia	Russian sage	#2	1.2m OC
	Philadelphus lewisii 'Blizzard'	Blizzard Mockorange	#2	1.5m OC
	Pinus mugo pumilio	Dwarf Mugo Pine	#2	1.2m OC
	Rhus aromatica 'Grow Low'	Grow Low Fragrant Sumac	#2	1.2m OC
	Calamagrostis 'Karl Foerster'	Karl Foerster Reed grass	#2	1.0m OC
	Helictotrichon sempervirens	Blue Cat Grass	#2	8m OC
	Pennisetum alopecuroides 'Karley Rose'	Karley Rose Fountain Grass	#2	8m OC
	Lavendula 'Munstead'	Munstead lavender	#2	1.0m OC
	Hemerocallis 'Stella d'Oro'	Stella D'Oro Daylily	#2	0.6m OC
	Hosta 'Fortunei Hyacinthine'	Hosta 'Fortune' Hosta	#2	0.6m OC
	Rudbeckia hirta 'Goldsturm'	Goldsturm Gloriosa Daisy	#2	0.6m OC

Sodded Boulevard
Dryland Grass Mix for all disturbed areas
Washed River Rock
Dryland Grass Mix Seed Blend (% by weight)
Application Rate 150kg/ha
Crested Wheat Grass 20
Perennial Ryegrass 15
Slender Wheat Grass 10
Tall Wheat Grass 10
Hard Fescue 10
Creeping Red Fescue 10
Annual Ryegrass 15
Seed mix to be certified #1 Grade.

Notes

- The illustrated landscape plan is conceptual only, not for construction.
- All plants, material and planting practices to conform to the 'Canadian Landscape Standard' - Current Edition
- Contractor to provide a warranty and maintenance period of 1 year on all plants and materials. Plants and materials that fail before end of the warranty period shall be replaced by the contractor.
- All planting areas to receive 450mm of topsoil. All sod areas to receive 150mm depth of topsoil.
- Prior to delivery to site, a representative sample and test results of topsoil should be made available to the consultant for approval.
- Rock mulch to be 50-100mm dia. washed river rock at a depth of 150mm on landscape fabric.
- Plant material selections are conceptual only. Final planting selections may vary depending on availability. No plant species substitution will be accepted without the written consent of the consultant.
- All planting beds to receive 75 mm depth of Ogo - Grow mulch or approved equivalent.
- Prior to any construction, contractor to verify the location of all existing utilities on the site.
- Install Deep Root Tree Root Barrier UB 18-2 along sidewalk edges within 2.0m of tree trunks.
- Planting beds not contained within existing hard edges to be edged with Permaloc Proline aluminum landscape edger as per manufacturers specifications.
- Boulevard street trees planted as per City of Kelowna Landscape Standard detail for boulevard tree planting
- All planting beds and lawn areas to be irrigated.



Conceptual Landscape Plan
INDUSTRIAL SITE

SCHEDULE C
This forms part of application
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City of Kelowna
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