

Development Permit & Development Variance Permit DP21-0178 / DVP21-0212



This permit relates to land in the City of Kelowna municipally known as

145-147 Highway 33 West

and legally known as

Lot 3 Block A Section 23 Township 26 ODYD Plan 4740

and permits the land to be used for the following development:

Restaurant and Dwelling Units (MXR – Mixed Use (Residential / Commercial))

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council Decision October 5th, 2021

Decision By: COUNCIL

Existing Zone: MXR – Mixed Use (Residential / Commercial)

Future Land Use Designation: C4 – Urban Centre Commercial

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Koutsantonis Enterprises Ltd., Inc. No. 358948

Applicant: Chris Koutsantonis

Planner: Graham Allison

Terry Barton
Development Planning Department Manager
Planning & Development Services

Date

ATTACHMENT A

This forms part of application

DP21-0178 / DVP21-0212

Planner
Initials

GA



1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) That variances to the following section of the Zoning Bylaw No. 8000 be granted in accordance with Schedule "A":

Table 8.3.2: Section 8 - Parking and Loading, Required Off-Street Parking Requirements - Commercial

To vary the required parking spaces from eight (8) required to four (4) proposed.

This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.

3. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**

ARCHITECTURAL DRAWING LIST	
A00-00	COVERSHEET
A00-01	CODE ANALYSIS / GENERAL NOTES
A01-01	SITE PLAN
A01-02	LEVEL 1 FLOOR PLAN
A01-02a	LEVEL 1 FLOOR PLAN - EQUIPMENT LIST
A01-03	LEVEL 2 FLOOR PLAN
A01-04	LEVEL 3 FLOOR PLAN
A01-05	LEVEL 1- REFLECTED CEILING PLAN
A01-06	LEVEL 2- REFLECTED CEILING PLAN
A01-07	LEVEL 3- REFLECTED CEILING PLAN
A02-01	BUILDING ELEVATIONS
A02-02	BUILDING ELEVATIONS
A02-03	BUILDING ELEVATIONS
A02-04	3D PERSPECTIVE
A02-05	BUILDING SECTIONS
A03-01	SCHEDULES



MBC GROUP
OLYMPIA TAVERNA

KELOWNA B.C.
PROJECT NUMBER: ENG 20850
RE-ISSUED FOR DEVELOPMENT PERMIT
DATE: 09-09-2021

COORDINATING PROFESSIONALS & STRUCTURAL



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ARCHITECTURAL



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CONTRACTOR



RGH Construction

MECHANICAL & ELECTRICAL



ENGINECTRA License Engineers
4030 8 st SE, Calgary AB T2G 3A7
Cell: 403-754-4350
Web: ENGINECTRA.COM

CODE ANALYSIS / GENERAL NOTES :

BC BUILDING CODE (2018) ANALYSIS-PART 3
1. DIV A 1.1.1.1 AND 1.3.3.2. APPLICATION OF PART 3 (4,5 AND 6)
1.3.3.2 (1) PARTS 3.4.5 AND 6 SHALL APPLY TO ALL BUILDINGS A,B, OR F1 MAJOR OCCUPANCIES AND ALL BUILDINGS WHICH EXCEED 600 SQ M (6458 SF), OR 3 STORIES.
- BUILDING AREA: 4533.5 SF/ 421 SQ M, 3 STORIES-TOTAL
2 STORIES- GROUP A2, AND 2 STORIES- GROUP C.

2. 3.1.2.1 MAJOR OCCUPANCY CLASSIFICATIONS (per 3.1.17)
CLASSIFICATION AND USE-
FLOOR AREAS AND OCCUPANT LOADS
GROUP A2- MAIN FL.-4012 SF (372.73 SQ M)
PUBLIC AREA OF RESTAURANT/ FRONT OF HOUSE = 2097 SF/194.8 SQ M
PROPOSED 89 SEATS
BACK OF HOUSE = 1915 – 129(MECH RM)= 1786 SF/165.9 SQ M
165/9/9.3= 18 persons
FIRST FLOOR TOTAL OCCUPANCY = 107 PERSONS

2ND FL AREA = 4533.5 SF (421 SQ M)

GROUP A2- 2ND FL -PUBLIC AREA/FRONT OF HOUSE= 1779.5 SF/167 SQ M
BACK OF HOUSE = 231 SF/ 21.5 SQ M (21.5/9.3= 3 persons)
PROPOSED 26 SEATS (INSIDE), PLUS 30-ROOFTOP TERRACE= 56 PERSONS

GROUP C- TOTAL 2ND FL = 2040.5 SF(THREE 2 BR UNITS, PLUS CIRCULATION)
UNIT #1- 587.3 SF/ 54.5 SQ M = 2 OCCUPANTS
UNIT #2- 576.3 SF/53.5 SQ M= 2 OCCUPANTS
UNIT #3- 590.3 SF/54.8 SQ M = 2 OCCUPANTS

TOTAL OCCUPANTS-2ND FL = 62 PERSONS

GROUP C- 3RD FL = 1753.9 SF/ 162.9 SQ M
UNIT #1- 587.3 SF/ 54.5 SQ M = 2 OCCUPANTS
UNIT #2- 576.3 SF/53.5 SQ M= 2 OCCUPANTS
UNIT #3- 590.3 SF/54.8 SQ M = 2 OCCUPANTS

TOTAL OCCUPANTS-3RD FL = 6 PERSONS

NOTE: ALL SQUARE FOOTAGES OF CLASSIFICATIONS ARE ESTIMATED ONLY AND MUST BE DETERMINED/ CONFIRMED FOR TENANT IMPROVEMENT PERMITS.

3. 3.1.3 MULTIPLE OCCUPANCY REQUIREMENTS
3.1.3.1(1) SEPARATION BETWEEN C (RESIDENTIAL) AND ANY A2 (ASSEMBLY) = 1 hr, 1 HR. floor assembly provided between tenants.
3.2.6 ANY BUILDING THAT CONTAINS MORE THAN ONE MAJOR OCCUPANCY SHALL BE DESIGNED TO THE MORE RESTRICTIVE OF THE MAJOR OCCUPANCIES IN 3.2.2
4. 3.1.17 OCCUPANT LOAD
AS PER 3.1.17.1- OCCUPANT LOAD TABLE
Main fl= 107 PERSONS-Group A2
2nd fl = 6 PERSONS- Group C, 56 persons- Group A2.
3rd fl = 6 persons-Group C
TOTAL OCCUPANT LOAD = 175 PERSONS(See Section 2 Above)
5. 3.2.2 BUILDING SIZE AND CONSTRUCTION RELATIVE TO OCCUPANCY CODE ANALYSIS- OLYMPIA TAVERN-052721
FOUR ELEMENTS FOR DETERMINING 3.2.2 REQUIREMENTS
A. BUILDING TO BE FULLY SPRINKLER AS PER 3.2.18
3.2.4.9 SPRINKLER SYSTEM TO BE ELECTRONICALLY SUPERVISED
B. COMBUSTIBLE CONSTRUCTION
- TO ALLOW FOR COMBUSTIBLE PARTITIONS AND FRAMING
C. NO. OF STORIES
D. BUILDING AREA 421 SQ M
6 3.2.2 BUILDING CLASSIFICATION
MAJOR CLASSIFICATION:
3.2.2.24. Group A, Division 2, up to 6 Storeys, Any Area, Sprinklered
1. A building classified as Group A, Division 2, that is not limited by building area, is permitted to conform to Sentence (2), provided a) except as permitted by Sentences 3.2.2.7.(1) and 3.2.2.18.(2), the building is sprinklered throughout, and b) it is not more than 6 storeys in building height.
2) Except as permitted by Article 3.2.2.16., the building referred to in Sentence (1) shall be of noncombustible construction, and a) floor assemblies shall be fire separations with a fire-resistance rating not less than 1 h, b) mezzanines shall have a fire-resistance rating not less than 1 h, and c) loadbearing walls, columns and arches shall have a fire-resistance rating not less than that required for the Supported assembly.
MINOR CLASSIFICATION:
3.2.2.54. Group C, up to 3 Storeys, Sprinklered
2. A building classified as Group C is permitted to conform to Sentence (2) provided a) except as permitted by Sentences 3.2.2.7.(1) and 3.2.2.18.(2), the building is sprinklered throughout, b) it is not more than 3 storeys in building height, and c) it has a building area not more than • 5 400 m2 if 1 storey in building height, • 2 700 m2 if 2 storeys in building height, or • 1 800 m2 if 3 storeys in building height.
2) The building referred to in Sentence (1) is permitted to be of combustible construction or noncombustible construction used singly or in combination, and 3) except as permitted by Sentences (3) and (4), floor assemblies shall be fire separations with a fire-resistance rating not less than 45 min, 4) mezzanines shall have, if of combustible construction, a fire-resistance rating not less than 45 min, and 5) loadbearing walls, columns and arches shall have a fire-resistance rating not less than that required for the supported assembly.
3) In a building that contains dwelling units that have more than one storey, subject to the requirements of Sentence 3.3.4.2.(3), the floor assemblies, including floors over basements, which are entirely contained within these dwelling units, shall have a fire-resistance rating not less than 45 min but need not be constructed as fire separations. 4) In a building in which there is no dwelling unit above another dwelling unit, the fire-resistance rating for floor rely within the dwelling unit is waived.

TABLE 3.2.3.10-ALLOWABLE UNPROTECTED OPENINGS-SPRINKLERED GROUPS A,C						
ELEV	AREA	LIMITIN G DIST	PERMITTE D OPENINGS	PROPOSE D OPENINGS	RATING REQ	CLADDIN G REQ
NORTH-FRONT	821.5SF/ 86.5 SQ M	7M	100%	265 SF/ 28.4%	N/A	N/A
NORTH AT TERRACE-ATRIUM	2305SF/214 SQ M	11.4M	100%	760 SF/ 39.9%	N/A	N/A
NORTH-RESID- REAR	4603SF/42.7 SQ M	23.7M	100%	633SF/ 13.7%	N/A	N/A
SOUTH @ RESID	6055SF/84 SQ M	14.5M	100%	338.4 SF/ 37.4%	N/A	N/A
SOUTH-REAR	5005SF/46.4 SQ M	10.9M	100%	162 SF/ 20.4%	N/A	N/A
WEST	1840SF/170.9 SQ M	0.50M	0%	0	1 HR	NON-COMB
WEST @ ATRIUM	2205SF/20.4 SQ M	3.3M	100%	150 SF/ N/A- 2 HR RATED GLASSCORR Y PARAPET BEYOND	N/A	N/A
EAST	1840SF/170.9 SQ M	0.15M	0%	0	1 HR	NON-COMB

7. 3.2.3 SPATIAL SEPARATION
3.2.3.2 (2) IF A BUILDING IS DIVIDED BY FIRE SEPARATIONS INTO FIRE COMPARTMENTS, THE AREA OF EXPOSED BUILDING FACE IS PERMITTED TO BE CALCULATED FOR EACH COMPARTMENT PROVIDED THE FIRE SEPARATIONS HAVE A FIRE RESISTANCE RATING NOT LESS THAN 45 MINS.

3.2.3.10 (2) THE EXPOSING BUILDING FACE OF A STOREY FACING A STREET AND WITH A LIMITING DISTANCE > 9M MAY HAVE UNLIMITED UNPROTECTED OPENINGS
NOTE: ALL SQUARE FOOTAGES OF CLASSIFICATIONS ARE ESTIMATED ONLY AND MUST BE DETERMINED/ CONFIRMED FOR TENANT IMPROVEMENT PERMITS.

8. 3.2.4 FIRE ALARM AND DETECTION SYSTEMS
3.2.4.1(1) A FIRE ALARM SYSTEM SHALL BE INSTALLED IN A BUILDING IN WHICH AN AUTOMATIC SPRINKLER SYSTEM IS INSTALLED.
FIRE ALARM SYSTEM TO FULLY CONFORM TO REQUIREMENTS OF 3.2.4
SEE ELECTRICAL DRAWINGS FOR DETAILS.

9. 3.2.5 PROVISION FOR FIRE FIGHTING
3.2.5.5 (1) ACCESS ROUTE TO BE LOCATED TO BE NOT LESS THAN 3M AND NOT MORE THAN 15M FROM PRINCIPLE ENTRANCE

3.2.5.6 ACCESS ROUTE DESIGN
A. CLEAR WIDTH 6M
B. CENTERLINE RADIUS 12M
C. OVERHEAD CLEARANCE NOT LESS THAN 5M
D. CHANGE IN GRADE NOT MORE THAN 1 IN 12.5
E. DESIGN TO SUPPORT FIRE VEHICLE LOADING
F. TURNAROUND FACILITY AFTER 90M (DEAD END)
G. BE CONNECTED WITH A PUBLIC THOROUGH FARE

3.2.5.8 (1) NO STANDPIPE SYSTEM REQUIRED- BUILDING IS SPRINKLERED

3.2.5.16 (2) PATH OF TRAVEL FOR FIREFIGHTING < 45M FROM FIRE DEPARTMENT CONNECTION TO HYDRANT

3.2.5.17 PORTABLE EXTINGUISHERS SHALL BE PROVIDED AND INSTALLED IN ACCORDANCE WITH BC FIRE CODE

10. 3.2.7 LIGHTING AND EMERGENCY POWER SYSTEMS
3.2.7 EMERGENCY LIGHTING REQUIRED AND SHALL CONFORM TO ALL APPLICABLE SECTIONS OF 3.2.7. DETAILS ON ELECTRICAL DRAWINGS

3.2.7.1 (1) MINIMUM LIGHTING LEVEL IN ALL EXITS, ACCESS TO EXITS SHALL BE 50 LUX AT FLOOR OR TREAD HEIGHT

3.2.7.3 (1) EMERGENCY LIGHTING OF NOT LESS THAN 10 LUX AT FLOOR OR TREAD HEIGHT SHALL BE PROVIDED IN ALL EXITS, ACCESS TO EXITS, PRINCIPAL ROUTES, PROVIDING ACCESS TO EXITS IN OPEN FLOOR AREAS, AND IN SERVICE ROOMS.

3.2.7.4 (1) MINIMUM BATTERY LIFE OF EMERGENCY POWER SUPPLY - 1/2 HOUR.

11. 3.2.8. MEZZANINES AND OPENINGS THROUGH FLOOR ASSEMBLIES
3.2.8.2.6 INTERCONNECTED ATRIUM FLOOR SPACES TO CONFORM TO THE REQUIREMENTS OF 3.2.8.3 TO 3.2.8.9
3.2.8.6 Draft Stops A draft stop shall be provided at each floor level within an interconnected floor space, immediately adjacent to and surrounding the opening, and shall be not less than 500 mm deep measured from ceiling level down to the underside of the draft stop.

12. 3.3 SAFETY WITHIN FLOOR AREAS
3.3.1.1 (1) EACH SUITE IN OTHER THAN BUSINESS AND PERSONAL SERVICES SHALL BE SEPARATED FROM ADJOINING SUITES BY A FIRE SEPARATION RATED FOR 45 MINS PROVIDED THE FLOORS ABOVE AND BELOW THE FLOOR AREA ARE REQUIRED TO BE RATED FOR LESS THAN 1 HOUR
3.3.1.1 1) Separation of Suites
Except as permitted by Sentences (2) to (4), a suite shall be separated from adjoining suites by a fire separation having a fire-resistance rating not less than 1 h. (See also Subsection 3.3.3. for care, treatment or detention occupancies, Article 3.3.4.2. for residential occupancies, and Article 3.1.8.7. for fire dampers.)
2.) The fire-resistance rating of the fire separation required by Sentence (1) is permitted to be less than 1 h but not less than 45 min provided the fire-resistance rating required by Subsection 3.2.2. is permitted to be less than 1 h for a. the floor assembly above the floor area, or b. the floor assembly below the floor area, if there is no floor assembly above.
3.)Occupancies that are served by public corridors conforming to Clause 3.3.1.4.(4) (b) in a building that is sprinklered throughout, are not required to be separated from one another by fire separations provided the occupancies are a. suites of business and personal services occupancy, b. fast food vending operations that do not provide seating for customers, c. suites of mercantile occupancy, or d. any combination of these occupancies.
4) No fire separation is required between suites of business and personal services occupancy.

3.3.1.5(1) TWO EGRESS DOORS REQUIRED FROM ROOM OR SUITE IF:
A. CLASSIFIED AS F1 AND OVER 15 SQ M
B. INTENDED FOR OCCUPANT LOAD OVER 60
C. SPRINKLERED AND TRAVEL DIST. OVER 15M.

3.3.1.9 MINIMUM WIDTH OF PUBLIC CORRIDOR IS 1100 MM
3.3.1.11 ALL EXIT DOORS TO SWING ON A VERTICAL AXIS IN THE DIRECTION OF TRAVEL

3.3.1.13(1) ALL EXIT AND ACCESS TO EXIT DOORS TO HAVE MINIMUM CLEAR WIDTH OF 900MM, AND SHALL BE OPENABLE IN TRAVELING TO AN EXIT WITHOUT KEYS, AND NOT OPEN ONTO A STEP.

3.3.1.14(1) RAMP AND STAIRS TO CONFORM TO SECTION 3.4 FOR EXITS

3.3.1.18(1) A GUARD NOT LESS THAN 1070MM SHALL BE PROVIDED AT THE EDGE OF EVERY RAISED FLOOR OR MEZZANINE WITH FLOOR ELEVATION DIFFERENCE OF MORE THAN 600MM
HYPERLINK "https://3.3.1.18" 3.3.1.18. Guards
1. Except as provided in Sentence (5) and Article 3.3.2.9., a guard not less than 1 070 mm high shall be provided
A. around any roof to which access is provided for purposes other than maintenance,
B. at openings into smoke shafts referred to in Subsection 3.2.6. that are less than 1 070 mm above the floor, and
C. at each raised floor, mezzanine, balcony, gallery, interior or exterior vehicular ramp, and at other locations where (see Note A-9.8.8.1.)

the difference in elevation is more than 600 mm between the walking surface and the adjacent surface, or
the adjacent surface within 1.2 m of the walking surface has a slope of more than 1 in 2
2. Except as provided in Sentences (3) and 3.3.2.9.(4) and Articles 3.3.4.7. and HYPERLINK "https://3.3.5.10" 3.3.5.10., openings through guards shall be of a size that prevents the passage of a spherical object whose diameter is more than 100 mm.

1. Openings through guards other than those required by Sentence (1) that serve occupancies other than
ind strial occupancies shall be of a size that a. prevents the passage of a spherical object whose diameter is 100 mm, or b. permits the passage of a spherical object whose diameter is 200 mm. (See Note A-9.8.8.5.(3).)
4) Except for guards conforming to Article HYPERLINK "https://3.3.5.10" 3.3.5.10., guards that protect a level located more than one storey or a. m above the adjacent level shall be designed so that no member, attachment or opening located between 140 mm and 900 mm above the level protected by the guard facilitates climbing. (See Note A-9.8.8.6.(1).)
Sentence (1) does not apply
to the front edges of stages,
to loading docks, or
c) where access is provided for maintenance purposes only.

3.3.1.21(3) IN SPRINKLERED FLOOR AREAS, AN UNRATED FIRE SEPARATION IS REQUIRED AROUND ALL JANITORS ROOMS. RATING WAIVED IF IN SPRINKLERED SPACE OR ROOM.

13. 3.4. REQUIREMENTS FOR EXITS
3.4.1 GENERAL REQUIREMENTS
3.4.1.2 (1) IF MORE THAN ONE EXIT IS REQUIRED, EACH EXIT SHALL BE SEPARATED FROM EVERY OTHER EXIT LEADING FROM THAT FLOOR AREA

3.4.1.2(2) WHERE MORE THAN 2 EXITS ARE REQUIRED, EXITS ARE PERMITTED TO CONVERGE, PROVIDED THE CUMULATIVE CAPACITY DOES NOT EXCEED 50% OF TOTAL REQUIRED.)

3.4.1.9 NO MIRRORS SHALL BE PLACED IN OR ADJACENT TO EXITS

3.4.2 NUMBER AND LOCATION OF EXITS
3.4.2.1 MINIMUM OF 2 EXITS REQUIRED FOR EACH FLOOR AREA WITH A TRAVEL DISTANCE GREATER THAN 25M AND A FLOOR AREA GREATER THAN 200 SQ M FOR GROUP A2 AND 150 SQ M FOR GROUP C.
2 STOREYS OF GROUP C PROVIDED IN THIS BUILDING.
FLOOR AREA OF GROUP C = 54 SQ M PER SUITE.

3.4.2.1 Minimum Number of Exits
a. Except as permitted by Sentences (2) to (4), every floor area intended for occupancy shall be served by at least 2 exits.
b. A floor area in a building not more than 2 storeys in building height, is permitted to be served by one exit provided the total occupant load served by the exit is not more than 60, and c. in a floor area that is not sprinklered throughout, the floor area and the travel distance are not more than the values in Table 3.4.2.1.-A, or d. in a floor area that is sprinklered throughout a. the travel distance is not more than 25 m, and ii) the floor area is not more than the value in Table 3.4.2.1.-B.

3.4.2.3(1) MINIMUM DISTANCE BETWEEN EXITS TO BE HALF THE MAXIMUM DIAGONAL DISTANCE OF THE FLOOR AREA, BUT NOT LESS THAN 9M

3.4.2.3(2) EXITS NEED NOT COMPLY WITH 3.4.2.3(1) WHERE THE FLOOR AREA IS DIVIDED SO THAT NOT LESS THAN ONE THIRD OF THE AREA IS ON EACH SIDE OF A FIRE SEPARATION OR IF IT IS NECESSARY TO PASS THROUGH THE FIRE SEPARATION FROM ONE EXIT TO ANOTHER.

3.4.2.5(1) MAXIMUM TRAVEL DISTANCE IS 45M FOR SPRINKLERED FLOOR AREA.

3.4.3 WIDTH AND HEIGHT OF EXITS
3.4.3.1(2) EXCEPT AS PER 3.4.3.2(4) EXIT WIDTH SHALL BE CUMULATIVE WHERE TWO OR MORE EXITS CONVERGE

3.4.3.2(1) EXIT CAPACITY SHALL BE DETERMINED BY MULTIPLYING THE OCCUPANT LOAD OF FLOOR AREA BY:
6.1MM FOR DOORS, CORRIDORS, PASSAGEWAYS, AND RAMPS WITH GRADE < 1 IN 8
8MM FOR STAIR WITH STEPS WHERE RISE NOT MORE THAN 180MM AND RUN NOT LESS THAN 280MM
9.2MM FOR STAIRS AND RAMPS WITH GRADE > 1 IN 8
3.4.3.2(6) EXCEPT FOR INTERCONNECTED FLOOR AREAS. THE REQUIRED EXIT WIDTH IS NOT REQUIRED TO BE CUMULATIVE IN AN EXIT SERVING 2 OR MORE FLOOR AREAS LOCATED ABOVE ONE ANOTHER

3.4.3.2(8) WIDTH AND HEIGHT OF EXITS
MINIMUM REQUIRED WIDTHS OF EXITS:
1100 MM FOR CORRIDORS AND PASSAGEWAYS
1100 MM RAMPS NOT SERVING MORE THAN 2 STOREYS)
1100 MM STAIRS SERVING MORE THAN 2 STOREYS ABOVE LOWEST EXIT
900MM STAIRS SERVING NOT MORE THAN 2 STOREYS ABOVE LOWEST EXIT
800 MM FOR DOORWAYS
3.4.3.3(1) NO CONSTRUCTION SHALL PROJECT INTO REQUIRED EXIT
3.4.3.3(2) SWINGING DOORS IN THEIR SWING SHALL NOT REDUCE THE WIDTH OF EXIT STAIRS OR LANDINGS TO LESS THAN 750MM OR REDUCE THE WIDTH OF AN EXIT PASSAGEWAY TO LESS THAN THE MINIMUM REQUIRED WIDTH
3.4.3.3(3) DOORS SHALL BE INSTALLED SUCH THAT, WHEN OPEN THEY DO NOT OBSTRUCT OR DIMINISH THE REQUIRED WIDTH OF THE EXIT
3.4.3.3(4) HANDRAILS AND CONSTRUCTION BELOW HANDRAILS ARE PERMITTED TO PROJECT INTO REQUIRED WIDTH OF MEANS OF EGRESS BY 100MM MAXIMUM
3.4.3.4 HEADROOM CLEARANCE FOR DOORS IS 2030MM, EXITS IS 2100MM

3.4.4 FIRE SEPARATION OF EXITS
3.4.4.1(1) REQUIRED FIRE SEPARATION FOR EXITS TO BE EQUAL TO THAT REQUIRED FOR THE FLOOR ASSEMBLY BUT NOT LESS THAN 45 MINS.
3.4.4.1(2) REQUIRED FIRE SEPARATION FOR EXITS NEED NOT EXCEED 2 HOURS
3.4.4.1(7)(8) SERVICE ROOMS AND ANCILLARY ROOMS SUCH AS STORAGE, WASHROOMS OR LAUNDRY ROOMS SHALL NOT OPEN DIRECTLY INTO AN EXIT

3.4.5 EXIT SIGNS
3.4.5.1(1) EVERY EXIT DOOR SHALL HAVE AN EXIT SIGN PLACED OVER OR ADJACENT TO IT IF THE EXIT SERVES A BUILDING MORE THAN 2 STOREYS OR HAS AN OCCUPANT LOAD MORE THAN 150
3.4.5 EXIT SIGN AND PLACEMENT WILL CONFORM TO THIS SECTION.

3.4.6 TYPES OF EXIT FACILITIES
3.4.6.1(1) A-RAMPS AND STAIRS SHALL HAVE A SLIP RESISTANT FINISH B- AND A COLOR CONTRAST OR PATTERN THAT IS READILY APPARENT FROM BOTH DIRECTIONS THAT DEMARCATES THE LEADING EDGE OF THE TREAD AND LEADING EDGE OF THE LANDING AS WELL AS THE BEGINNING AND END OF THE STAIR RUN OR RAMP.
3.4.6.2(1) EVERY FLIGHT OF INTERIOR STAIRS SHALL HAVE NOT LESS THAN 3 RISERS
3.4.6.3(1) NO FLIGHT OF STAIRS SHALL HAVE A VERTICAL RISE MORE THAN 3.7M
3.4.6.3(2) THE LENGTH AND WIDTH OF A LANDING SHALL BE AT LEAST AS WIDE AS THE STAIR, EXCEPT THAT IN A STRAIGHT RUN, NEED NOT BE MORE THAN 1100MM
3.4.6.4(1) A STAIRWAY SHALL HAVE ONE HANDRAIL, AND WHERE MORE THAN 1100MM WIDE, SHALL HAVE HANDRAILS ON BOTH SIDES
3.4.6.4(3) HANDRAILS SHALL BE CONTINUOUSLY GRASPABLE ALONG ENTIRE LENGTH
3.4.6.4(4) HANDRAILS SHALL BE BETWEEN 865 AND 965MM HIGH, MEASURED VERTICALLY FROM A LINE DRAWN THROUGH OUTSIDE EDGE OF TREAD
3.4.6.4(8) HANDRAILS SHALL BE NOT LESS THAN 50MM CLEAR OF A SMOOTH WALL AND 60MM CLEAR OF A TEXTURED WALL
3.4.6.4(9) HANDRAILS SHALL BE CAPABLE OF WITHSTANDING A LOAD OF NOT LESS THAN 0.9KN
3.4.6.4(10) A RAMP SHALL HAVE A HANDRAIL ON BOTH SIDES

14. 3.6. SERVICE FACILITIES
3.6.1.3 (1) NO SERVICE SPACES SHALL CONTAIN ANY STORAGE SPACES
3.6.2.1 ALL SERVICE ROOMS REQUIRE A FIRE SEPARATION OF 1 HOUR, UNLESS IT CONTAINS A LIMITED QUANTITY OF SERVICE EQUIPMENT THAT DOES NOT CONSTITUTE A FIRE HAZARD NOR IS ESSENTIAL TO THE OPERATION OF FIRE SAFETY SYSTEMS IN THE BUILDING

15. 3.7 HEALTH REQUIREMENTS
3.7.2.2 PLUMBING FACILITIES
3.7.2.2.A -FOR GROUP A2, TOTAL SEATS = 145, WATER CLOSETS REQ -2M, 3F
WATER CLOSETS PROVIDED –
• 1 UNIVERSAL TOILET ROOM-MAIN FL
• 1 MALE, 1 FEMALE-MAIN FL
• 2 UNISEX WASHROOMS-2ND FL
3.7.2.2.A TOTAL STAFF = 21 PERSONS
• 1 STAFF WC PROVIDED.
• FOR EACH RESIDENTIAL UNIT – 2 BATHROOMS PROVIDED.

16. 3.8. BARRIER-FREE REQUIREMENTS
3.8.2.3 BARRIER FREE WASHROOM PROVIDED
3.8.2.19(1) BARRIER FREE ACCESSIBILITY TO ALL NORMALLY OCCUPIED MAIN FLOOR AREAS.

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PERMIT STAMP

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No.	Description	Date
1	ISSUED FOR DEVELOPMENT PERMIT	05-10-2021
2	ISSUED FOR DEVELOPMENT PERMIT	06-20-2021
3	ISSUED FOR DEVELOPMENT PERMIT	07-05-2021
4	ISSUED FOR DEVELOPMENT PERMIT	08-18-2021
5	RE-ASSUED FOR DEVELOPMENT PERMIT	08-09-2021

PROJECT

OLYMPIA TAVERN

DRAWING TITLE

CODE ANALYSIS / GENERAL NOTES

DRAWING ISSUE

ISSUED FOR DEVELOPMENT PERMIT

Project number	ENG-20850
Date	09-09-2021
Drawn by	JJA
Checked by	MOG

A00-01

Scale

STRATA PLAN KAS2126

LEGAL DESCRIPTION : LOT 3, BLOCK A, PLAN 4740
CIVIC ADDRESS: 145 HIGHWAY 33 W
CURRENT ZONING: C4
PURPOSE AND VARIANCE:
REQUESTING PARKING VARIANCE FOR THIS SITE, AND TO CONSTRUCT A MIXED USE BUILDING. 4 SPACES PROVIDED ON SITE. SPACE CONSTRAINTS. REQUIRE - 1 SPACE PER 2 BEDRM UNIT = 3 REQUIRE, 2.5 SPACES PER 1 SQM OF RESTURANT = 5 REQUIRE. TOTAL REQUIRED IS 8 SPACES.

CODE ANALYSIS- OLYMPIA TAVERN- 052721

BC BUILDING CODE (2018) ANALYSIS-PART 3

1.3.3.2 (1) PARTS 3,4,5 AND 6 SHALL APPLY TO ALL BUILDINGS A,B, OR F1 MAJOR OCCUPANCIES AND ALL BUILDINGS WHICH EXCEED 600 SQ M (6458 SF), OR 3 STORIES.

**BUILDING AREA: 4533.5 SF/ 421 SQ M, 3 STORIES-TOTAL
2 STORIES- GROUP A2, AND 2 STORIES- GROUP C.**
2. 3.1.2.1 MAJOR OCCUPANCY CLASSIFICATIONS (per 3.1.1.)

CLASSIFICATION AND USE-
FLOOR AREAS AND OCCUPANT LOADS
GROUP A2- MAIN FL.-4012 SF (372.73 SQ M)
PUBLIC AREA OF RESTAURANT/ FRONT OF HOUSE = 2097 SF/194.8 SQ M
PROPOSED 89 SEATS
BACK OF HOUSE = 1915 – 129(MECH RM)= 1786 SF/165.9 SQ M
165.9/9.3= 18 persons

FIRST FLOOR TOTAL OCCUPANCY = 107 PERSONS
2ND FL AREA = 4533.5 SF (421 SQ M)
GROUP A2- 2ND FL- PUBLIC AREA/FRONT OF HOUSE= 1779.5 SF/167 SQ M
BACK OF HOUSE = 231 SF/ 21.5 SQ M (21.5/9.3 = 3 persons)
PROPOSED 26 SEATS (INSIDE), PLUS 30-ROOFTOP TERRACE= 56 PERSONS

GROUP C- TOTAL 2ND FL = 2040.5 SF(THREE 2 BR UNITS, PLUS CIRCULATION)
UNIT #1- 587.3 SF/ 54.5 SQ M = 2 OCCUPANTS
UNIT #2- 576.3 SF/53.5 SQ M = 2 OCCUPANTS
UNIT #3- 590.3 SF/54.8 SQ M = 2 OCCUPANTS
TOTAL OCCUPANTS-2ND FL = 62 PERSONS

GROUP C- 3RD FL = 1753.9 SF/ 162.9 SQ M
UNIT #1- 587.3 SF/ 54.5 SQ M = 2 OCCUPANTS
UNIT #2- 576.3 SF/53.5 SQ M = 2 OCCUPANTS
UNIT #3- 590.3 SF/54.8 SQ M = 2 OCCUPANTS
TOTAL OCCUPANTS-3RD FL = 6 PERSONS

NOTE: ALL SQUARE FOOTAGES OF CLASSIFICATIONS ARE ESTIMATED ONLY AND MUST BE DETERMINED/ CONFIRMED FOR TENANT IMPROVEMENT PERMITS.

COORDINATING PROFESSIONALS

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ADJUSTMENT.

[illegible]

PROJECT	
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OLYMPIA TAVERN

DRAWING TITLE

SITE PLAN

DRAWING ISSUE

ISSUED FOR DEVELOPMENT PERMIT

Project number	ENG-20850
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Date	09-09-2021
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Drawn by	JJA
Checked by	MOC

Checked by	MOG
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A01-01

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2021-09-10 2:08:56 PM

① SITEPLAN
1/8" = 1'-0"

SCHEDULE A

A

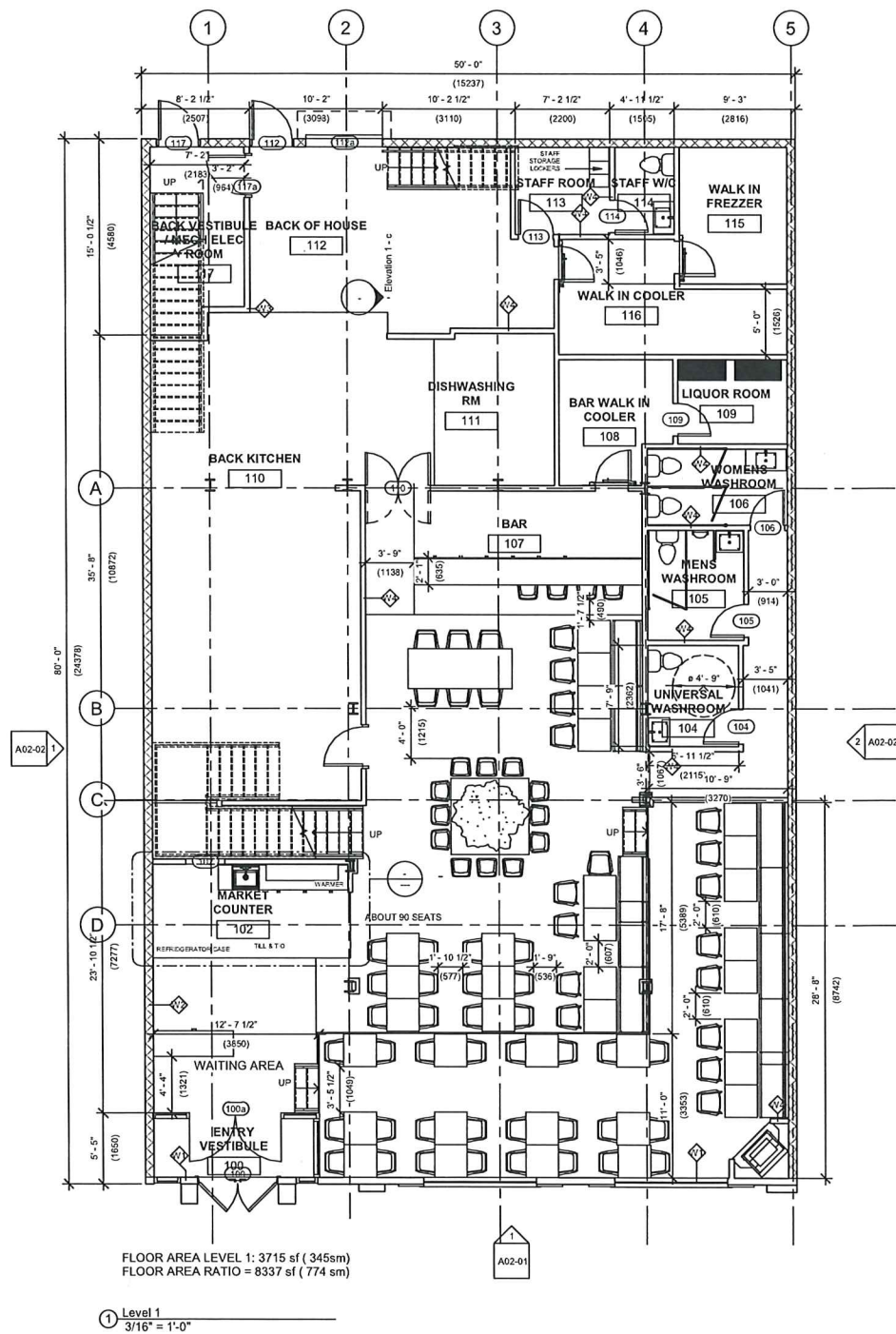
This forms part of application

DP21-0178 / DVP21-0212

Planner Initials GA

GA

City of Kelowna
DEVELOPMENT PLANNING



WALL TYPE SCHEDULE	
Type Mark	Description
W1	
W2	2HR RATED MASONRY EXTERIOR WALL •Exterior Paint finish on •8" masonry wall •Fill cmu units with asbestos free vermiculite for sound and fire rating •6 mil poly vapor barrier •1/2" gypsum board interior finish on 7/8" hat channels
W3	1 HR DEMISING WALL OR STAIRWELL WALL-12.7 mm (1/2") SHEETROCK FIRECODE C Core Gypsum Panels both sides-1 layer •92 mm (3-5/8") 0.5 mm (25 gauge) steel studs 610 mm (24") o.c. •75 mm batt insulation (3") SAFB •Resilient channel one side spaced 610 mm (24") o.c. •optional veneer plaster •UL Des U419 or U451
W4	TYPICAL NON-RATED INTERIOR WALL 1/2" regular gypsum board 3 5/8" steel studs, spaced per structural 1/2" regular gypsum board Interior finish as scheduled on each side

FLOOR/CEILING TYPE SCHEDULE	
Type Mark	Description
F1	•Scheduled floor finish on •6" conc. Slab on grade on •6 mil poly vapor barrier on •Compacted gravel base
F2	1 HR RATED COMPOSITE FLOOR •15.9 mm (5/8") or 19.1 mm (3/4") FR-83 or •19.1 mm (3/4") FR-X1 acoustical ceiling panels •DXL, DXLA, DXLZ, DXLZA, SDXL, SDXL Aor ZXLASuspExpGridSyst •light fixture and speakers optional •50 mm (2") concrete on riblath over bar joists •ULDesG201

COORDINATING PROFESSIONALS



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No.	Description	Date
1	ISSUED FOR REVIEW	16-10-2021
2	ISSUED FOR DEVELOPMENT PERMIT	07-05-2021
3	ISSUED FOR DEVELOPMENT PERMIT	07-05-2021
4	ISSUED FOR DEVELOPMENT PERMIT	06-10-2021
5	ISSUED FOR DEVELOPMENT PERMIT	06-10-2021

PROJECT

OLYMPIA TAVERN

DRAWING TITLE

LEVEL 1 FLOOR PLAN

DRAWING ISSUE

ISSUED FOR DEVELOPMENT PERMIT

Project number ENG-20850

Date 09-09-2021

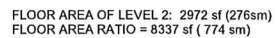
Drawn by JJA

Checked by MOG

A01-02

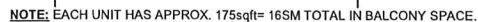
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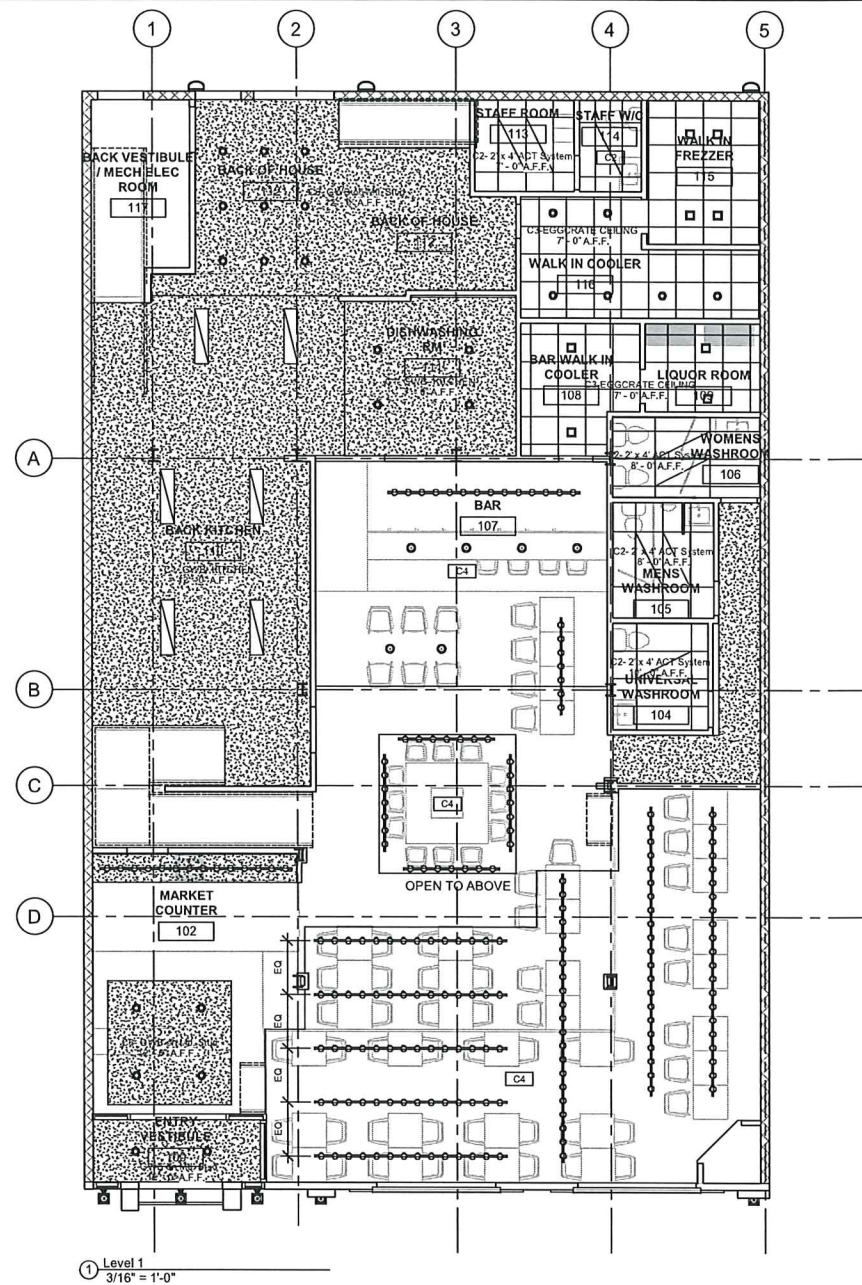


FLOOR/ CEILING TYPE SCHEDULE	
Type Mark	Description
F1	<ul style="list-style-type: none"> Scheduled floor finish on 6" conc. Slab on grade on 6 mil poly vapor barrier on Compacted gravel base
F2	1 HR RATED COMPOSITE FLOOR • 15.9 mm (5/8") or 19.1 mm (3/4") FR-83 or • 19.1 mm (3/4") FR-X1 acoustical ceiling panels <ul style="list-style-type: none"> •DLX, DXLA, DXLZ, D1XL, S, SDXL, SDXLAc, ZXLASusg, GrgGrdSyst •light fixture and speakers optional •50 mm (2") concrete on riblath over bar joists •ULDesG201

Scale	$3/16" = 1'-0"$
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2021-09-10 2:09:04 PM



CEILING SCHEDULE	
TYPE MARK	CEILING DESCRIPTION
C1	GYPSUM BOARD W/ POPCORN FINISH PLASTER ALL AREAS FOR CEILING RESIDENTIAL
C2	GWB BOARD CEILING AT KITCHEN AND COOKING AREA TO BE CLEANABLE AND MOISTURE RESISTANT
C3	ACOUSTIC CEILING TILE - 2'x4' GRID, SUSPENDED CEILING GRID c/w CROSS T'S
C4	COOLER AND FREEZER CEILING - PROVIDED BY OTHERS
C5	OPEN CEILING TO UNDERSIDE OF STRUCTURE
C6	GYPSUM BOARD W/ POPCORN FINISH PLASTER ALL AREAS FOR CEILING RESIDENTIAL

LIGHT LEGEND		
NUMBER	PLAN VIEW	DESCRIPTION
E1		SURFACE MOUNTED RESIDENTIAL STYLE DOME LIGHT
E2		WALL MOUNTED ABOVE MIRROR LIGHT IN WASHROOM
E3		POT LIGHT LINKED
E4		UTILITY LIGHT
E5		TRACK LIGHTS
E6		1x4 FLUORESCENT LIGHT
E7		2x4 FLUORESCENT CEILING MOUNTED WASHROOM LIGHT
E8		EXTERIOR WALL SCONCE AT ROOF TERRACE
E9		CEILING MOUNTED LIGHT AT STAIRS
E10		PENDANT LIGHT AT TABLES
E11		PENDANT LIGHT AT BAR
E12		PENDANT LIGHTS SUSPENDED FROM ATRIUM ROOF

NOTE:
OWNER TO SELECT LIGHT FIXTURES. SEE ELECTRICAL PLANS FOR POWER REQUIREMENTS

COORDINATING PROFESSIONALS

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ADJUSTMENT.

No.	Description	Date
1	ISSUED FOR DEVELOPMENT PERMIT	06-15-2021
2	FE-6 ISSUED FOR DEVELOPMENT PERMIT	09-03-2021

PROJECT

OLYMPIA TAVERN

DRAWING TITLE

LEVEL 1- REFLECTED CEILING PLAN

DRAWING ISSUE

Project number

ENG-20850

Date

09-09-2021

Drawn by

JJA

Checked by

MOG

A01-05

Scale

As indicated

2021-09-10 2:08:05 PM



LIGHT LEGEND		
NUMBER	PLAN VIEW	DESCRIPTION
E1		SURFACE MOUNTED RESIDENTIAL STYLE DOME LIGHT
E2		WALL MOUNTED ABOVE MIRROR LIGHT IN WASHROOM
E3		POT LIGHT LINKED
E4		UTILITY LIGHT
E5		TRACK LIGHTS
E6		1x4 FLUORESCENT LIGHT
E7		2x4 FLUORESCENT CEILING MOUNTED WASHROOM LIGHT
E8		EXTERIOR WALL SCONCE AT ROOF TERRACE
E9		CEILING MOUNTED LIGHT AT STAIRS
E10		PENDANT LIGHT AT TABLES
E11		PENDANT LIGHT AT BAR
E12		PENDANT LIGHTS SUSPENDED FROM ATRIUM ROOF

NOTE:
OWNER TO SELECT LIGHT FIXTURES. SEE ELECTRICAL PLANS
FOR POWER REQUIREMENTS

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M O GEORGE.



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[illegible]

PROJECT

OLYMPIA TAVERN

DRAWING TITLE

LEVEL 2- REFLECTED CEILING PLAN

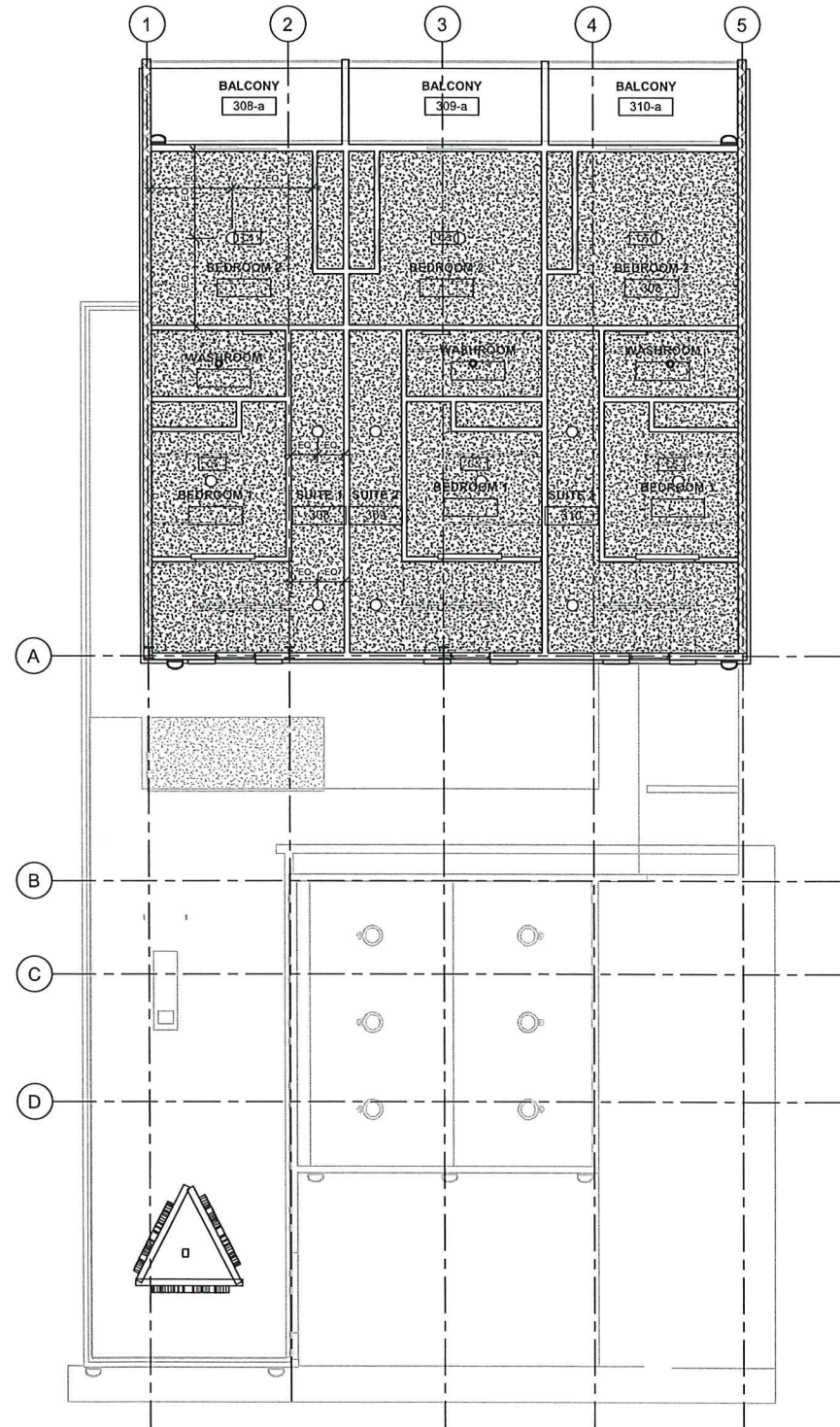
DRAWING ISSUE

Project number	ENG-20850
Date	09-09-2021
Drawn by	JJA
Checked by	MOG

A01-06

Scale	As indicated
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① Level 3
3/16" = 1'-0"

CEILING SCHEDULE	
TYPE MARK	CEILING DESCRIPTION
	GYPSUM BOARD W/ POPCORN FINISH PLASTER ALL AREAS FOR CEILING RESIDENTIAL
C1	GWBB BOARD CEILING AT KITCHEN AND COOKING AREA TO BE CLEANABLE AND MOISTURE RESISTANT
C2	ACOUSTIC CEILING TILE - 2'x4' GRID, SUSPENDED CEILING GRID c/w CROSS T'S
C3	COOLER AND FREEZER CEILING - PROVIDED BY OTHERS
C4	OPEN CEILING TO UNDERSIDE OF STRUCTURE
C5	GYPSUM BOARD W/ POPCORN FINISH PLASTER ALL AREAS FOR CEILING RESIDENTIAL

LIGHT LEGEND		
NUMBER	PLAN VIEW	DESCRIPTION
E1		SURFACE MOUNTED RESIDENTIAL STYLE DOME LIGHT
E2		WALL MOUNTED ABOVE MIRROR LIGHT IN WASHROOM
E3		POT LIGHT LINKED
E4		UTILITY LIGHT
E5		TRACK LIGHTS
E6		1x4 FLUORESCENT LIGHT
E7		2x4 FLUORESCENT CEILING MOUNTED WASHROOM LIGHT
E8		EXTERIOR WALL SCONCE AT ROOF TERRACE
E9		CEILING MOUNTED LIGHT AT STAIRS
E10		PENDANT LIGHT AT TABLES
E11		PENDANT LIGHT AT BAR
E12		PENDANT LIGHTS SUSPENDED FROM ATRIUM ROOF

NOTE:
OWNER TO SELECT LIGHT FIXTURES. SEE ELECTRICAL PLANS FOR POWER REQUIREMENTS

COORDINATING PROFESSIONALS



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No.	Description	Date
1	ISSUED FOR DEVELOPMENT PERMIT	06-15-2021
2	RE-ISSUED FOR DEVELOPMENT PERMIT	09-09-2021

PROJECT

OLYMPIA TAVERN

DRAWING TITLE
LEVEL 3- REFLECTED CEILING PLAN

DRAWING ISSUE

Project number	ENG-20850
Date	09-09-2021
Drawn by	JJA
Checked by	MOG

A01-07

Scale As indicated

2021-09-10 2:08:15 PM

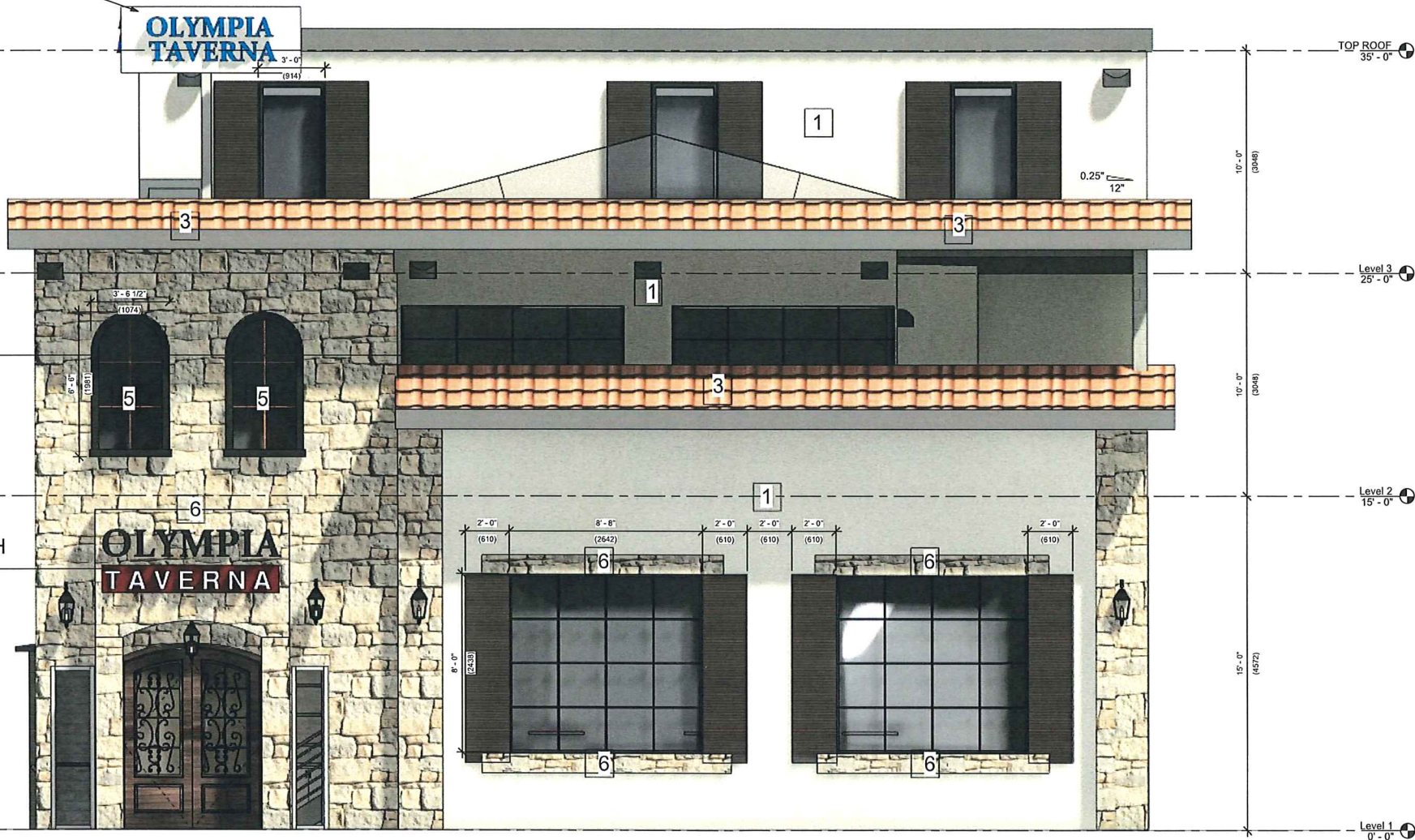
MATERIAL LEGEND:

1. LIGHT BEIGE STUCCO
2. BEIGE STUCCO
3. TERRACOTTA ROOF
4. CONCRETE BLOCK MASONRY
5. WOODEN ARCHITECTURAL WINDOW
6. STONE VENEER CLADDING

ROOF TOP DINNING

RESTURANT SIGNAGE WITH
BACK LIGHT

① South
3/8" = 1'-0"



SCHEDULE

B

This forms part of application

DP21-0178 / DVP21-0212

Planner
Initials

GA

City of
Kelowna
DEVELOPMENT PLANNING

COORDINATING PROFESSIONALS

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ADJUSTMENT.

No.	Description	Date
1	ISSUED FOR DEVELOPMENT PERMIT	06-10-2021
2	ISSUED FOR DEVELOPMENT PERMIT	06-23-2021
3	ISSUED FOR DEVELOPMENT PERMIT	07-15-2021
4	ISSUED FOR DEVELOPMENT PERMIT	08-18-2021
5	RE-ISSUED FOR DEVELOPMENT PERMIT	08-19-2021

PROJECT

OLYMPIA TAVERN

DRAWING TITLE

BUILDING ELEVATIONS

DRAWING ISSUE

ISSUED FOR DEVELOPMENT PERMIT

Project number ENG-20850
Date 09-09-2021
Drawn by JJA
Checked by MOG

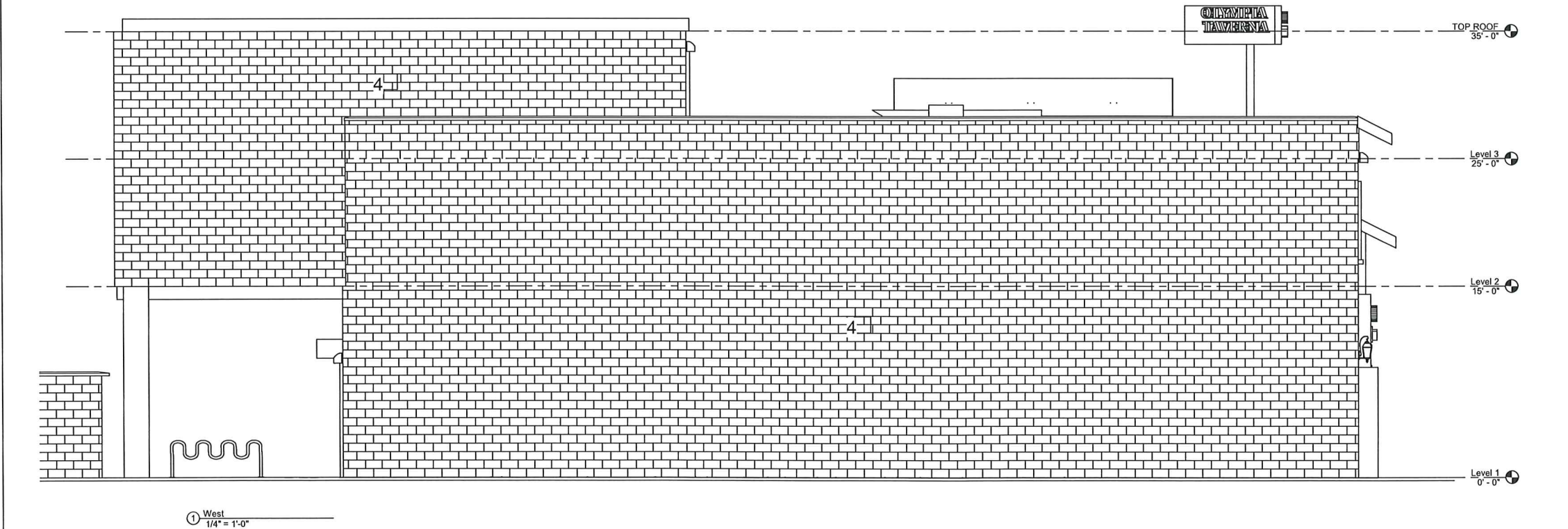
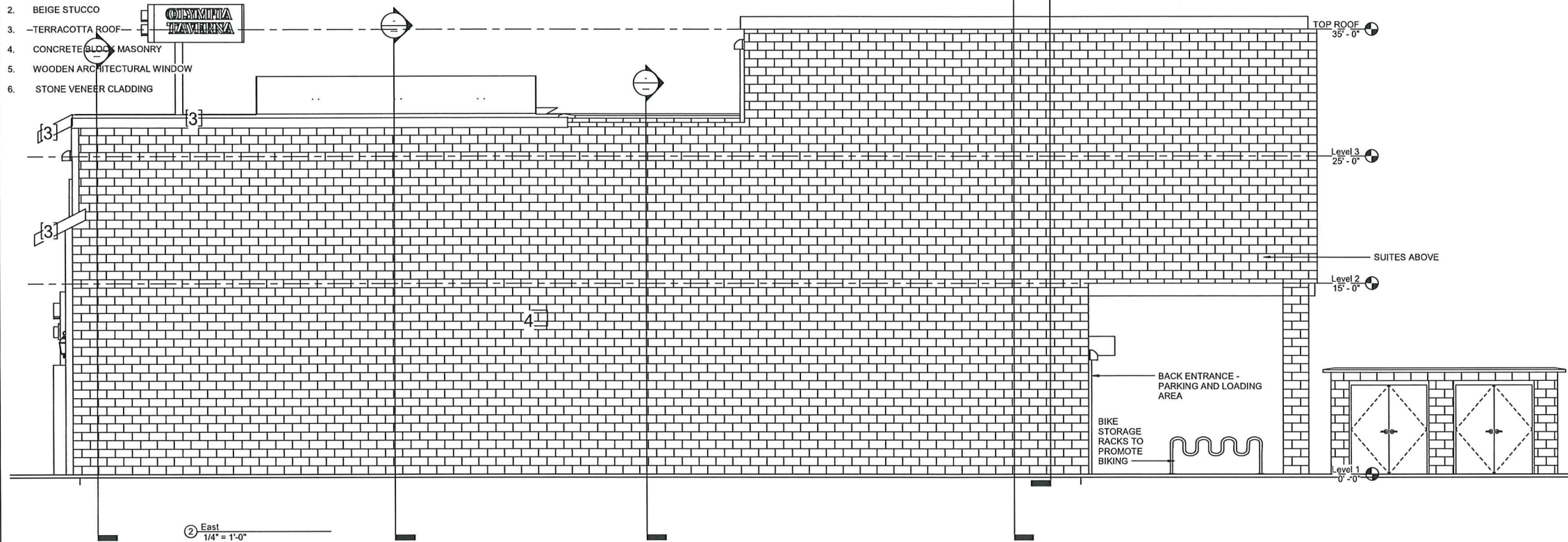
A02-01

Scale 3/8" = 1'-0"

2021-09-10 2:00:31 PM

MATERIAL LEGEND:

1. LIGHT GREY STUCCO
2. BEIGE STUCCO
3. TERRACOTTA ROOF
4. CONCRETE BLOCK MASONRY
5. WOODEN ARCHITECTURAL WINDOW
6. STONE VENEER CLADDING



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No.	Description	Date
1	ISSUED FOR DEVELOPMENT PERMIT	06-10-2021
2	ISSUED FOR DEVELOPMENT PERMIT	06-23-2021
3	ISSUED FOR DEVELOPMENT PERMIT	07-05-2021
4	ISSUED FOR DEVELOPMENT PERMIT	08-19-2021
5	ISSUED FOR DEVELOPMENT PERMIT	09-09-2021
6	ISSUED FOR DEVELOPMENT PERMIT	09-09-2021
7	ISSUED FOR DEVELOPMENT PERMIT	09-09-2021
8	ISSUED FOR DEVELOPMENT PERMIT	09-09-2021
9	ISSUED FOR DEVELOPMENT PERMIT	09-09-2021
10	ISSUED FOR DEVELOPMENT PERMIT	09-09-2021

PROJECT

OLYMPIA TAVERN

DRAWING TITLE

BUILDING ELEVATIONS

DRAWING ISSUE

ISSUED FOR DEVELOPMENT PERMIT

Project number ENG-20850

Date 09-09-2021

Drawn by JJA

Checked by MOG

A02-02

Scale 1/4" = 1'-0"

2021-09-10 2:08:34 PM



MATERIAL LEGEND:

1. LIGHT GRAY STUCCO
2. BEIGE STUCCO
3. TERRACOTTA ROOF
4. CONCRETE BLOCK MASONRY
5. WOODEN ARCHITECTURAL WINDOW
6. STONE VENEER CLADDING

RESIDENTIAL SUITES
ABOVE C/W DECK

LOADING DOOR

BACK ENTRANCE TO
RESIDENTIAL SUITES

BACK ENTRANCE TO
KITCHEN

① North
3/8" = 1'-0"

COORDINATING PROFESSIONALS

Groupe
mtc
Group

MBC Group
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No.	Description	Date
1	ISSUED FOR DEVELOPMENT PERMIT	09-13-2021
2	ISSUED FOR DEVELOPMENT PERMIT	09-23-2021
3	ISSUED FOR DEVELOPMENT PERMIT	09-23-2021
4	ISSUED FOR DEVELOPMENT PERMIT	09-19-2021
5	RE-ISSUED FOR DEVELOPMENT PERMIT	09-29-2021
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PROJECT

OLYMPIA TAVERN

DRAWING TITLE

BUILDING ELEVATIONS

DRAWING ISSUE

ISSUED FOR DEVELOPMENT PERMIT

Project number ENG-20850

Date 09-09-2021

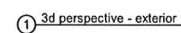
Drawn by JJA

Checked by MOG

A02-03

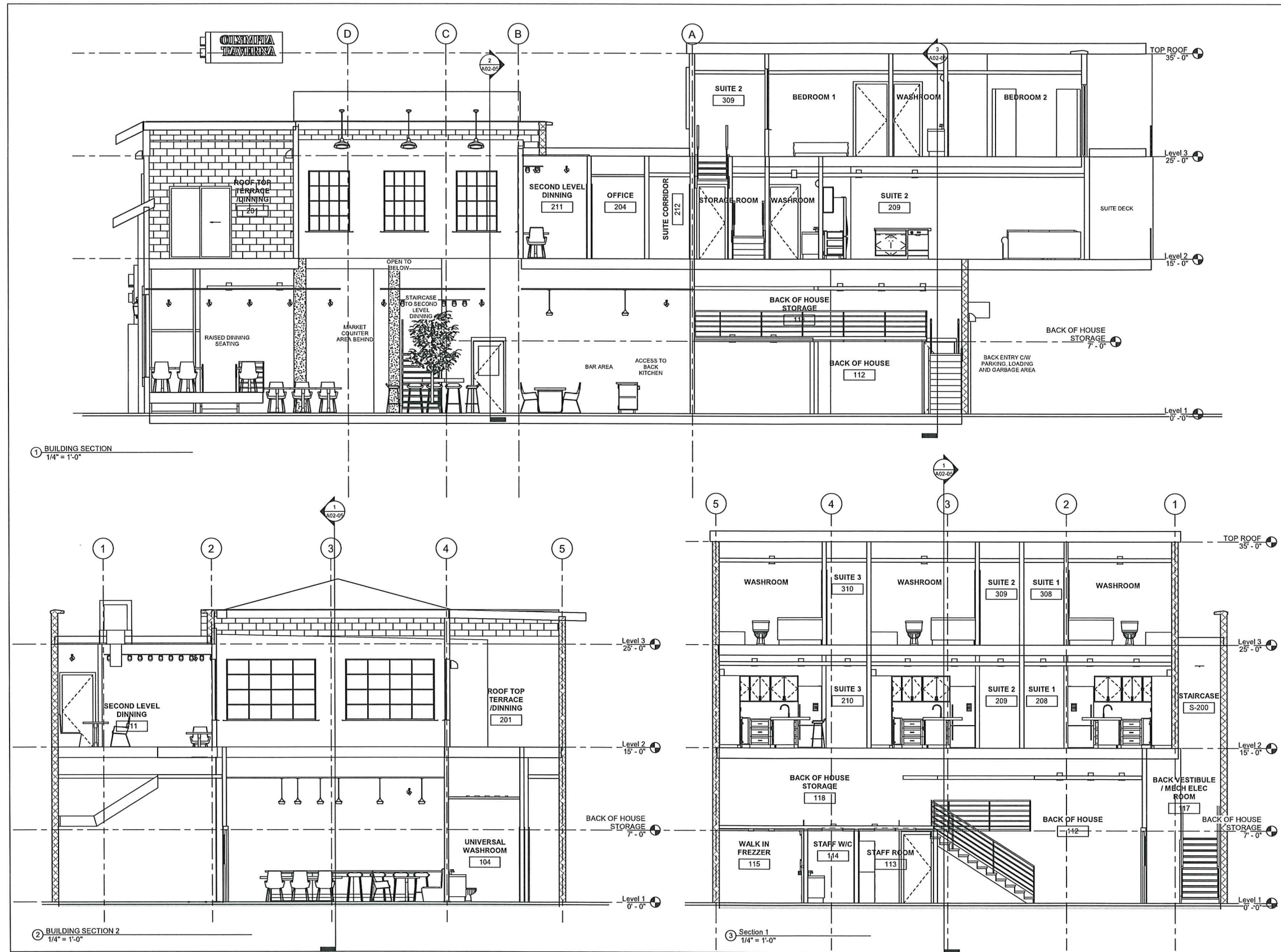
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Scale

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COORDINATING PROFESSIONALS

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No.	Description	Date
1	ISSUED FOR DEVELOPMENT PERMIT	06-15-2021
2	ISSUED FOR DEVELOPMENT PERMIT	06-29-2021
3	ISSUED FOR DEVELOPMENT PERMIT	07-05-2021
4	ISSUED FOR DEVELOPMENT PERMIT	08-15-2021
5	PERMITTED FOR DEVELOPMENT PERMIT	09-09-2021

PROJECT

OLYMPIA TAVERN

DRAWING TITLE
BUILDING SECTIONS

DRAWING ISSUE
ISSUED FOR DEVELOPMENT PERMIT

Project number ENG-20850
Date 09-09-2021
Drawn by JJA
Checked by MOG

A02-05
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CITY OF KELOWNA

MEMORANDUM

Date: July 30, 2021
File No.: DP21-0178
To: Planning and Development Officer (AF)
From: Development Engineering Manager (RO)
Subject: 145-147 Hwy 33 W

ATTACHMENT		B
This forms part of application		
# DP21-0178 / DVP21-0212		
Planner Initials	GA	 City of Kelowna <small>DEVELOPMENT PLANNING</small>
Form and Character		

The Development Engineering Branch has the following comments and requirements, applicable at time of Building Permit, associated with this Development Permit Application for the form and character a proposed mix use building with ground floor commercial and upper storey residential. The Development Technician for this project is Sarah Kelly (skelly@kelowna.ca).

1. GENERAL

- a. The following requirements are valid for two (2) years from the reference date of this memo, or until the application has been closed, whichever occurs first. The City of Kelowna reserves the rights to update/change some or all items in this memo once these time limits have been reached.
- b. This proposed development may require the installation of centralized mail delivery equipment. Please contact Arif Bhatia, Delivery Planning Officer, Canada Post Corporation, 530 Gaston Avenue, Kelowna, BC, V1Y 2K0, (250) 859-0198, arif.bhatia@canadapost.ca to obtain further information and to determine suitable location(s) within the development.
- c. There is a possibility of a high water table or surcharging of storm drains during major storm events. This should be considered in the design of the onsite system.
- d. These Development Engineering comments/requirements are subject to the review and requirements from the Ministry of Transportation and Infrastructure (MoTI).

2. DOMESTIC WATER AND FIRE PROTECTION

- a. The subject lot is located within the Rutland Waterworks District (RWD) service area. The Developer is required to make satisfactory arrangements with RWD for all water and fire protection-related issues. All charges for service connection(s) and upgrading costs, as well as any costs to decommission existing services, shall be the responsibility of the Developer.
- b. The Developer's Consulting Mechanical Engineer will determine the fire protection requirements of this proposed development and establish hydrant requirements and service needs. All fire flow calculations approved by RWD are to be shared with the Development Engineering Branch upon submittal of off-site civil engineering drawings.

3. SANITARY SEWER SYSTEM

- a. Our records indicate that the subject lot is currently serviced with a 150-mm diameter sanitary sewer service. The Applicant's Consulting Mechanical Engineer will determine the requirements of the proposed development and establish the service needs.
- b. Only one service will be permitted. If required, the applicant will arrange for the removal and disconnection of the existing service and the installation of one new larger service at the applicants cost.

4. STORM DRAINAGE

- a. The developer must engage a consulting civil engineer to provide a storm water management plan for this site which meets the requirements of the City Subdivision Development and Servicing Bylaw 7900. The storm water management plan must also include provision of lot grading plans, minimum basement elevations (MBE), if applicable, and provision of a storm drainage service and recommendations for onsite drainage containment and disposal systems.
- b. An Erosion and Sediment Control Plan is to be prepared by a Professional Engineer proficient in the field of erosion and sediment control. The plan is to be prepared as per section 3.14 of Schedule 4 of Bylaw 7900.

5. ROAD IMPROVEMENTS

- a. Hwy 33 frontage has been upgraded to urban standard, no further frontage upgrades required.
- b. East west lane fronting this development to the south must be upgraded to SS-R2 commercial lane standard; including road fillet paving, storm drainage, burial of overhead wires and removal of poles, and relocation or adjustment of existing utility appurtenances if required to accommodate the upgrading construction.
- c. Only the service upgrades, if required, must be completed at this time. The City wishes to defer the upgrades to the Laneway fronting this development. Therefore, cash-in-lieu of immediate construction is required and the City will initiate the work later, on its own construction schedule. The cash-in-lieu amount is determined to be **\$12,972.75** not including utility service cost.

6. POWER AND TELECOMMUNICATION SERVICES

- a. All proposed distribution and service connections are to be installed underground. It is the developer's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for these services, which would be at the applicant's cost.
- b. If any road dedication or closure affects lands encumbered by a Utility right-of-way (such as Hydro, Telus, Gas, etc.) please obtain the approval of the utility. Any works required by the utility as a consequence of the road dedication or closure must be incorporated in the construction drawings submitted to the City's Development Manager.
- c. Re-locate existing poles and utilities, where necessary including within lanes. Remove aerial trespass(es).

7. GEOTECHNICAL STUDY

- a. Provide a comprehensive geotechnical report (3 copies), prepared by a Professional Engineer competent in the field of hydro-geotechnical engineering to address the items below:

NOTE: The City is relying on the Geotechnical Engineer's report to prevent any damage to property and/or injury to persons from occurring as a result of problems with soil slippage or soil instability related to this proposed subdivision.

- b. The Geotechnical reports must be submitted to the Planning and Development Services Department (Planning & Development Officer) for distribution to the Works & Utilities Department and Inspection Services Division prior to submission of Engineering drawings or application for subdivision approval.
 - i. Area ground water characteristics, including any springs and overland surface drainage courses traversing the property. Identify any monitoring required.
 - ii. Site suitability for development.
 - iii. Site soil characteristics (i.e. fill areas, sulphate content, unsuitable soils such as organic material, etc.).
 - iv. Any special requirements for construction of roads, utilities, and building structures.
 - v. Recommendations for items that should be included in a Restrictive Covenant.
 - vi. Recommendations for roof drains and perimeter drains.
 - vii. Recommendations for erosion and sedimentation controls for water and wind.
 - viii. Any items required in other sections of this document.

8. ROAD DEDICATION/SUBDIVISION REQUIREMENTS

- a. A dedication of approximately 0.8 m along the full frontage of the lane is required to achieve a 7.6 m commercial lane.
- b. No driveway access will be permitted to Hwy 33. The vehicular access to the development site is to be provided from the lane.
- c. Perimeter access must comply with the BC Building Code. Fire Truck access designs and proposed hydrant locations will be reviewed by the Fire Protection Officer.

9. CHARGES AND FEES

- a. Development Cost Charges (DCC's) are payable.
- b. Fees per the "Development Application Fees Bylaw" include:
 - i. Survey Monument, Replacement Fee: \$1,200.00 (GST exempt) – only if disturbed.
 - ii. Engineering and Inspection Fee: 3.5% of construction value (plus GST).
- c. Cash-in-Lieu of Construction Payments:

**Payment must be made with certified cheque or bank draft*

i)	Laneway Frontage Upgrades	\$12,972.75
ii)	Engineering and Inspection Fee	\$476.75
	<i>3.5% of construction cost (\$454.05) + GST(\$22.70)</i>	

Ryan O'Sullivan
Development Engineering Manager

SK