



DVP21-0126

1958 Hemmerling Court

Development Variance Application



Proposal

- ▶ To consider a Development Variance Permit to vary the front yard setback from 4.5m required to 1.8m proposed, to vary the front yard setback to a garage from 6.0m required to 1.8m proposed and to vary the rear yard setback from 7.5m required to 3.5m proposed.

Development Process

June 2nd, 2021

Development Application Submitted



Staff Review & Circulation



June 24th, 2021

Public Notification Received



Sept 21st, 2021

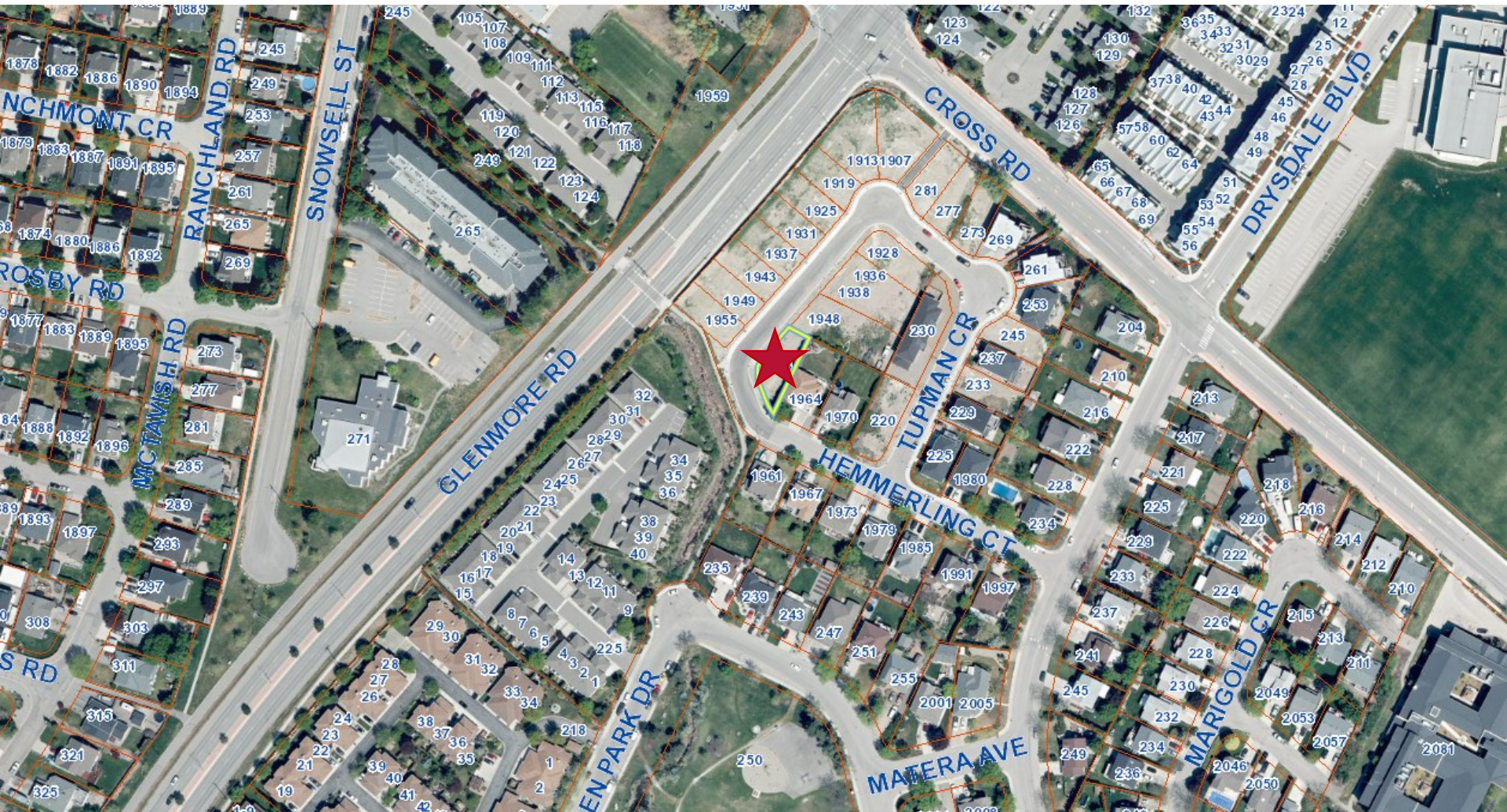
Development Variance Permit

} Council
Approval



Building Permit

Context Map



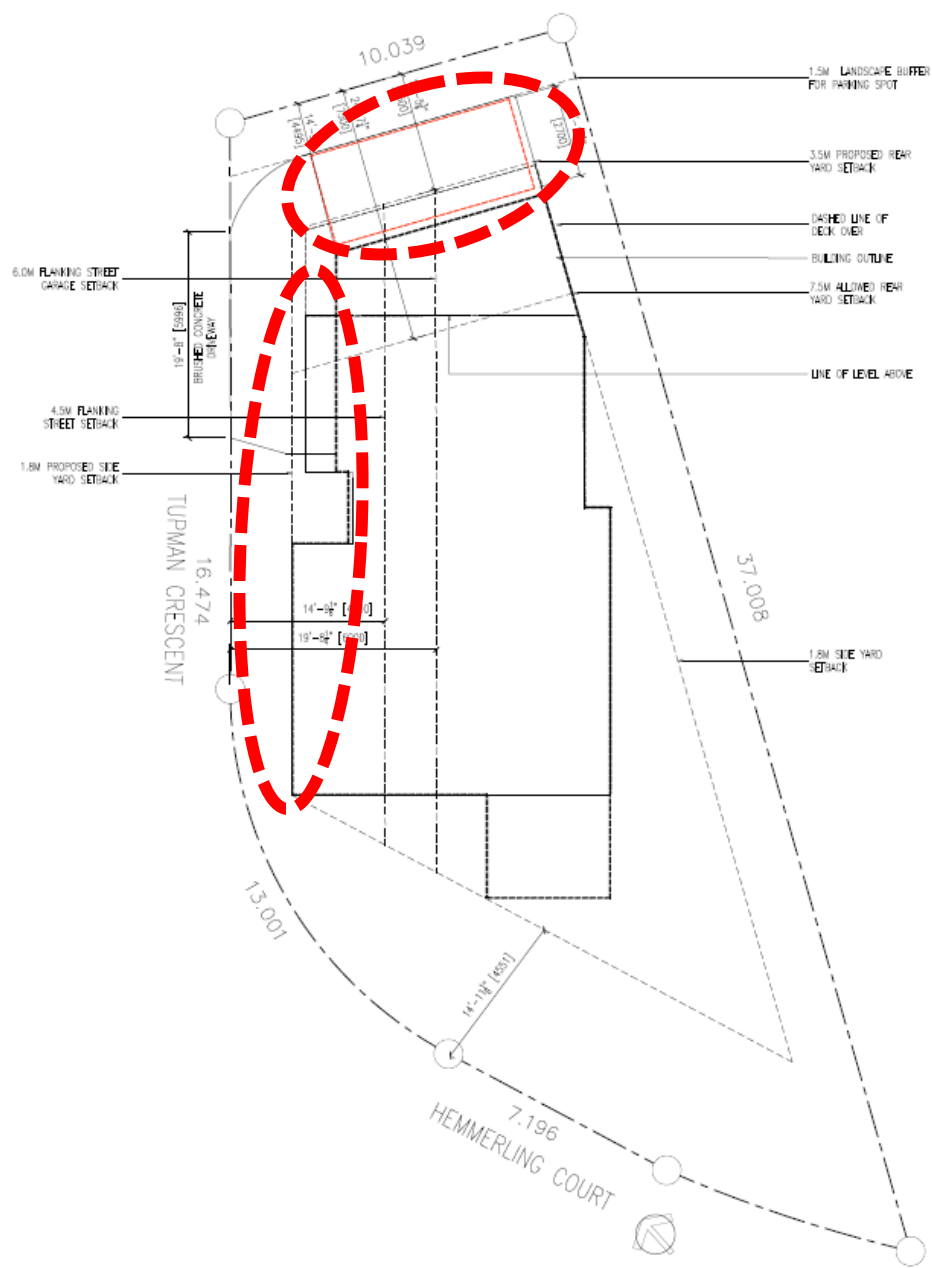
Site Map



Project/technical details

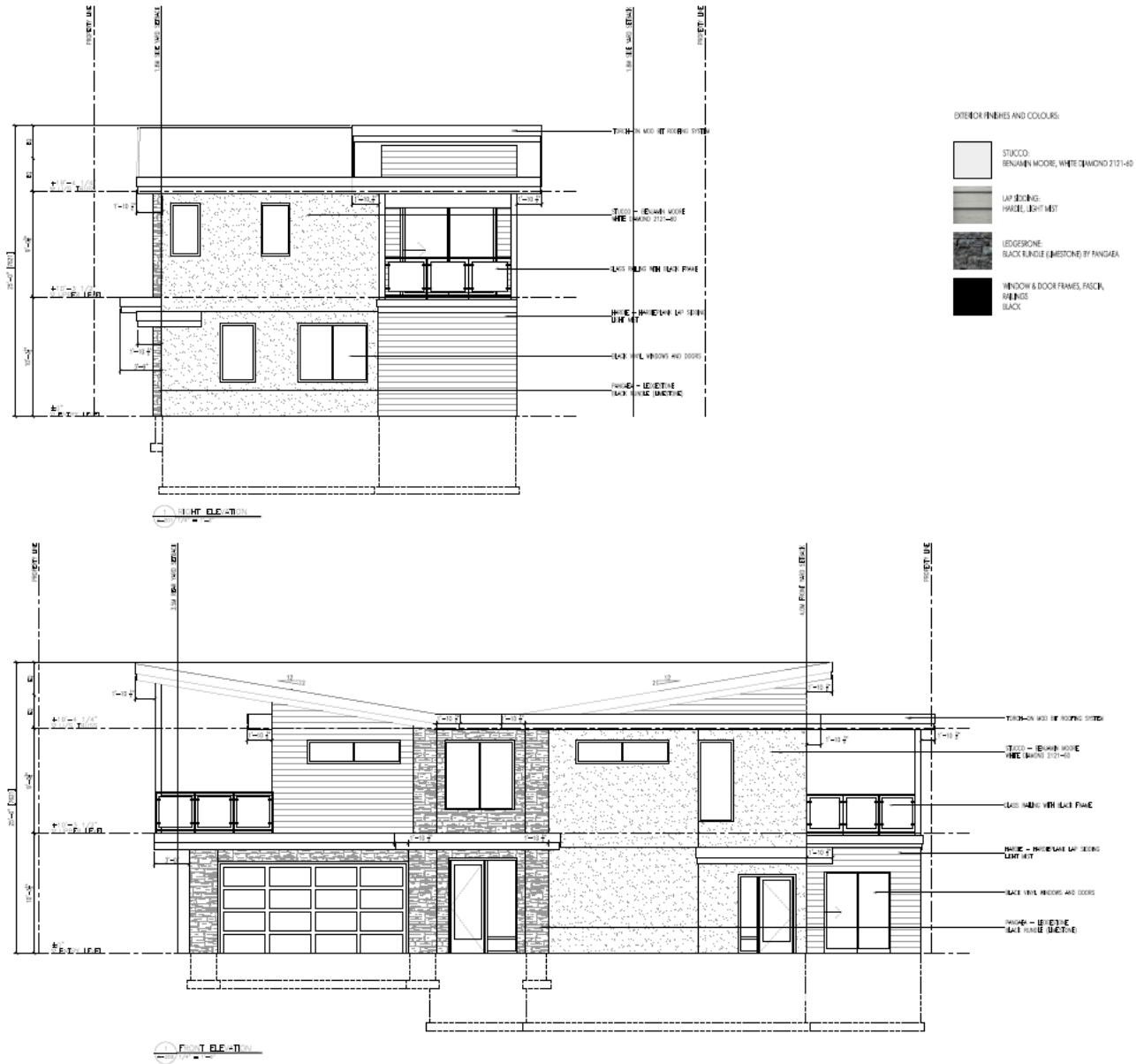
- ▶ The applicant is seeking two variances to facilitate the construction of a new dwelling:
 - ▶ To vary the front yard setback from 4.5m required to 1.8m proposed and to vary the front yard setback from a garage from 6.0m required to 1.8m proposed.
 - ▶ To vary the rear yard setback from 7.5m required to 3.5m proposed.
- ▶ The irregular shape has to do with the variances being proposed.

Site Plan



City of Kelowna

Conceptual Design



City of Kelowna

FOR DVP

Staff Recommendation

- ▶ Staff recommend **support** of the proposed Development Variance Permit application.
 - ▶ The property is on a curve of Hemmerling Court and is an irregular lot.
 - ▶ The property is challenging to build on and the building envelope is small.
 - ▶ Secondary suite will bring another needed rental.
 - ▶ Minimal neighbourhood impacts are anticipated.



Conclusion of Staff Remarks