

Development Variance Permit DVP21-0126



This permit relates to land in the City of Kelowna municipally known as

1958 Hemmerling Court

and legally known as

Lot 15 Section 4 Township 23 ODYD Plan EPP95497

and permits the land to be used for the following development:

RU2 – Medium Lot Housing

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council Decision September 21st, 2021

Decision By: COUNCIL

Existing Zone: RU2 – Medium Lot Housing

Future Land Use Designation: S2RES – Single/Two Unit Residential

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Maxwell House Developments Ltd. Inc.No. C0756620

Applicant: LIME Architecture Inc.

Terry Barton
Development Planning Department Manager
Planning & Development Services

Date

ATTACHMENT		A
This forms part of application		
# DVP21-0126		
Planner Initials	TC	The logo for the City of Kelowna Development Planning, featuring a colorful circular geometric pattern to the left of the text "City of Kelowna" and "DEVELOPMENT PLANNING".

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

That variances to the following section of the Zoning Bylaw No. 8000 be granted in accordance with Schedule "A":

Section 13.2.6(c): RU2: Medium Lot Housing - Development Regulations

To vary the front yard setback from 4.5 m required to 1.8 m proposed and to vary the front yard setback from a garage from 6.0 m required to 2.2 m proposed.

Section 13.2.6(e): RU2: Medium Lot Housing - Development Regulations

To vary the rear yard setback from 7.5 m required to 3.5 m proposed.

This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.

3. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**

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LOT 15 HEMMERLING COURT, KELOWNA

PROPERTY DESCRIPTION

1958 HEMMERLING COURT, KELOWNA, BC
LEGAL: LOT 15, PLAN EPP95497

BC ENERGY STEP CODE COMPLIANCE: STEP 1

ZONING CALCULATIONS:

CITY OF KELOWNA R2Z ZONING

SITE INFORMATION:

	ALLOWED	PROPOSED
GROSS SITE AREA=	4,338 SF (421.6 SM)	
ALLOWABLE SITE COVERAGE=	40% (1,811SF)	37% (1,625SF)
COVERAGE + HARDSCAPING=	50% (2,269SF)	44% (2,016 SF)
UNIT AREA CALCULATIONS:		
ENTRY LEVEL:	344 SF	
UPPER LEVEL:	1,226 SF (EXCLUDING STAIRS)	
SECONDARY SUITE:	667 SF	
TOTAL:	2,237 SF	
MAX. HEIGHT =	9.5M (31.2 FT) OR 2-1/2 STOREYS	PROPOSED 7.2M (23 STOREYS)
YARD SETBACKS:		
FRONT YARD -	4.5M	4.5M / 1.5M VARIANCE REQ'D
FRONT YARD TO GARAGE -	6.0M	2.2M
SIDE YARD -	1.8M	1.8M
REAR YARD -	7.5M	3.5M VARIANCE REQ'D
PARKING CALCULATIONS:		
SINGLE DWELLING UNIT WITH SUITE	REQUIRED 3	PROPOSED 3



ARCHITECTURAL DRAWINGS:

A-001 PROJECT & SITE INFORMATION
A-101 ENTRY LEVEL PLAN
A-102 UPPER LEVEL PLAN
A-200 ELEVATIONS
A-201 ELEVATIONS

GENERAL NOTES - ARCHITECTURAL:

ALL WORK SHALL CONFORM TO THE STANDARDS OF THE N.B.C. OF CANADA 2015 (ALL APPLICABLE SECTIONS), THE B.C. BUILDING CODE (BCBC) 2018 AND ALL LOCAL CODES, BYLAWS AND AMENDMENTS.

DO NOT SCALE DRAWINGS. DIMENSIONS ALWAYS TAKE PRECEDENCE.

ALL TRADES SHALL VERIFY ALL DATUMS, DIMENSIONS AND LEVELS PRIOR TO COMMENCEMENT OF WORK.

ALL ERRORS AND OMISSIONS ARE TO BE REPORTED IMMEDIATELY TO LINE ARCHITECTURE.

VARIATIONS AND MODIFICATIONS TO THE WORK SHOWN ON DRAWINGS SHALL NOT BE CARRIED OUT WITHOUT THE EXPRESS WRITTEN PERMISSION OF LINE ARCHITECTURE.

THESE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF LINE ARCHITECTURE AND CANNOT BE REPRODUCED WITHOUT THE EXPRESS WRITTEN PERMISSION OF LINE ARCHITECTURE.

ALL WORK TO BE PERFORMED TO CURRENT GOOD TRADE PRACTICE STANDARDS BY WORKMEN SKILLED IN THEIR TRADES.

ALL MATERIALS TO BE OF GOOD QUALITY, PROPERLY TRANSPORTED, STORED AND PROTECTED.

ALL EXTERIOR DIMENSIONS TAKEN FROM OUTSIDE FACE OF WOOD STUDS AND EXTERIOR FACE OF CONCRETE UNLESS NOTED OTHERWISE.

ALL INTERIOR DIMENSIONS TAKEN FROM CENTER LINE OF STUDS U.N.O.

ALL LOAD BEARING LUMBER TO BE SPF #2 OR BETTER U.N.O.

ALL LOAD BEARING WOOD BEAMS TO BE SPF #2 OR BETTER U.N.O.

ALL EXTERIOR WALLS TO BE 2 X 6 @ 24" O.C. U.N.O.

INTERIOR WALLS TO BE 2 X 4 @ 24" O.C. U.N.O. INTERIOR LOAD BEARING WALLS TO BE 2X6 @ 16" O.C., U.N.O. (SHOWN SHADY ON PLAN DRAWINGS)

JOIST DOUBLE JOISTS UNDER PARTITIONS PARALLEL TO JOISTS UNLESS NOTED OTHERWISE (U.N.O.)

ALL LOAD BEARING COLUMNS TO BE AT LEAST EQUAL TO WIDTH OF BEAMS AND OF SOLID LUMBER OR LAMINATED STUDS.

JINTELS UP TO 64" WIDE TO BE 2 X 12 X 10 SPF #2 OR BETTER U.N.O. - TO BE BUILT UP TO EQUAL WIDTH OF WALL FRAMING.

JINTELS OVER 64" TO BE 2 X 12 X 12 SPF #1 OR BETTER OR ENGINEERED UNLESS NOTED OTHERWISE (U.N.O.)

FRAMING TRACED TO PROVIDE MIN. 2 X 2 CROSS BRACING OR SOLID BLOCCING BETWEEN JOISTS AND RAFTERS @ 72" O.C. MAXIMUM, MINIMUM ONE ROW UNLESS NOTED OTHERWISE BY FLOORING ENGINEER.

ALL FOOTINGS TO BEAR ON UNDISTURBED NATIVE SOIL, APPROVED ENGINEERED FILL OR BEDROCK AND EXTEND A MINIMUM DEPTH 300MM BELOW FROST LINE FROM FINISHED GRADE.

MINIMUM CONCRETE STRENGTH AT 28 DAYS - FOOTINGS, SLABS, FOUNDATION WALLS: 30MPS. UPRIGHT CONCRETE TOPPING: 4000PSI.

MINIMUM PAD FOOTING SIZES AS PER STRUCTURAL NOTES BELOW AND/OR AS NOTED ON PLAN DRAWINGS (LARGEST PAD AND REINFORCING SIZES TO TAKE PRECEDENCE WHERE CONTRADICTION EXISTS).

SECURE SILL PLATES TO FOUNDATION WALLS WITH 1/2" DIA. X 10" ANCHOR BOLT @ 42" O.C. FOR EXTERIOR WALLS AND 62" FOR INTERIOR WALLS.

ALL WOOD MEMBERS IN CONTACT WITH CONCRETE TO BE PROTECTED WITH SILL PLATE GASKET.

PROVIDE DAMPROOFING TO ALL EXTERIOR FOUNDATION WALLS INCLUDING RE-DAMP-PROOFING IN ACCORDANCE WITH BCBC 2018.

PROVIDE A MINIMUM OF 6" CLEARANCE BETWEEN SOIL AND ANY WOOD MEMBERS.

ALLOWABLE SOIL BEARING PRESSURE 2000 PSF ASSUMED FOR DESIGN AND TO BE CONFIRMED AT EXCAVATION BY A QUALIFIED ENGINEER.

PROVIDE ALUMINUM FLASHINGS OVER ALL EXTERIOR OPENINGS.

CAULK AND SEAL ALL EXTERIOR OPENINGS IN ACCORDANCE WITH BCBC 2018.

VENTILATION REQUIREMENTS TO CONFORM TO BCBC 9.22.3 AND TABLE 9.22.3.5.

UNIFORMLY DISTRIBUTE VENTILATION TO ROOFS AS PER BCBC 9.19.1.2.

PROVIDE A MINIMUM CLEARANCE BETWEEN TOP OF ROOF INSULATION AND UNDERSIDE OF ROOF SHEATHING AS PER BCBC 9.19.1.3.

SWELLING GLAZING SECURITY REQUIREMENTS TO CONFORM TO BCBC 9.7.4 AND APPENDIX (A) 7.5.3 (1).

ALL EXTERIOR AND REQUIRED GUARDS TO BE 36" (1070MM) HIGH WITH MAX. 3" (75MM) CLEAR OPENINGS.

ALL HANDRAILS SHALL BE A MINIMUM 28" HIGH ABOVE THE NOSINGS.

ALL STAIR TREADS TO BE 10" (254MM) MINIMUM AND AN 1/4" NOSING.

ALARMS AND DETECTION SYSTEMS TO BE AS PER 3.2.4.1 OF THE BCBC.

SCHEDULE

A

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Planner
Initials

TC

City of
Kelowna
DEVELOPMENT PLANNING



FOR DVP



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All trades are to execute the work in accordance with the current municipality building bylaws and requirements of other local authorities having jurisdiction as well as the British Columbia Building Code - most recent edition (including all amendments, revisions and addenda). All trades shall ensure full responsibility for the location and protection of all order and above ground utilities, wires and conductors, including but not limited to water, sewer, gas, heat and telephone.

Revision No., Date and Description

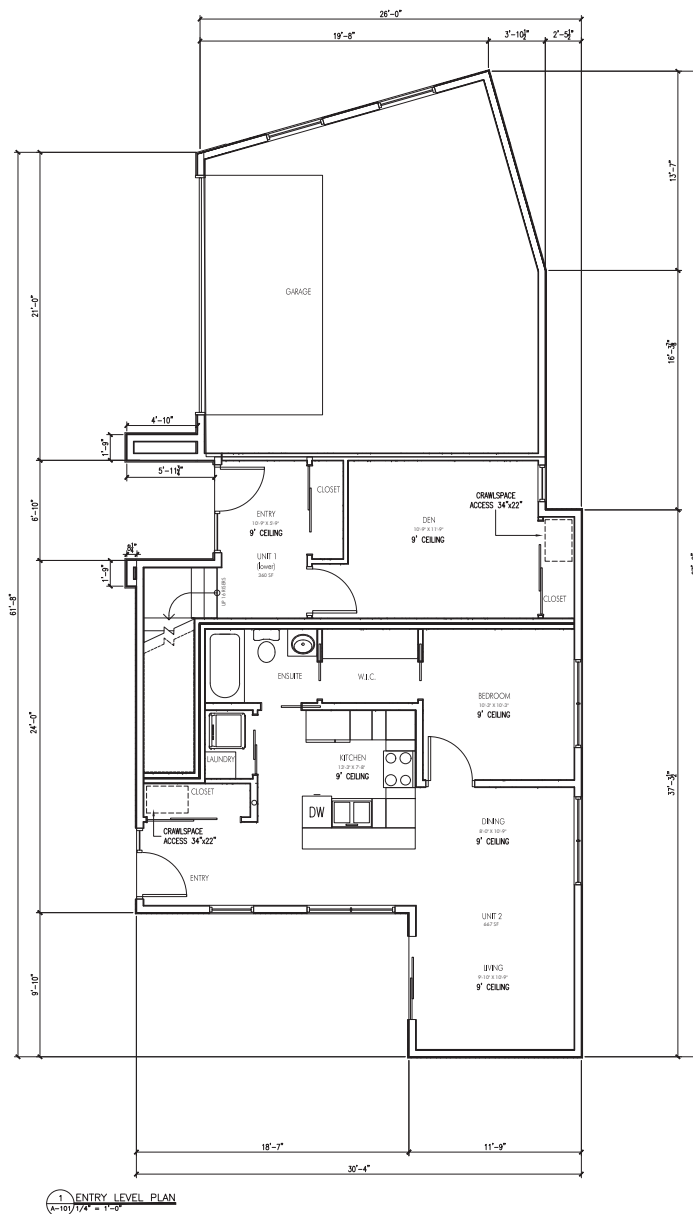
04.05.21 - FOR REVIEW
04.21.21 - FOR DISCUSSION
05.20.21 - FOR DVP
07.26.21 - FOR REVIEW
08.04.21 - FOR REVIEW
08.12.21 - FOR REVIEW
08.12.21 - FOR DVP
08.25.21 - FOR DVP

Plot Date 23-Aug-21 Drawing No. A-001

PROJECT HEMMERLING COURT - LOT 15

DRAWING TITLE PROJECT INFORMATION





SCHEDULE A

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Planner
Initials TC



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Revision No., Date and Description
03.25.21 - FOR REVIEW
04.05.21 - FOR REVIEW
04.21.21 - FOR DISCUSSION
05.20.21 - FOR DVP
08.12.21 - FOR REVIEW
08.12.21 - FOR DVP

Plot Date	Drawing No.
23-Aug-21	A-101

PROJECT
HEMMERLING COURT - LOT 15

DRAWING TITLE
ENTRY LEVEL PLAN



FOR DVP

