

Development Permit & Development Variance Permit DP21-0005/DVP21-0006

This permit relates to land in the City of Kelowna municipally known as

417 Cedar Avenue

and legally known as

Lot 2 District Lot 14 ODYD District Plan 4135

and permits the land to be used for the following development:

Mixed-use development

USE as per Zoning Bylaw

Multiple Dwelling Housing

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council Decision **August 10, 2021**

Decision By: COUNCIL

Development Permit Area: Revitalization

Existing Zone: C4 – Urban Centre Commercial

Future Land Use Designation: MXR – Mixed Use (Residential/Commercial)

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: 417 Cedar Developments Ltd. No. BC 0965634

Applicant: Lime Architecture Inc./ Edgecombe Builders Group

Planner: Lydia Korolchuk

Terry Barton
Community Planning Department Manager
Planning & Development Services

Date

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted, as shown on Schedule "A, B & C":

Section 14.4.5(b): C4 – Urban Centre Commercial, Development Regulations

To vary the maximum site coverage allowed from 75% permitted to 91.5% proposed.

Section 14.4.5(c): C4 – Urban Centre Commercial, Development Regulations

To vary the maximum height from 15.0 m or 4 storeys permitted to 19.5 m and 6 storeys proposed.

Section 14.4.5(e): C4 – Urban Centre Commercial, Development Regulations

To vary the required minimum side yard from 2.0 m permitted where the site abuts a residential zone to 0.0 m proposed for the east and west sides.

Section 14.4.5(f): C4 – Urban Centre Commercial, Development Regulations

To vary the required minimum rear yard from 6.0 m permitted where the site abuts a residential zone to 0.0 m proposed.

Section 14.4.6(e): C4 – Urban Centre Commercial, Other Regulations

To vary the required functional commercial frontage for any building located on streets classified as a collector or arterial as identified in the OCP Map 7.3 – 20 Year Major Road Network and Road Classification Plan from 90% required to 27% proposed.

This Development Permit and Development Variance Permit is valid for two (2) years from the date of approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property owner of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) An Irrevocable Letter of Credit **OR** certified cheque in the amount of **\$23,662.50**

Development Planning Department 1435 Water Street Kelowna BC V1Y 1J4 planninginfo@kelowna.ca 250 469 8626

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**

417 Cedar Ave., Kelowna, BC

PROPERTY DESCRIPTION

CIVIC: 417 Cedar Ave., Kelowna, BC
LEGAL: Plan 4135; Lot 2

ZONING CALCULATIONS:

CURRENT : RU1 Zoning

PROPOSED : C4 Zoning

SITE INFORMATION:

Gross Site Area= 7,452 sf (697 sm)
Allowable Site Coverage=

Allowed/Required	Proposed
75% (5,589sf)	91.5% (6,818sf)
1.3 + .4 = 1.7 (12,668sf)	1.7 (12,668sf)

 VARIANCE REQUIRED
F.A.R. =
*Parking spaces provided beneath habitable space = F.A.R. + 0.2
Five or six storey buildings = F.A.R. + 0.2
Total F.A.R. bonus = 0.4

First Floor Commercial Frontage (LOT WIDTH = 59'-11")

Allowed/Required	Proposed
90% (53-11 1/8')	27% (16-2 1/2')

 VARIANCE REQUIRED

Unit Area Calculations:	NET FLOOR AREA	PRIVATE OPEN SPACE
ENTRY LEVEL / PARKADE - One Commercial Suite	265 SF (25 SM)	

SECOND LEVEL -	2,610 SF (242 SM)	
Unit 201 - One Bedroom Suite	654 SF	377 SF (36 SM)
Unit 202 - One Bedroom Suite	686 SF	947 SF (34 SM)
Unit 203 - One Bedroom Suite	576 SF	313 SF (28 SM)
Unit 204 - Two Bedroom Suite	694 SF	821 SF (35 SM)

THIRD LEVEL -	2,598 SF (241 SM)	
Unit 301 - One Bedroom Suite	643 SF	215 SF (20 SM)
Unit 302 - Two Bedroom Suite	722 SF	395 SF (37 SM)
Unit 303 - One Bedroom Suite	576 SF	111 SF (11 SM)
Unit 304 - One Bedroom Suite	657 SF	359 SF (33 SM)

FOURTH LEVEL -	2,598 SF (241 SM)	
Unit 401 - One Bedroom Suite	643 SF	215 SF (20 SM)
Unit 402 - Two Bedroom Suite	722 SF	395 SF (37 SM)
Unit 403 - One Bedroom Suite	576 SF	111 SF (11 SM)
Unit 404 - One Bedroom Suite	657 SF	359 SF (33 SM)

FIFTH LEVEL -	2,599 SF (241 SM)	
Unit 501 - One Bedroom Suite	643 SF	215 SF (20 SM)
Unit 502 - Two Bedroom Suite	722 SF	395 SF (37 SM)
Unit 503 - Two Bedroom Suite	1,234 SF	470 SF (44 SM)

SIXTH LEVEL -	1,998 SF (186 SM)	
Unit 601 - Two Bedroom Suite	974 SF	997 SF (93 SM)
Unit 602 - Two Bedroom Suite	1,024 SF	597 SF (55 SM)

TOTAL 12,668 SF (1,176 SM)

Building Height: Allowed: 15m (49.2 ft) or 4 storeys Proposed: 19.5m - 6 storeys VARIANCE REQUIRED
Max. Height =

Yard setbacks: Allowed: 0.0m Proposed: 0.49m VARIANCE REQUIRED
Front yard - 2.0m abutting residential 0.0m
West Side yard - 2.0m abutting residential 0.0m
East Side yard - 6.0m abutting residential 0.0m
Rear yard -

Parking Calculations: Required: Proposed:
Commercial Unit - 1.3 per 100m² 1
0.9 per 1 Bedroom 0.9 x 10 Suites = 9
1 per 2 Bedroom 1 x 7 Suites = 7
Visitor Parking- 0.14 per Suite 0.14 x 17 Suites = 3
20 - 20%* = 16 17

*Long-term bicycle storage bonus provided.

** 50% Regular / 50% Small

Bicycle Storage: Required: Proposed:
Long-term bicycle storage lockers 75x17 = 13 20 (dedicated storage lockers)
Short-term bicycle storage lockers 6 per entrance 6 (per Landscape Plan)

DRAWINGS:

ARCHITECTURAL:
A-001 PROJECT & SITE INFORMATION
A-101 ENTRY LEVEL / PARKADE LEVEL
A-102 SECOND LEVEL FLOOR PLAN
A-103 THIRD LEVEL FLOOR PLAN
A-104 FOURTH LEVEL FLOOR PLAN
A-105 FIFTH LEVEL FLOOR PLAN
A-106 SIXTH LEVEL FLOOR PLAN
A-107 ROOF DECK PATIO PLAN
A-200 ELEVATIONS
A-201 ELEVATIONS
A-300 SECTIONS
A-600 RENDERS

LANDSCAPE:
L1 CONCEPTUAL LANDSCAPE PLAN
L2 WATER CONSERVATION/IRRIGATION PLAN



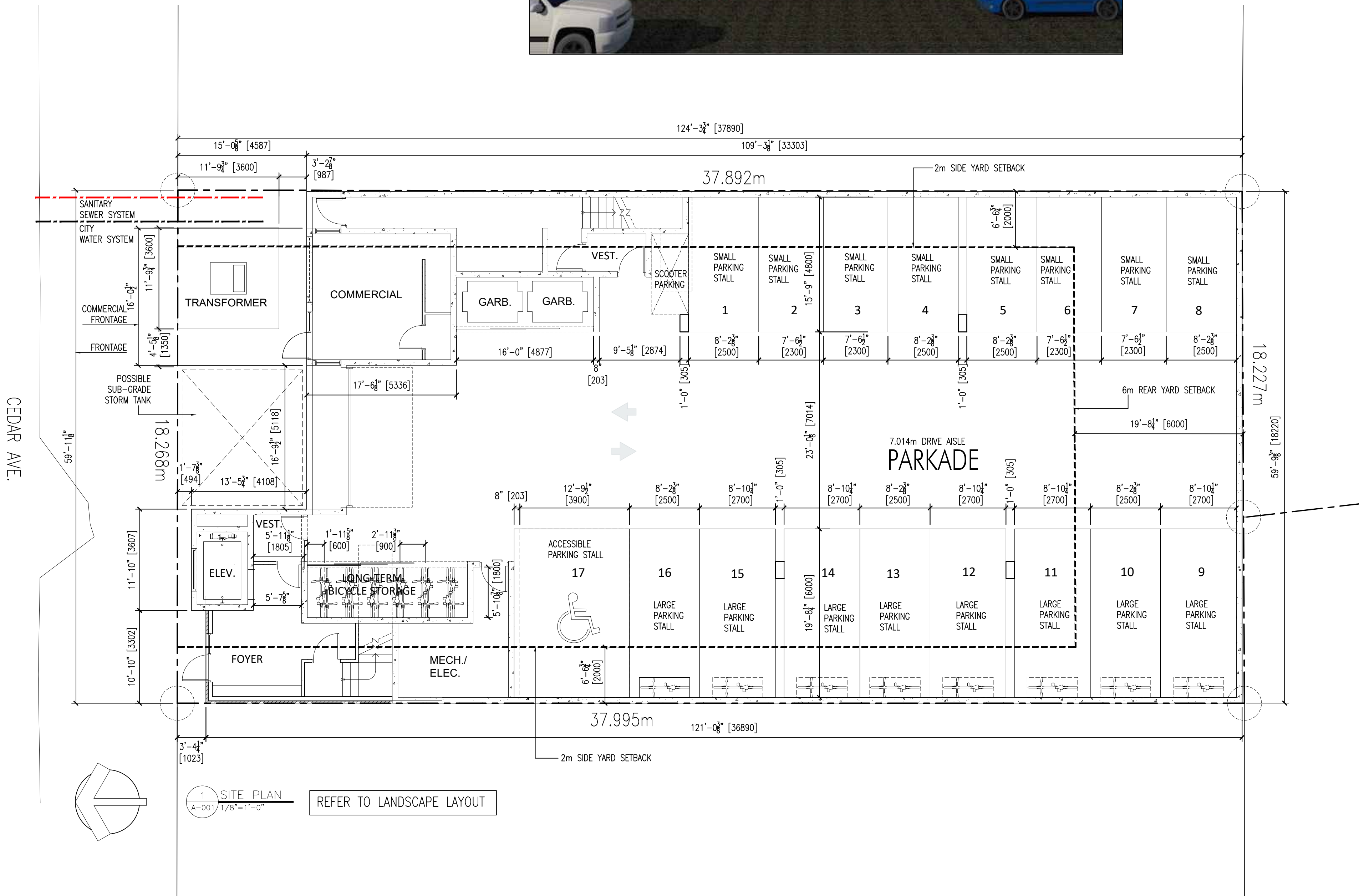
SCHEDULE A
This forms part of application
DP21-0005 DVP21-0006
City of Kelowna
DEVELOPMENT PLANNING
Planner Initials LK

LIME ARCHITECTURE INC.
PHONE: 250-448-7801
205-1626 Richter Street,
Kelowna, BC V1Y 2M3
www.limearchitecture.com

Westerkamp
ARCHITECTS INC.

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All trades are to execute the work in accordance with the current municipality building by-laws and requirements of other local authorities having jurisdiction as well as the British Columbia Building Code - (most recent edition) including all published revisions and addenda. All trades shall assume full responsibility for the locations and protection of all under and above ground utilities, wires and conduit connections, including (but not limited to) water, sewer, gas, hydro and telephone.



1 SITE PLAN
A-001 1/8" = 1'-0" REFER TO LANDSCAPE LAYOUT

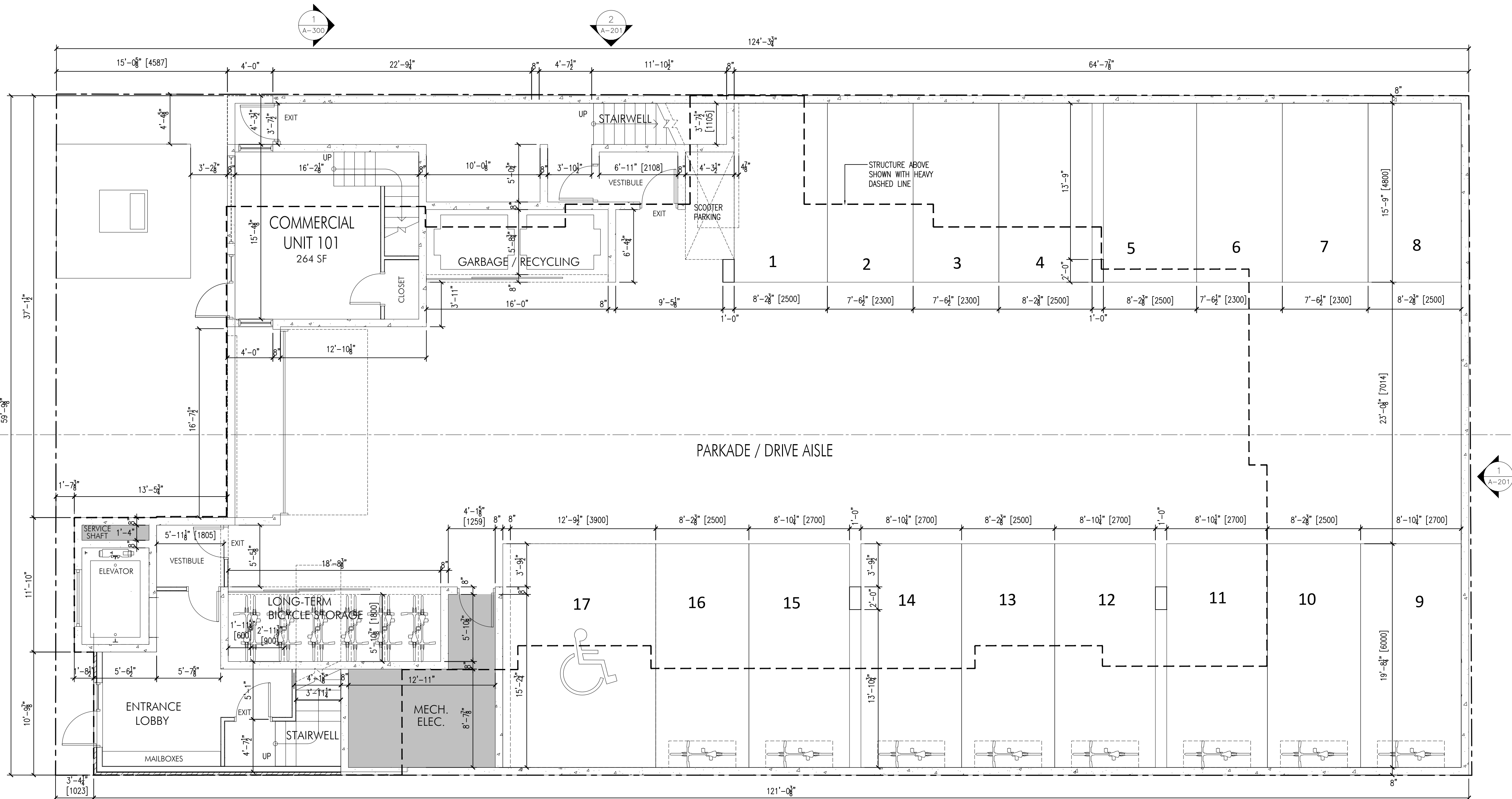
FOR DVP

Revision No., Date and Description
11.03.20 - FOR REVIEW
11.20.20 - FOR DISCUSSION
11.26.20 - FOR COORDINATION
11.29.20 - FOR REVIEW
12.16.20 - FOR DVP
03.30.21 - DVP ADDENDUM #1
05.04.21 - FOR COORDINATION
05.05.21 - FOR PRESENTATION
05.19.21 - FOR DVP REVIEW
05.31.21 - FOR DVP
06.08.21 - CONSOLIDATED DVP PACKAGE

Plot Date	Drawing No.
8-Jul-21	A-001

PROJECT
417 CEDAR AVENUE
DRAWING TITLE
PROJECT INFORMATION





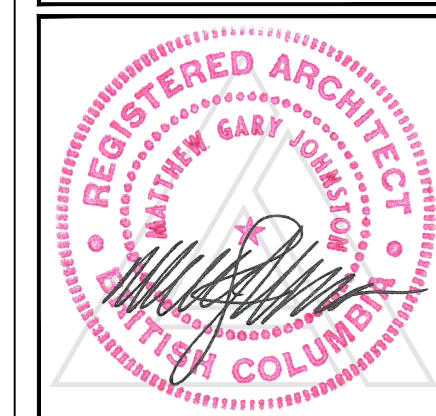
1 ENTRY LEVEL FLOOR PLAN
A-101 / 3/16" = 1'-0"

Revision No., Date and Description
10.28.20 - FOR COORDINATION
11.03.20 - FOR REVIEW
11.18.20 - FOR REVIEW
11.26.20 - FOR COORDINATION
11.29.20 - FOR REVIEW
12.04.20 - FOR REVIEW
12.08.20 - FOR COORDINATION
12.16.20 - FOR DVP
04.27.21 - COORDINATION AND REVIEW
04.30.21 - FOR REVIEW
05.04.21 - FOR COORDINATION
05.05.21 - FOR PRESENTATION
05.19.21 - FOR DVP REVIEW
05.31.21 - FOR DVP
06.08.21 - CONSOLIDATED DVP PACKAGE

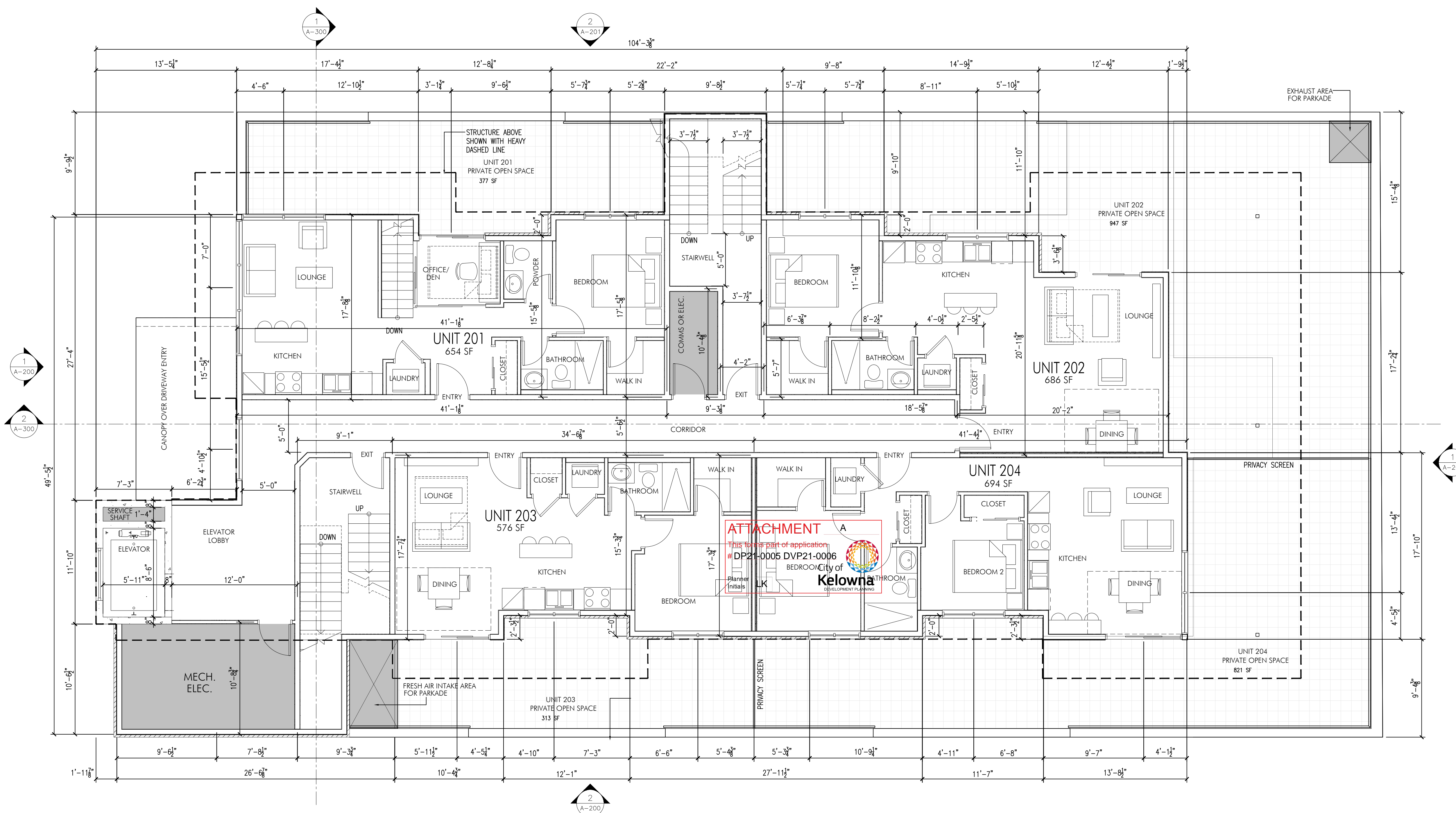
Plot Date	Drawing No.
8-Jul-21	A-102

PROJECT
417 CEDAR AVENUE

DRAWING TITLE
SECOND LEVEL FLOOR PLAN



FOR DVP



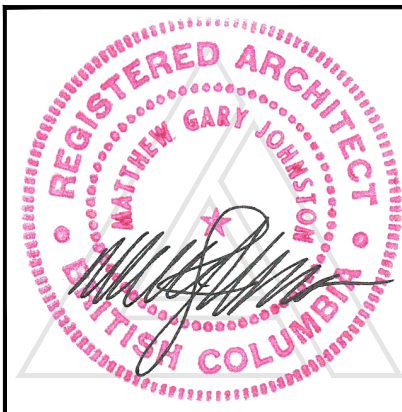
1 SECOND LEVEL FLOOR PLAN
A-102 / 3/16" = 1'-0"

Revision No., Date and Description
11.03.20 - FOR REVIEW
11.18.20 - FOR REVIEW
11.26.20 - FOR COORDINATION
11.29.20 - FOR REVIEW
12.04.20 - FOR REVIEW
12.08.20 - FOR COORDINATION
12.16.20 - FOR DVP
04.27.21 - COORDINATION AND REVIEW
04.30.21 - FOR REVIEW
05.04.21 - FOR COORDINATION
05.05.21 - FOR PRESENTATION
05.19.21 - FOR DVP REVIEW
05.31.21 - FOR DVP
06.08.21 - CONSOLIDATED DVP PACKAGE

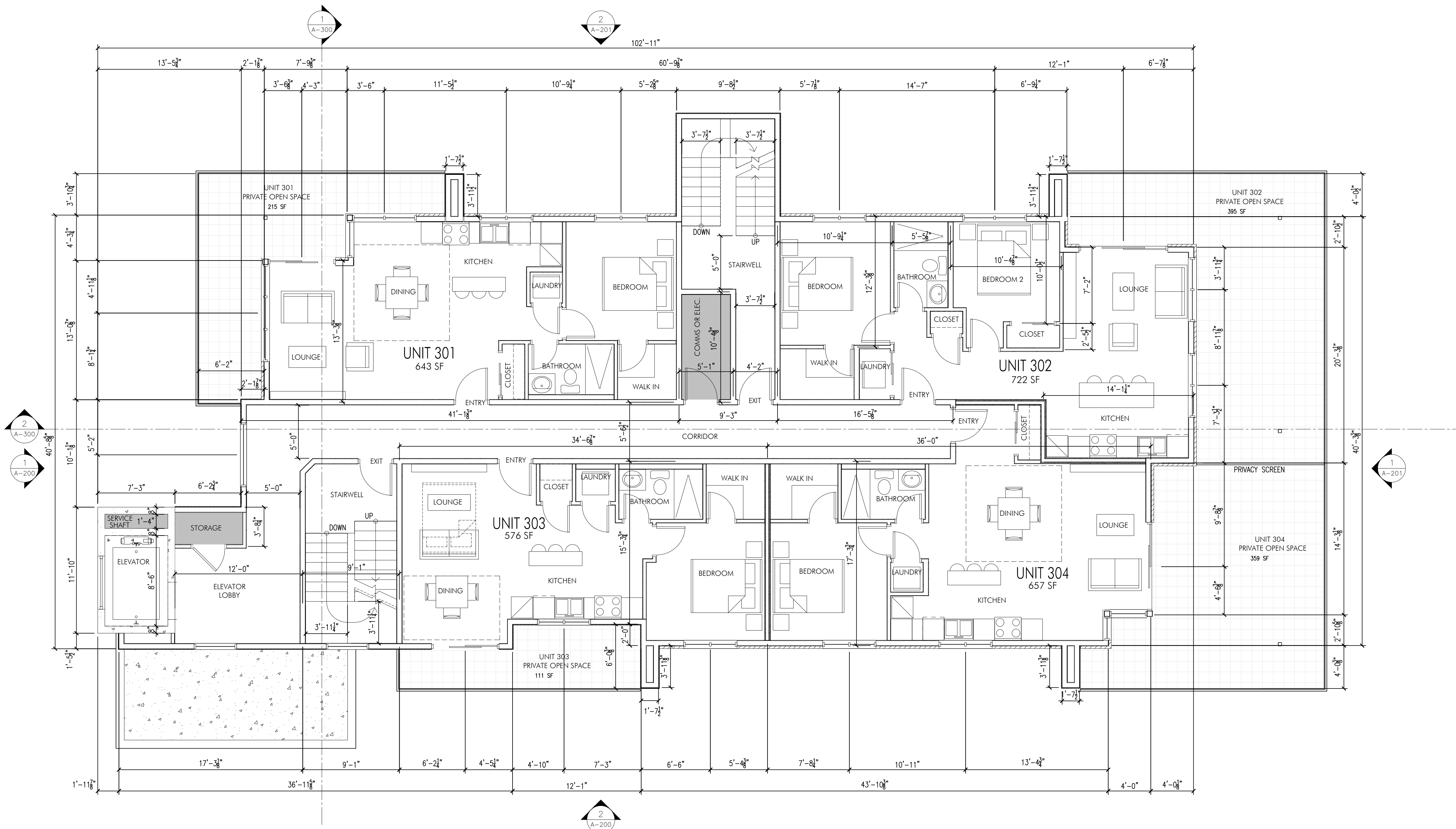
Plot Date 8-Jul-21
Drawing No. A-103

PROJECT
417 CEDAR AVENUE

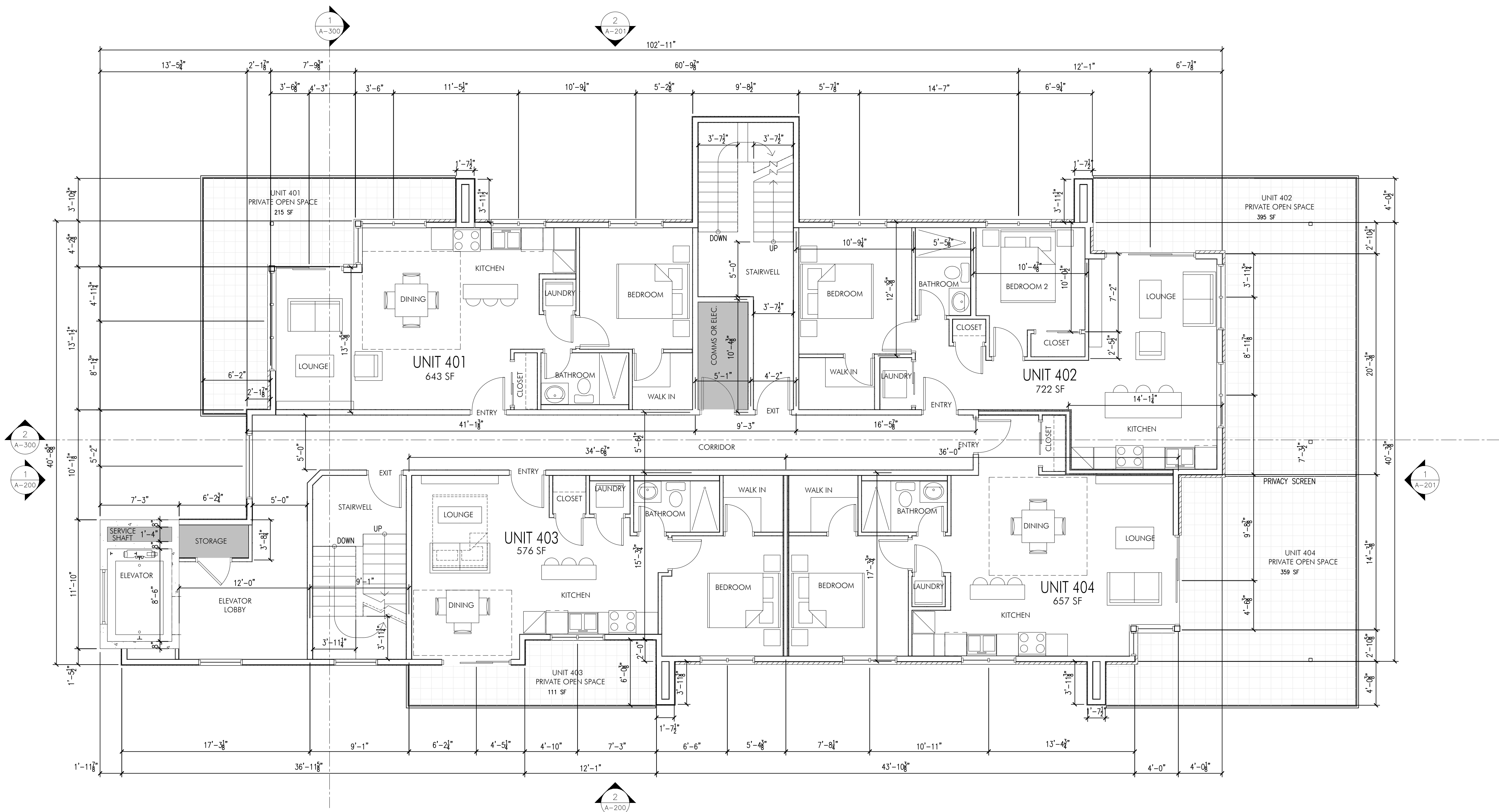
DRAWING TITLE
THIRD FLOOR LEVEL



FOR DVP

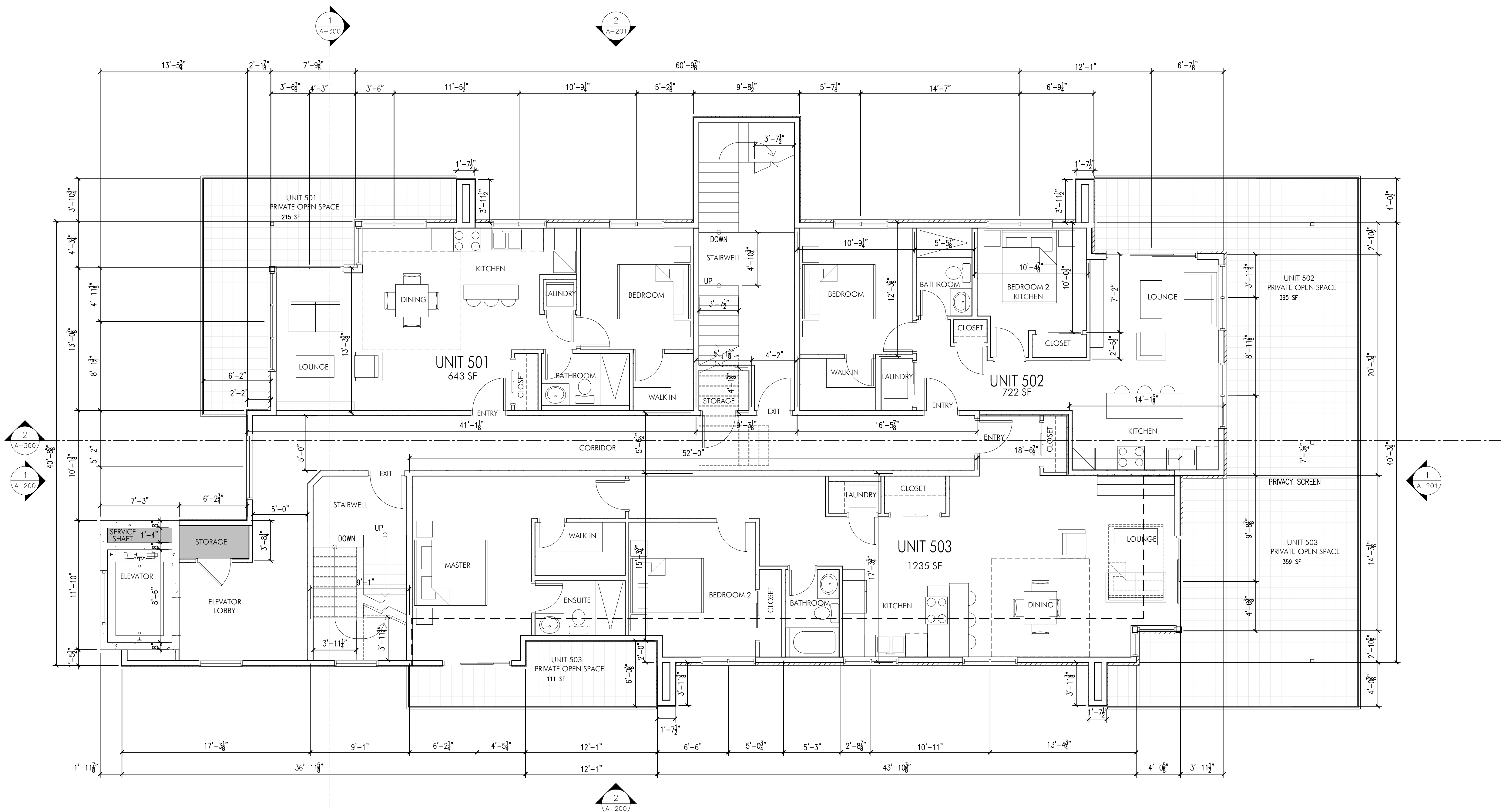


1 THIRD FLOOR PLAN
A-103/3/16" = 1'-0"



1 FOURTH LEVEL FLOOR PLAN
A-104 / 3/16" = 1'-0"

FOR DVP



1 FIFTH LEVEL FLOOR PLAN
A-105/3/16" = 1'-0"

FOR DVP

LIME

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Westerkamp

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Revision No., Date and Description

11.03.20 - FOR REVIEW
11.18.20 - FOR REVIEW
11.29.20 - FOR REVIEW
12.04.20 - FOR REVIEW
12.08.20 - FOR COORDINATION
12.16.20 - FOR DVP
04.27.21 - COORDINATION AND REVIEW
05.04.21 - FOR COORDINATION
05.05.21 - FOR PRESENTATION
05.19.21 - FOR DVP REVIEW
05.31.21 - FOR DVP
06.08.21 - CONSOLIDATED DVP PACKAGE

Plot Date
8-Jul-21

Drawing No.
A-106

PROJECT
417 CEDAR AVENUE

DRAWING TITLE
SIXTH LEVEL FLOOR PLAN

REGISTERED ARCHITECT
BRITISH COLUMBIA
GARY JONES
LIME ARCHITECTURE INC.

1 SIXTH LEVEL FLOOR PLAN
A-106 / 3/16" = 1'-0"

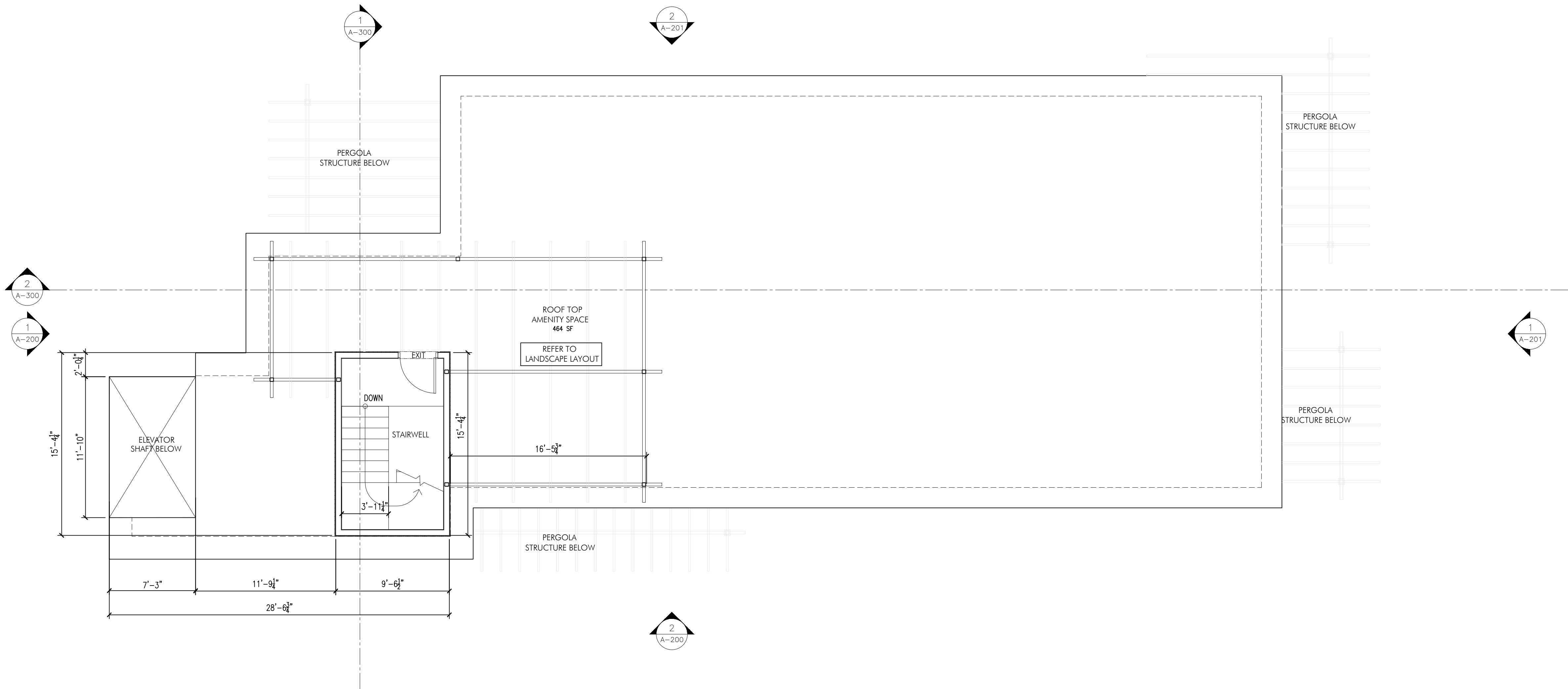
FOR DVP

Revision No., Date and Description
12.04.20 - FOR REVIEW
12.08.20 - FOR COORDINATION
12.16.20 - FOR DVP
04.27.21 - COORDINATION AND REVIEW
05.04.21 - FOR COORDINATION
05.05.21 - FOR PRESENTATION
05.19.21 - FOR DVP REVIEW
05.31.21 - FOR DVP
06.08.21 - CONSOLIDATED DVP PACKAGE

Plot Date	Drawing No.
8-Jul-21	A-107

PROJECT
417 CEDAR AVENUE

DRAWING TITLE
ROOF DECK PATIO FLOOR PLAN

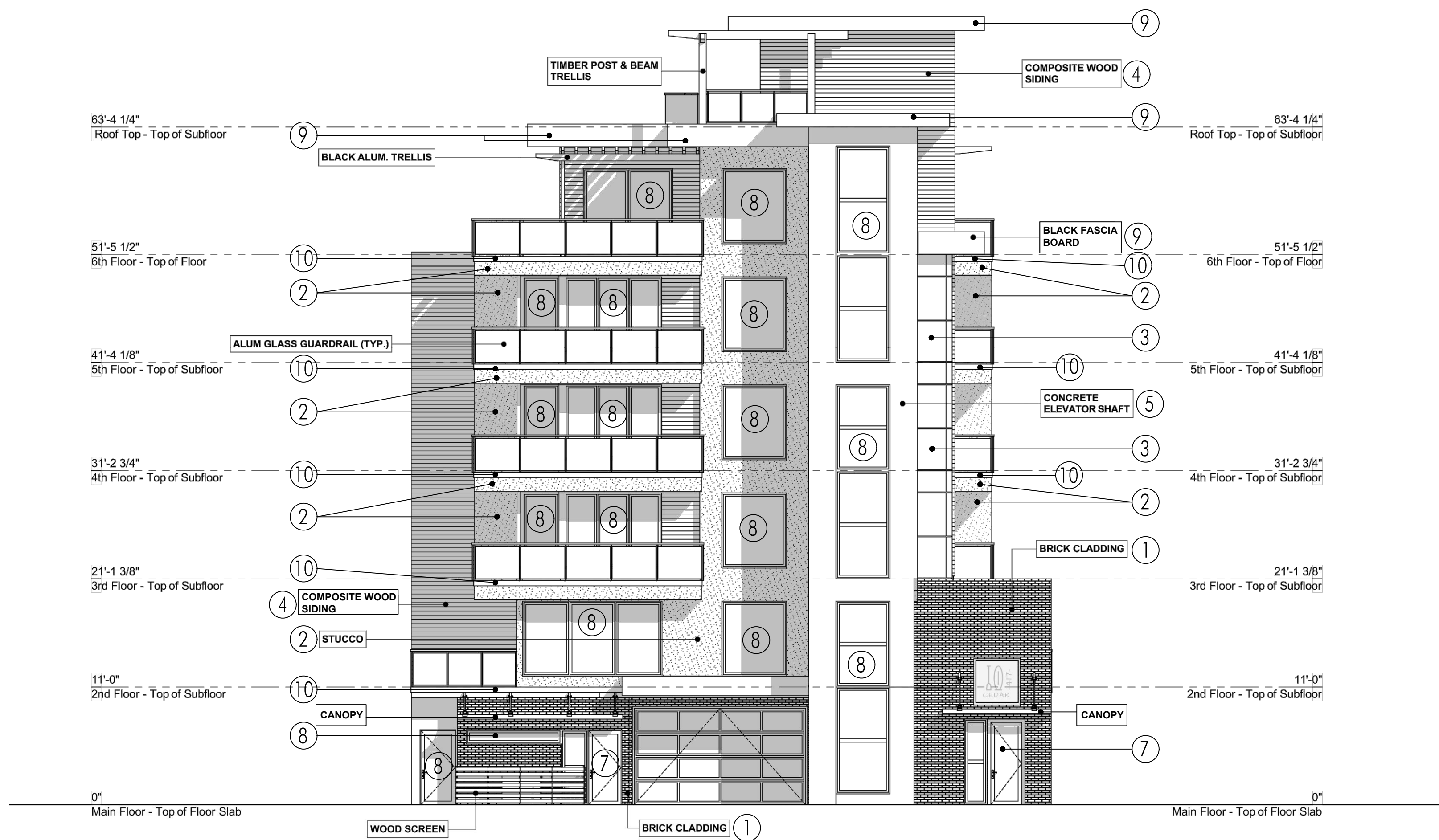


1 ROOF DECK LEVEL FLOOR PLAN
A-107 3/16" = 1'-0"

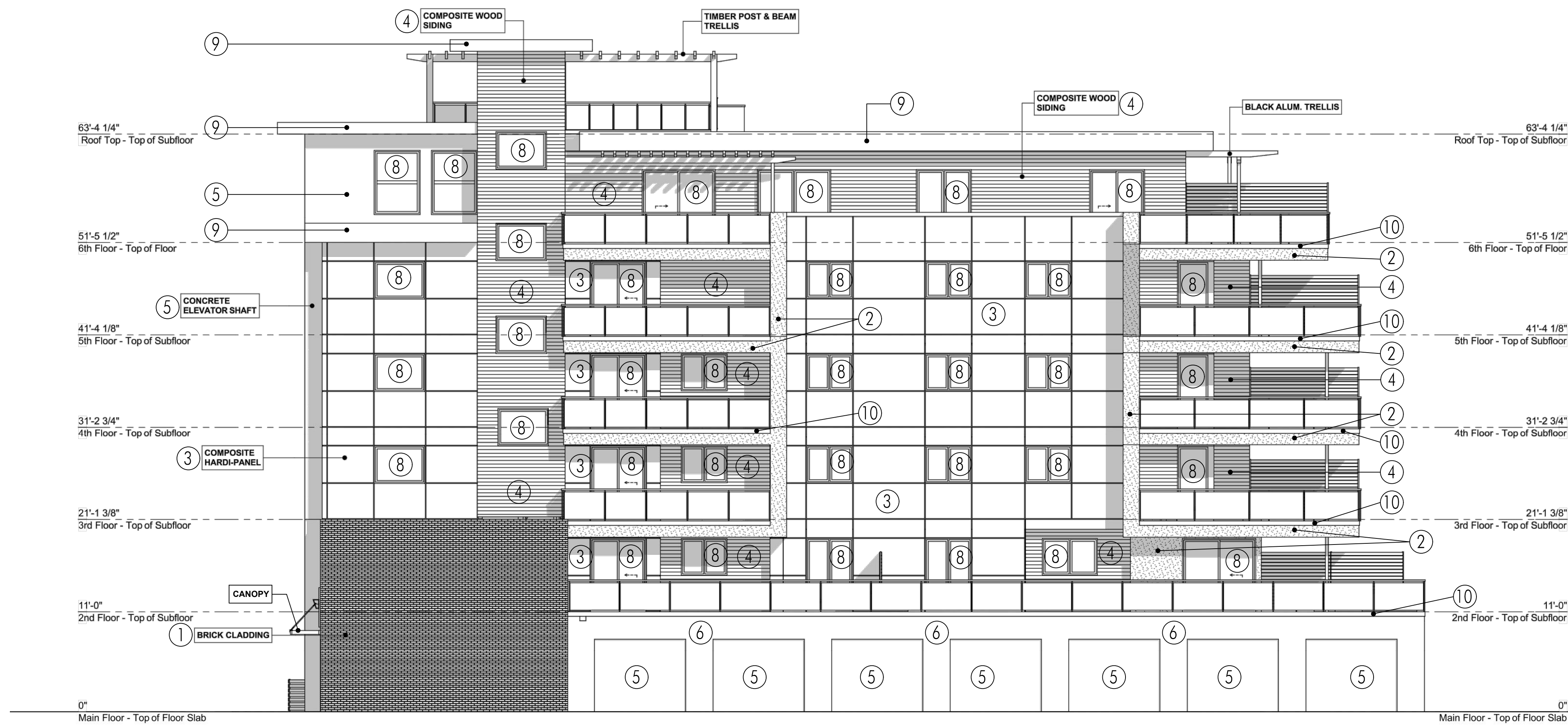
FOR DVP

PROJECT MATERIALS:

- BRICK CLADDING:
TRADITIONAL RED-BROWN BRICK VENEER
- STUCCO:
OFF-WHITE STUCCO FINISH
- COMPOSITE HARDI PANEL:
BOOTHBAY BLUE
- COMPOSITE WOOD SIDING AND SOFFITS:
MEDIUM BROWN FOX WOOD METAL SIDING
- BOARD FORM CONCRETE:
NATURAL COLOUR
- STANDARD CONCRETE FINISH
- STOREFRONT ENTRY:
BLACK ANODIZED ALUMINUM STOREFRONT
- WINDOWS AND DOORS:
BLACK
- FASCIA BOARD:
BLACK
- PRE-FINISHED ALUMINUM FLASHING:
BLACK



1 NORTH ELEVATION
SCALE: 1/8"=1'-0"

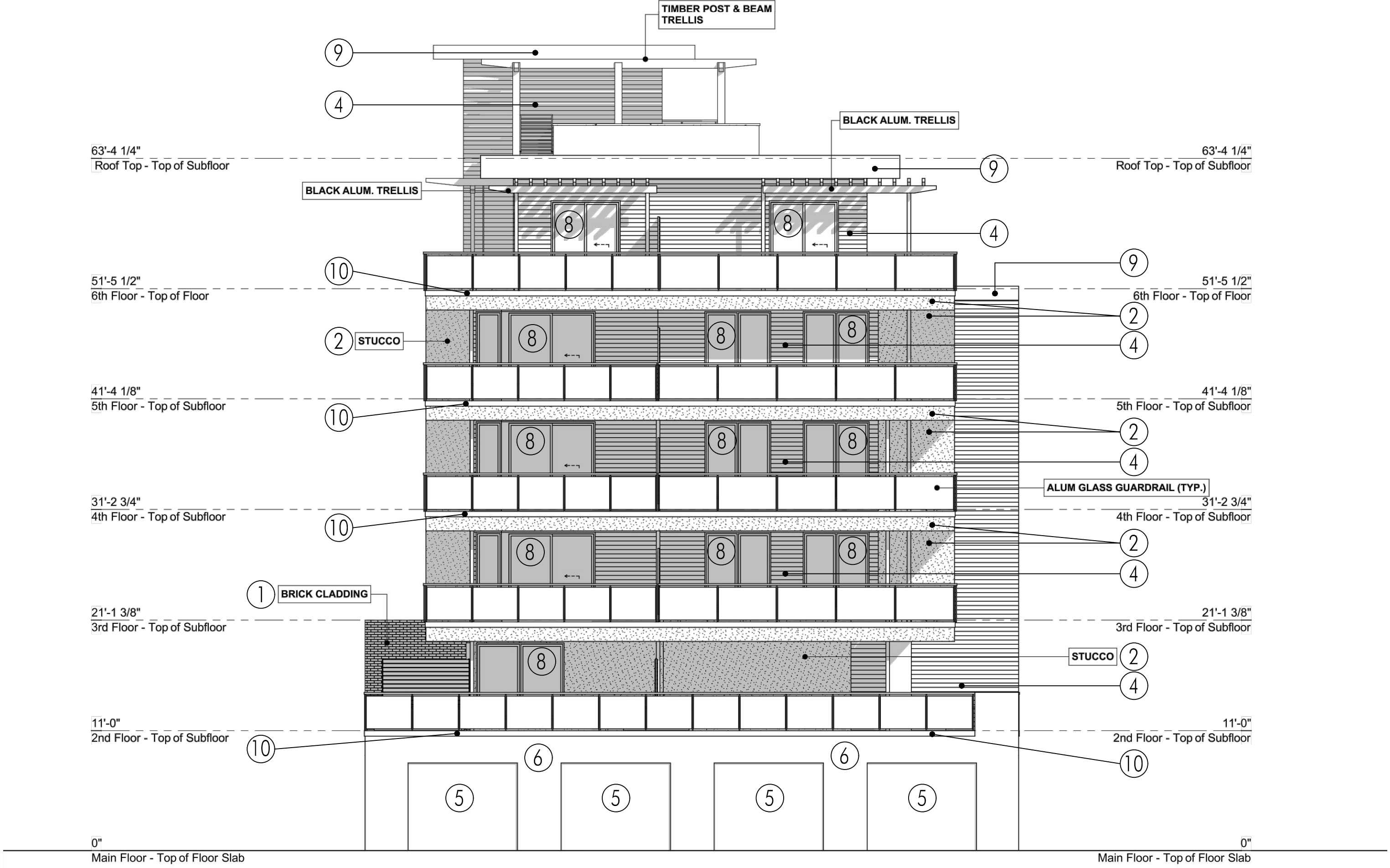


2 WEST ELEVATION
SCALE: 1/8"=1'-0"

FOR DVP

PROJECT MATERIALS:

- 1 BRICK CLADDING:
TRADITIONAL RED-BROWN BRICK VENEER
- 2 STUCCO:
OFF-WHITE STUCCO FINISH
- 3 COMPOSITE HARDI PANEL:
BOOTHBAY BLUE
- 4 COMPOSITE WOOD SIDING AND SOFFITS:
MEDIUM BROWN FOX WOOD METAL SIDING
- 5 BOARD FORM CONCRETE:
NATURAL COLOUR
- 6 STANDARD CONCRETE FINISH
- 7 STOREFRONT ENTRY:
BLACK ANODIZED ALUMINUM STOREFRONT
- 8 WINDOWS AND DOORS:
BLACK
- 9 FASCIA BOARD:
BLACK
- 10 PRE-FINISHED ALUMINUM FLASHING:
BLACK



1 SOUTH ELEVATION
SCALE: 1/8"=1'-0"

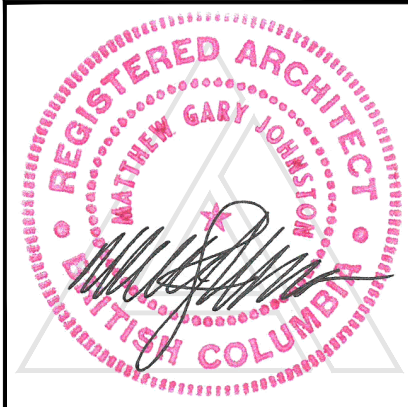


2 EAST ELEVATION
SCALE: 1/8"=1'-0"

Revision No., Date and Description
11.03.20 - FOR REVIEW
12.16.20 - FOR DVP
05.31.21 - FOR DVP
06.30.21 - ADDENDUM NO.1
06.08.21 - PROJECT MATERIAL UPDATES
06.08.21 - CONSOLIDATED DVP PACKAGE

Plot Date	Drawing No.
8-Jul-21	A-201

PROJECT
417 CEDAR AVENUE
DRAWING TITLE
ELEVATIONS



FOR DVP



SCHEDULE

This forms part of application
DP21-0005 DVP21-0006

Planner Initials LK

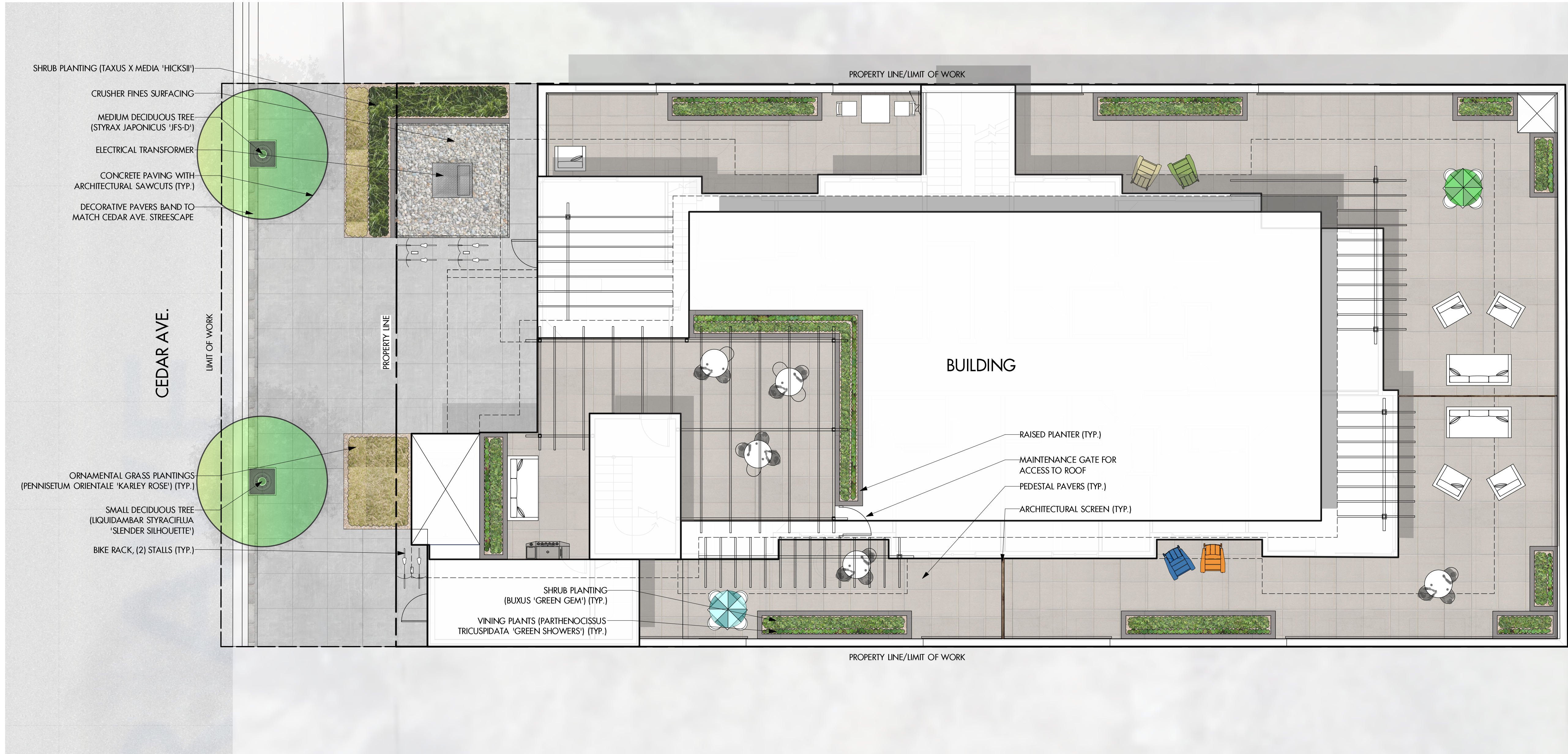
C

City of Kelowna
DEVELOPMENT PLANNING



OUTLAND DESIGN
LANDSCAPE ARCHITECTURE

303-590 KLO Road
Kelowna, BC V1Y 7S2
T (250) 868-9270
www.outlanddesign.ca



- NOTES
1. PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED THE CANADIAN LANDSCAPE STANDARD.

2. ALL OFFSITE LANDSCAPE WORKS TO MEET CITY OF KELOWNA BYLAW 7900 STANDARDS.

3. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.

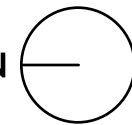
4. TREE AND SHRUB BEDS TO BE DRESSED IN A MINIMUM 75mm BLACK WOOD MULCH, AS SHOWN IN PLANS. DO NOT PLACE WEED MAT UNDERNEATH TREE AND SHRUB BEDS.

5. TREE AND SHRUB BEDS TO RECEIVE A MINIMUM 300mm DEPTH TOPSOIL PLACEMENT.

6. TURF AREAS SHALL BE GROWN FROM CERTIFIED SEED OF IMPROVED CULTIVARS REGISTERED FOR SALE IN B.C. AND SHALL BE TOLERANT OF DROUGHT CONDITIONS. A MINIMUM OF 100mm DEPTH OF GROWING MEDIUM IS REQUIRED BENEATH TURF AREAS. TURF AREAS SHALL MEET EXISTING GRADES AND HARD SURFACES FLUSH.

7. SITE GRADING AND DRAINAGE WILL ENSURE THAT ALL STRUCTURES HAVE POSITIVE DRAINAGE AND THAT NO WATER OR LOOSE IMPEDIMENTS WILL BE DISCHARGED FROM THE LOT ONTO ADJACENT PUBLIC, COMMON, OR PRIVATE PROPERTIES.

PLANT LIST			
BOTANICAL NAME	COMMON NAME	QTY	SIZE/SPACING & REMARKS
TREES			
SILHOUETTE'STYRAX JAPONICUS 'JFS-D'	SNOWCONE SNOWBELL	2	6cm CAL
SHRUBS			
BUXUS 'GREEN GEM'	GREEN GEM BOXWOOD	20	#02 CONT. /1.0M O.C. SPACING
TAXUS X MEDIA 'HICKSI'	HICK'S YEW	15	#02 CONT. /1.0M O.C. SPACING
PERENNIALS & GRASSES			
PARTHENOCESSUS TRICUSPIDATA 'GREEN SHOWERS'	GREEN SHOWERS BOSTON IVY	22	#01 CONT. /0.75M O.C. SPACING
PENNISETUM ORIENTALE 'KARLEY ROSE'	KARLEY ROSE FOUNTAIN GRASS	8	#01 CONT. /0.75M O.C. SPACING



PROJECT TITLE
417 CEDAR AVENUE

Kelowna, BC

DRAWING TITLE

CONCEPTUAL
LANDSCAPE PLAN

ISSUED FOR / REVISION		
1	20.12.11	Review
2	20.12.16	Development Permit
3	21.05.05	Development Permit
4	21.05.10	Development Permit
5	21.06.22	Development Permit

PROJECT NO.	20-124
DESIGN BY	FB
DRAWN BY	NG
CHECKED BY	FB
DATE	JUNE 22, 2021
SCALE	1:75
PAGE SIZE	24x36"

SEAL



DRAWING NUMBER

L1/2

ISSUED FOR REVIEW ONLY
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1 NORTH EAST VIEW



2 NORTH EAST VIEW



3 NORTH VIEW



4 NORTH WEST VIEW



5 SOUTH WEST VIEW



6 SOUTH EAST VIEW



7 EAST VIEW



8 WEST VIEW



LIME
ARCHITECTURE INC.

ATTACHMENT B

This forms part of application

DP21-0005 DVP21-0006

Planner
Initials

LK



City of
Kelowna
DEVELOPMENT PLANNING

Transmittal Page 1 of 3

To: Planning Department
CC: Kevin Edgecombe

City of Kelowna
kevin@edgecombebuilders.com

June 30, 2021

**Re: Design Rationale for the Proposed Development of
417 Cedar Avenue, Kelowna, BC (The Site)**

Dear City of Kelowna Planning Department,

Further to submitted information as it pertains to the DVP associated with the proposed Development of 417 Cedar Avenue in Kelowna, we offer the following Design Rationale for the project:

Located immediately west of the corner of Pandosy Street and KLO Road, 417 Cedar Avenue is located in the heart of Kelowna's Mission Centre neighbourhood. The project location is in close proximity to shopping and restaurants allowing most errands from the location to be accomplished by foot as is emphasized with a 70+ walk score. Kelowna's Mission Centre is ideally located for residential use and because of its associated high walk score, reduces the reliance on automobile use. The proposed C4 zone allows for mixed use (residential/commercial) which is well suited to the property's location between existing residential and commercial zones.

The building design includes a ground floor accessible commercial space from Cedar Avenue that connects internally to a residence on the second level above in order to create a work-live residence. Also included on the Cedar Ave. frontage is vehicle access to a ground level parkade and the entry lobby for the remaining 16 residences (17 in total) located on the upper 5 storeys above the entry level (6 levels in total). The location close to the commercial centre of the Mission Centre influenced the overall design that includes the provision of additional bicycle parking in order to reduce the required number of vehicle parking stalls. The reduction in automobile reliance in conjunction with the higher density infill development of the property contribute to a more sustainable approach to the building design that aligns with the City of Kelowna's Healthy City Strategy and planning initiatives. The concept for the building includes providing a mix of private outdoor spaces and a community roof-top amenity space that allows a variety of outdoor options for the occupants of the building.

One of the challenges in developing the property is its midblock location thereby eliminating the opportunity for rear lane access. In response to the location of the property and lack of lane access, the building design had to incorporate the residential entry, vehicle entry and commercial frontage from Cedar Avenue. This requirement meant that the commercial frontage had to be reduced from the zoning requirement of 90% commercial space on the first floor to approximately 34% commercial frontage in order to integrate the vehicle and pedestrian entries required off of Cedar Avenue. In addition to the reduced commercial frontage, the narrow nature of the property required a design approach that maximized the building footprint on the site in order to accommodate parking to support a higher density project to take advantage of the Mission Centre location as well

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as anticipate the future development of neighbouring properties to higher density, mixed use buildings. Above the entry level, we felt it important to reduce the impact of the building massing on adjacent properties by stepping the building away from the property edges. The response to stepping the building was to increase the height in order to achieve the residential density that the C4 zone supports. Accordingly, the final design solution for 417 Cedar Avenue resulted in the following proposed variances:

- increasing the maximum site coverage from 75% to 91.5%
- vary the maximum building height from 15m or 4 storeys to 19.5m and 6 storeys
- vary the required side yard from 2m where the property abuts a residential zone to 0m
- vary the required minimum rear yard from 6m where the property abuts a residential zone to 0m
- vary the commercial frontage from 90% to 34%.

The final building form takes inspiration from the trend to design and build with a modern building style combined with energy efficiency in mind. The modern form includes the use of punch windows to reduce the impact of the exterior located elevator shaft while offering transparent connection between indoor and exterior spaces. The use of this type of window system helps establish a regular rhythm on the building exterior while enhancing energy performance by limiting glazing areas. The building human scale at the street level is inviting with most of the massing above the entry level stepped back from the property line in order to reduce the impact of the building massing while maintaining a sense of privacy between neighbouring buildings.

The priority to densify precious, developable land within an existing urban centre while ensuring the building stepped away from neighbouring properties resulted in the building height exceeding the maximum allowed in the C4 zone. Achieving 17 residences on the property while being sensitive to the neighbourhood was felt to be important from a location and sustainability perspectives. To further reduce the impact of the additional height, the 6th storey was stepped back even further than the 5 storeys below in order to help reduce the impact of the height and massing further than the stepping of the stories between the entry and upper. The result is an attractive infill project that combines a commercial component, addresses the human scale while sensitively designed to reduce impact on neighbours. Additionally, bicycle storage was regarded as an important aspect and in fact occupies prime floor space on both the entry and second levels. Easily accessible while being secured within the building is a testament to the priority that bicycle storage had in the design of this project. We believe that reducing the number of parking stalls in exchange for the additional bicycle storage aligns with the City's vision and our own when it comes to healthy, interactive urban living.



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In summary, the rationale for this project is as follows:

- i. Provide a thoughtful, sustainable infill housing solution to a property located in the heart of an existing urban centre of Kelowna.
- ii. Provide a live-work space in response to current changing habits that influence the way people work and live.
- iii. Propose a development that meets the City of Kelowna Parking Bylaw requirements. Specifically, and in conjunction with the additional bicycle storage, the project provides a vehicle parking stall for 14 of the 17 residential units plus 3 visitor spaces that includes an accessible stall.
- iv. The proposed development results in a building design that is attractive in its modern design, is inviting and addresses the human scale at ground level and is sensitive to the neighbourhood at large by the way it has been designed and massed on the site.

This proposed development recognizes the City of Kelowna's strategic approach to overall residential growth including better use of precious developable land in accordance with the City's OCP/Future Land Use, Healthy City Strategy and planning initiatives.

We look forward to your supportive comments in response to this DVP application.

Please do not hesitate to contact our office if you have any questions or require additional information in these matters.

Sincerely:

Matt Johnston Architect AIBC, LEED AP
LIME Architecture Inc.

c/o

**The Development Team including, but not limited to:
Edgecombe Builders Group.**