

Development Permit DP20-0099

ATTACHMENT A

This forms part of application
DP20-0099

Planner
Initials **TC**

City of
Kelowna
DEVELOPMENT PLANNING



This permit relates to land in the City of Kelowna municipally known as 3425 Hilltown Drive

and legally known as Lot 1 Section 28 Township 23 ODYD Plan EPP76020

and permits the land to be used for the following development:

CD18 – McKinley Beach Comprehensive Resort Development

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council's Decision: July 26th, 2021
Decision By: Council
Development Permit Area: CD18: Form & Character Development Permits
Existing Zone: CD18 – McKinley Beach Comprehensive Resort Development
Future Land Use Designation: MXT – Mixed Use Tourism

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Kinnikinnik Development Inc., Inc.No. BCo622664

Applicant: McKinley NA Limited Partnership

Terry Barton
Development Planning Department Manager
Planning & Development Services

Date

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.

This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) An Irrevocable Letter of Credit **OR** certified cheque in the amount of **\$388,184.07**

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.


5. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**

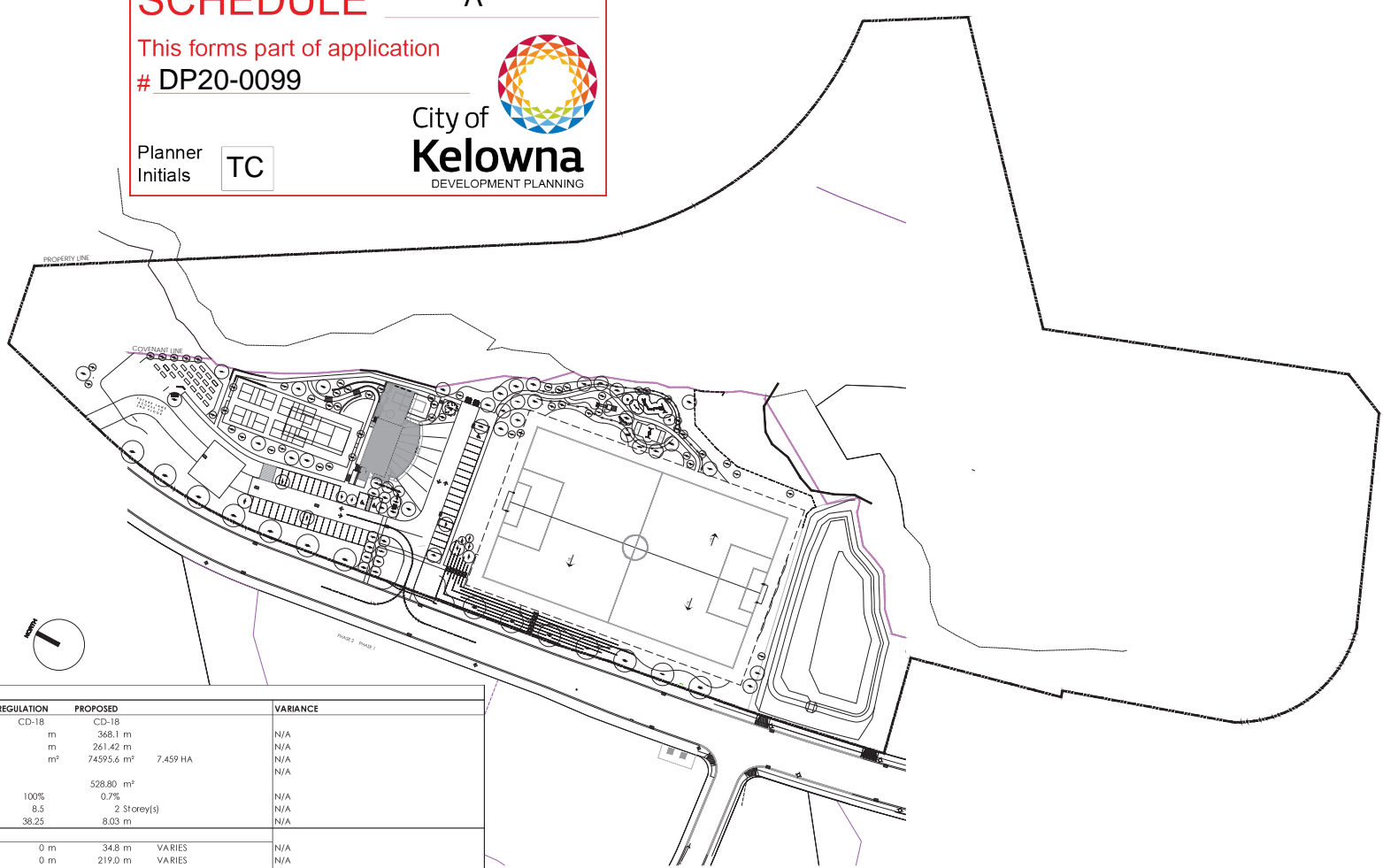
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 City of Kelowna DEVELOPMENT PLANNING	

SCHEDULE A

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City of Kelowna
DEVELOPMENT PLANNING



ZONING SUMMARY	REGULATION	PROPOSED	VARIANCE
ZONING	CD-18		
LOT WIDTH (FRONTAGE-HILLTOWN DRIVE)	m	368.1 m	N/A
LOT DEPTH	m	261.42 m	N/A
SITE AREA	m ²	74595.6 m ²	7.459 HA
MAXIMUM FAR: (NIC, COVERED PARKING)		528.80 m ²	N/A
BUILDING COVERAGE		0.7%	N/A
MAXIMUM SITE COVERAGE	100%	0.7%	N/A
MAXIMUM BUILDING HEIGHT	8.5	2 Storey(s)	N/A
	38.25	8.03 m	N/A

SETBACKS	REGULATION	PROPOSED	VARIANCE
FRONT YARD (WEST)	0 m	34.8 m	VARIES
SIDE YARD (SOUTH)	0 m	219.0 m	VARIES
SIDE YARD (NORTH)	0 m	140.0 m	VARIES
REAR YARD (EAST)	0 m	54.8 m	VARIES

PARKING	PHASE	REGULATION	PROPOSED	VARIANCE
CAR STALLS	(2.5/100 sq.m) (1/employee + 1/3 users) refer to site plan for calc.	5 PH1 18 PH1		
	(25/100 sq.m) 3/Court	11 PH1 12 PH2		
*size ratio	ACCESSIBLE STALLS (VAN) MEDIUM (MAX) REGULAR/FULL (MIN)	46 2(1) 50 % 50 %	46 2(1) - % 100.0 %	N/A N/A N/A
BICYCLE STALLS	CLASS 1 (1/10 EMPLOYEES) CLASS 2 (0.6/100 sq.m)	1 1	1 10	N/A N/A
LOADING	1 per 2800 sm GFA	1	1	N/A

BUILDING SUMMARY	REGULATION	PROPOSED	VARIANCE
BUILDING AREA	528.8 m ²	5692 ft ²	
LEVEL 1 - AMENITY AREA	528.8 m ²	5692 ft ²	
LEVEL 1 - OUTDOOR POOL/DECK	57.4 m ²	618 ft ²	Omitted from GFA
LEVEL 1 - SERVICE	40.0 m ²	446 ft ²	
LEVEL 2 - OFFICE	194.7 m ²	2096 ft ²	
LEVEL 2 - ROOF TERRACE	57.4 m ²	618 ft ²	Omitted from GFA
LEVEL 2 - SERVICE	5.1 m ²	55 ft ²	
GROSS FLOOR AREA (GFA)	788.6 m ²	8489 ft ²	
NET FLOOR AREA (NFA)	780.94 m ²	8406 ft ²	

SITE LEGEND

- PROPOSED AMENITY BUILDING
- PROPOSED FIRE DEPARTMENT TURN-AROUND
- PROPOSED PARKING LOT
- PROPOSED SOCCER FIELD
- PROPOSED SPORTS COURTS, PLAYGROUND AND COMMUNITY GARDEN - SEE LANDSCAPE DRAWINGS
- EXISTING RESERVOIR/SWM POND (PER CIVL)
- REFUSE & RECYCLING STORAGE ENCLOSURE (EARTH BINS, REFER TO ADJACENT IMAGE)
- FUTURE 5000 SF WASHROOM AND STORAGE BUILDING

EXISTING (PROPOSED) DENOTES EXISTING & PROPOSED GRADES

← DENOTES VEHICLE TRAFFIC DIRECTION

2% SLOPE DENOTES PROPOSED/FINISHED GRADE SLOPE



Scale

Notes

These drawings are instruments of service and the professional liability of the architect and contractor shall not be affected by any amendments to the drawings.

The drawings must not be scaled. The general contractor shall verify all dimensions, elevations and levels prior to commencement of work. The project engineer shall be responsible for all dimensions to the architect.

Consultants

NO.	DATE	RECORDS OF REVISIONS
1	21.03.09	REVISED REVIEW & COORDINATION
2	28.11.24	REVISED PER HIGH WATER AMENDMENT
3	21.01.09	REVISED FOR DEVELOPMENT PERMIT
4	28.11.25	REVISED PER HIGH WATER AMENDMENT
5	28.01.27	REVISED FOR DEVELOPMENT PERMIT
NO.	DATE	RECORDS OF ISSUES

PROJECT

MCKINLEY BEACH
AMENITY BUILDING
KELOWNA, BC

Sheet No.

SITE PLAN

Job Number 18.669

Date 2021.03.09

Scale 1/162' = 1"

Revision Number 3

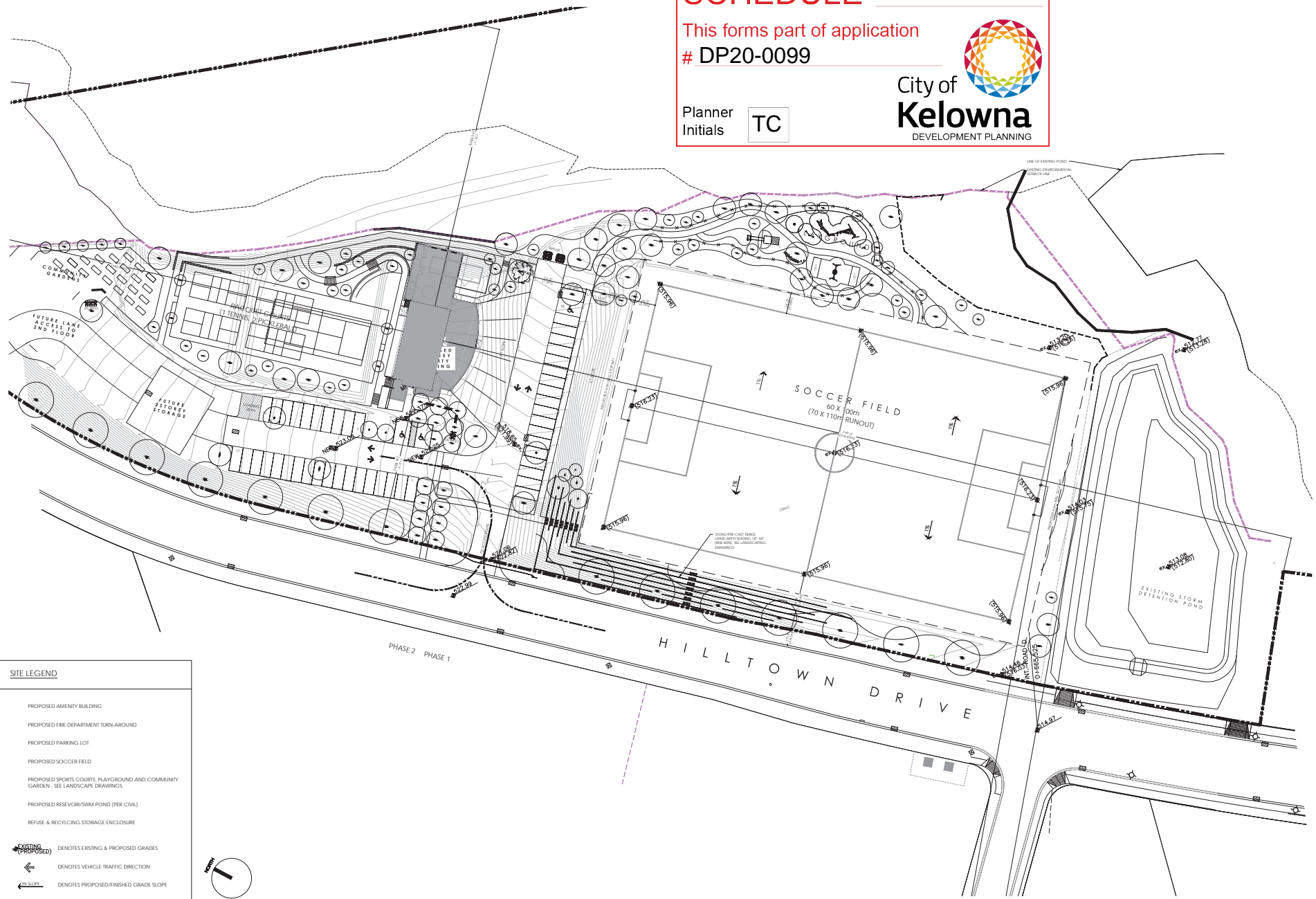
Drawing Number

A1.0

SCHEDULE A

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SITE LEGEND

- PROPOSED AMENITY BUILDING
- PROPOSED FIRE DEPARTMENT TURN AROUND
- PROPOSED PARKING LOT
- PROPOSED SOCCER FIELD
- PROPOSED SPORTS COURTS, PLAYGROUND AND COMMUNITY GARDEN - SEE LANDSCAPE DRAWINGS
- PROPOSED RESERVOIR/SWM POND (PER CIVIL)
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- EXISTING (PROPOSED) DENOTES EXISTING & PROPOSED GRADES
- ← DENOTES VEHICLE TRAFFIC DIRECTION
- ↘ DENOTES PROPOSED/FINISHED GRADE SLOPE

These drawings are instruments of service and the professional responsibility of the architect and contractor without the architect's prior written permission.
This drawing must not be copied, the government is not liable for any errors or omissions, and the user assumes all responsibility for the accuracy of the work. No part of this drawing is to be reproduced without the written consent of the architect.

Comments

NO.	DATE	REVISION
1	20.11.24	REVISED FOR HIGH WATER AMENDMENT
2	20.11.24	REVISED FOR HIGH WATER AMENDMENT
3	21.03.24	REVISED FOR HIGH WATER AMENDMENT
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100	21.03.24	REVISED FOR HIGH WATER AMENDMENT

MCKINLEY BEACH
AMENITY BUILDING
KELOWNA, BC

SITE PLAN

Site Number: 18.669
Date: 2021.03.09
Scale: 1/16" = 1'
Revision Number: 3
Drawing Number: **A1.1**

NO.	DATE	REVISIONS
2	27.02.24	REVISED REVIEW & COORDINATION
1	20.11.24	REVISED PER HIGH WATER AMENDMENT
NO.	DATE	RECORD OF REVISIONS
3	27.03.24	RE-USED FOR DEVELOPMENT PERMIT
2	20.11.23	REVISED PER HIGH WATER AMENDMENT
1	20.01.23	ISSUED FOR DEVELOPMENT PERMIT
NO.	DATE	RECORD OF REVISIONS

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MCKINLEY BEACH
AMENITY BUILDING
KELOWNA, BC

Sheet Title
FLOOR PLAN
LEVEL 1
(GROUND LEVEL)

Sheet Number 18.669

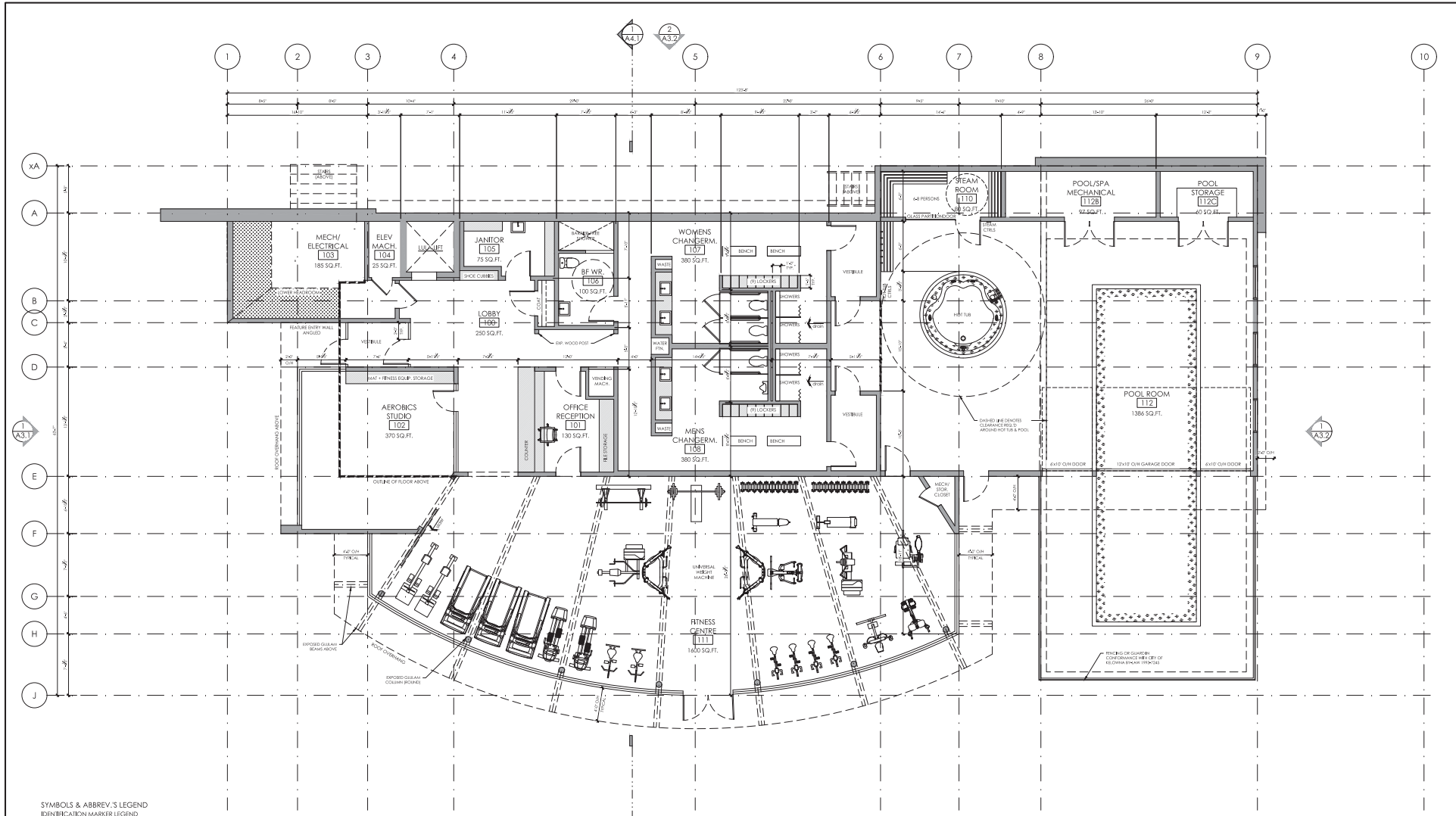
Date 2021.03.09

Scale 3/16" = 1'

Revision Number 3

Drawing Number

A2.1



SYMBOLS & ABBREVIATIONS LEGEND

- ELEVATION REFERENCE
- DETAIL REFERENCE
- WALL SECTION REFERENCE
- BUILDING SECTION REFERENCE
- DATUM
- GRID LINE
- BELOW GRADE WARNING (COORD. W/ MECH. DWG'S)
- DOOR TYPE (COORD. W/ DOOR SCHEDULE)
- NEW DOOR
- TYP. LINE ACCESS DOOR
- WINDOW (COORD. W/ WINDOW SCHEDULE)

- PK. NAME**
- ROOM NO.**
- WALL TYPE (COORD. W/ WALL TYPE SCHEDULE)
- S.D. CARBON MONOXIDE SMOKE DETECTOR
- HD FLOOR DRAIN/CAN SLOPE ARROW (COORD. W/ MECH. DWG'S)
- HD ID
- FINISHED FLOOR ELEVATION (METERS) (COORD. W/ B.S. SECTION)

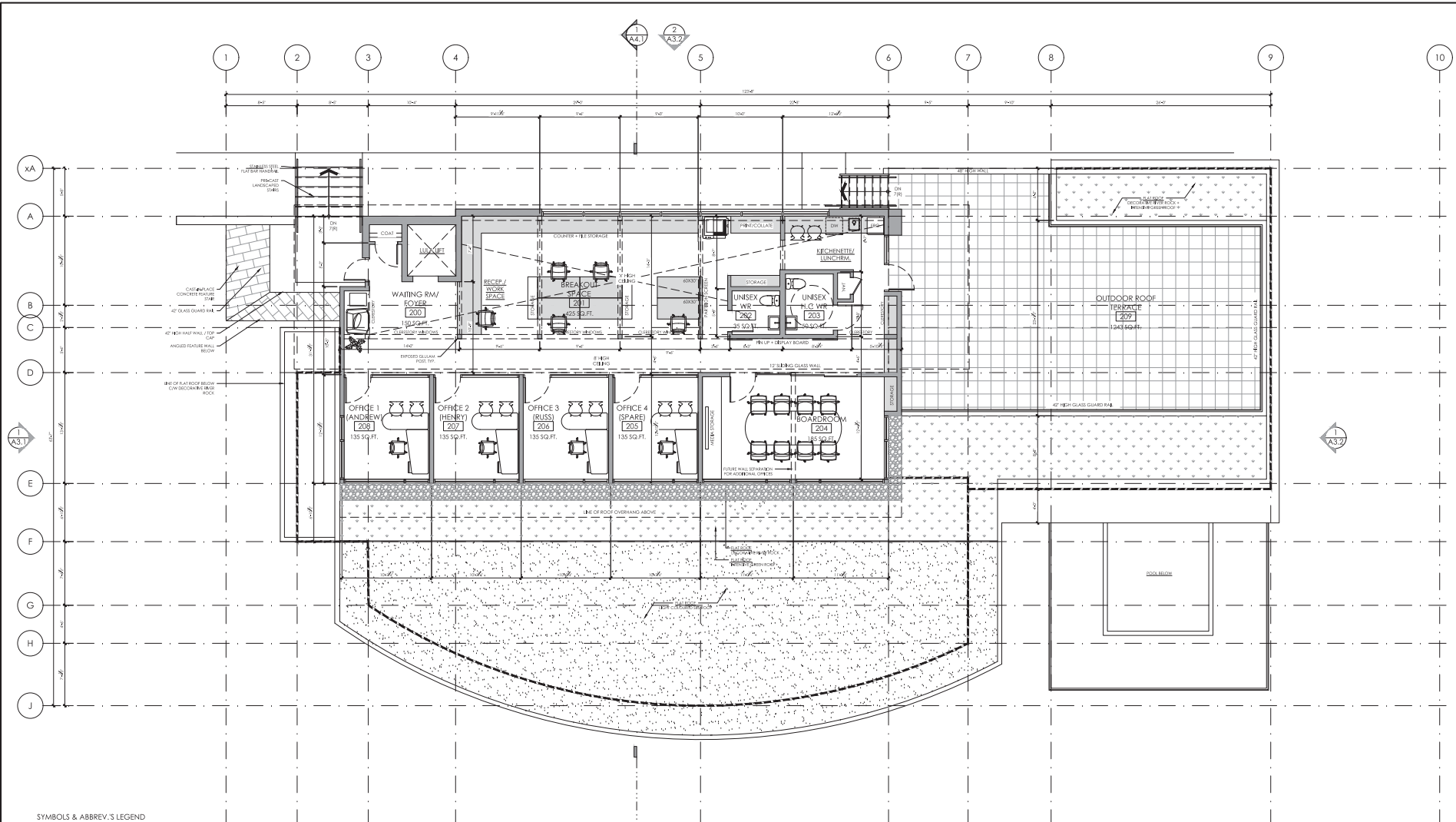
- HATCH IDENTIFICATION MARKER LEGEND**
- NEW VEGETATION/LANDSCAPING (COORD. W/ LANDSCAPE ARCHITECT)
- FULL HEIGHT WALL
- MELLWORK
- HATCH AREA DENOTES CEILING HEIGHT UNDER 4'0"
- OPEN TO ABOVE

SCHEDULE A

This forms part of application # DP20-0099

Planner Initials **TC**

City of Kelowna
DEVELOPMENT PLANNING



SYMBOLS & ABBREVIATIONS LEGEND

- ELEVATION REFERENCE
- DETAIL REFERENCE
- WALL SECTION REFERENCE
- BUILDING SECTION REFERENCE
- DATUM
- GRID LINE
- BELOW GRADE WARNING (E, COORD. W/ MECH. DWG.'S) (COORD. W/ SITE SERVICE DWG.'S)
- DOOR TYPE (COORD. W/ DOOR SCH.'S)
- NEW DOOR
- TYP. LINE ACCESS DOOR
- WINDOW (COORD. W/ WINDOW SCH.'S)

- RM. NAME**
 - ROOM NO.**
 - WALL TYPE (COORD. W/ WALL TYPE SCH.)
 - S.D. CARBON MONOXIDE/SMOKE DETECTOR
 - FLOOR DRAIN (C/W SLOPE ARROW (COORD. W/ MECH. DWG.'S))
 - FINISHED FLOOR ELEVATION (METERS) (COORD. W/ BUILD. SECTIONS)
- HATCH IDENTIFICATION MARKER LEGEND**
- NEW VEGETATION/LANDSCAPING (COORD. W/ LANDSCAPE ARCHITECT)
 - FULL HEIGHT WALL
 - MELLWORK
 - HATCH AREA DENOTES CEILING HEIGHT UNDER 4'0"
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NO.	DATE	RECORD OF REVISIONS
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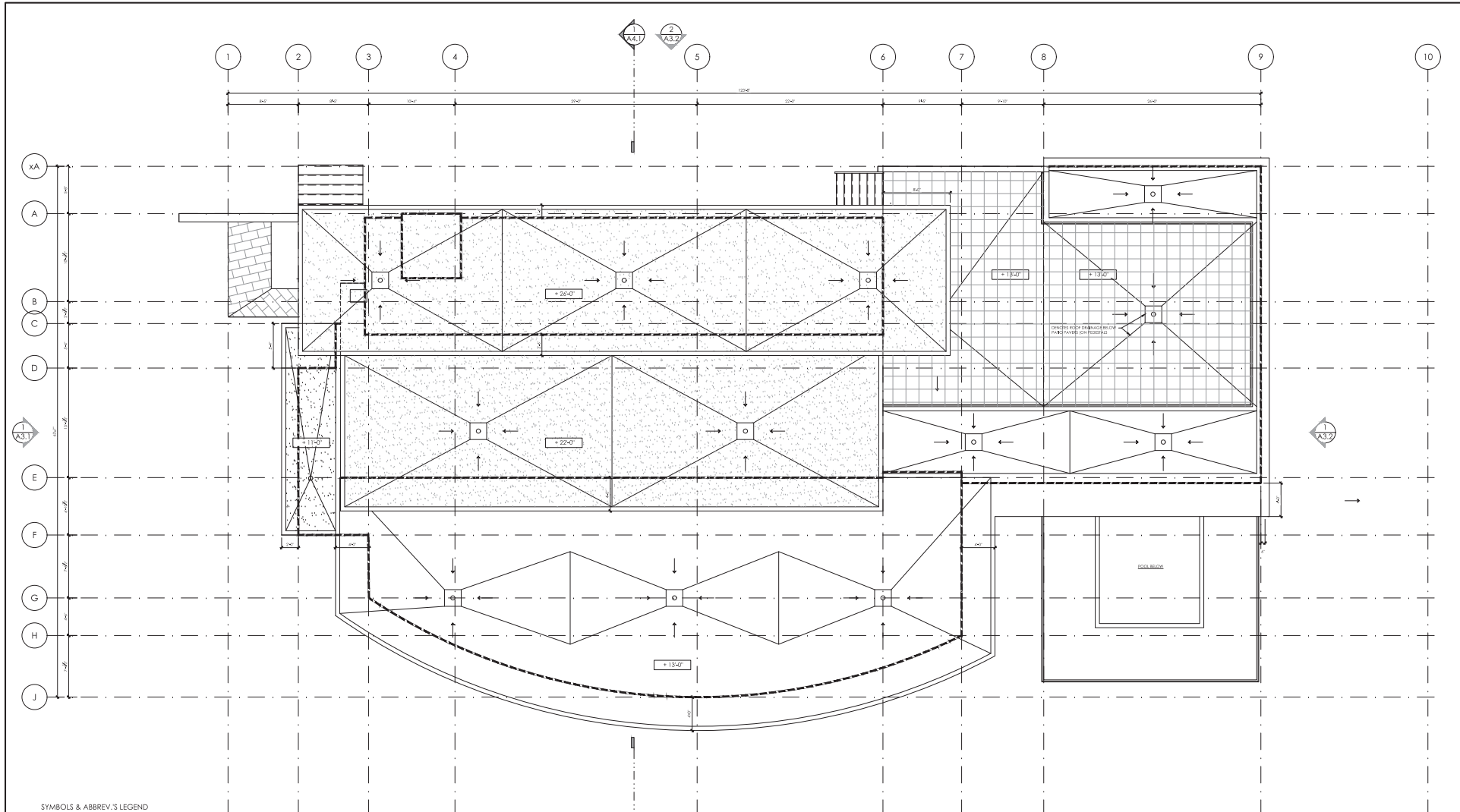
Planner Initials **TC**

City of Kelowna
DEVELOPMENT PLANNING

MCKINLEY BEACH
AMENITY BUILDING
KELOWNA, BC

Sheet Title: **FLOOR PLAN LEVEL 2 (UPPER LEVEL)**

File Number: 18.669
Date: 2021.03.09
Scale: 3/16" = 1'
Revision Number: 3
A2.2



SYMBOLS & ABBREVIATIONS LEGEND

- ELEVATION REFERENCE
- DETAIL REFERENCE
- WALL SECTION REFERENCE
- BUILDING SECTION REFERENCE
- DATUM
- A/B LEVEL (ABOVE FINISHED FLOOR)
- GRID LINE
- BELOW GRADE WARNING (E, COORD. W/ MECH. DWG'S)
- DOOR TYPE (COORD. W/ DOOR SCH'S)
- NEW DOOR
- TYP. LINE ACCESS DOOR
- WINDOW (COORD. W/ WINDOW SCH'S)

- ROOM NAME
- ROOM NO.
- WALL TYPE (COORD. W/ WALL TYPE SCH.)
- S.D. CARBON MONOXIDE/SMOKE DETECTOR
- F.D. FLOOR DRAIN C/W SLOPE ARROW (COORD. W/ MECH. DWG'S)
- FINISHED FLOOR ELEVATION (METERS) (COORD. W/ BLDG. SECTIONS)

- HATCH IDENTIFICATION MARKER LEGEND**
- FLAT ROOF AS PER OWNERS SPEC.
 - AREA OF BACK OVERHANG
 - DOOR (EACH AS PER OWNERS SPEC.)

SCHEDULE A

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City of Kelowna
DEVELOPMENT PLANNING

MCKINLEY BEACH
AMENITY BUILDING
KELOWNA, BC

Sheet Title

ROOF PLAN

File Number 18.669

Date 2021.03.09

Scale 3/16" = 1'

Revision Number 3

Drawing Number

A2.3

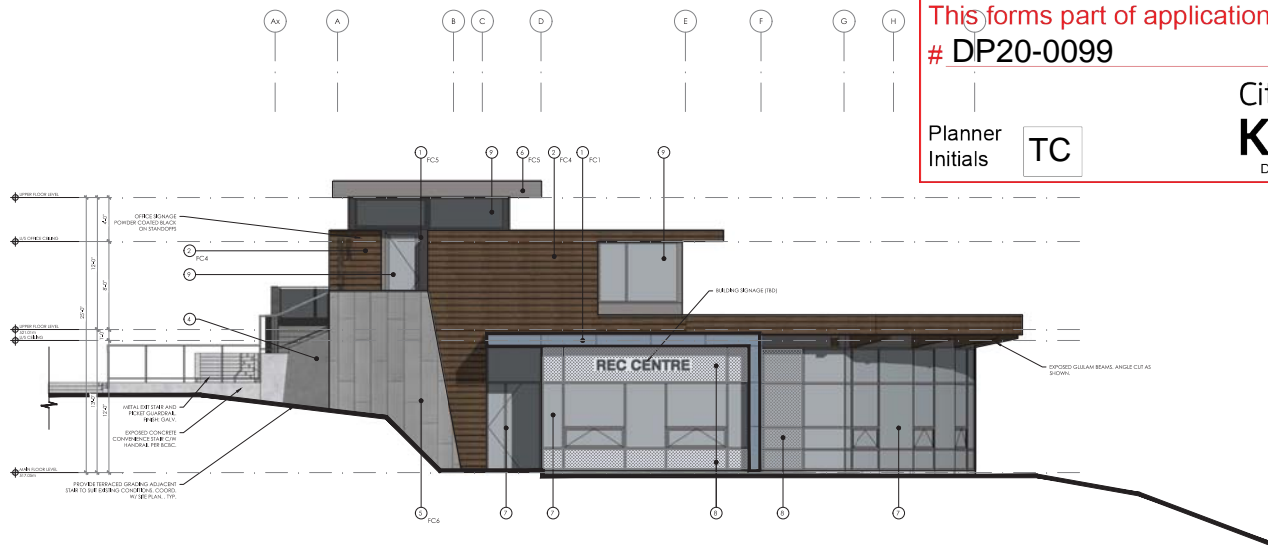
SCHEDULE B

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DP20-0099

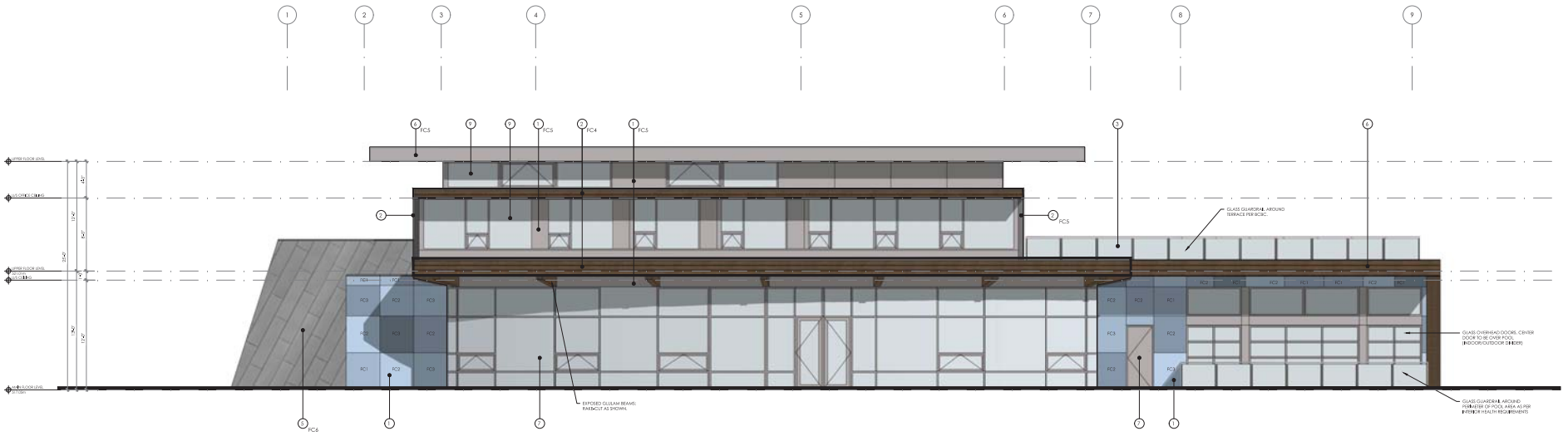
Planner
Initials TC



City of
Kelowna
DEVELOPMENT PLANNING



BUILDING ELEVATION - NORTH



BUILDING ELEVATION - WEST

EXTERIOR MATERIALS	
FC1	Dark Blue-Grey Stone Finish - Stone Collection
FC2	Medium Blue-Grey Stone Finish - Stone Collection
FC3	Light Blue-Grey Stone Finish - Stone Collection
FC4	Medium Blue-Grey Stone Finish - Stone Collection
FC5	Medium Blue-Grey Stone Finish - Stone Collection
FC6	Medium Blue-Grey Stone Finish - Stone Collection
FC7	Medium Blue-Grey Stone Finish - Stone Collection
FC8	Medium Blue-Grey Stone Finish - Stone Collection
FC9	Medium Blue-Grey Stone Finish - Stone Collection
FC10	Medium Blue-Grey Stone Finish - Stone Collection
FC11	Medium Blue-Grey Stone Finish - Stone Collection
FC12	Medium Blue-Grey Stone Finish - Stone Collection
FC13	Medium Blue-Grey Stone Finish - Stone Collection
FC14	Medium Blue-Grey Stone Finish - Stone Collection
FC15	Medium Blue-Grey Stone Finish - Stone Collection
FC16	Medium Blue-Grey Stone Finish - Stone Collection
FC17	Medium Blue-Grey Stone Finish - Stone Collection
FC18	Medium Blue-Grey Stone Finish - Stone Collection
FC19	Medium Blue-Grey Stone Finish - Stone Collection
FC20	Medium Blue-Grey Stone Finish - Stone Collection
FC21	Medium Blue-Grey Stone Finish - Stone Collection
FC22	Medium Blue-Grey Stone Finish - Stone Collection
FC23	Medium Blue-Grey Stone Finish - Stone Collection
FC24	Medium Blue-Grey Stone Finish - Stone Collection
FC25	Medium Blue-Grey Stone Finish - Stone Collection
FC26	Medium Blue-Grey Stone Finish - Stone Collection
FC27	Medium Blue-Grey Stone Finish - Stone Collection
FC28	Medium Blue-Grey Stone Finish - Stone Collection
FC29	Medium Blue-Grey Stone Finish - Stone Collection
FC30	Medium Blue-Grey Stone Finish - Stone Collection

EXTERIOR FINISH SCHEME	
FC1	Dark Blue-Grey Stone Finish - Stone Collection
FC2	Medium Blue-Grey Stone Finish - Stone Collection
FC3	Light Blue-Grey Stone Finish - Stone Collection
FC4	Medium Blue-Grey Stone Finish - Stone Collection
FC5	Medium Blue-Grey Stone Finish - Stone Collection
FC6	Medium Blue-Grey Stone Finish - Stone Collection
FC7	Medium Blue-Grey Stone Finish - Stone Collection
FC8	Medium Blue-Grey Stone Finish - Stone Collection
FC9	Medium Blue-Grey Stone Finish - Stone Collection
FC10	Medium Blue-Grey Stone Finish - Stone Collection
FC11	Medium Blue-Grey Stone Finish - Stone Collection
FC12	Medium Blue-Grey Stone Finish - Stone Collection
FC13	Medium Blue-Grey Stone Finish - Stone Collection
FC14	Medium Blue-Grey Stone Finish - Stone Collection
FC15	Medium Blue-Grey Stone Finish - Stone Collection
FC16	Medium Blue-Grey Stone Finish - Stone Collection
FC17	Medium Blue-Grey Stone Finish - Stone Collection
FC18	Medium Blue-Grey Stone Finish - Stone Collection
FC19	Medium Blue-Grey Stone Finish - Stone Collection
FC20	Medium Blue-Grey Stone Finish - Stone Collection
FC21	Medium Blue-Grey Stone Finish - Stone Collection
FC22	Medium Blue-Grey Stone Finish - Stone Collection
FC23	Medium Blue-Grey Stone Finish - Stone Collection
FC24	Medium Blue-Grey Stone Finish - Stone Collection
FC25	Medium Blue-Grey Stone Finish - Stone Collection
FC26	Medium Blue-Grey Stone Finish - Stone Collection
FC27	Medium Blue-Grey Stone Finish - Stone Collection
FC28	Medium Blue-Grey Stone Finish - Stone Collection
FC29	Medium Blue-Grey Stone Finish - Stone Collection
FC30	Medium Blue-Grey Stone Finish - Stone Collection

BLUEGREEN ARCHITECTURE INC.
#100 - 1303 Elm Street, Kelowna, BC, V1Y 1Z9
p 250.420.3550
www.bluegreenarchitecture.com

KAMLOOPS
 KELOWNA

Scale: _____

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NO.	DATE	REVISIONS
2	21.02.24	REVISED FOR HIGH WATER AVENUE
1	20.11.24	REVISED FOR HIGH WATER AVENUE
3	21.03.24	REVISED FOR DEVELOPMENT PERMIT
2	20.11.23	REVISED FOR HIGH WATER AVENUE
1	20.01.21	REVISED FOR DEVELOPMENT PERMIT

Project: **MCKINLEY BEACH AMENITY BUILDING**
KELOWNA, BC

Sheet Title: **BUILDING ELEVATIONS**

Web Number: 18.669
Date: 2021.03.09
Scale: 3/16" = 1'
Revision Number: 3
Drawing Number: _____

A3.1

SCHEDULE B

This forms part of application
DP20-0099

Planner Initials **TC**



City of Kelowna
DEVELOPMENT PLANNING

EXTERIOR MATERIALS

- | | |
|---|----------------------|
| ○ | GLASS WINDOW |
| ○ | WOOD GRAIN FINISH |
| ○ | BRICK |
| ○ | SMOOTH GRAY CONCRETE |
| ○ | SMOOTH GRAY CONCRETE |
| ○ | SMOOTH GRAY CONCRETE |
| ○ | SMOOTH GRAY CONCRETE |
| ○ | SMOOTH GRAY CONCRETE |
| ○ | SMOOTH GRAY CONCRETE |
| ○ | SMOOTH GRAY CONCRETE |
| ○ | SMOOTH GRAY CONCRETE |
| ○ | SMOOTH GRAY CONCRETE |

EXTERIOR FINISH SCHEME

FC1	SMOOTH GRAY CONCRETE
FC2	SMOOTH GRAY CONCRETE
FC3	SMOOTH GRAY CONCRETE
FC4	SMOOTH GRAY CONCRETE
FC5	SMOOTH GRAY CONCRETE
FC6	SMOOTH GRAY CONCRETE
FC7	SMOOTH GRAY CONCRETE

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Comments

NO.	DATE	RECORD OF REVISIONS
2	21.02.24	REVISED REVIEW & COORDINATION
1	20.11.24	REVISED PER HIGH WATER AMENDMENT
3	21.03.24	RE-SUBMITTED FOR DEVELOPMENT PERMIT
2	20.11.23	REVISED PER HIGH WATER AMENDMENT
1	20.01.21	ISSUED FOR DEVELOPMENT PERMIT

Project: **MCKINLEY BEACH AMENITY BUILDING KELOWNA, BC**

Sheet Title: **BUILDING ELEVATIONS**

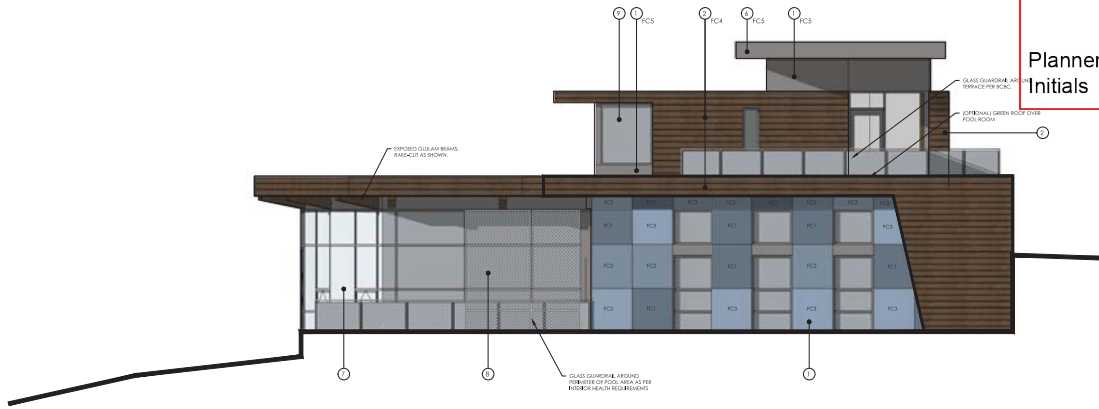
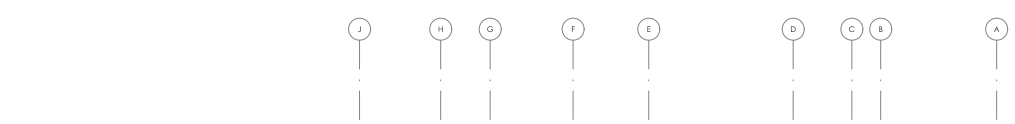
Rev Number: 18 669

Date: 2021.03.09

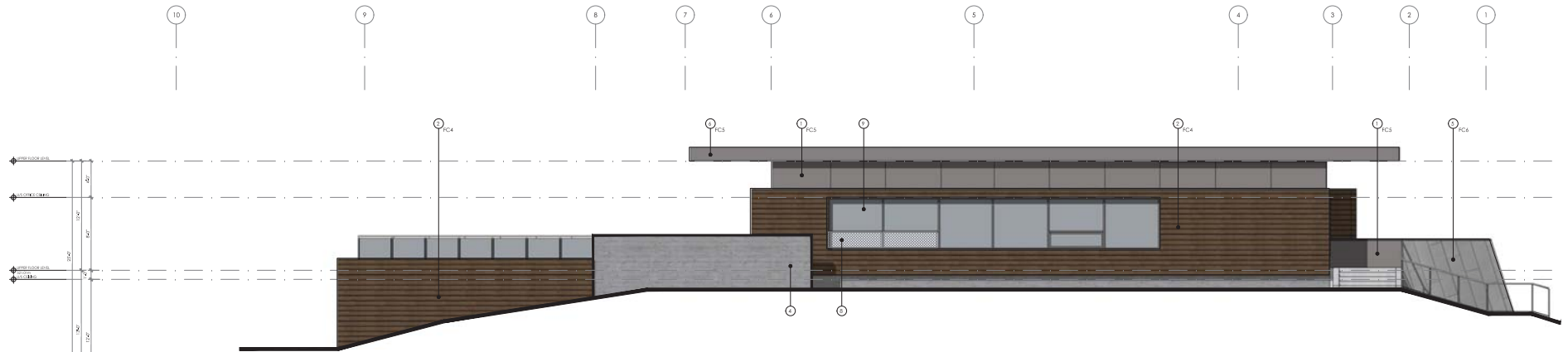
Scale: 3/16" = 1'

Revision Number: 3

Drawing Number: **A3.2**



BUILDING ELEVATION - SOUTH



BUILDING ELEVATION - EAST

SCHEDULE B

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DP20-0099

Planner
Initials **TC**



PERSPECTIVE RENDERING ARTIST IMPRESSION - N.T.S.

BUILDING PERSPECTIVE



BUILDING PERSPECTIVE



#100 - 1353 236 Street,
Kelowna, BC V1Y 1Z9
p 226.420.3550

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KAMLOOPS
KELOWNA

Sheet

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Consultants

2 27.02.24 REVISED REVIEW & COORDINATION

1 20.11.24 REVISED PER HIGH WATER AMENDMENT

NO DATE RECORD OF REVISIONS

3 27.03.24 RE-SUBMITTED FOR DEVELOPMENT PERMIT

2 20.11.23 REVISED PER HIGH WATER AMENDMENT

1 20.01.24 RE-SUBMITTED FOR DEVELOPMENT PERMIT

NO DATE RECORD OF REVISIONS

Project

MCKINLEY BEACH
AMENITY BUILDING
KELOWNA, BC

Sheet Title

BUILDING PERSPECTIVES

Sheet Number 18.669

Date 2021.03.09

Scale 3/16" = 1'

Revision Number 3

Drawing Number

A3.3

NO.	DATE	REVISIONS
2	21.02.24	REVISED REVIEW & COORDINATION
1	20.11.24	REVISED PER HIGH WATER AMENDMENT
3	21.03.09	RE-ISSUED FOR DEVELOPMENT PERMIT
2	20.11.23	REVISED PER HIGH WATER AMENDMENT
1	20.01.21	ISSUED FOR DEVELOPMENT PERMIT

Project:
MCKINLEY BEACH
AMENITY BUILDING
KELOWNA, BC

Sheet Title:
BUILDING SECTIONS

Job Number: 18.669
Date: 2021.03.09
Scale: 3/16" = 1'
Revision Number: 3
Drawing Number:

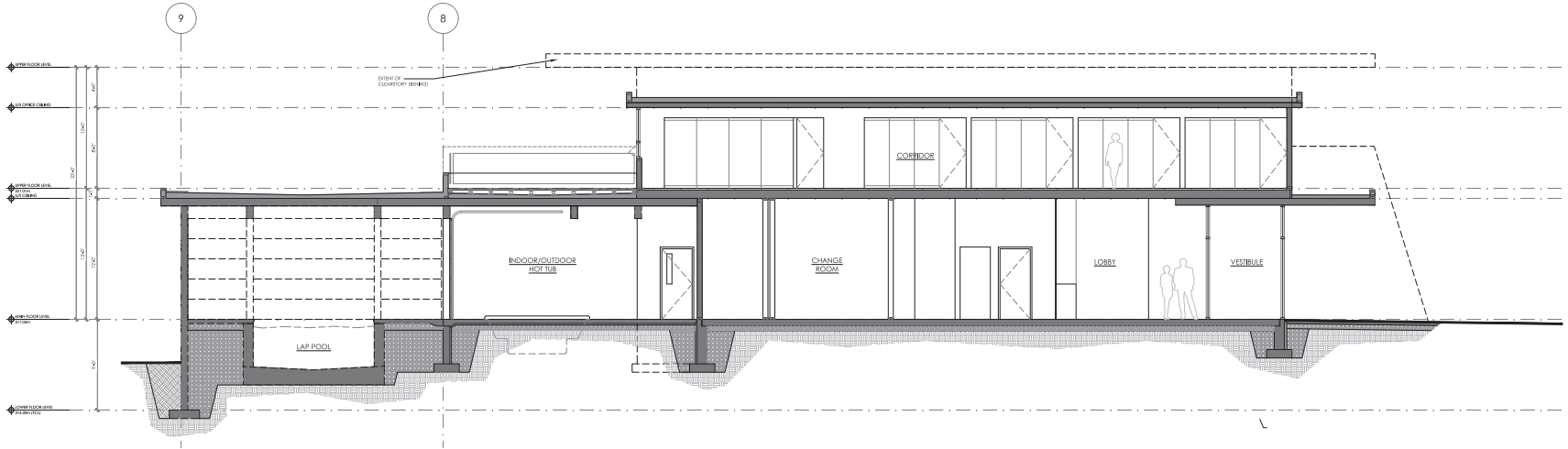
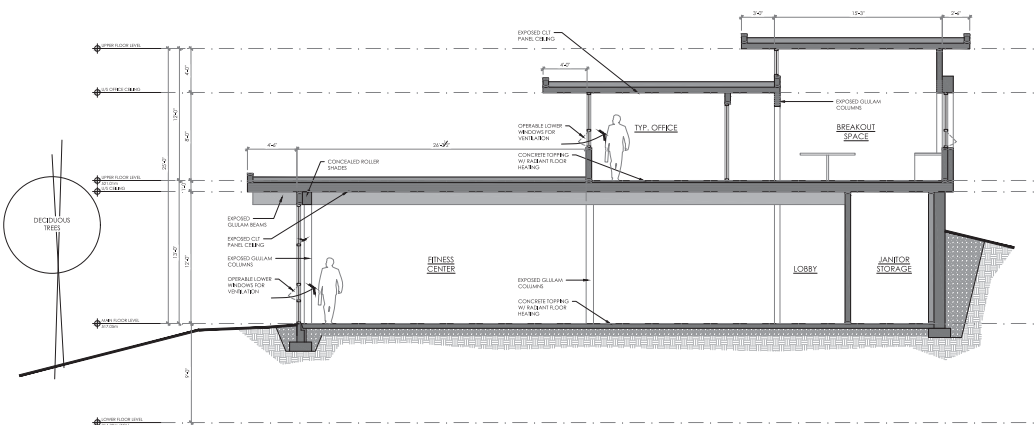
A4.1

SCHEDULE B

This forms part of application # DP20-0099

Planner Initials **TC**

City of Kelowna
DEVELOPMENT PLANNING



1 - FIBRE CEMENT PANEL C/W EXP. PAINTED FASTENERS; COLOUR PER LEGEND



HARDIE REVEAL PANEL (SMOOTH) W/ PAINTED EXP. FASTENERS
COLOUR PER MATERIAL LEGEND

2 - NON-COMBUSTIBLE WOOD GRAIN SIDING + SOFFIT



MAC ARCHITECTURAL METALS - WOOD COLLECTION
COLOUR: SCANDINAVIAN PIN

3 - VERTICAL CORRUGATED METAL SIDING



CASCADIA METALS - STANDARD COLOURS
COLOUR: GALVANIZED

4 - BOARDFORM CONCRETE



5 - METAL SIDING - DIAGONAL




MAC ARCHITECTURAL METAL COLOUR: BRUSHED ZINC

SCHEDULE B

This forms part of application
DP20-0099

Planner
Initials

TC



**City of
Kelowna**
DEVELOPMENT PLANNING

BLUEGREEN
ARCHITECTURE INC

100 - 1353 ELLIS STREET, KELOWNA



McKINLEY
— BEACH —

EXTERIOR MATERIALS

MATERIAL SELECTION	
1	FC1
1	FIBRE CEMENT PANEL C/W EXP. PAINTED FASTENERS MATERIAL: HARDIE REVEAL PANEL OR EQUAL C/W PREP. ALUM. REVEALS COLOUR PER COLOUR SCHEME
2	NON-COMBUSTIBLE FIBRE CEMENT SIDING MATERIAL: HARDIE LAP SIDING OR EQUAL COLOUR PER COLOUR SCHEME
3	CORRUGATED METAL SIDING (REFER TO ELEV. FOR ORIENTATION) MATERIAL: CASCADIA METAL COLOUR PER COLOUR SCHEME
4	EPISODE BOARDFORM CONCRETE (REFER TO ELEV. FOR BOARD ORIENTATION)
5	NON-COMBUSTIBLE METAL SIDING MATERIAL: MAC ARCHITECTURAL METAL BLOCK DIVISIVE PROFILE BRUSHED OR BRONZED COLOUR PER COLOUR SCHEME
6	NON-COMBUSTIBLE FIBRE CEMENT PANEL BOARD MATERIAL: HARDIE PANEL BOARD (SEE NOTE 1) OR EQUITYP - HORIZONTAL GRAPE COLOUR PER COLOUR SCHEME
7	SOFFIT/SOFTWOOD GRIP WALL FINISHES & SIDING (REFER TO ELEV. FOR ORIENTATION) MATERIAL: ALUMINUM C/W 1/2" CLEAR GRABING (DOUBLE) COLOUR: CLEAR ANODIZED ALUMINUM
8	SPANDREL PANELS (IDENTIFIED BY HATCH) MATERIAL: COLOUR PER COLOUR SCHEME
9	WALL WINDOW & DOOR (REFER TO ELEV. FOR ORIENTATION) MATERIAL: METAL CLAD W/ 1/2" CLEAR GRABING (DOUBLE) COLOUR: CLEAR ANODIZED ALUMINUM EXT. BLACK FINISH INT.

EXTERIOR FINISH SCHEME

FC1	DARK BLUE + BLUE BEANS BY HARDIE DREAM COLLECTION
FC2	MED BLUE + POOLSIDE BLUE BY HARDIE DREAM COLLECTION
FC3	LIGHT BLUE + SUNNY BLUE BY HARDIE DREAM COLLECTION
FC4	WOOD LOOK + SUMMER WHEAT BY RUISE WHEAT
FC5	MED GREY + ASH GREY BY HARDIE DREAM COLLECTION
FC6	BRUSHED ZINC BY MAC METAL
FC7	GALVANNEED (CORRUGATED METAL)

ISSUED FOR DEVELOPMENT PERMIT

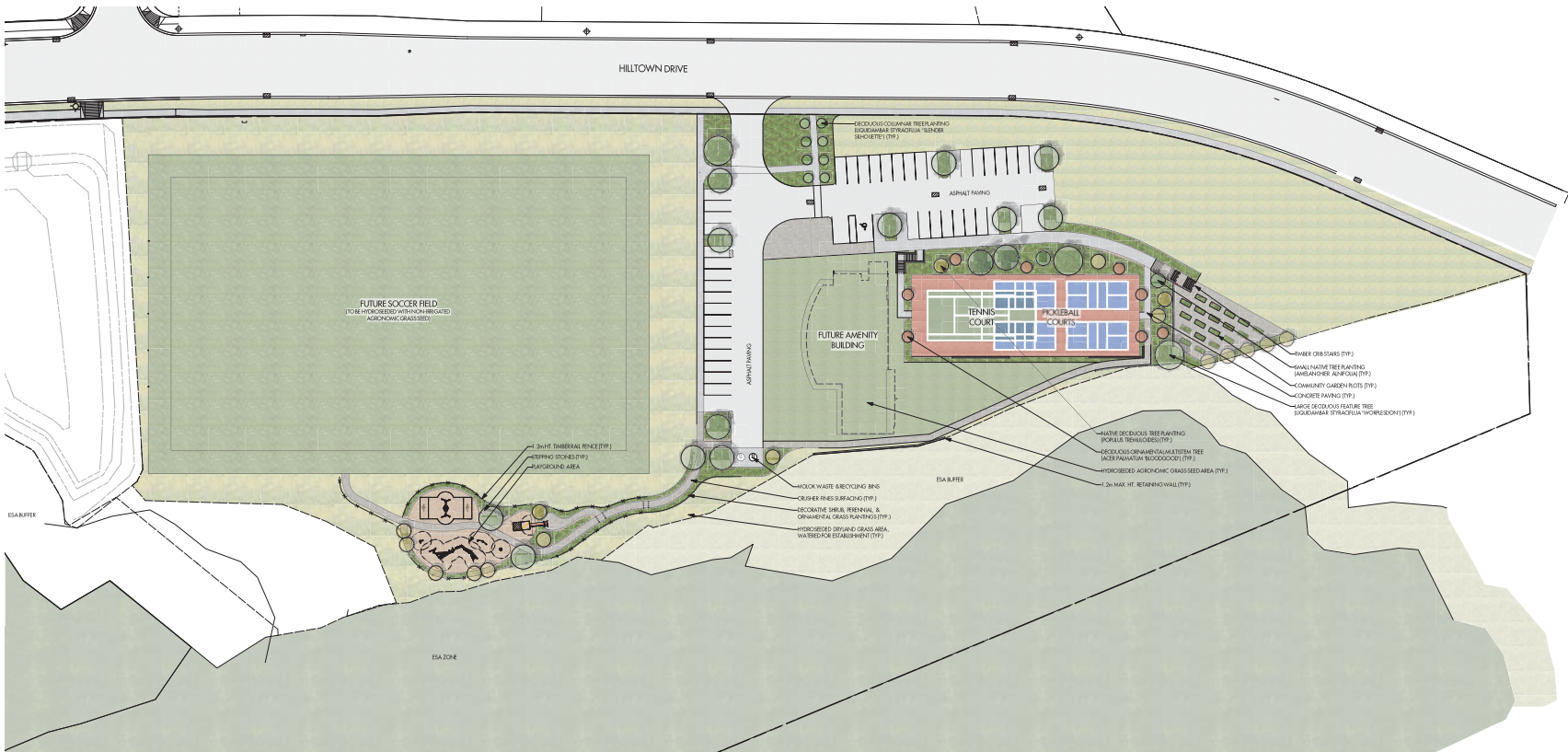
DATE: 2020.01.21

PROJECT #: 18.669

SCALE: N.T.S.

PAGE 2 OF 2

0 5 10 15 20 25M



SCHEDULE C

This forms part of application
DP20-0099

Planner Initials **TC**



NOTES

1. PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED THE CANADIAN NURSERY LANDSCAPE ASSOCIATION STANDARDS.
2. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TYPED UNDERGRROUND IRRIGATION SYSTEM.
3. TREE AND SHRUB BEDS TO BE DRESSED IN A MINIMUM 75mm BLACK WOOD MULCH OR DECORATIVE ROCK MULCH, AS SHOWN IN PLANS. DO NOT PLACE WOOD MULCH UNDER TREE AND SHRUB BEDS IN WOOD MULCH AREAS.
4. TREE AND SHRUB BEDS TO RECEIVE A MINIMUM 300mm DEPTH TOPSOIL PLACEMENT.
5. HYDROSEEDING DRYLAND SEED AREAS

DRYLAND SEED MIXTURE	BY WEIGHT	BY SPECIES
BLUE BUNCHWHEAT GRASS	40%	22%
ROUGH FESCUE	25%	20%
TRIALOFESCUE	1.5%	19%
PERENNIAL RYEGRASS	10%	7%
SANDBERG BLUEGRASS	5%	13%
JUNE GRASS	4%	18%
CANADA BLUEGRASS	1%	1%

HYDROSEEDING APPLICATION RATE

NATIVE SEED - DRYLAND SEED MIXTURE	125KG/HECTARE
FERTILIZER 18-18-18-2, 50% SULPHUR COATED UREA	300KG/HECTARE
MULCH CANFOR ECOFIBRE PLUS TAC	2,000KG/HECTARE
TACKOHER GUAR	3% OF MIX

THE PRECEDING HYDROSEEDING MIXTURE IS TO BE APPLIED TO THE DRYLAND SEED AREA AS SHOWN ON THE DRAWING. SEED MIX TO BE CERTIFIED #1 GRADE BY AGRICULTURE CANADA. REFER MANUFACTURER'S SPECIFICATIONS FOR PRODUCT DELIVERY, STORAGE & PROTECTION.

6. HYDROSEEDING NON-IRRIGATED AGRICULTURAL GRASS AREAS

NON-IRRIGATED AGRICULTURAL GRASS MIXTURE	BY WEIGHT
GREENFEST FESCUE	40%
SHEEP'S FESCUE	45%
PERENNIAL RYEGRASS	15%

HYDROSEEDING APPLICATION RATE (NON-IRRIGATED) GRASS AREAS

SEED - NON-IRRIGATED MIX	220KG/HECTARE
ANNUAL RYEGRASS	200KG/HECTARE
FERTILIZER 18-18-18-2, 50% SULPHUR COATED UREA	300KG/HECTARE
MULCH CANFOR ECOFIBRE PLUS TAC	1,000KG/HECTARE

PLANT LIST

BOTANICAL NAME	COMMON NAME	QTY	SIZE/SPACING & REMARKS
TREES			
ACER JAPONICUM 'BLOODGOOD'	BLOODGOOD JAPANESE MAPLE	8	6m CAL./MULTISTEM
AMELANCHIER ALNIFOLIA	REDWINGBERRY	2	6m CAL.
LIQUIDAMBAR STYRACIFLUA 'SENDER SHILOUETTE'	SENDER SHILOUETTE SWERTGUM	8	6m CAL.
LIQUIDAMBAR STYRACIFLUA 'WORLDSON'	WORLDSON SWERTGUM	15	6m CAL.
FRAXINUS CORNIDA	POKEROSIA PINE	2	2.0m HT.
POPULUS TREMULOIDES	TREMULING ASPEN	17	6m CAL.
SHRUBS			
BERBERIS THUNBERGII 'CENTURY'	ROYAL BURDEENY BARBERRY	17	#02 CONF./1.5M O.C. SPACING
BERBERIS THUNBERGII 'MONRY'	SUNSHATON BARBERRY	17	#02 CONF./1.5M O.C. SPACING
BULUS 'GREEN GEM'	GREEN GEM BOWWOOD	40	#02 CONF./1.0M O.C. SPACING
CORNUS SARGENTII 'WINTER BEAUTY'	WINTER BEAUTY DOGWOOD	6	#02 CONF./2.5M O.C. SPACING
CORNUS SERICEA 'KELSEY'	KELSEY DOGWOOD	12	#02 CONF./1.8M O.C. SPACING
ELONIA MYRSINIFOLIA 'COMACTA'	DWARF BURNING BUSH	17	#02 CONF./1.5M O.C. SPACING
ELONIA MYRSINIFOLIA 'EMERALD GAETI'	EMERALD GAETI WINTERCREPER	17	#02 CONF./1.5M O.C. SPACING
HYDRANGETH MACROPHYLLA 'BAMBER'	DIANESE SUMMER HYDRANGETH	12	#02 CONF./1.8M O.C. SPACING
HYDRANGETH PANDICULATA 'JANI'	LITTLE JANE HYDRANGETH	17	#02 CONF./1.5M O.C. SPACING
JUNIPERUS SABINA 'CASCADY CARPET'	CASCADY CARPET JUNIPER	10	#02 CONF./2.0M O.C. SPACING
JUNIPERUS VIRGINIANA 'EDLYWILD'	EDLYWILD JUNIPER	6	#15 CONF./2.5M O.C. SPACING
PHAEDELPHUS LEWISII 'BUZZARD'	BUZZARD MOCKORANGE	12	#02 CONF./1.8M O.C. SPACING
PRUNUSUS 'INDORWAY'	WEST PRUNCE	12	#02 CONF./1.8M O.C. SPACING
SALEX RUBREA 'NANA'	DWARF ARCTIC WILLOW	10	#02 CONF./2.0M O.C. SPACING
SPIREA BURBANKII 'ANTHONY WATERER'	ANTHONY WATERER SPIREA	17	#02 CONF./1.5M O.C. SPACING
SYRINCA MEYERI 'PALLAS'	DWARF KOREAN LILAC	12	#02 CONF./1.8M O.C. SPACING
TAXUS AMERICANA 'WICKST'	WICKST YEW	27	#02 CONF./1.2M O.C. SPACING
TERRIACIALS, GRASSES & GROUNDCOVERS			
ACHILLEA MILLEFOLIUM 'SUMMER PASTELS'	SUMMER PASTELS YARROW	19	#01 CONF./1.2M O.C. SPACING
ANTENNARIA SCABRIDATA 'SEVER MOUND'	SEVER MOUND ANTIMONY	19	#01 CONF./1.2M O.C. SPACING
ARCTICUM OPHIOSSYLA 'LARI'	POINICOCK	12	#01 CONF./1.5M O.C. SPACING
ASTER FRIBARTII 'WONCH'	FRIBART'S ASTER	12	#01 CONF./1.5M O.C. SPACING
CALAMAGROSTE ACUTICOMA 'KARI FOESTER'	KARI FOESTER'S REED GRASS	19	#01 CONF./1.2M O.C. SPACING
CELANDELE CHEYENNE SPIRIT'	CHEYENNE SPIRIT CONEFLOWER	28	#01 CONF./1.2M O.C. SPACING
HEBERICAUS 'RUBY STELLA'	RUBY STELLA DAILY	19	#01 CONF./1.2M O.C. SPACING
HEBERICAUS 'STELLA D'ORO'	STELLA D'ORO DAILY	19	#01 CONF./1.2M O.C. SPACING
HISTIA 'NORTHERN ENDORBI'	NORTHERN ENDORBI HELIXIA	9	#01 CONF./1.8M O.C. SPACING
HEMIPHYLLA 'HISLITA'	FIRE DANCER HOTPOKER	28	#01 CONF./1.0M O.C. SPACING
LUPINUS 'ROSE'S MIX'	ROSE'S MALLIPS	28	#01 CONF./1.0M O.C. SPACING
MANTILLA 'STREPTHEUS'	COSMIC FERN	19	#01 CONF./1.2M O.C. SPACING
PANICUM VIRGATUM 'ROSTRANBUSCH'	RED SWIFT GRASS	12	#01 CONF./1.5M O.C. SPACING
PERNISELUM ALGIDIFLORES	FOUNTAIN GRASS	12	#01 CONF./1.5M O.C. SPACING
PEROVSKIA ATRIPICIFOLIA	RUSSIAN SAGE	12	#01 CONF./1.5M O.C. SPACING
SEDUM 'AURUMKOPF'	AUTUMN EYX SICKENKOPF	28	#01 CONF./1.0M O.C. SPACING

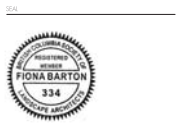


MCKINLEY AMENITY BUILDING - PHASE 1
Kelowna, BC

CONCEPTUAL LANDSCAPE PLAN

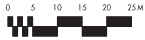
DESIGNED BY	REVISED
DATE	
SCALE	
DRAWN BY	
CHECKED BY	
DATE	
SCALE	

PROJECT NO.	10000
DESIGN NO.	100
REVISION	1
DATE	10/10/2020
SCALE	1:100
DRAWN BY	1000
CHECKED BY	1000



L1/2

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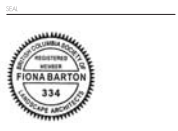


MCKINLEY AMENITY BUILDING - PHASE 1
Kelowna, BC

WATER CONSERVATION / IRRIGATION PLAN

DATE	DESCRIPTION

PROJECT NO.	19030
DESIGNED BY	AME
DRAWN BY	NEJ/SK
CHECKED BY	TE
DATE	MAR 15, 2021
SCALE	1:500
PAPER SIZE	334



DATE: 03/15/2021
DRAWN: NEJ/SK

L2/2

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SCHEDULE C

This forms part of application
DP20-0099

Planner Initials **TC**

City of Kelowna
DEVELOPMENT PLANNING

WATER CONSERVATION CALCULATIONS
LANDSCAPE MAXIMUM WATER BURST (MWB) = 18,130 cu.m./year
ESTIMATED LANDSCAPE WATER USE (EWU) = 746 cu.m./year
WATER BALANCE = 17,384 cu.m./year
*REFER ATTACHED IRRIGATION APPLICATION FOR DETAILED CALCULATIONS

- IRRIGATION NOTES**
- IRRIGATION PRODUCTS AND INSTALLATION METHODS SHALL MEET OR EXCEED THE REQUIREMENTS OF THE WATER USE REGULATION BYLAW NO. 1040 AND THE SUPPLEMENTARY SPECIFICATIONS IN THE CITY OF KELOWNA BYLAW 7900 (PART 6, SCHEDULE 5).
 - THE IRRIGATION SYSTEM SHALL MEET THE REQUIREMENTS, REGULATIONS, AND BYLAWS OF THE WATER BYLAW 7900.
 - THE IRRIGATION SYSTEM SHALL BE EQUIPPED WITH AN APPROVED BACKFLOW PREVENTION DEVICE, WATER METER, AND SHUT OFF VALVE LOCATED OUTSIDE THE BUILDING ACCESSIBLE TO THE CITY.
 - AN APPROVED SMART CONTROLLER SHALL BE INSTALLED. THE IRRIGATION SCHEDULING TIMES SHALL UTILIZE A MAXIMUM ET VALUE OF 7 / MONTH (KELOWNA, JULY), TAKING INTO CONSIDERATION SOIL TYPE, SLOPE, AND MICROCLIMATE.
 - DRIP LINE AND EMITTERS SHALL INCORPORATE TECHNOLOGY TO LIMIT ROOF INTRUSION.
 - IRRIGATION SLEEVES SHALL BE INSTALLED TO ROUTE IRRIGATION LINES UNDER HARD SURFACES AND PATIARIES.
 - IRRIGATION PIPES SHALL BE SIZED TO ALLOW FOR A MAXIMUM FLOW OF 1.5m / SEC.
 - A FLOW SENSOR AND MASTER VALVE SHALL BE CONNECTED TO THE CONTROLLER AND PROGRAMMED TO STOP FLOW TO THE SYSTEM IN CASE OF AN IRRIGATION WATER LEAK.

IRRIGATION LEGEND

	ZONE #1- HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS TOTAL AREA: 146 sq.m. MICROCLIMATE: WEST EXPOSURE, PARTIALLY SHADED BY TREES ESTIMATED ANNUAL WATER USE: 81 cu.m.
	ZONE #2- HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS TOTAL AREA: 219 sq.m. MICROCLIMATE: SOUTHEAST EXPOSURE, PARTIALLY SHADED BY TREES ESTIMATED ANNUAL WATER USE: 122 cu.m.
	ZONE #3- HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS TOTAL AREA: 100 sq.m. MICROCLIMATE: NORTHWEST EXPOSURE, PARTIALLY SHADED BY TREES ESTIMATED ANNUAL WATER USE: 56 cu.m.
	ZONE #4- HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS TOTAL AREA: 185 sq.m. MICROCLIMATE: NORTHEAST EXPOSURE, PARTIALLY SHADED BY TREES ESTIMATED ANNUAL WATER USE: 102 cu.m.
	ZONE #5- HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS TOTAL AREA: 127 sq.m. MICROCLIMATE: NORTHWEST EXPOSURE, PARTIALLY SHADED BY TREES ESTIMATED ANNUAL WATER USE: 71 cu.m.
	ZONE #6- HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS TOTAL AREA: 200 sq.m. MICROCLIMATE: NORTHWEST EXPOSURE, PARTIALLY SHADED BY TREES ESTIMATED ANNUAL WATER USE: 112 cu.m.
	ZONE #7- HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS TOTAL AREA: 176 sq.m. MICROCLIMATE: SOUTHEAST EXPOSURE, PARTIALLY SHADED BY TREES ESTIMATED ANNUAL WATER USE: 99 cu.m.
	ZONE #8- HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS TOTAL AREA: 45 sq.m. MICROCLIMATE: SOUTHEAST EXPOSURE, FULL SUN ESTIMATED ANNUAL WATER USE: 25 cu.m.
	ZONE #9- HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS TOTAL AREA: 142 sq.m. MICROCLIMATE: SOUTH EXPOSURE, PARTIALLY SHADED BY TREES ESTIMATED ANNUAL WATER USE: 77 cu.m.