



Z21-0007 & TA21-0006 2251 Burnett St.

Rezoning and Text Amendment Application



Proposal

- ▶ To rezone the property from the RU6 – Two Dwelling Housing zone to the HD2 – Hospital and Health Support Services zone;
- ▶ And to amend the Zoning Bylaw by allowing multiple dwelling housing as a principal use under the HD2 – Hospital and Health Support Services zone for a lot less than 900m² for 2251 Burnett St;
- ▶ Both the rezoning and the site-specific Text Amendment are proposed to facilitate a multiple dwelling housing development consisting of a 3 storey 6-plex.

Development Process

Jan. 26, 2021

Development Application Submitted

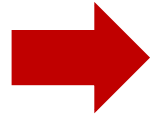


Staff Review & Circulation



May 20, 2021

Public Notification Received



June 21, 2021

Initial Consideration



Public Hearing
Second & Third Readings



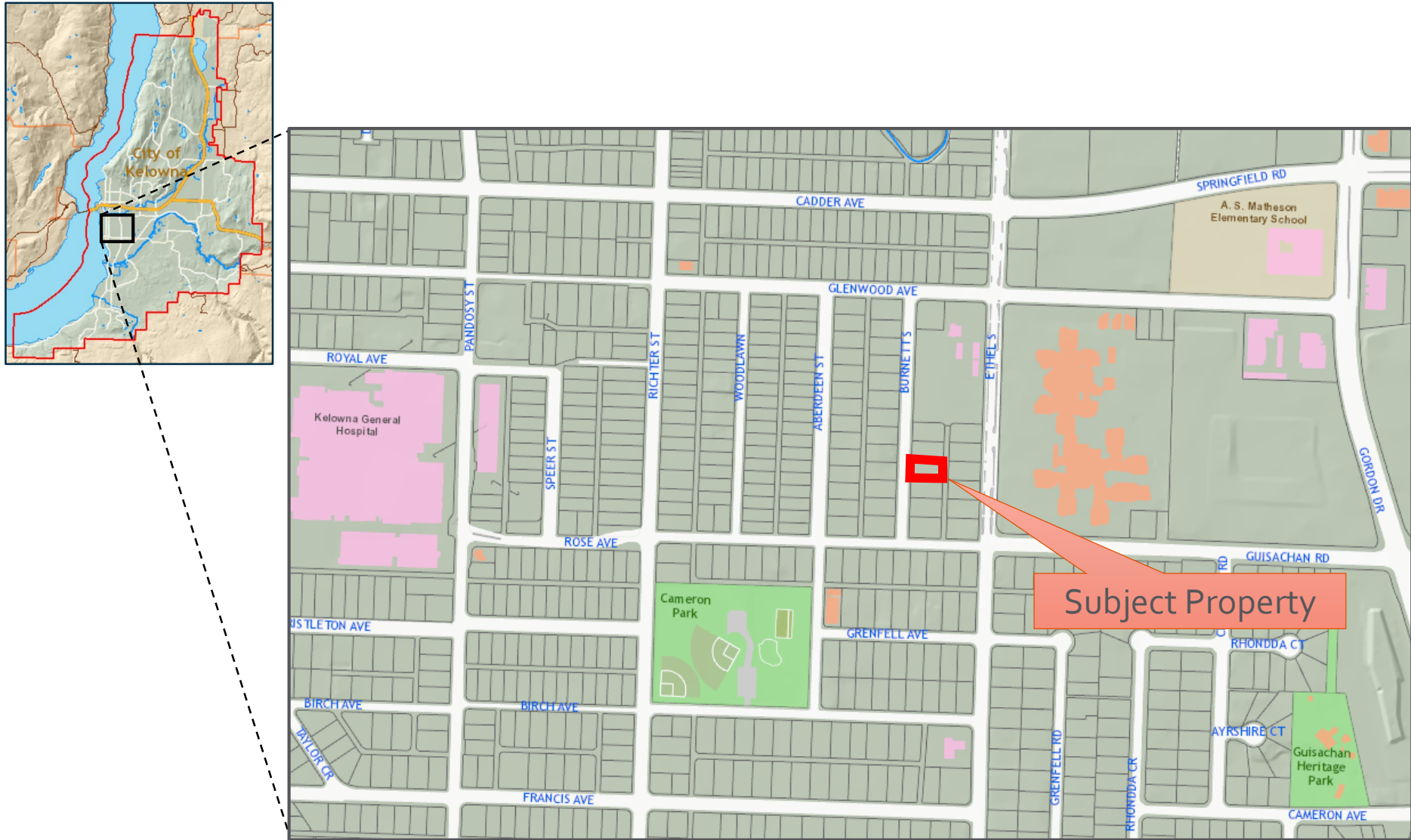
Final Reading
DP & Variances



Building Permit

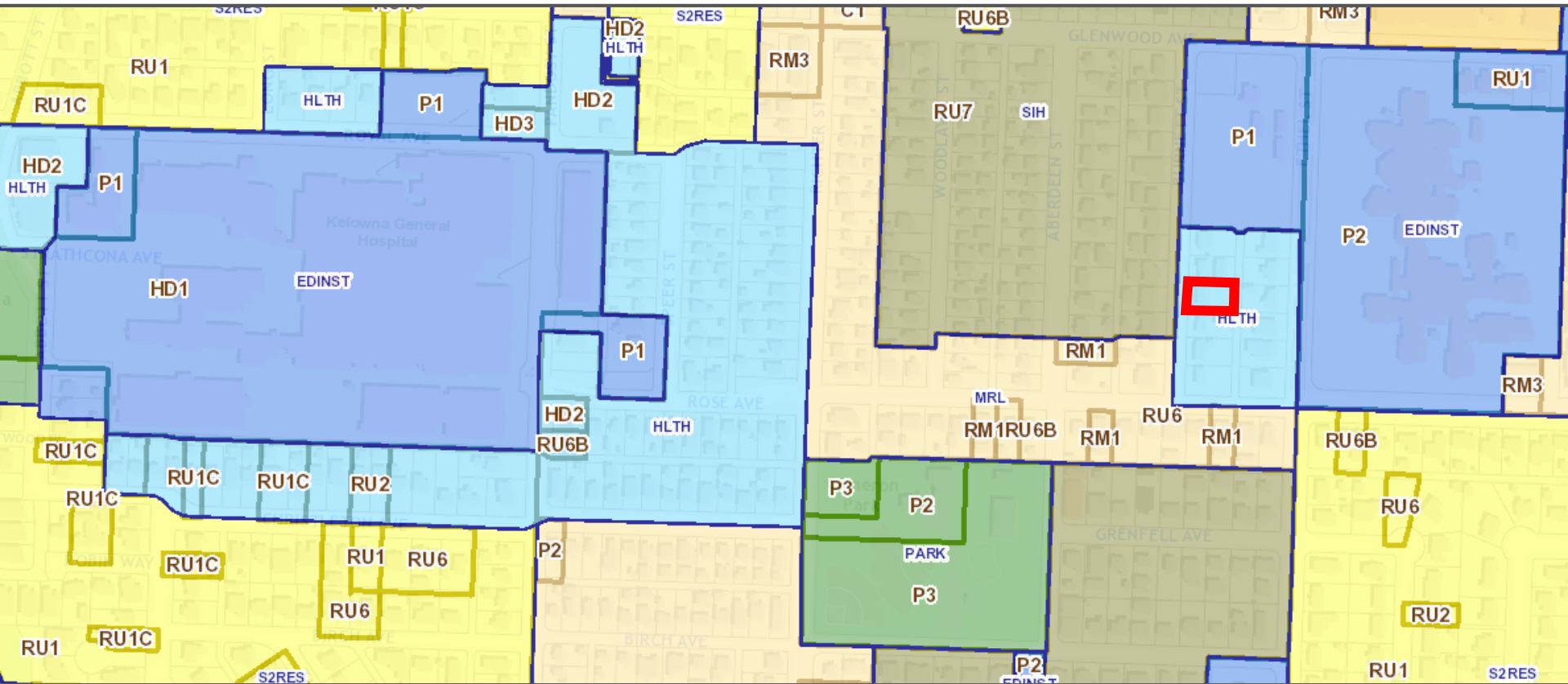
Council
Approvals

Context Map



City of Kelowna

OCP Future Land Use / Zoning



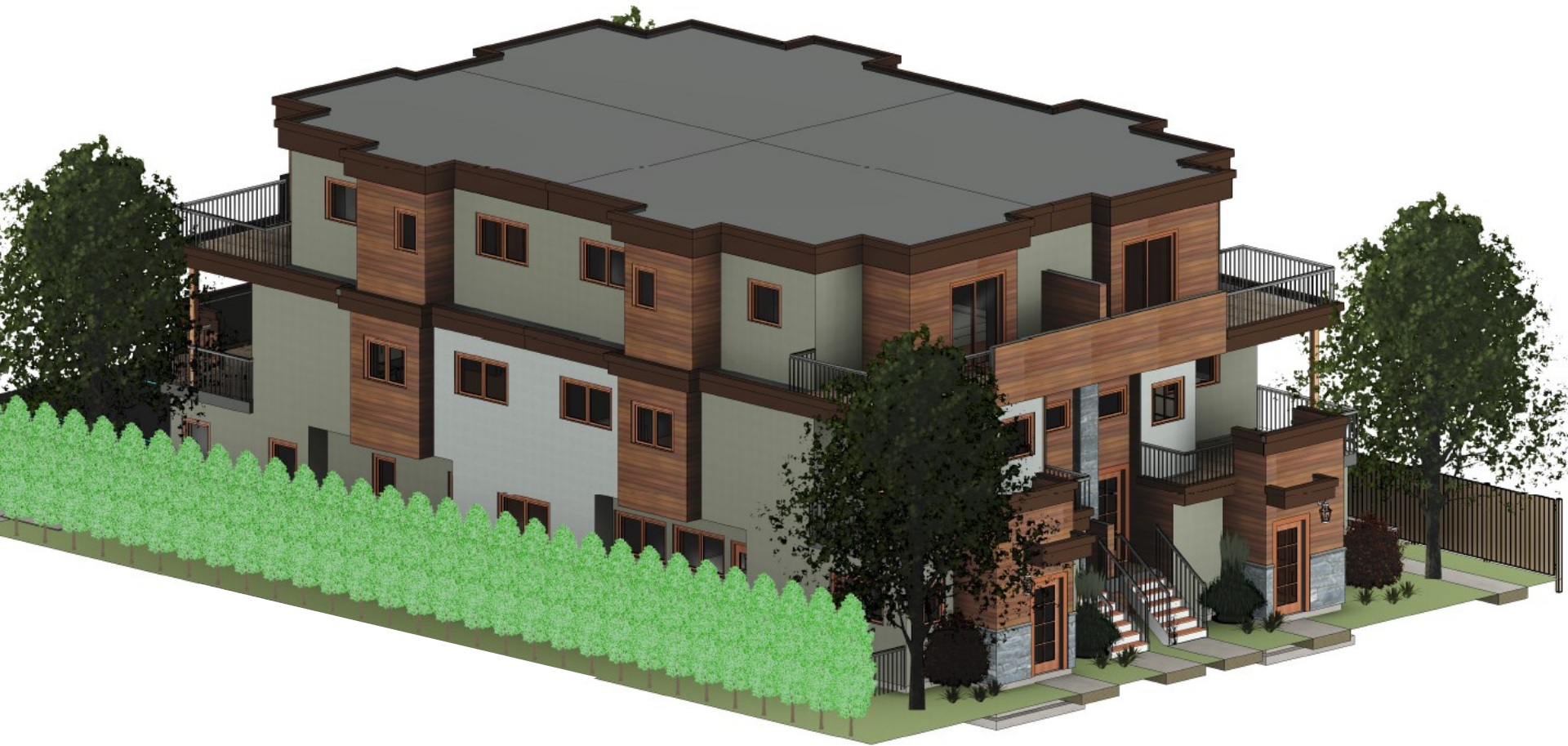
City of Kelowna

An aerial photograph of a residential neighborhood with orange lot boundaries. Two streets are labeled vertically: BURNETT ST on the left and ETHEL ST on the right. Numerous lots are numbered in blue. Lot 2251, located between Burnett and Ethel streets, is enclosed by a thick green rectangular border. Other visible lot numbers include 2231, 2241, 2243, 2259, 2261, 2271, 2281, 2230, 2240, 2250, 2260, 2270, 2272, and 870. The area contains houses, lawns, trees, and some parked vehicles.

Project/technical details

- ▶ Rezone ➡ HD2
- ▶ With site-specific TA to allow multiple dwelling housing as principal use under HD2 zone for lot <900m²
 - ▶ 2251 Burnett St.
- ▶ Rezoning and TA proposed to facilitate a multiple dwelling housing development consisting of a 3 storey 6-plex

Conceptual Rendering



City of Kelowna

Project/technical details

- ▶ Lot in Hospital Area & FLU designation of HLTH which supports proposed HD2 zone
- ▶ FLU & zone developed in recognition that area near KGH presents special circumstances needing tailored land use approach
- ▶ HD2 zone allows multiple dwelling housing as principal use, but only on lots $>900\text{m}^2$
- ▶ Lot is 816m^2
 - ▶ Site-specific TA required to allow multiple dwelling housing as principal use on the lot

Discussion

- ▶ HD2 zone an outlier for having different principal uses based on lot size
- ▶ Zones do have subdivision regulations that specify min. lot size
 - ▶ Still possible to rezone w/o meeting min. lot size
 - ▶ Provided development under the zone's regulations can be successfully accomplished on the lot
- ▶ Applicant demonstrated a development can be successfully accomplished under the regulations for the HD2 zone for lots $>900\text{m}^2$

Discussion

- ▶ Hospital Area Plan 2018-2019
- ▶ Included review of HD2 zone
- ▶ Numerous amendments recommended
 - ▶ “Remove connection between lot area and permitted uses to make it more consistent with other zones”
 - ▶ Endorsed by Council on February 11, 2019
- ▶ Site specific Text Amendment in question would make this change for this particular lot

Development Policy

- ▶ FLU of HLTH supports proposed HD2 zone
 - ▶ Multiple dwelling housing included in HD2 zone in recognition that increased residential density desirable in certain areas of Hospital Area
- ▶ Site-specific TA would render HD2 zone consistent with other zones
 - ▶ Also proposed by Hospital Area Plan, 2018-2019

Staff Recommendation

- ▶ Staff support the proposed HD2 zone
- ▶ And the TA to allow multiple dwelling housing as a principal use under the HD2 zone for a lot $<900\text{m}^2$ for 2251 Burnett St.
 - ▶ FLU of HLTH supports proposed HD2 zone
 - ▶ Multiple dwelling housing included in HD2 zone in recognition that increased residential density desirable in certain areas of Hospital Area
 - ▶ Site-specific TA would render HD2 zone consistent with other zones
 - ▶ Also proposed by Hospital Area Plan, 2018-2019



Conclusion of Staff Remarks