
CITY OF KELOWNA
MEMORANDUM

Date: July 25, 2016
File No.: Z16-0044

To: Community Planning (KB)

From: Development Engineering Manager(PI)

Subject: 866 Glenmore Drive

RU1c

Development Engineering has the following comments and requirements associated with this application to rezone from RU1 to RU1c.

1. Domestic Water and Fire Protection

Our records indicate this property is currently serviced with a 19mm-diameter water service. The service is adequate for the proposed application.

2. Sanitary Sewer

Our records indicate that this property is currently serviced with a 100mm-diameter sanitary sewer service. An inspection chamber (IC) complete with brooks box should be installed on the service at the owner's cost. Service upgrades can be provided by the City at the applicant's cost. **The applicant will be required to sign a Third Party Work Order for the cost of the service upgrade.** For estimate inquiry's please contact Sergio Sartori, by email ssartori@kelowna.ca or phone, 250-469-8589.

3. Development Permit and Site Related Issues

Direct the roof drains into on-site splash pads.
Access to the site is permitted from Lowland Street.

4. Electric Power and Telecommunication Services

It is the applicant's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for service upgrades to these services which would be at the applicant's cost.



Purvez Irani, MS, P Eng., PTOE
Development Engineering Manager

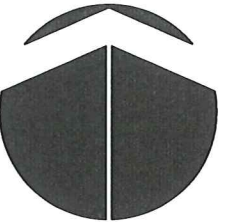
SS

SCHEDULE <u> A </u>
This forms part of development
Permit # <u> Z16 - 0044 </u>



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1392 MINE HILL DRIVE
KELOWNA, BC V1P 1S5
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PROJECT NORTH

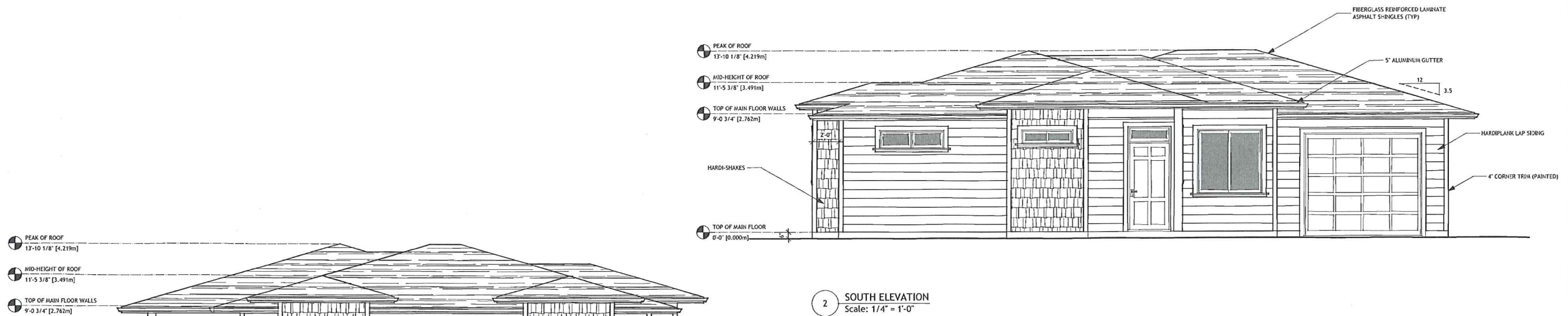
REVISION	DATE	DISCUSSION
A	05 JUL 2016	ISSUED FOR DEVELOPMENT PERMIT AND REZONING

PROJECT
CARRIAGE HOUSE DEVELOPMENT
866 GLENMORE DRIVE
KELOWNA, BC V1Y 4N9
LOT 9 PLAN KAP4101

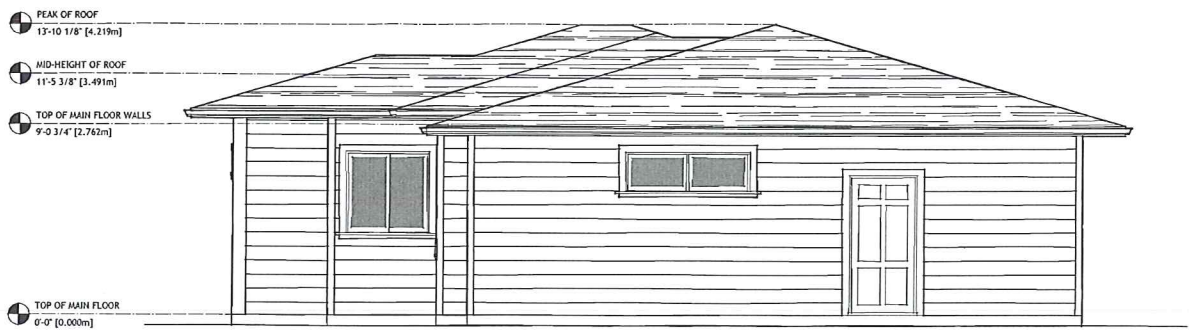
DRAWING TITLE
ELEVATIONS

DATE
JUNE 14, 2016

DRAWING NUMBER
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of
4



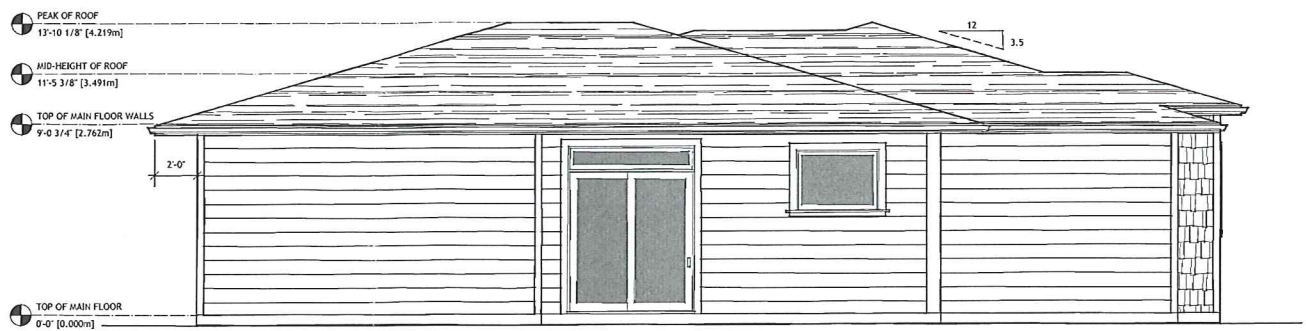
1 WEST ELEVATION
Scale: 1/4" = 1'-0"



2 SOUTH ELEVATION
Scale: 1/4" = 1'-0"

PROJECT DATA: CIVIC ADDRESS 866 GLENMORE DRIVE
KELOWNA, BC V1Y 4N9
LEGAL ADDRESS LOT 9 PLAN KAP4101
CURRENT ZONING RU-1 LARGE LOT HOUSING
PROPOSED ZONING RU-6 TWO DWELLING HOUSING
FUTURE LAND USE ARL - MULTIPLE UNIT RESIDENTIAL (LOW DENSITY)

ZONING ANALYSIS		
	RU6 ZONE STANDARDS	PROPOSED
SITE AREA	400.00m ²	796.00m ²
EXISTING BUILDING FOOTPRINT AT GRADE		96.00m ²
EXISTING BUILDING COVERED DECK		36.40m ²
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PROPOSED SUITE AREA		89.70m ²
PROPOSED ACCESSORY BUILDING FOOTPRINT		129.60m ²
PROPOSED ACCESSORY COVERED PATIO		12.00m ²
PROPOSED DRIVEWAY AREA (CONCRETE)		13.50m ²
EXISTING DRIVEWAY AREA (CONCRETE)		130.92m ²
ACCESSORY BUILDING SITE COVERAGE	20%	16.3%
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SITE COVERAGE INCLUDING HARD SURFACES	50.0%	48.0%
BUILDING HEIGHT OF EXISTING HOUSE	9.5m/2 1/2 STOREYS	5.885m/2 STOREYS
BUILDING HEIGHT OF PROPOSED CARRIAGE HOUSE	4.8m/1 1/2 STOREYS	3.491m/1 1/2 STOREYS
PEAK OF CARRIAGE HOUSE ROOF		4.219m
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PARKING STALLS PROVIDED	3	4
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1 IN 200 YEAR FLOOD CONSTRUCTION LEVEL	343.660m	372.000m



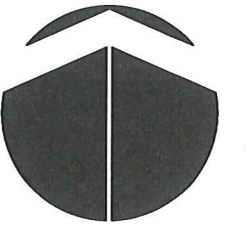
3 EAST ELEVATION
Scale: 1/4" = 1'-0"





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PROJECT NORTH

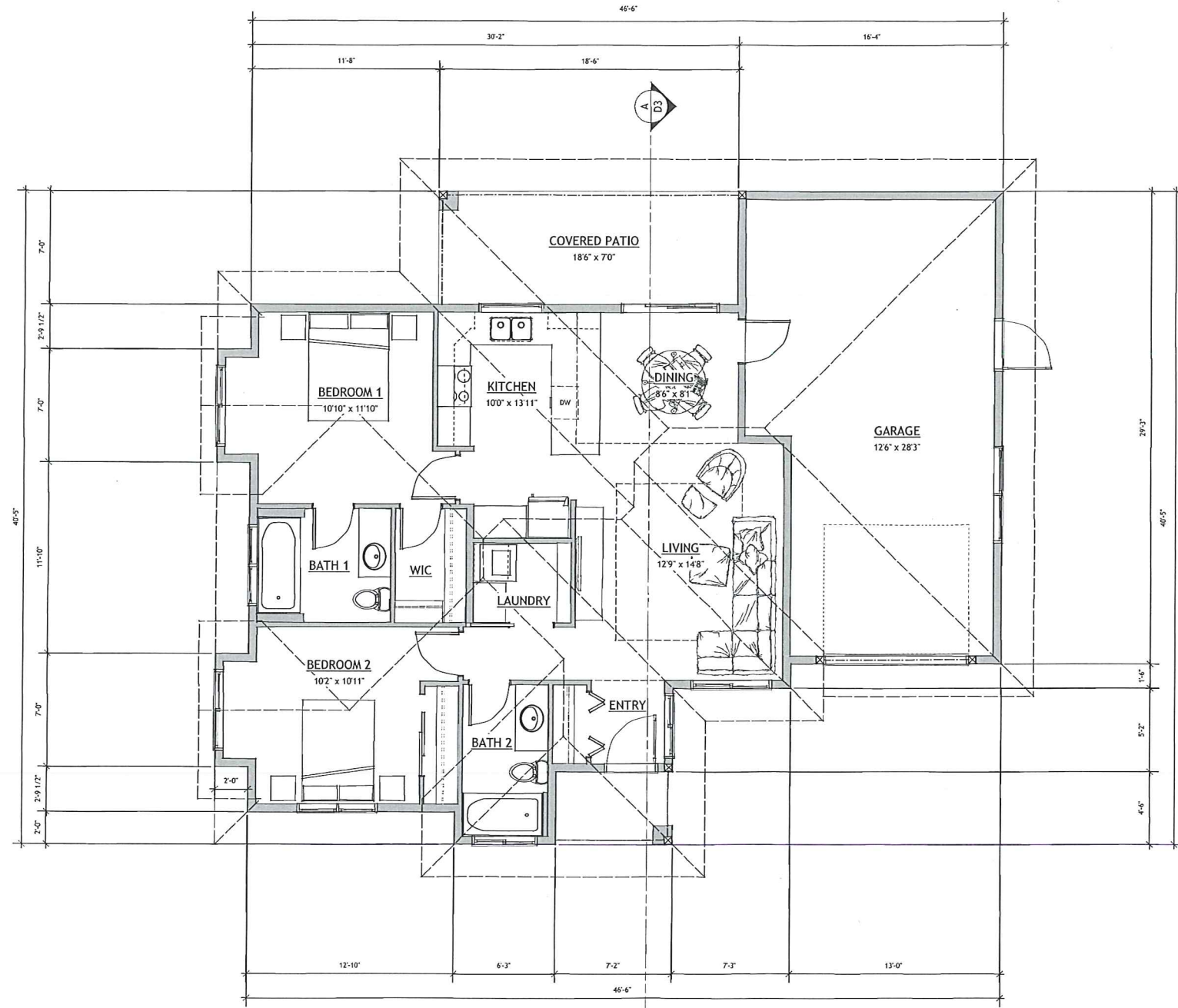
REVISION	DATE	DISCUSSION
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PROJECT
CARRIAGE HOUSE DEVELOPMENT
866 GLENMORE DRIVE
KELOWNA, BC V1Y 4N9
LOT 9 PLAN KAP4101

DRAWING TITLE
MAIN FLOOR PLAN

DATE
JUNE 14, 2016

DRAWING NUMBER
2
of
4

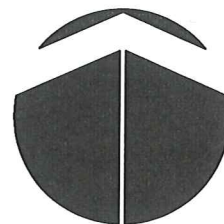


1 MAIN FLOOR PLAN
Scale: 1/4" = 1'-0" FFA = 965 SQ.FT.



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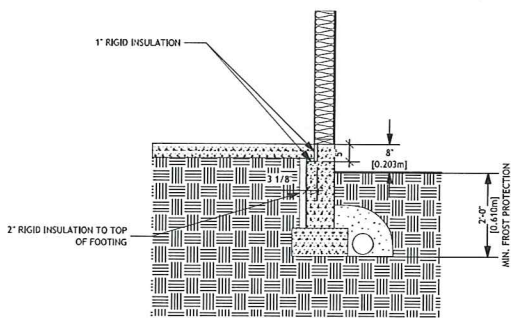
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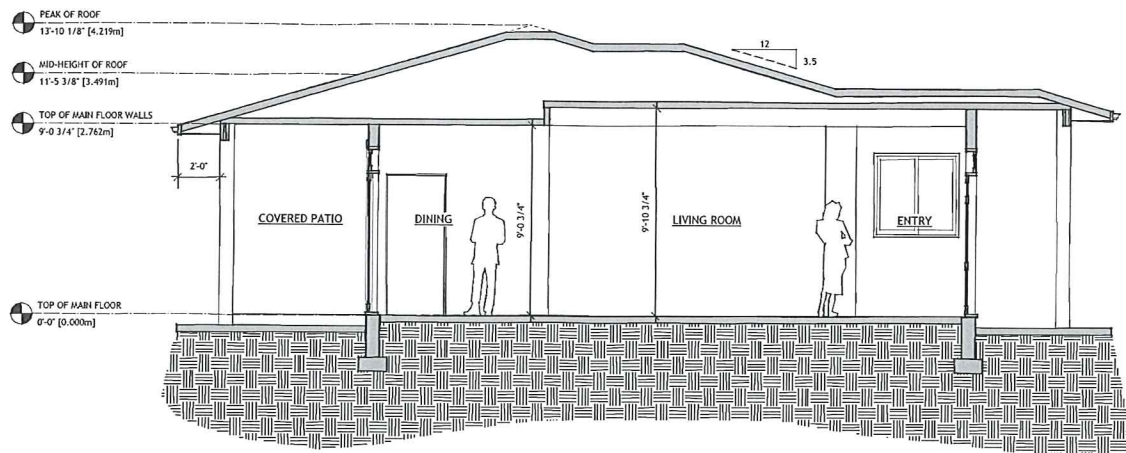
DRAWING TITLE
SECTION

DATE
JUNE 14, 2016

DRAWING NUMBER
3 of 4



1 SLAB ON GRADE (CONDITIONED SPACE)
Scale: 1/2" = 1'-0"



A SECTION
Scale: 1/4" = 1'-0"

GENERAL NOTES

- THE DESIGNER MAKES EVERY EFFORT TO PROVIDE COMPLETE AND ACCURATE HOME PLANS. HOWEVER, WE ASSUME NO LIABILITY FOR ANY ERRORS AND/OR OMISSIONS WHICH MAY AFFECT CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE BUILDER TO CHECK AND VERIFY ALL DIMENSIONS AND DETAILS BEFORE PROCEEDING WITH CONSTRUCTION. SHOULD ANY DISCREPANCIES BE FOUND ON THESE PLANS IT IS INCUMBENT ON YOU TO ADVISE OUR OFFICE AS SOON AS POSSIBLE. BY DOING SO WE WILL BE ABLE TO MAKE CORRECTIONS TO THE DRAWINGS AND REPLACE ANY PLANS IF NECESSARY. IN THIS WAY WE CAN BETTER SERVE YOU AND PREVENT ERRORS FROM REOCCURRING.
- ALL FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOILS AND BELOW THE FROST LINE. FOUNDATION WALL HEIGHTS AND THICKNESSES AS WELL AS FOOTING SIZES MAY NEED TO BE ADJUSTED AND/OR REINFORCED DUE TO SITE CONDITIONS. ANY ENGINEERING SERVICES REQUIRED ARE THE RESPONSIBILITY OF THE OWNER OR BUILDER.
- APPROVED SMOKE ALARMS TO BE INSTALLED AND INTERCONNECTED.
- BUILDER TO CHECK SNOW LOAD REQUIREMENTS FOR THEIR LOCAL AREA AND MAKE ANY NECESSARY ADJUSTMENTS PRIOR TO CONSTRUCTION.
- CARBON MONOXIDE ALARMS SHALL CONFORM TO CSA 6.19, "RESIDENTIAL CARBON MONOXIDE ALARMING DEVICES".
- DAMP-PROOFING OF 6 MIL POLYETHYLENE, WITH SEAMS LAPPED, OVER 4" OF GRANULAR FILL SHALL BE LAID UNDER CONCRETE SLABS. A FLEXIBLE SEALANT SHALL BE PLACED WHERE THE SLAB AND FOUNDATION WALL MEET.
- DIMENSIONS TAKE PRECEDENCE TO SCALE.
- DRAINAGE AROUND FOUNDATION TO CONSISTING OF A 4" DIAMETER PIPED COVERED WITH A MINIMUM OF 6" CRUSHED STONE SHALL BE PLACED AROUND THE PERIMETER OF THE BUILDING.
- ENSURE THAT WINDOWS IN FUTURE BEDROOMS HAVE A MINIMUM AREA OF .35m² (3.75 FT²) WITH AN UNOBSTRUCTED HEIGHT AND WIDTH OF 300mm (15"). THE WINDOW OPENING SHALL BE A MAXIMUM OF 1.5m (5') ABOVE THE FLOOR.
- EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING.
- EXTERIOR WALLS ARE DRAWN AT 5/8"
- FOUNDATION WALLS TO HAVE MIN 1 1/2" RIGID INSULATION TO MIN 24" BELOW GRADE. ATTIC SPACES TO HAVE MIN. R-44. ROOF JOISTS AND CANTILEVERED FLOORS MIN R-28. EXTERIOR 2X6 WALLS MIN. R-22. INTERIOR BASEMENT 2X4 WALLS MIN. R-14.
- LIGHTING AND ELECTRICAL LAYOUTS TO BE SPECIFIED BY THE OWNER OR BUILDER AND MUST MEET WITH 1998 BCBC REQUIREMENTS.
- PLANS ARE BASED ON THE USE OF #2 OR BETTER SPF, UNLESS OTHERWISE STATED. LAMINATED BEAMS WILL REQUIRE AN ENGINEER'S CERTIFICATION. THIS IS THE RESPONSIBILITY OF THE OWNER OR BUILDER.
- REFER TO ENGINEERED FLOOR JOIST AND ROOF TRUSS LAYOUT TO CONFIRM BEAM, POST AND PAD FOOTING LOCATION AND SIZES. ENSURE PROPER BEARING IS PROVIDED FOR ALL BEAMS.
- ROOF SPACES SHALL BE VENTED WITH ROOF, EAVE AND/OR GABLE END TYPE VENTS TO A MIN OF 1:300 OF THE INSULATED AREA.
- SITING OF THE HOME IS THE RESPONSIBILITY OF THE BUILDER IN CONJUNCTION WITH THE HOMEOWNER.
- THE DRAWINGS HAVE BEEN PREPARED TO CONFORM TO THE 2012 EDITION OF THE BRITISH COLUMBIA BUILDING CODE. THE BUILDER IS RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION CONFORMS TO THE BCBC AND LOCAL BUILDING CODES AND BYLAWS. ALL CONSTRUCTION AND INSTALLATION OF MATERIALS SHALL BE DONE IN ACCORDANCE WITH GOOD BUILDING PRACTICES AND MANUFACTURERS INSTRUCTIONS. LOCAL BUILDING DEPARTMENTS MAY REQUIRE CERTIFICATION FROM A STRUCTURAL ENGINEER FOR PART OR ALL OF THE STRUCTURE. ANY ENGINEERING FEES ARE THE RESPONSIBILITY OF THE OWNER OR BUILDER.
- THE INSTALLATION OF ALL PLUMBING, HVAC AND ELECTRICAL EQUIPMENT AND MATERIALS SHALL BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND THE APPLICABLE SECTIONS OF THE 2012 BCBC.
- THE SITING OF THE HOME MUST BE IN COMPLIANCE WITH CITY OF KELOWNA BYLAWS. BEFORE COMMENCEMENT OF CONSTRUCTION, ENSURE THAT THE SITE PLAN HAS BEEN APPROVED BY A CITY OF KELOWNA BUILDING OFFICIAL.
- VANITY SIZES ARE FOR REFERENCE ONLY. REFER TO APPROVED KITCHEN LAYOUT FOR CABINET SIZES.
- CONSTRUCTION LOADS ON THE STRUCTURE CAUSED BY INTERIM STORAGE OF MATERIALS OR USE OF EQUIPMENT, SHALL NOT BE ALLOWED TO EXCEED THE DESIGN LOADINGS.
- CONFIRM ALL DIMENSIONS ON-SITE PRIOR TO BEGINNING CONSTRUCTION.
- EXTERIOR DOORS SHALL BE SOLID CORE AND WEATHERSTRAPPED. GARAGE DOORS TO DWELLING TO BE AS ABOVE AND SELF-CLOSING.
- GRADES SHOWN ON PLANS ARE ESTIMATED. FOUNDATION WALL HEIGHTS AND HOUSE SITING MAY REQUIRE ADJUSTMENT TO SUIT SITE CONDITIONS.
- MIN. 25% OF UNOBSTRUCTED ROOF VENT AREA SHALL BE AT BOTH THE SOFFIT AND TOP OF ATTIC. ROOF VENTING SHALL BE IN ACCORDANCE WITH BCBC 9.19.1.2.
- PROVIDE BAFFLE FOR AIR SPACE (EQUAL TO SOFFIT VENTING) BETWEEN INSULATION AND ROOF SHEATHING AT EXTERIOR WALL LINE.
- THE FACE OF SHEATHED EXTERIOR WALLS SHALL BE FLUSH WITH FOUNDATION WALLS.
- WOOD IN CONTACT WITH CONCRETE TO BE DAMP-PROOFED WITH SILL GASKET OR OTHER APPROVED METHOD. PLATES TO BE ANCHORED TO CONCRETE FOUNDATION WITH 1/2" DIA. A307 ANCHOR BOLTS AT 4'-0" O.C.

1 ROOF SYSTEM

- LAMINATE SHINGLES
- BITUMEN SATURATED ROOFING PAPER
- 7/16" SHEATHING W/ H-CLIPS
- ENGINEERED ROOF TRUSSES @ 24" O.C.
- LOOSE FILL INSULATION
- 6 MIL POLY VAPOUR & AIR BARRIER
- 1/2" CEILING BOARD (TEXTURED)

2 EXTERIOR WALL

- HARDPLANK LAP SIDING/BOARD & BATTEN
- BUILDING PAPER
- 3/8" SHEATHING
- 2X6 STUD WALL - STUDS @ 16" O.C.
- BATT TYPE INSULATION
- 6 MIL POLY VAPOUR & AIR BARRIER
- 1/2" DRYWALL (PAINTED)

3 INTERIOR LOAD BEARING WALL

- 1/2" DRYWALL (PAINTED)
- 2X4 STUD WALL - STUDS @ 16" O.C.
- 1/2" DRYWALL (PAINTED)

4 INTERIOR NON-LOAD BEARING WALL

- 1/2" DRYWALL (PAINTED)
- 2X4 STUD WALL - STUDS @ 16" O.C.
- 1/2" DRYWALL (PAINTED)

5 FLOOR SYSTEM

- INTERIOR FLOOR COVERINGS
- 3/4" T & G PLYWOOD SUBFLOOR
- 11 7/8" TJI SILENT FLOOR (SEE APPROVED LAYOUT FOR JOIST SPACING AND PLACEMENT)
- 1/2" DRYWALL (TEXTURED) IN FINISHED AREAS ONLY
- REFER TO APPROVED FLOOR LAYOUT DIAGRAM

6 CONCRETE FOUNDATION

- 8" CONCRETE FROST WALL
- MIN. 20 MPa 28 DAY CONCRETE STRENGTH
- 10M BAR (HORIZ.) @ 18" O.C.
- 10M BAR (VERT.) @ 48" O.C. ALTERNATING
- 24" X 24" 15M CORNER BARS @ ALL CORNERS
- 1 1/2" CLEAR TO REBAR FROM INSIDE OF WALL
- 1/2" A307 ANCHOR BOLTS REQ'D @ 4'-0" O.C.
- RIGID INSULATION

- 8" X 16" CONTINUOUS CONCRETE FOOTING
- 2 ROWS 15M BAR CONTINUOUS
- 2" CLEAR TO REBAR FROM BOTTOM OF FOOTING

- UNEXCAVATED EARTH
- PROVIDE MINIMUM 24" FROST PROTECTION

7 BASEMENT CONCRETE SLAB

- 4" CONCRETE SLAB (20 MPa MIN)
- 10M BARS @ 16" E.W. IN TILED FLOOR AREAS
- 6 MIL POLY LAPPED NOT LESS THAN 12" & ALL JOINTS SEALED TO PREVENT AIR LEAKAGE
- RIGID INSULATION
- MINIMUM 4" CLEAN GRANULAR MATERIAL

- PROVIDE ROUGH-IN FOR FUTURE SUBFLOOR DEPRESSURIZATION SYSTEM TO CONTROL SOIL GAS AS PER BCBC 9.13.4.3

8 GARAGE CONCRETE SLAB

- 4" CONCRETE SLAB (32 MPa MIN)
- MIN. 2% SLOPE TO FRONT OF GARAGE
- 5% MIN AIR ENTRAINMENT
- 10M BARS @ 18" E.W.
- 6" MIN WELL COMPACTED GRANULAR FILL
- UNEXCAVED EARTH

PROJECT DATA: CIVIC ADDRESS
LEGAL ADDRESS
CURRENT ZONING
PROPOSED ZONING
FUTURE LAND USE

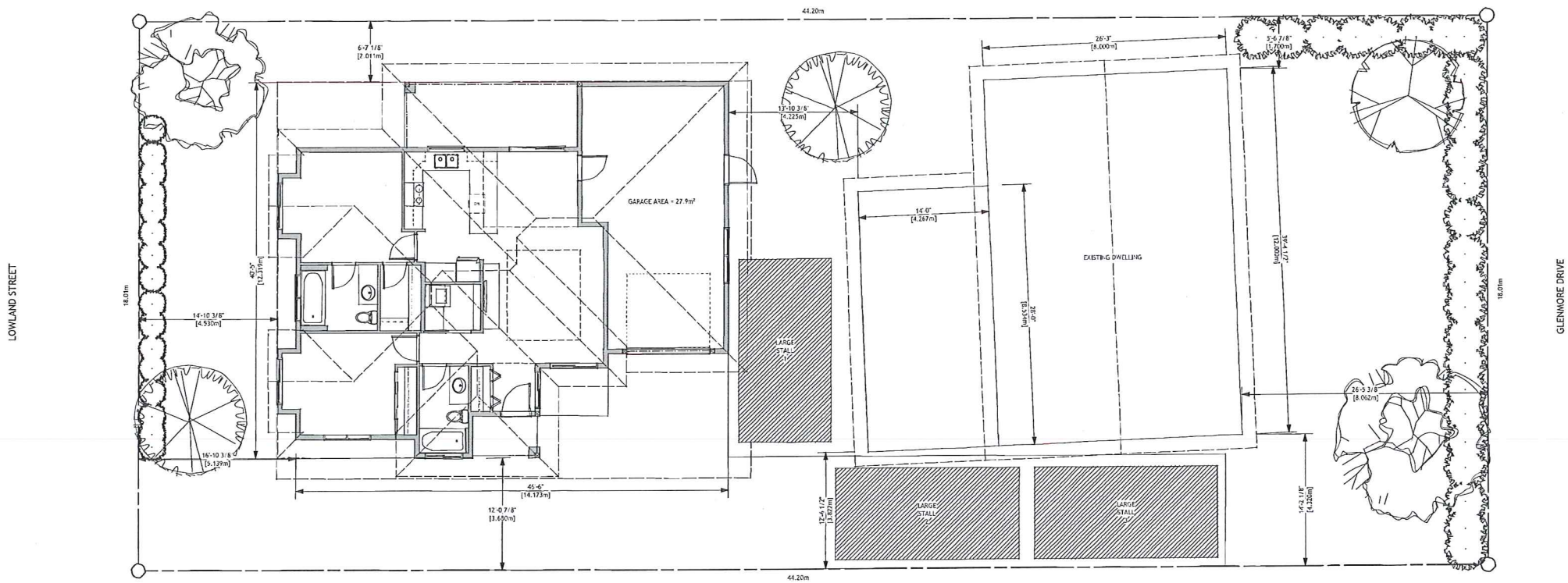
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KELOWNA, BC V1Y 4N9
LOT 9 PLAN KAP4101
RU-1 LARGE LOT HOUSING
RU-S TWO DWELLING HOUSING
ARL - MULTIPLE UNIT RESIDENTIAL (LOW DENSITY)

ZONING ANALYSIS		
	RUB ZONE STANDARDS	PROPOSED
SITE AREA	400.00m ²	796.00m ²
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BUILDING HEIGHT OF PROPOSED CARRIAGE HOUSE	4.8m/1 1/2 STOREYS	3.491m/1 1/2 STOREYS
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PEAK OF EXISTING DWELLING ROOF		7.200m
PARKING STALLS PROVIDED	3	4
PRIVATE OPEN SPACE CARRIAGE HOUSE	30.00m ²	40.80m ²

SETBACK TO PRINCIPLE BUILDING	3.000m	4.225m
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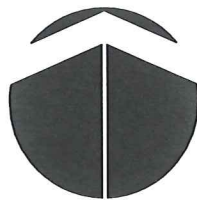


1 SITE PLAN
Scale: 1:75



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CARRIAGE HOUSE DEVELOPMENT
866 GLENMORE DRIVE
KELOWNA, BC V1Y 4N9
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DRAWING TITLE
SITE PLAN

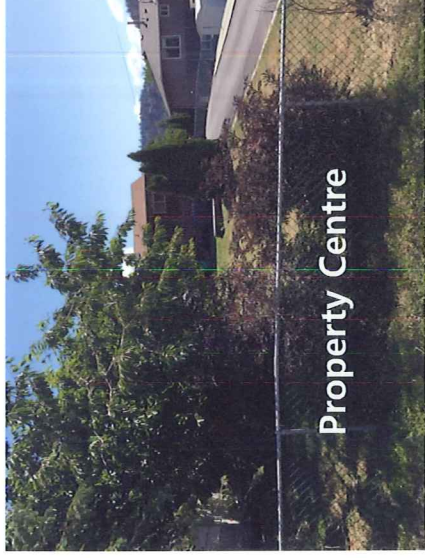
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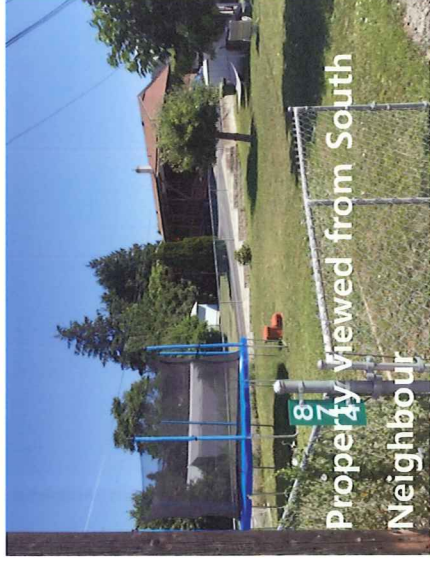
866 Glenmore Road Site and context



View to North



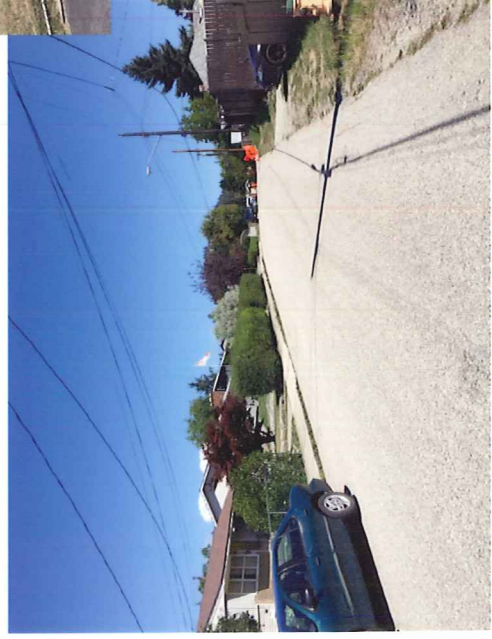
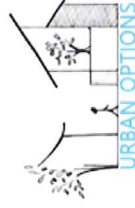
Property Centre



Property viewed from South Neighbour

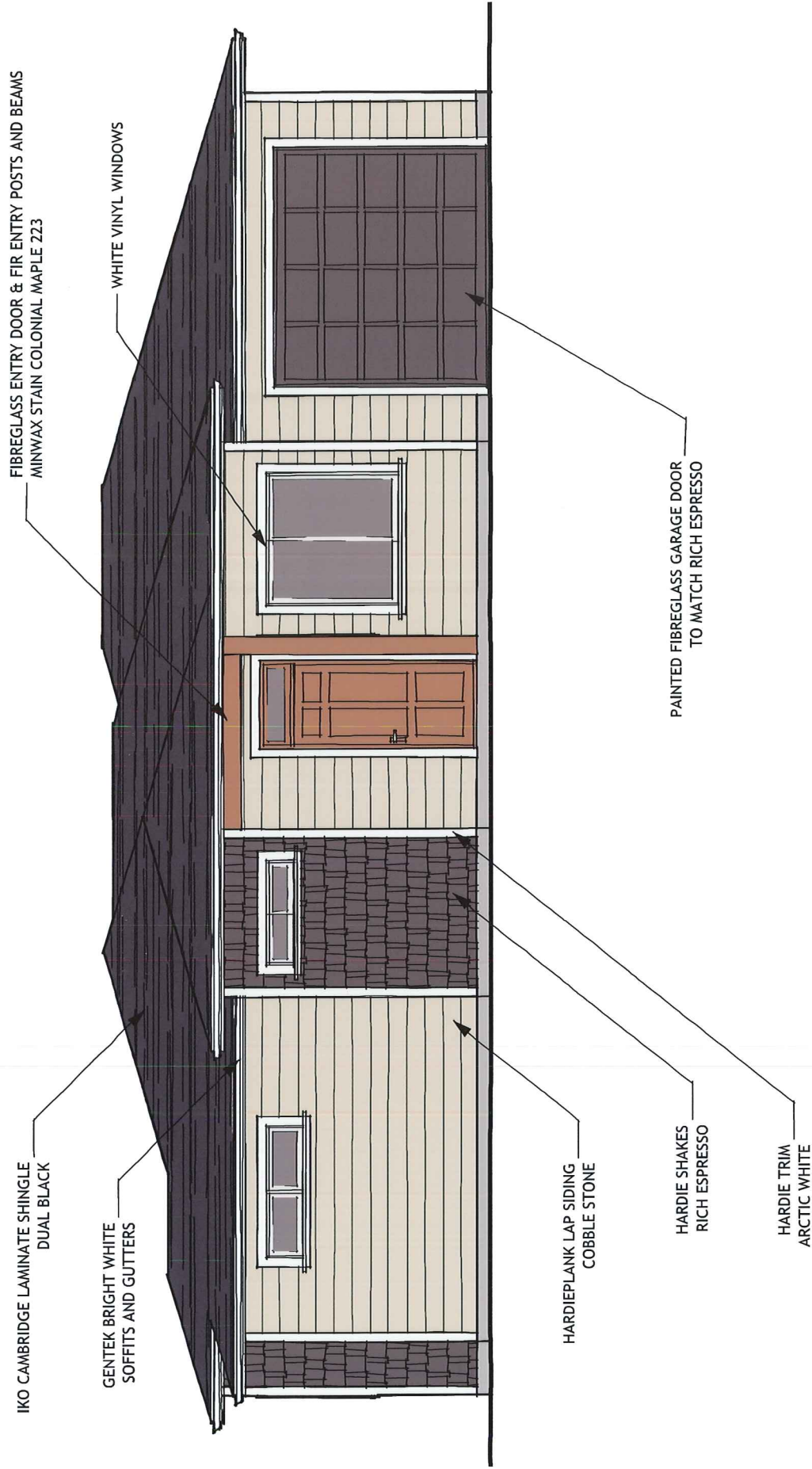


View to south



View along Lowland showing neighbours across the street.





866 GLENMORE DRIVE, KELOWNA, BC

COLOUR BOARD



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JULY 7, 2016

SCALE : 3/16" = 1'-0"

1 OF 1