



DP19-0184 / DP19-0185 2125 & 2205 Baron Rd, 1830 & 1880 Leckie Rd and 1901 Underhill St.

Development Permit Application

Proposal

- ▶ To consider the form and character of a large-scale retail store and gas bar.

Development Process

Sept 17, 2019

Development Application Submitted



Staff Review & Circulation



Jan 27, 2020

Public Notification Received



Nov 23, 2020

Initial Consideration



Jan 12, 2021

Public Hearing
Second & Third Readings



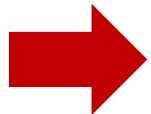
Apr 26, 2021

Final Reading
DP Consideration

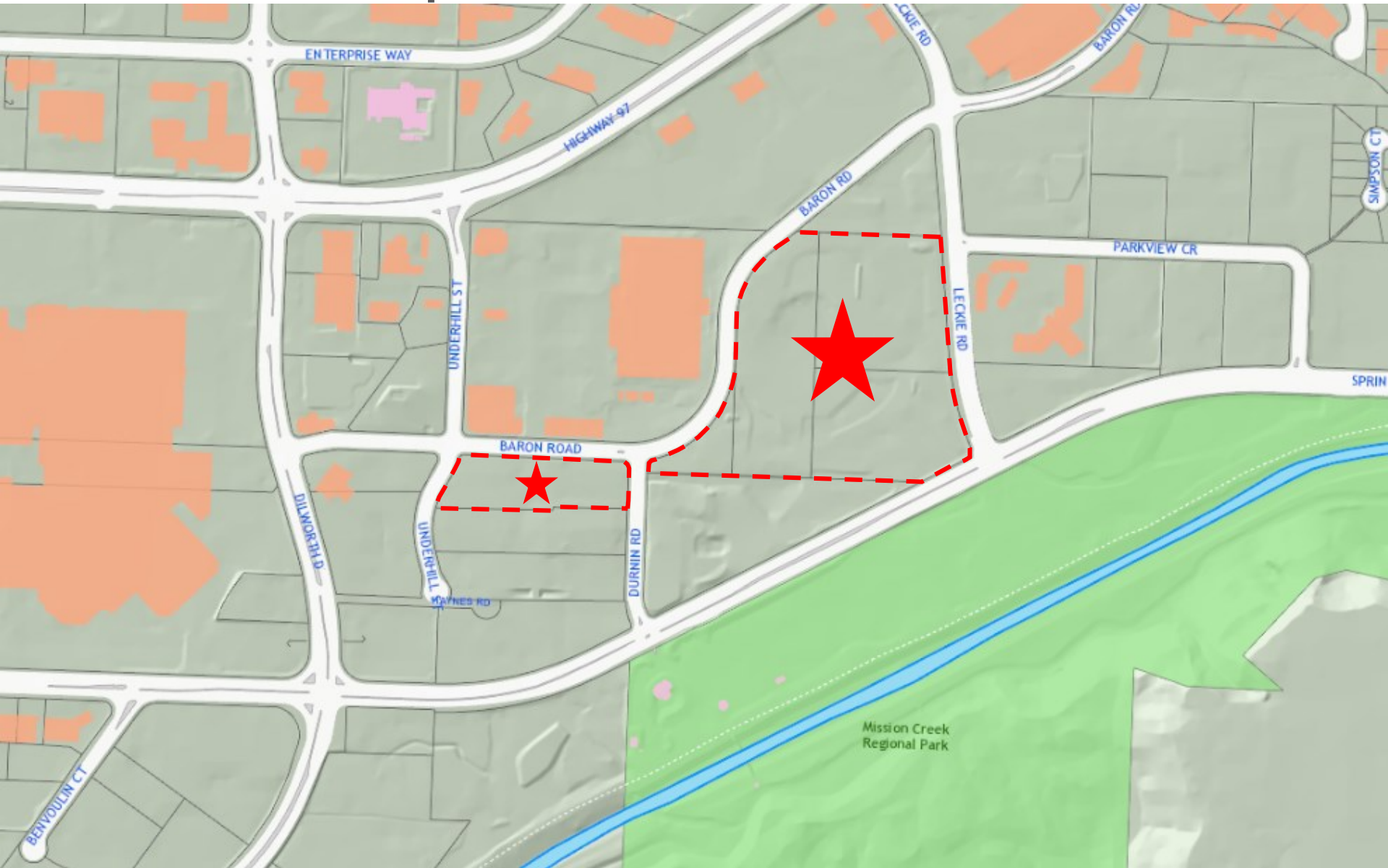


Building Permit

Council
Approvals

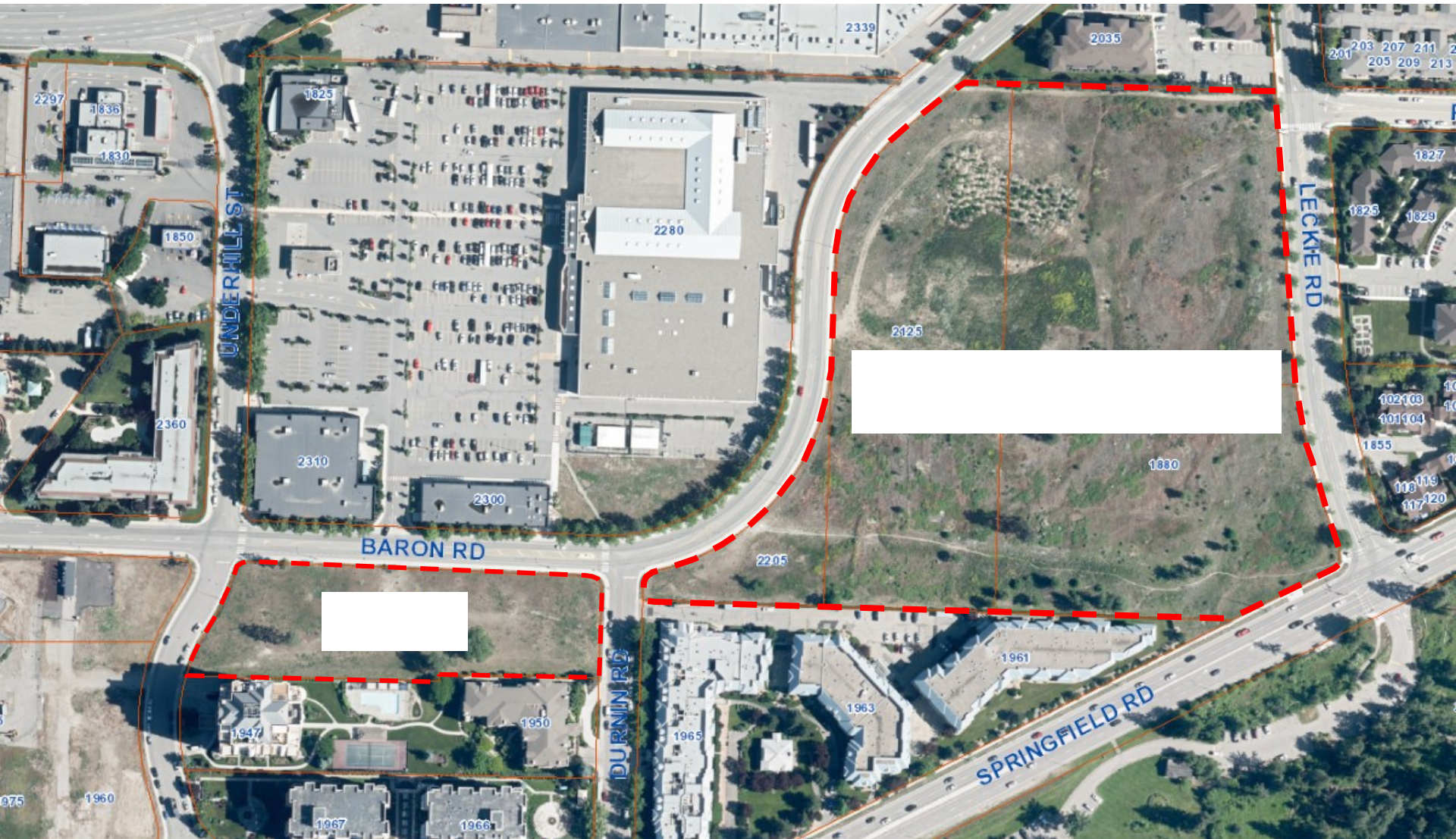


Context Map



City of Kelowna

Subject Properties Map



Context Photo



City of Kelowna

Context Photo



City of Kelowna

Project/technical details

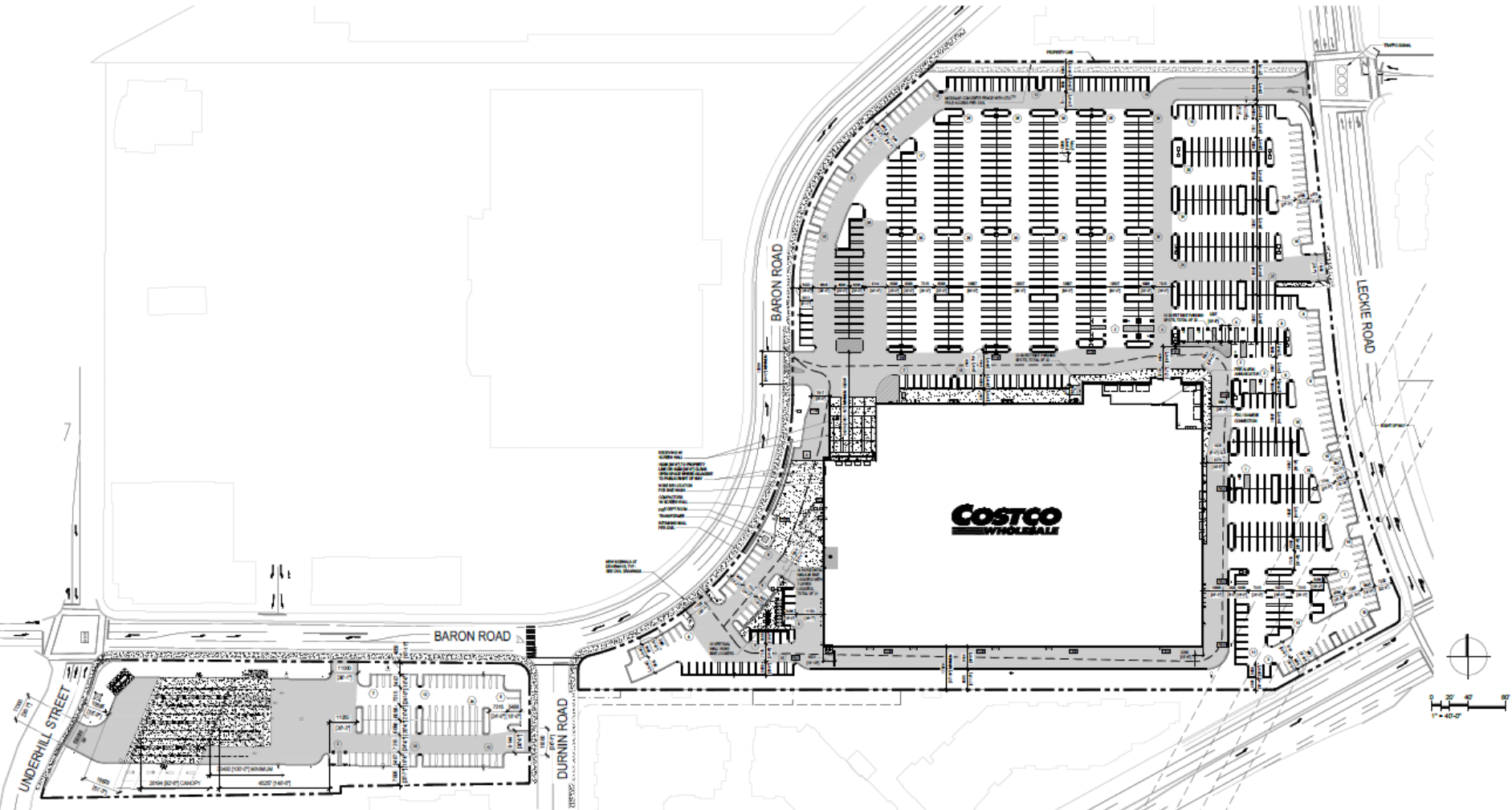
▶ Warehouse Site

- ▶ Building to be 15,517 m² GFA
- ▶ 787 parking stalls
- ▶ 4 access points
 - ▶ 2 on Baron Rd
 - ▶ 1 right in, right out
 - ▶ 1 all access
 - ▶ 2 on Leckie Rd
 - ▶ 1 full access
 - ▶ 1 full access with traffic signal, no straight thru from Parkview Cr

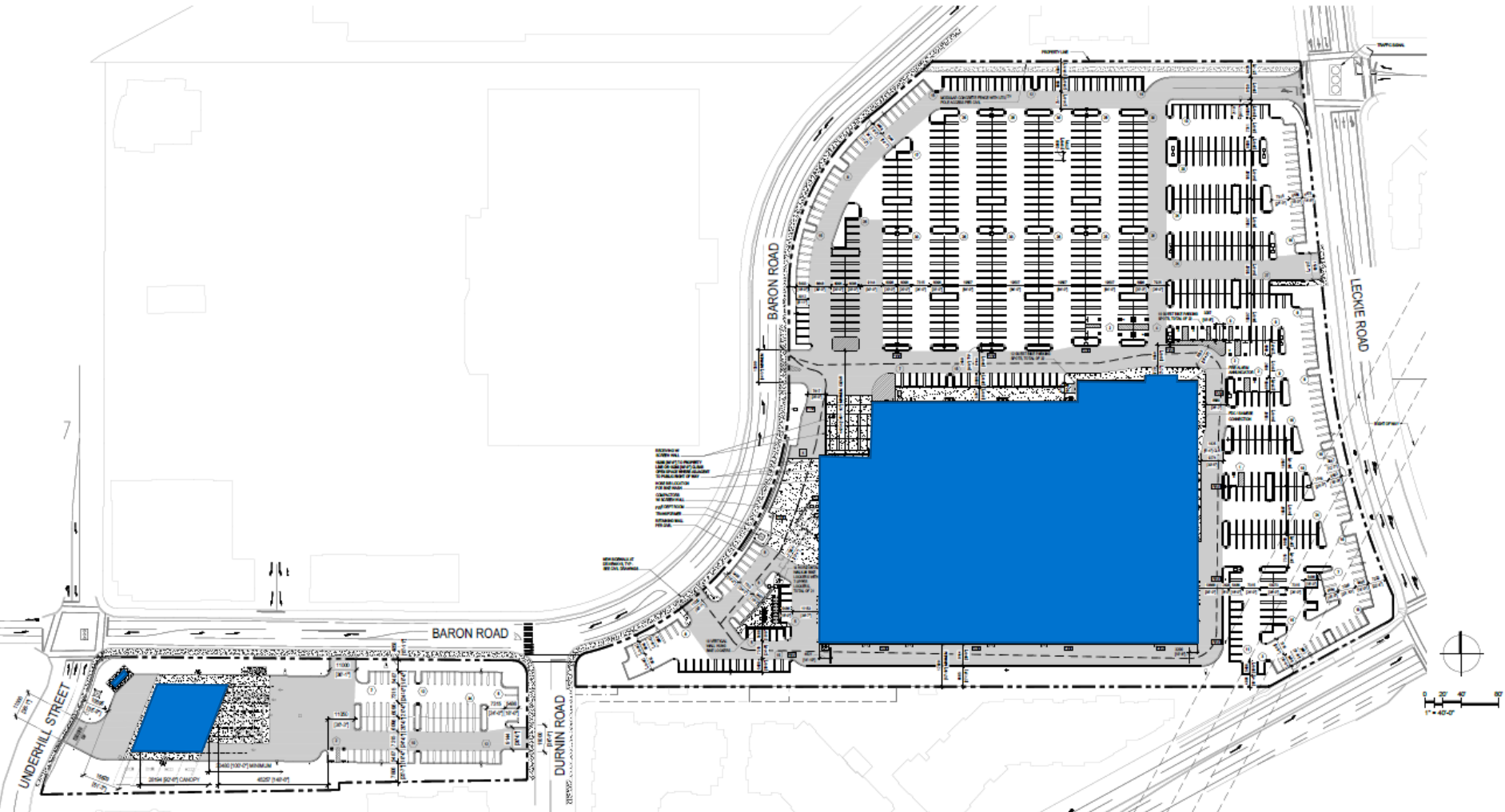
▶ Gas Bar

- ▶ 808 m² GFA with employee controller enclosure
- ▶ 84 parking stalls
- ▶ 3 access points
 - ▶ 1 exit only onto Underhill St, 1 all access at Baron Rd & 1 all access at Durnin Rd

Site Plan



Site Plan



Long-term bike parking

Main entrance

Employee Service entrance

COSTCO
WHOLESALE

BARON ROAD

LECKIE ROAD

0 20' 40' 80'
1" = 40'-0"

Long-term bike Parking

Main entrance

Employee Service entrance

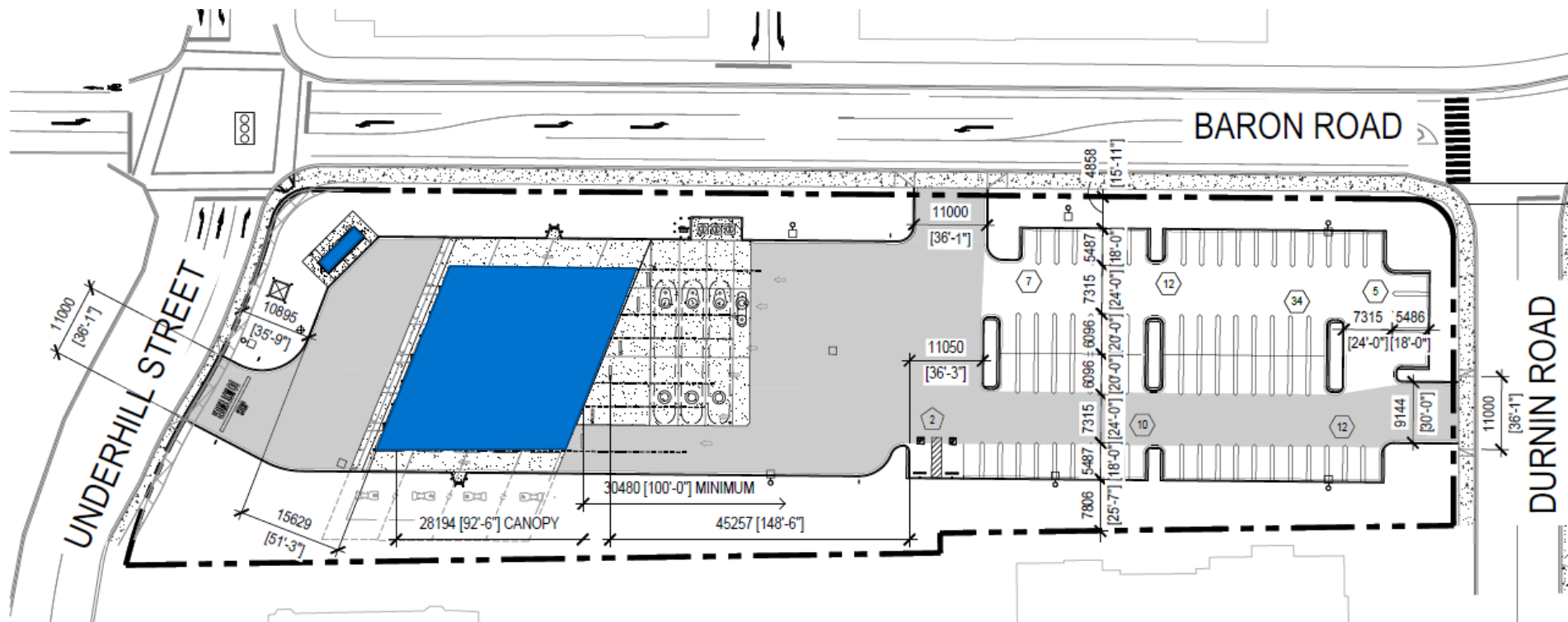


RECEIVING W/ SCREEN WALL
1528M [50'-4"] TO PROPERTY
LINE OR 1528M [50'-4"] CLEAR
OPEN SPACE WHERE ADJACENT
TO PUBLIC RIGHT OF WAY
HOSE BIB LOCATION
FOR DKE WASH
IMPACTORS
W/ SCREEN WALL
FIRE EXIT ROOM
TRANSFORMER
RETAINING WALL
PER CIVIL

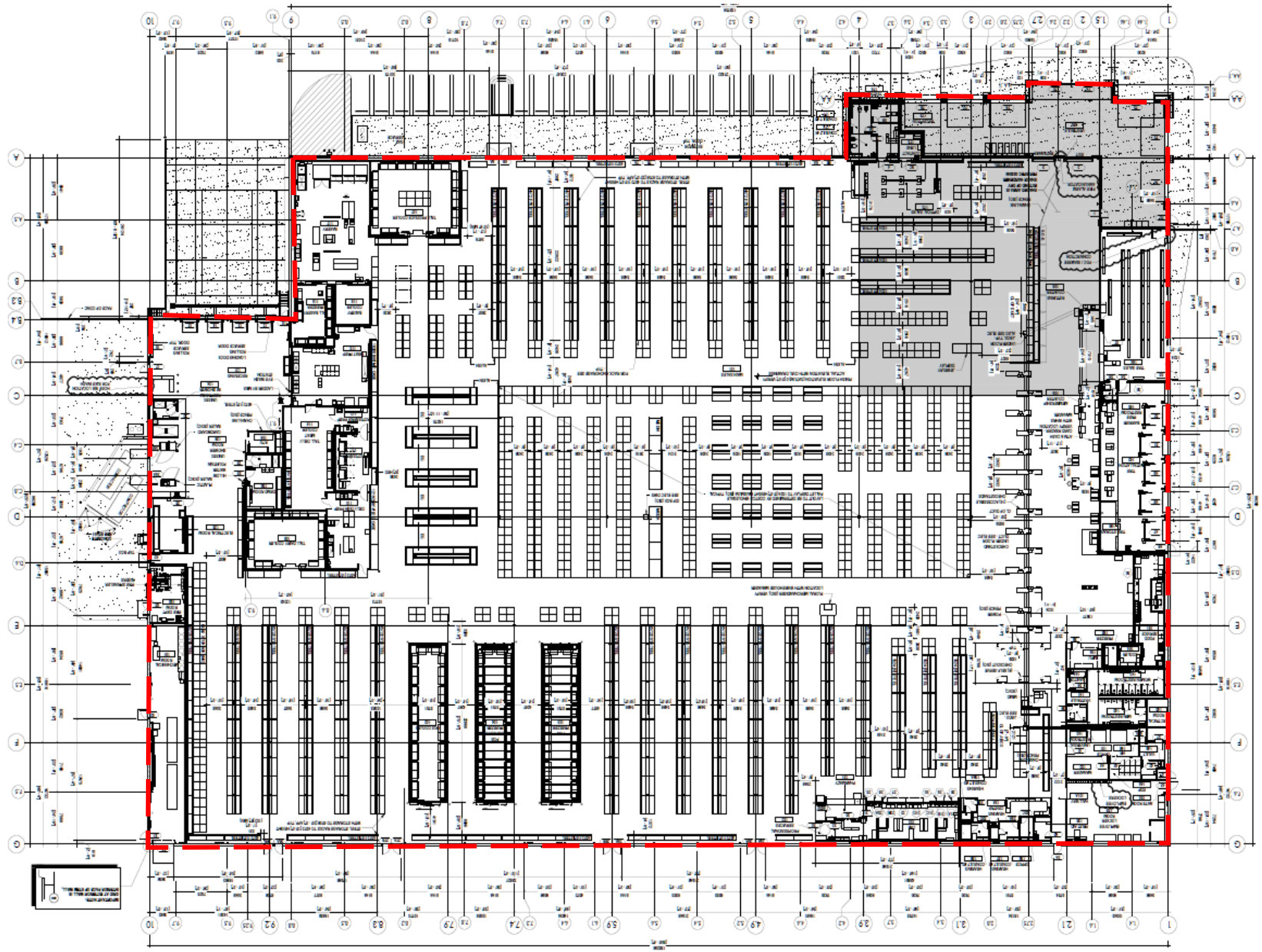
NEW SIDEWALK AT
DRIVEWAYS, TYP -
SEE CIVIL DRAWINGS -

only in the case of the

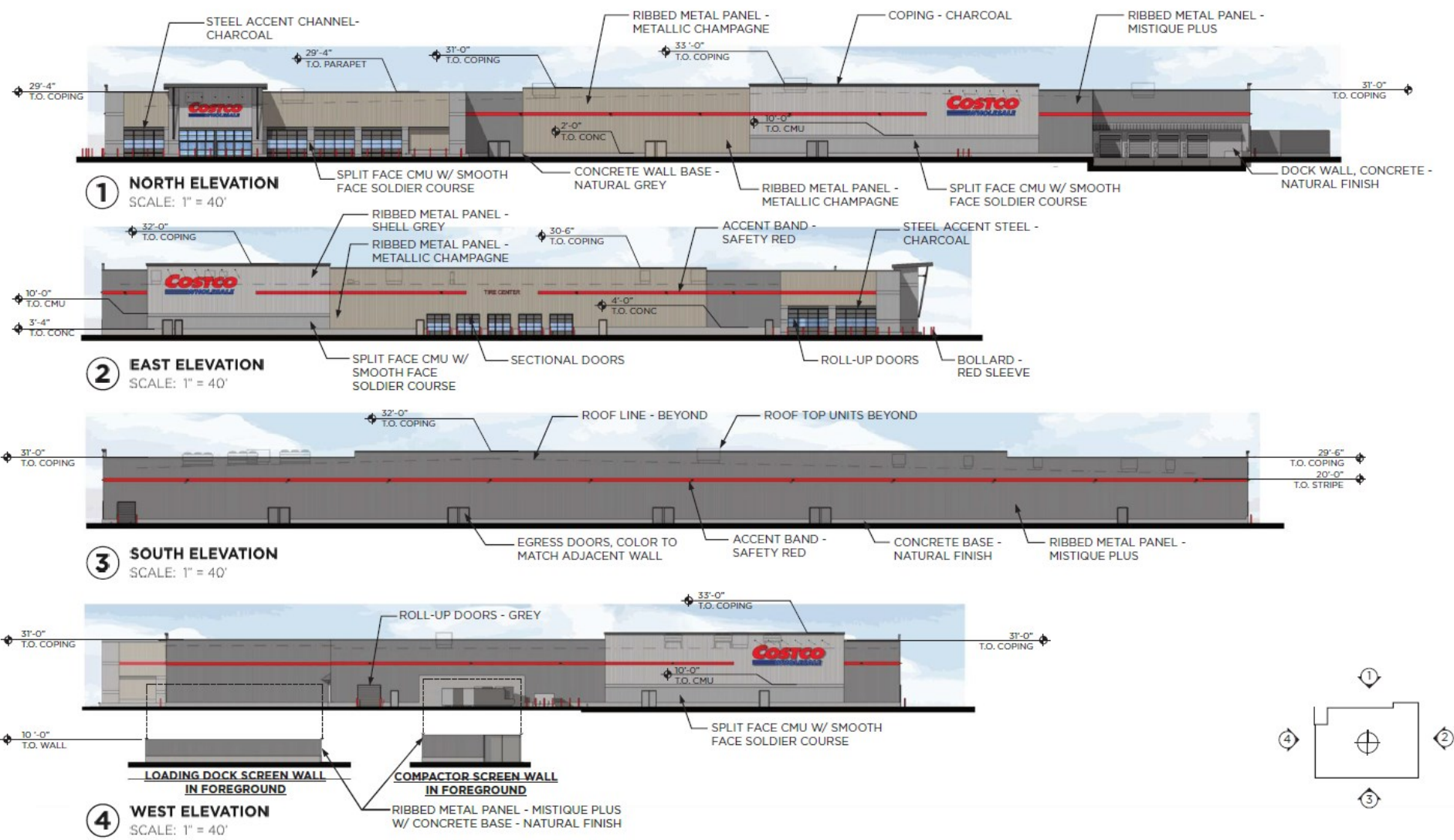
Site Plan – Gas Bar Enlargement



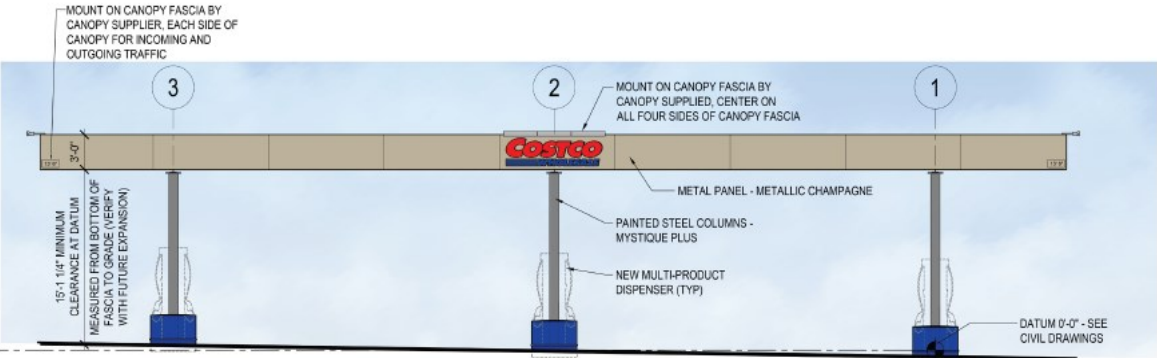
Warehouse Floor Plan



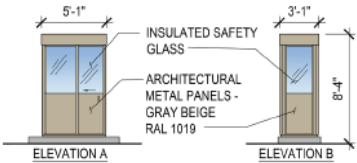
Elevations - Warehouse



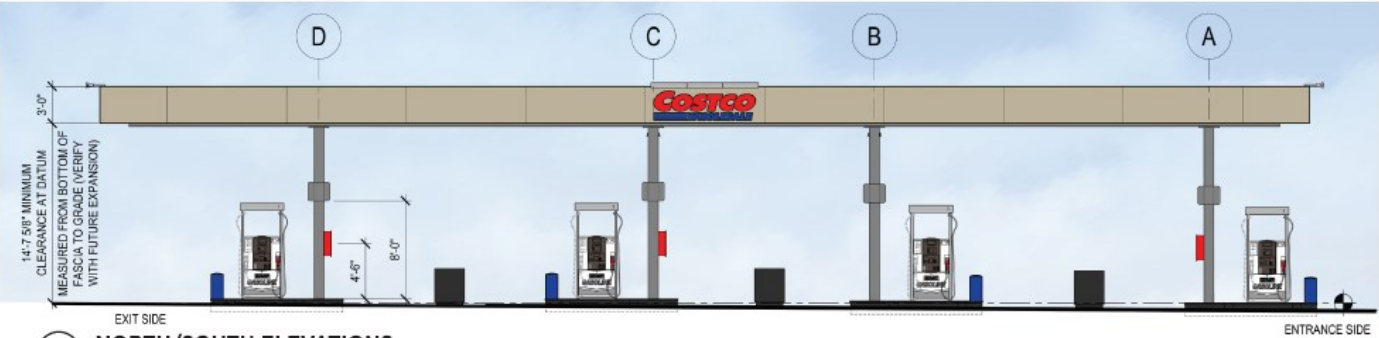
Elevations – Gas Bar



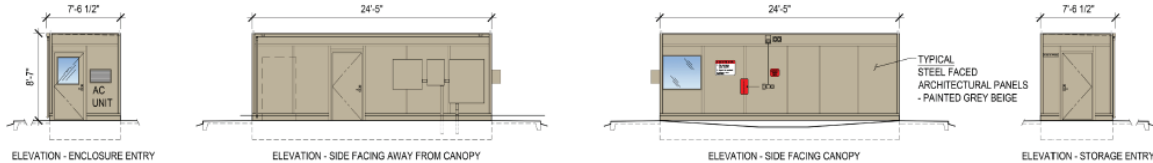
1 EAST/WEST ELEVATIONS
SCALE: NTS



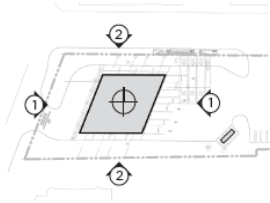
5 WARMING HUT
SCALE: NTS



2 NORTH/SOUTH ELEVATIONS
SCALE: NTS



3 CONTROLLER ENCLOSURE
SCALE: NTS



Renderings



City of Kelowna

Renderings



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Renderings



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Renderings



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Renderings



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Renderings



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Landscape Plan

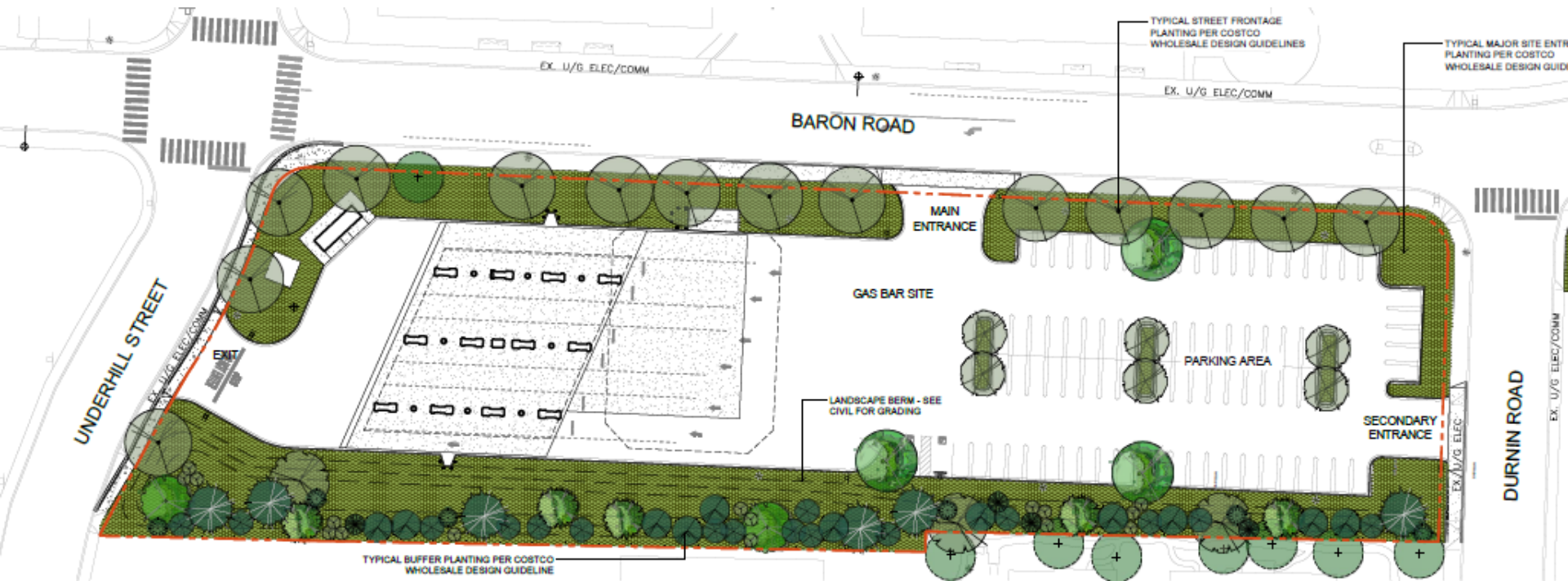


City of Kelowna

Landscape Plan – Enlargement



Landscape Plan – Enlargement



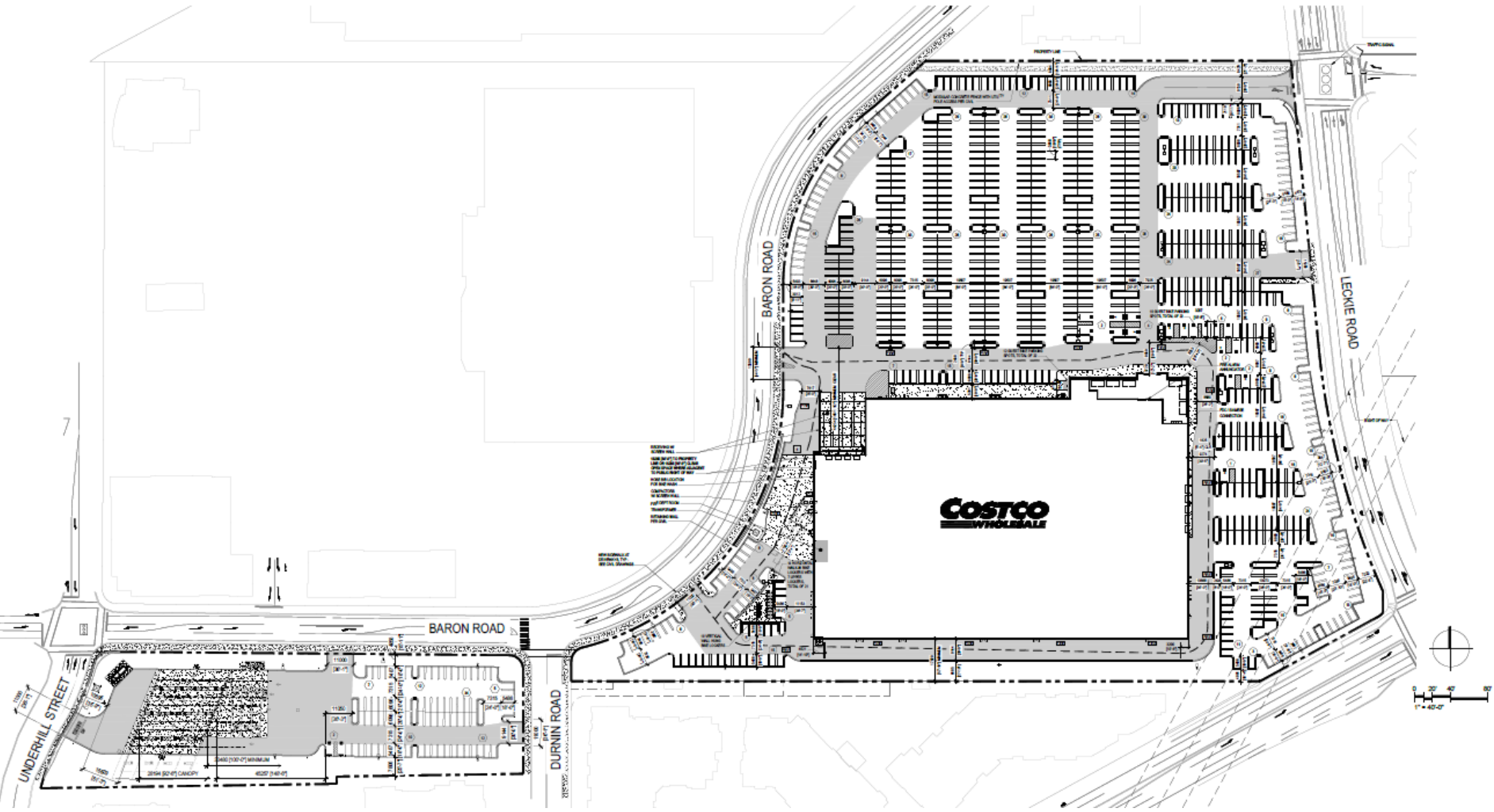
Staff Recommendation

- ▶ Staff recommend **support** of the proposed Development Permit Application.



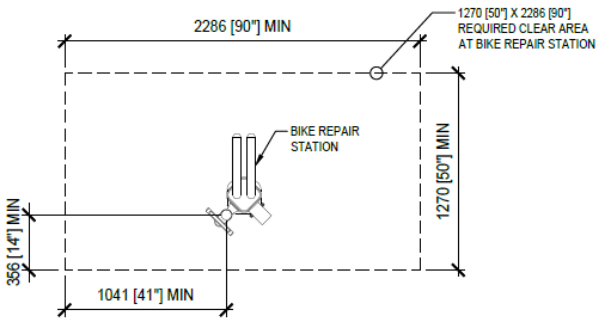
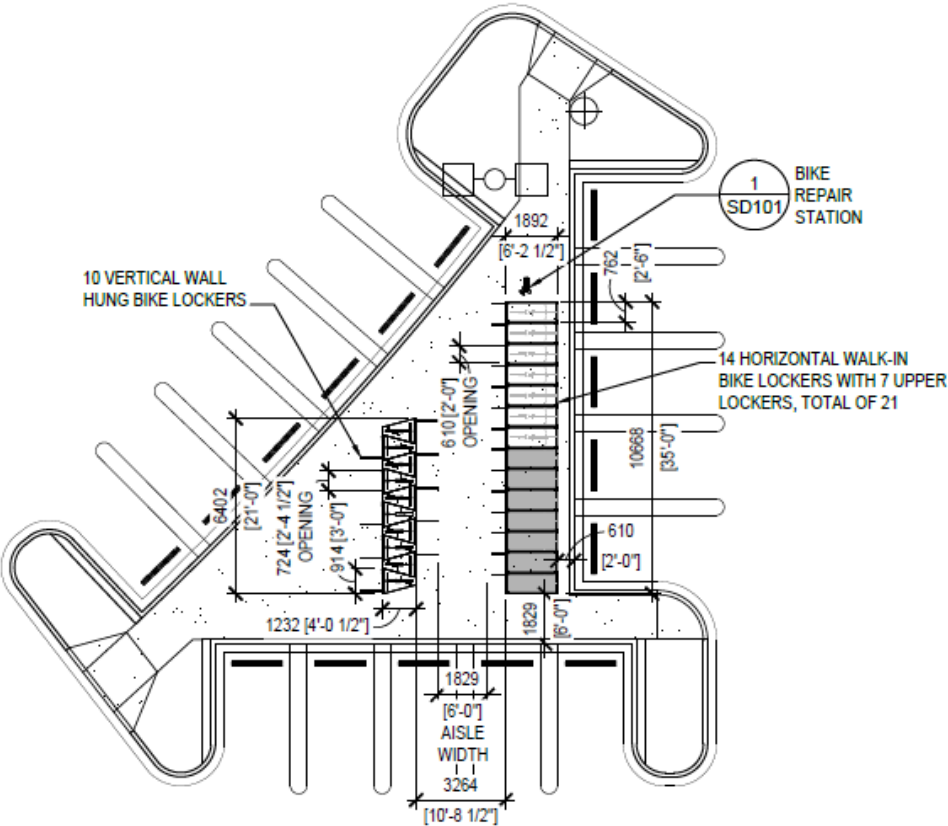
Conclusion of Staff Remarks

Site Plan



City of Kelowna

Site Plan – Bike Parking Detail



NOTE:
1041 [41"] MINIMUM CLEARANCE FROM SIDE OF BIKE REPAIR STATION TO WALL OR OTHER OBJECTS
356 [14"] MINIMUM CLEARANCE FROM BACK OF BIKE REPAIR STATION TO WALL
1524 [60"] MINIMUM FROM AN ADJOINING STREET OR CYCLE PATH

1 BIKE REPAIR STATION CLEARANCE
SCALE: 1:25 0421

6 ENLARGED BIKE LOCKER PLAN
SCALE: 1:200