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**CITY OF KELOWNA**  
**MEMORANDUM**


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**Date:** June 13, 2016  
**File No.:** DP16-0113  
**To:** Urban Planning Management (LK)  
**From:** Development Engineering Manager (SM)  
**Subject:** 980 Mayfair Rd                      Lot A                      Plan 22053

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The Development Engineering Branch comments and requirements regarding this application to evaluate the form and character of a second on the subject property are as follows.

1. General.
  - a) Requirements associated with the development of the subject property are addressed in the rezoning report under file Z15-0038. All the requirements of the rezoning application must be satisfied.
  - b) Provide easements as may be required.

  
\_\_\_\_\_  
Steve Muenz, P. Eng.  
Development Engineering Manager

jo

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**CITY OF KELOWNA**  
**MEMORANDUM**

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**Date:** March 31, 2016  
**File No.:** DVP16-0058  
**To:** Urban Planning Management (LK)  
**From:** Development Engineering Manager (SM)  
**Subject:** 980 Mayfair Rd      Lot A    Plan 22053

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Development Engineering comments and requirements regarding this development permit application are as follows:

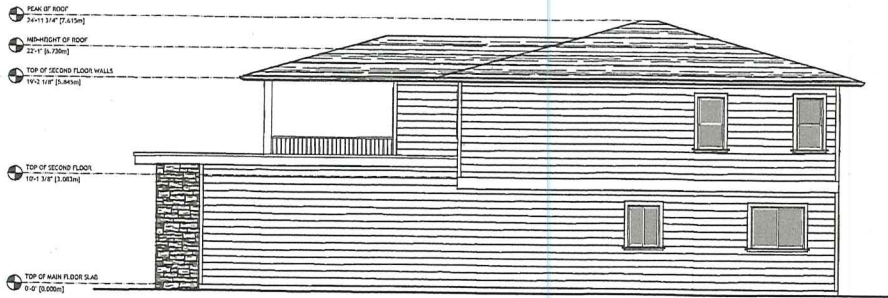
This development variance permit application to vary the rear yard setback from 7.5m to 2.3m does not compromise any municipal services.



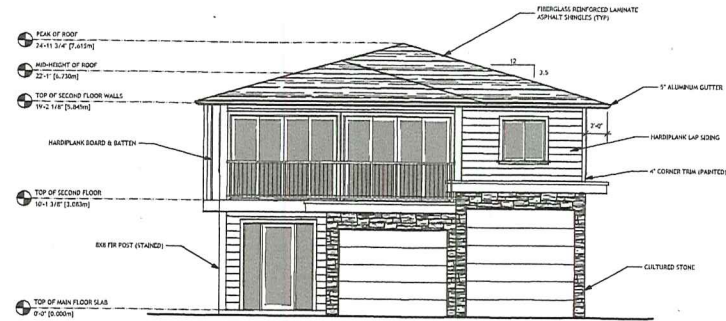
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Steve Muenz, P. Eng  
Development Engineering Manager

jo



1 NORTH ELEVATION  
Scale: 3/16" = 1'-0"



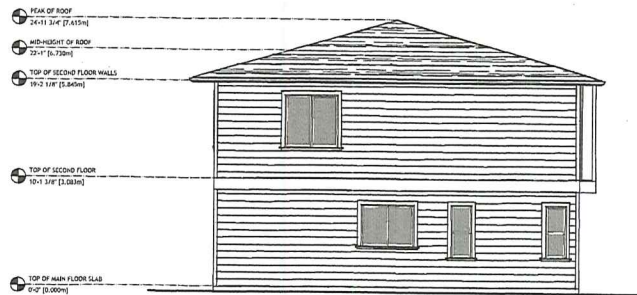
2 EAST ELEVATION  
Scale: 3/16" = 1'-0"

PROJECT DATA: CIVIC ADDRESS 180 MAYFAIR ROAD  
 LEGAL ADDRESS KELOWNA, BC V1X 5G6  
 CURRENT ZONING LOT A PLAN KAP22093  
 PROPOSED ZONING R18 LARGE LOT HOUSING  
 FUTURE LAND USE R18 TWO DWELLING HOUSING  
 SIZES - SINGLE/TWO UNIT RESIDENTIAL

	PERMITTED	PROPOSED
SITE AREA	700.00m <sup>2</sup>	1164.00m <sup>2</sup>
PROPOSED BUILDING FOOTPRINT AT GRADE		167.88m <sup>2</sup>
EXISTING BUILDING FOOTPRINT AT GRADE		164.65m <sup>2</sup>
PROPOSED FRONT ENTRY		16.72m <sup>2</sup>
PROPOSED DRIVEWAY AREA		146.53m <sup>2</sup>
SITE COVERAGE	40.0%	30.0%
SITE COVERAGE W/ DRIVEWAY	50.0%	42.0%
BUILDING HEIGHT	9.5m/2 1/2 STOREYS	6.730m/1 STOREY
TOTAL FLOOR AREA		238.11m <sup>2</sup>
FRONT (EAST) YARD SETBACK (TO EXISTING DWELLING)	4.500m	8.553m
REAR (WEST) YARD SETBACK (TO P.L.L. VARIANCE REQUESTED)	7.500m	2.300m
SIDE (NORTH) YARD SETBACK	3.300m	3.353m
SIDE (SOUTH) YARD SETBACK	3.300m	9.547m



3 SOUTH ELEVATION  
Scale: 3/16" = 1'-0"

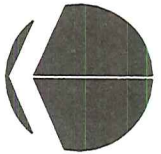


4 WEST ELEVATION  
Scale: 3/16" = 1'-0"



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PROJECT NORTH

REVISION	DATE	DESCRIPTION

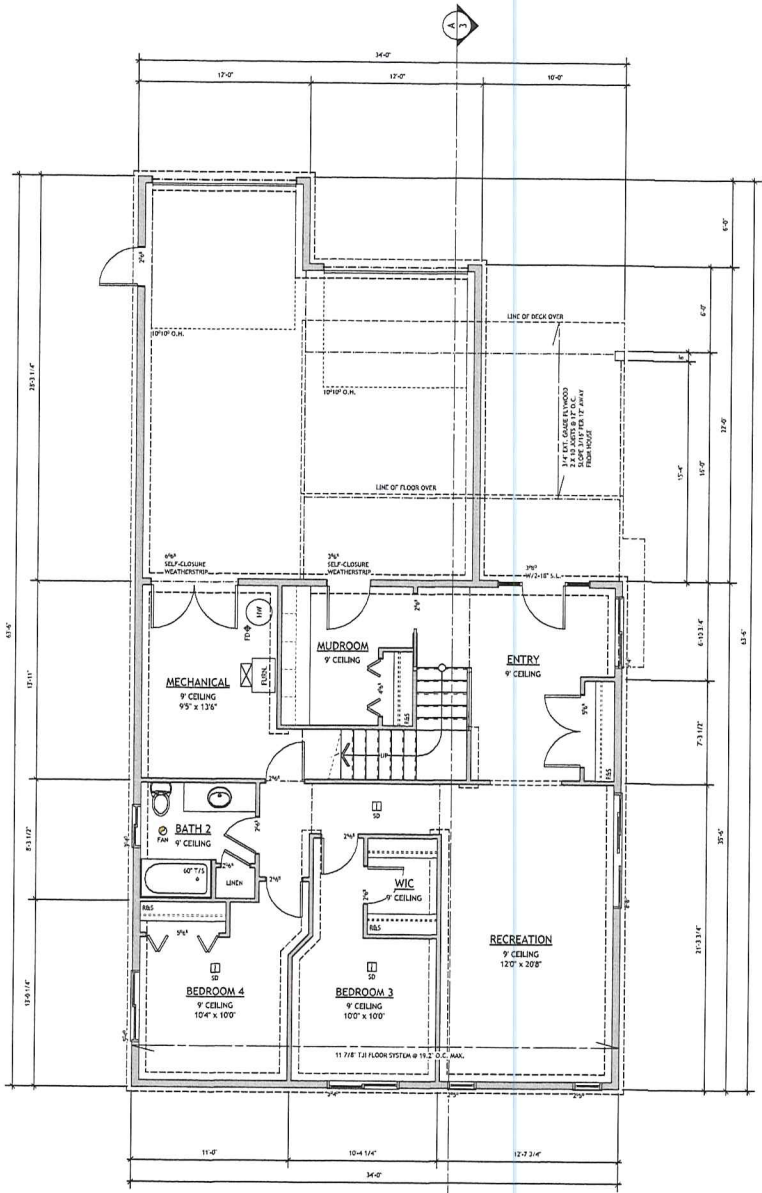
PROJECT  
 SINGLE FAMILY DWELLING  
 980 MAYFAIR ROAD  
 KELOWNA, BC V1X 5G6  
 LOT A PLAN KAP22053

DRAWING TITLE  
 ELEVATIONS

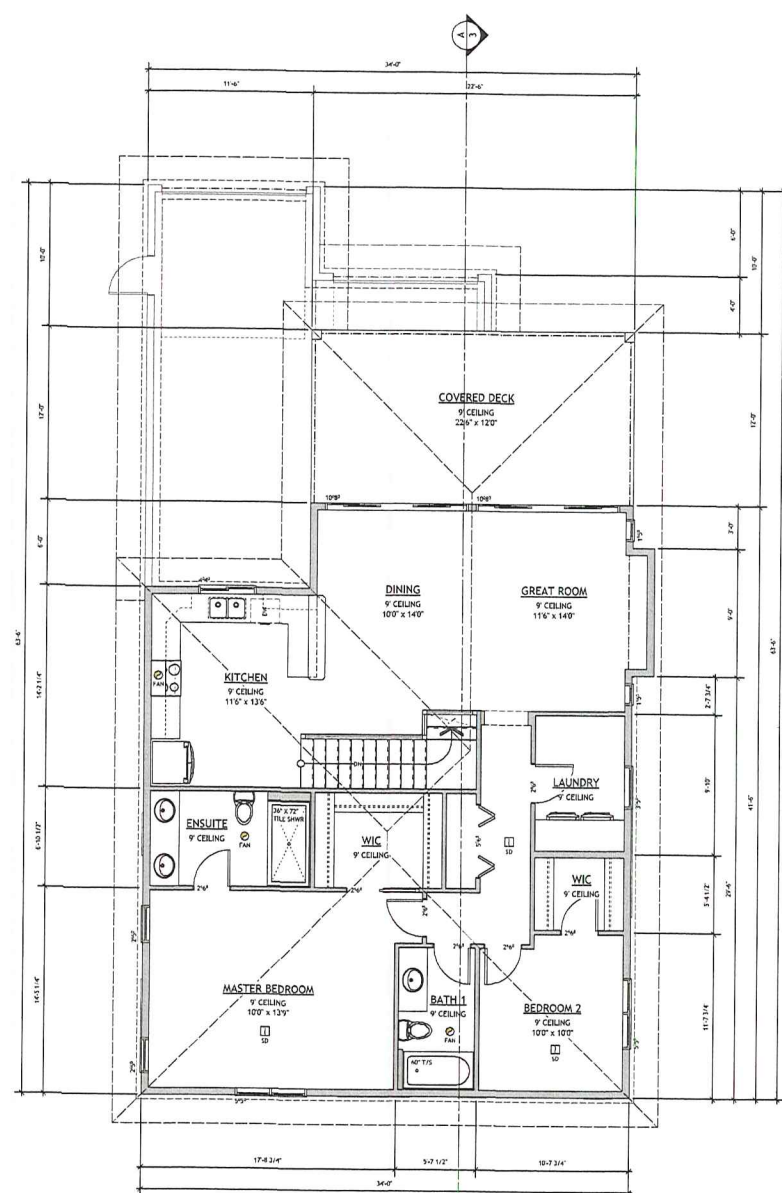
DATE  
 APRIL 9, 2016

DRAWING NUMBER  
 1  
 of  
 4

Schedule B  
 DP16-0113 & DVP16-0058



1 MAIN FLOOR PLAN  
Scale: 1/4" = 1'-0" FFA = 1207 SQ.FT.



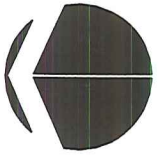
2 SECOND FLOOR PLAN  
Scale: 1/4" = 1'-0" FFA = 1356 SQ.FT.

Schedule A  
DP15-0154 & DVP15-0232



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PROJECT NORTH

REVISION	DATE	DESCRIPTION

PROJECT  
SINGLE FAMILY DWELLING  
980 MAYFAIR ROAD  
KELOWNA, BC V1X 5G6  
LOT A PLAN KAP22053

DRAWING TITLE  
FLOOR PLANS

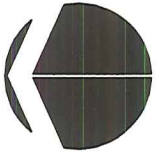
DATE  
APRIL 9, 2016

DRAWING NUMBER  
2  
of  
4



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PROJECT NORTH

REVISION	DATE	DESCRIPTION

PROJECT

SINGLE FAMILY DWELLING  
980 MAYFAIR ROAD  
KELOWNA, BC V1X 5G6  
LOT A PLAN KAP22053

DRAWING TITLE

SECTION/DETAILS

DATE

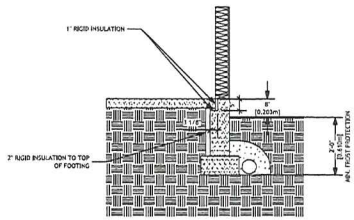
APRIL 9, 2016

DRAWING NUMBER

3  
— of —  
4



A SECTION  
Scale: 1/4" = 1'-0"



1 SLAB ON GRADE (CONDITIONED SPACE)  
Scale: 1/2" = 1'-0"

**GENERAL NOTES**

- THE DESIGNER MAKES EVERY EFFORT TO PROVIDE COMPLETE AND ACCURATE HOME PLANS. HOWEVER, WE ASSUME NO LIABILITY FOR ANY ERRORS AND/OR OMISSIONS WHICH MAY AFFECT CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE BUILDER TO CHECK AND VERIFY ALL DIMENSIONS AND DETAILS BEFORE PROCEEDING WITH CONSTRUCTION. SHOULD ANY DISCREPANCIES BE FOUND ON THESE PLANS IT IS INCUMBENT ON YOU TO ADVISE OUR OFFICE AS SOON AS POSSIBLE, SO THAT WE WILL BE ABLE TO MAKE CORRECTIONS TO THE DRAWINGS AND REPLACE ANY PLANS IF NECESSARY. IN THIS WAY WE CAN BETTER SERVE YOU AND PREVENT ERRORS FROM RECURRING.
- ALL FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOILS AND BELOW THE FROST LINE. FOUNDATION WALL HEIGHTS AND THICKNESSES AS WELL AS FOOTING SIZES MAY NEED TO BE ADJUSTED AND/OR REINFORCED DUE TO SITE CONDITIONS. ANY ENGINEERING SERVICES REQUIRED ARE THE RESPONSIBILITY OF THE OWNER OR SUBLEASER.
- APPROVED SMOKE ALARMS TO BE INSTALLED AND INTERCONNECTED.
- BUILDER TO CHECK SMOKE LOAD REQUIREMENTS FOR THEIR LOCAL AREA AND MAKE ANY NECESSARY ADJUSTMENTS PRIOR TO CONSTRUCTION.
- CARBON MONOXIDE ALARMS SHALL CONFORM TO CSA 6.19, "RESIDENTIAL CARBON MONOXIDE ALARMING DEVICES".
- DAMPENING OF 6 MIL POLYETHYLENE, WITH SEAMS LAPPED, OVER 4" OF GRANULAR FILL SHALL BE LAID UNDER CONCRETE SLABS. A FLEXIBLE SLABANT SHALL BE PLACED WHERE THE SLAB AND FOUNDATION WALL MEET.
- DIMENSIONS TAKE PRECEDENCE TO SCALE.
- FOUNDATIONS AND/OR FOUNDATION TO CONSISTING OF A 4" DIAMETER PIPED COVERED WITH A MINIMUM OF 6" CRUSHED STONE SHALL BE PLACED AROUND THE PERIMETER OF THE BUILDING.
- ENSURE THAT WINDOWS IN FUTURE BEDROOMS HAVE A MINIMUM AREA OF .35sq (3.75 FT<sup>2</sup>) WITH AN UNOBSTRUCTED HEIGHT AND WIDTH OF 360MM (14"). THE WINDOW OPENING SHALL BE A MINIMUM OF 1.3m (51") ABOVE THE FLOOR.
- EXTERIOR BARRIERS ARE TO FACE OF SHEATHING.
- EXTERIOR WALLS ARE 200MM AT 316".
- FOUNDATION WALLS TO HAVE 1" RIGID INSULATION TO MIN 24" BELOW GRADE. ATTIC SPACES TO HAVE MIN. 8-14", ROOF JOISTS AND CHANGELINED FLOORS MIN 8-20". EXTERIOR 2X4 WALLS MIN. 8-22". INTERIOR BASEMENT 2X4 WALLS MIN. 8-14".
- LIGHTING AND ELECTRICAL LAYOUTS TO BE SPECIFIED BY THE OWNER OR BUILDER AND MUST MEET WITH 1998 BCBC REQUIREMENTS.
- ALL WAYS ARE SIZES TO THE USE OF 42 OR BETTER SPT, UNLESS OTHERWISE STATED. LAMINATED BEAMS WILL REQUIRE AN ENGINEER'S CERTIFICATION. THIS IS THE RESPONSIBILITY OF THE OWNER OR BUILDER.
- REFER TO ENGINEERED FLOOR JOIST AND TRUSS LAYOUT TO CORONA BLDG. POST AND PAD FOOTING LOCATION AND SIZES. ENSURE PROPER BEARING IS PROVIDED FOR ALL BEAMS.
- ROOF SPACES SHALL BE VENTED WITH ROOF, EAVE AND/OR GABLE END VENTS TO A MIN OF 1:300 OF THE INSULATED AREA.
- THE SITING OF THE HOME MUST BE IN COMPLIANCE WITH CITY OF KELOWNA BYLAWS. BEFORE COMMENCEMENT OF CONSTRUCTION, ENSURE THAT THE SITE PLAN HAS BEEN APPROVED BY A MUNICIPAL BUILDING OFFICIAL.
- SITING OF THE HOME IS THE RESPONSIBILITY OF THE BUILDER IN CONJUNCTION WITH THE HOMEOWNER.
- THE BURNING HAVE BEEN REVISIONS TO CONFORM TO THE 2012 EDITION OF THE BRITISH COLUMBIA BUILDING CODE. THE BUILDER IS RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION CONFORMS TO THE BCBC AND LOCAL BUILDING CODES AND REGULATIONS. ALL CONSTRUCTION AND INSTALLATION OF MATERIALS SHALL BE DONE IN ACCORDANCE WITH GOOD BUILDING PRACTICES AND MANUFACTURER'S INSTRUCTIONS. LOCAL BUILDING DEPARTMENTS MAY REQUIRE CERTIFICATION FROM A STRUCTURAL ENGINEER FOR PART OR ALL OF THE STRUCTURE. ANY ENGINEERING FEES ARE THE RESPONSIBILITY OF THE OWNER OR SUBLEASER.
- THE INSTALLATION OF ALL PLUMBING, HVAC AND ELECTRICAL EQUIPMENT AND MATERIALS SHALL BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND THE APPLICABLE SECTION OF THE 2012 BCBC.
- VANITY SIZES ARE FOR REFERENCE ONLY. REFER TO APPROVED KITCHEN LAYOUT FOR CABINET SIZES.
- CONSTRUCTION LOADS ON THE STRUCTURE CAUSED BY PILING STORAGE OF MATERIALS OR USE OF EQUIPMENT, SHALL NOT BE ALLOWED TO EXCEED THE DESIGN LOADINGS.
- CONFIRM ALL DIMENSIONS ON-SITE PRIOR TO BEGINNING CONSTRUCTION.
- EXTERIOR DOORS SHALL BE SOLID CORE AND WEATHERSTRIPPED. GARAGE DOORS TO DWELLING TO BE AS ABOVE AND SELF-CLOSING.
- GRADES SHOWN ON PLANS ARE ESTIMATED. FOUNDATION WALL HEIGHTS AND RIDGE SIZES MAY REQUIRE ADJUSTMENT TO SUIT SITE CONDITIONS.
- MIN. 2% OF UNOBSTRUCTED ROOF VENT AREA SHALL BE AT BOTH THE SOFFIT AND TOP OF ATTIC. ROOF VENTING SHALL BE IN ACCORDANCE WITH BCBC 9.19.1.2.
- PROVIDE BATTLE FOR AIR SPACE (EQUAL TO SOFFIT VENTING) BETWEEN INSULATION AND ROOF SHEATHING AT EXTERIOR WALL LINE.
- THE FACE OF SHEATHED EXTERIOR WALLS SHALL BE FLUSH WITH FOUNDATION WALLS.
- WOOD IN CONTACT WITH CONCRETE TO BE BARR-PROOFED WITH SILL GASKET OR OTHER APPROVED METHOD. PLATES TO BE ANCHORED TO CONCRETE FOUNDATION WITH 1/2" DIA. ANCHOR BOLTS AT 4'-0" O.C.

**EXTERIOR WALL ASSEMBLIES**

W1 - EXTERIOR 2X4 WALL  
- HARDIPLANK LAP SIDING  
- 2" RIGID INSULATION  
- 2" RIGID INSULATION  
- 6 MIL POLY VAPOUR & AIR BARRIER  
- 1/2" GYPSUM BOARD (PAINTED)

W2 - EXTERIOR FOUNDATION WALL  
- 2" RIGID INSULATION  
- 2" RIGID INSULATION  
- 6 MIL POLY VAPOUR & AIR BARRIER  
- 1/2" GYPSUM BOARD (PAINTED)

**INTERIOR WALL ASSEMBLIES**

W3 - INTERIOR 2X4 PARTITION WALL  
- 1/2" GYPSUM BOARD (PAINTED)  
- 2X4 STUDS @ 16" O.C.  
- 1/2" GYPSUM BOARD (PAINTED)

W4/W5 - INTERIOR 2X6 PARTITION WALL  
- 1/2" GYPSUM BOARD (PAINTED)  
- 2X6 STUDS @ 16" O.C.  
- 802 PDS 1.5 BATT TYPIC INSULATION (NEAR NO INSULATION)  
- 1/2" GYPSUM BOARD (PAINTED)

**FLOOR ASSEMBLIES**

F1 - MAIN FLOOR  
- INTERIOR FLOOR COVERINGS  
- 3/4" T & G PLYWOOD SUBFLOOR  
- 1 1/2" RIGID INSULATION  
- 11 3/8" TIES AT 19.2" O.C. MAX

**1 ROOF SYSTEM**

- LAMINATE SHINGLES
- BITUMEN SATURATED ROOFING PAPER
- 7/16" SHEATHING W/ H-CLIPS
- ENGINEERED ROOF TRUSSES @ 24" O.C.
- LOOSE FILL INSULATION
- 6 MIL POLY VAPOUR & AIR BARRIER
- 1/2" CEILING BOARD (TEXTURED)

**2 EXTERIOR WALL**

- HARDIPLANK LAP SIDING/BOARD & BATTEN
- BUILDING PAPER
- 1/2" SHEATHING
- 2X4 STUD WALL - STUDS @ 24" O.C.
- BATT TYPIC INSULATION
- 6 MIL POLY VAPOUR & AIR BARRIER
- 1/2" DRYWALL (PAINTED)

**3 INTERIOR LOAD BEARING WALL**

- 1/2" DRYWALL (PAINTED)
- 2X4 STUD WALL - STUDS @ 16" O.C.
- 1/2" DRYWALL (PAINTED)

**4 INTERIOR NON-LOAD BEARING WALL**

- 1/2" DRYWALL (PAINTED)
- 2X4 STUD WALL - STUDS @ 16" O.C.
- 1/2" DRYWALL (PAINTED)

**5 FLOOR SYSTEM**

- INTERIOR FLOOR COVERINGS
- 3/4" T & G PLYWOOD SUBFLOOR
- 9 1/2" RIGID INSULATION (SEE APPROVED LAYOUT FOR JOIST SPACING AND PLACEMENT)
- 1/2" DRYWALL (TEXTURED) IN FINISHED AREAS ONLY
- REFER TO APPROVED FLOOR LAYOUT DIAGRAM

**6 CONCRETE FOUNDATION**

- 8" CONCRETE FROST WALL
- MIN. 20 MPa 28 DAY CONCRETE STRENGTH
- 10M BAR (HORIZ.) @ 18" O.C.
- 10M BAR (VERT.) @ 48" O.C. ALTERNATING
- 24" X 24" 15M CORNER BARS @ ALL CORNERS
- 1 1/2" CLEAR TO REBAR FROM INSIDE OF WALL
- 1/2" ANCHOR BOLTS REQ'D @ 4'-0" O.C.
- RIGID INSULATION
- 8" X 16" CONTINUOUS CONCRETE FOOTING
- 2 ROWS 15M BAR CONTINUOUS
- 2" CLEAR TO REBAR FROM BOTTOM OF FOOTING
- UNEXCAVATED EARTH
- PROVIDE MINIMUM 24" FROST PROTECTION

**7 CRAWLSPACE SKIM COAT**

- 2" CONCRETE SLAB (20 MPa MIN)
- 6 MIL POLY LAPPED NOT LESS THAN 12" & ALL JOINTS SEALED TO PREVENT AIR LEAKAGE
- RIGID INSULATION
- MINIMUM 4" CLEAN GRANULAR MATERIAL
- PROVIDE ROUGH-IN FOR FUTURE SUBFLOOR DEPRESSURIZATION SYSTEM TO CONTROL SOIL GAS AS PER BCBC 9.11.4.3

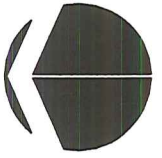
**8 GARAGE CONCRETE SLAB**

- 4" CONCRETE SLAB (20 MPa MIN)
- MIN. 2% SLOPE TO FRONT OF GARAGE
- 55 MM AIR ENTRAINED
- 10M BARS @ 18" C.W.
- 4" MIN WALL COMPACTED GRANULAR FILL
- UNEXCAVATED EARTH



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PROJECT NORTH

REVISION	DATE	DESCRIPTION

PROJECT  
 SINGLE FAMILY DWELLING  
 980 MAYFAIR ROAD  
 KELOWNA, BC V1X 5G6  
 LOT A PLAN KAP22053

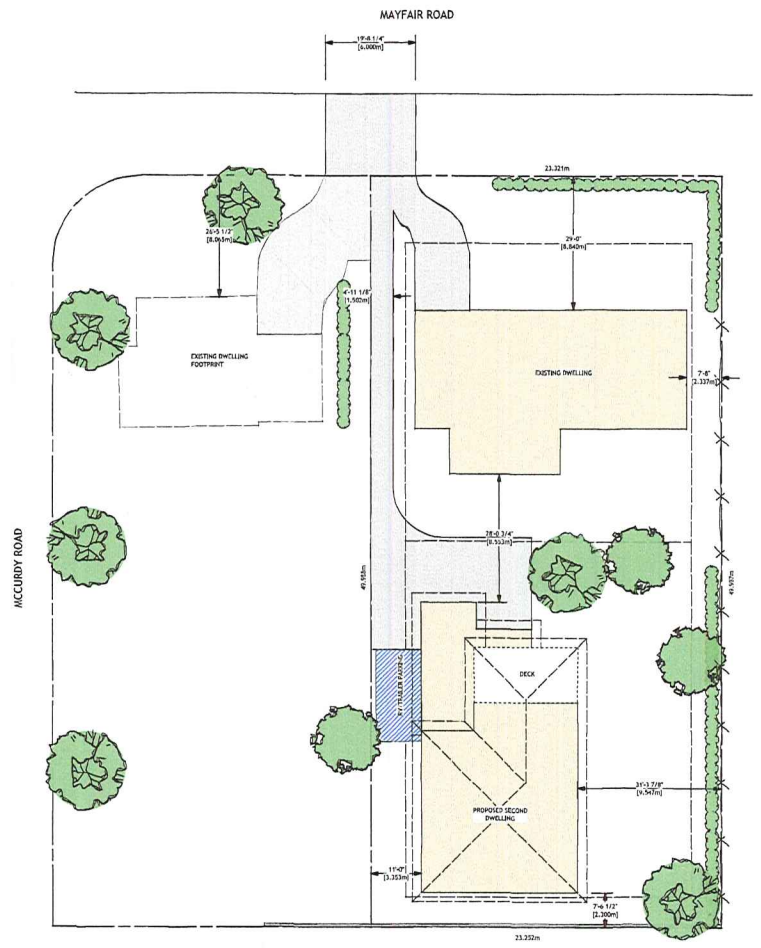
DRAWING TITLE  
 SITE PLAN

DATE  
 APRIL 9, 2016

DRAWING NUMBER  
 4  
 — of —  
 4



1 AREA PLAN



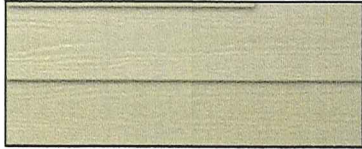
2 SITE PLAN  
 Scale: 1:150

Schedule A  
 DP15-0154 & DVP15-0232

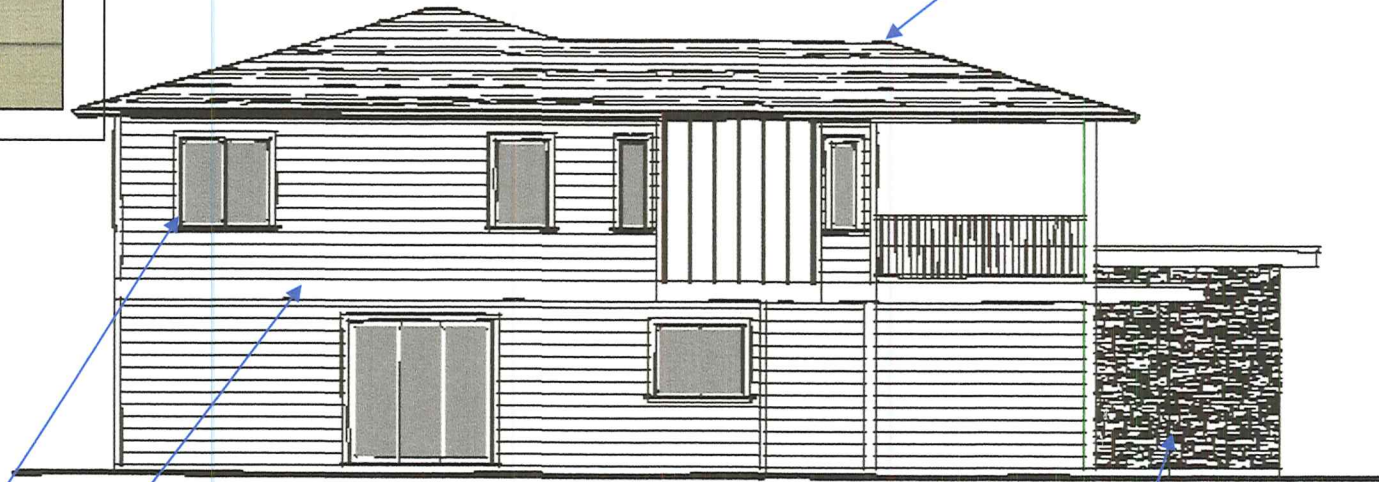
# Colour board for 980 Mayfair Road



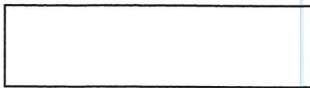
Beveled horizontal cedar plank,  
painted "Neutral Taupe"



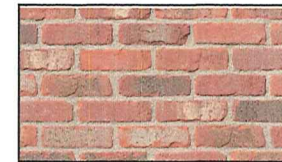
Shingle – Owens Corning  
"Driftwood"



Garage door, remaining trim  
and window casing—Arctic  
White



Brick face as entry features to  
match existing dwelling on site



Schedule B  
DP16-0113 & DVP16-0058

980 MAYFAIR ROAD, KELOWNA, BC



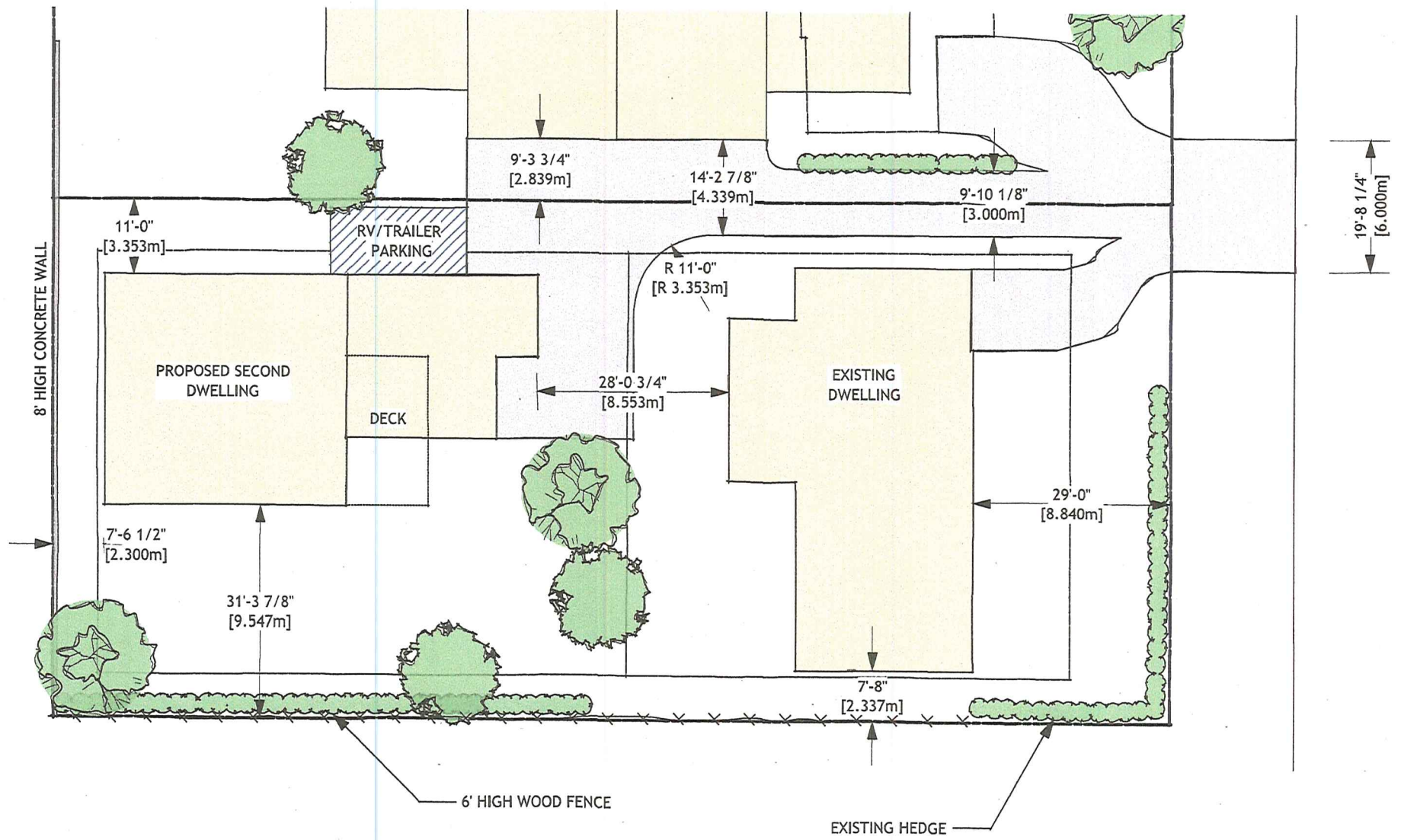
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COLOUR BOARD

APRIL 9, 2016

SCALE : 1/8" = 1'-0"

1 OF 1



980 MAYFAIR ROAD, KELOWNA, BC

PHASE 1 DEVELOPMENT



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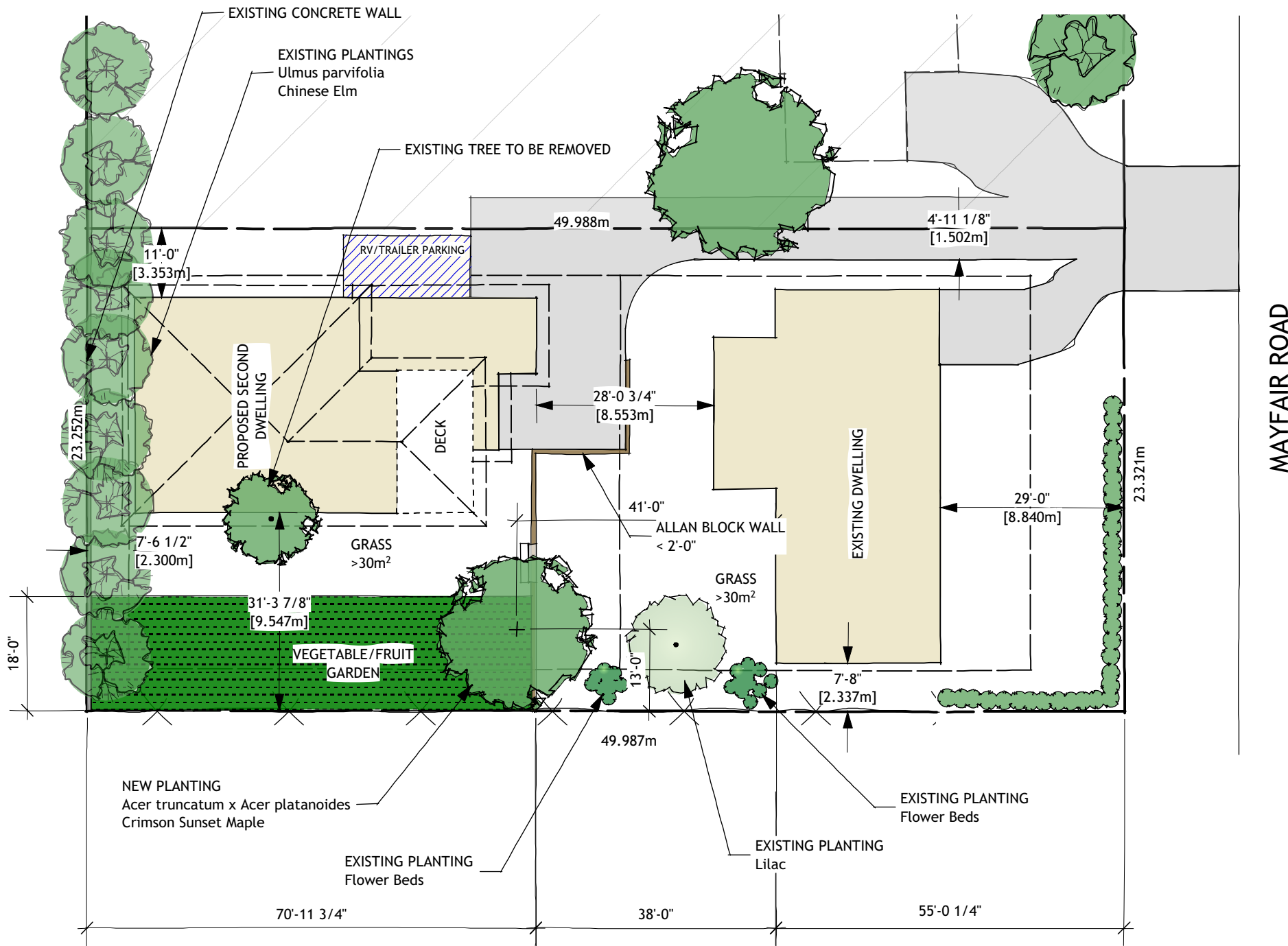
FEBRUARY 25, 2016

SCALE = 1:250

2 OF 2

Schedule A  
 DP15-0154 & DVP15-0232





1 SITE PLAN  
 Scale: 1:250

Schedule A  
 DP15-0154 & DVP15-0232

# DEVELOPMENT PERMIT / DEVELOPMENT VARIANCE PERMIT



## APPROVED ISSUANCE OF DEVELOPMENT PERMIT / DEVELOPMENT VARIANCE PERMIT NO. DP16-0113/DVP16-0058

**Issued To:** Justin & Rebecca Bullock  
**Site Address:** 960 Mayfair Road  
**Legal Description:** Lot 2 District Lot 143 ODYD Plan EPP62178  
**Zoning Classification:** RU6 - Two Dwelling Housing  
**Development Permit Area:** N/A

### SCOPE OF APPROVAL

This Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this Permit, noted in the Terms and Conditions below.

The issuance of a Permit limits the Permit Holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific Variances have been authorized by the Permit. No implied Variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

### 1. TERMS AND CONDITIONS

THAT Development Permit No. DP16-0113 & DVP16-0058 for Lot 2 District Lot 143 ODYD Plan EPP62178, located at 960 Mayfair Road, Kelowna, BC to allow the construction of a Single Detached House be approved subject to the following:

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted, as shown on Schedule "A":

#### **Section 13.6.6(e): RU6 - Two Dwelling Housing Development Regulations**

To vary the required minimum rear yard from 7.5 m permitted to 2.3 m proposed.

AND FURTHER THAT this Development Permit / Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

**2. PERFORMANCE SECURITY**

None required.

**3. DEVELOPMENT**

The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit that shall form a part hereof.

If the Permit Holder does not commence the development permitted by this Permit within two years of the date of this Permit, this Permit shall lapse.

**This Permit IS NOT a Building Permit.**

**4. APPLICANT'S AGREEMENT**

I hereby declare that all of the above statements and the information contained in the material submitted in support of this Permit are to the best of my belief, true and correct in all respects. Upon issuance of the Permit for me by the Municipality, then in such case, I covenant and agree to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality granting to me the said Permit.
- b) All costs, expenses, claims that may be incurred by the Municipality if the construction by me of engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

I further covenant and agree that should I be granted a Development Permit and/or Development Variance Permit, the Municipality may withhold the granting of any Occupancy Permit for the occupancy and / or use of any building or part thereof constructed upon the hereinbefore referred to land until all of the engineering works or other works called for by the Permit have been completed to the satisfaction of the Municipal Engineer and Divisional Director of Community Planning & Real Estate.

Should there be any change in ownership or legal description of the property, I undertake to notify the Community Planning Department immediately to avoid any unnecessary delay in processing the application.

**I HEREBY UNDERSTAND AND AGREE TO ALL THE TERMS AND CONDITIONS SPECIFIED IN THIS PERMIT.**

\_\_\_\_\_  
Signature of Owner / Authorized Agent

\_\_\_\_\_  
Date

\_\_\_\_\_  
Print Name in Bold Letters

\_\_\_\_\_  
Telephone No.

**5. APPROVALS**

Issued and approved by Council on the \_\_\_\_\_ day of \_\_\_\_\_, 2016.

\_\_\_\_\_  
Ryan Smith, Community Planning Department Manager  
Community Planning & Real Estate

\_\_\_\_\_  
Date

**The PERMIT HOLDER is the CURRENT LAND OWNER.  
Security shall be returned to the PERMIT HOLDER.**