

Development Permit DP18-0195



This permit relates to land in the City of Kelowna municipally known as

913 Laurier Avenue

and legally known as

Lot 1 District Lot 138 ODYD, Plan EPP101501

and permits the land to be used for the following development:

RM3 – Low Density Multiple Housing

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

<u>Date of Council Decision</u>	February 1, 2021
<u>Decision By:</u>	Council
<u>Development Permit Area:</u>	Comprehensive Development Permit Area
Existing Zone:	RM3 – Low Density Multiple Housing
Future Land Use Designation:	MRL – Multiple Unit Residential (Low Density)

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner:	913 Laurier GP Ltd., Inc. No. BC1231985
Applicant:	New Town Services – Jesse Alexander
Planner:	Andrew Ferguson

Terry Barton
Development Planning Department Manager
Development Planning

Date

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.

This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property owner of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) An Irrevocable Letter of Credit **OR** certified cheque in the amount of **\$ 48,172.50**

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**

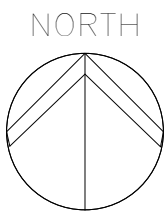
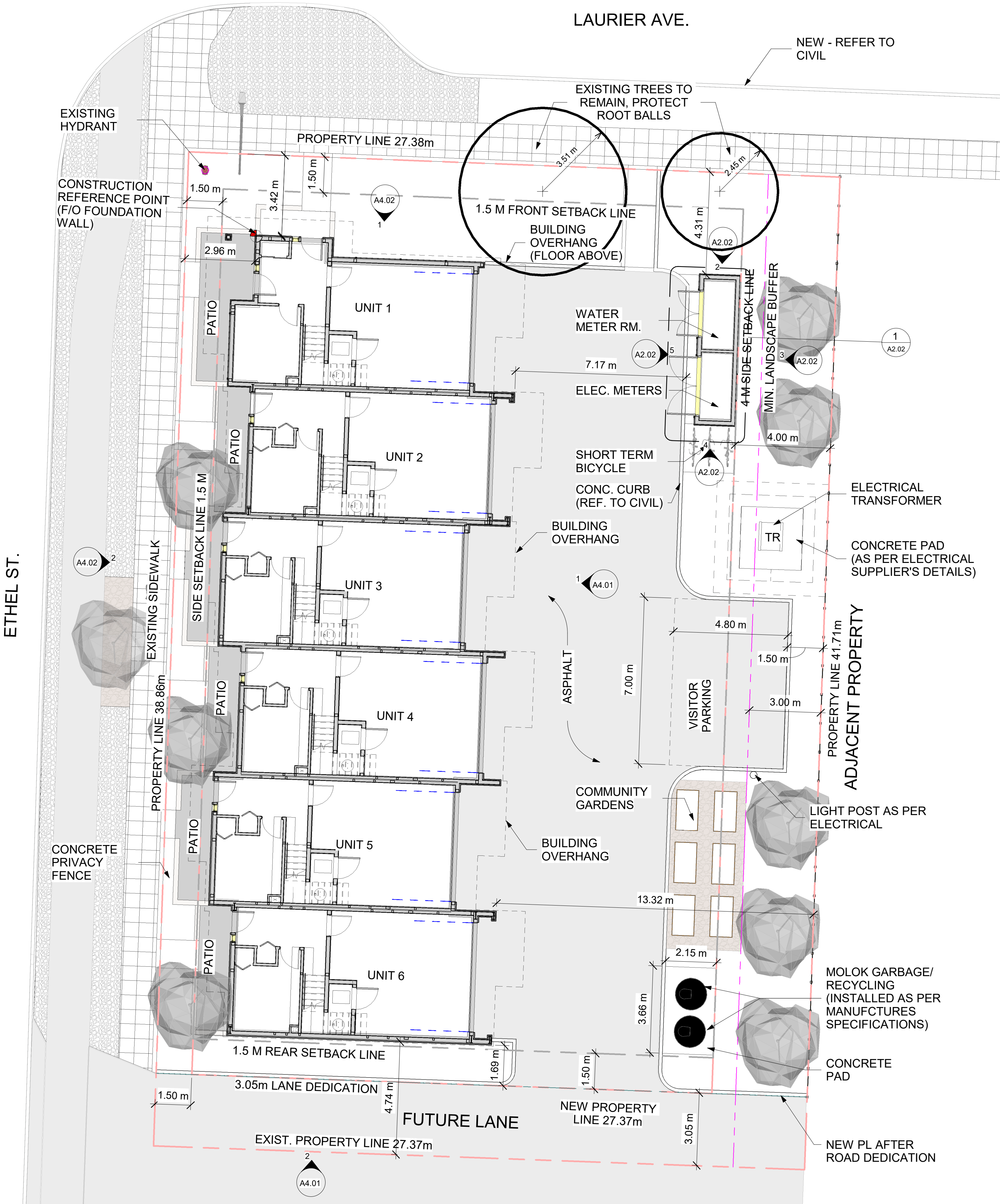
SCHEDULEA

This forms part of application
DP18-0195

Planner
InitialsAF

City of Kelowna
COMMUNITY PLANNING

NOTE:
REFER TO CIVIL SET FOR GEODETIC ELEVATIONS
OF FFE/MBE/GFE AND SITE/ADJACENT GRADING



ALL CONTRACTORS ARE REQUIRED TO PERFORM THEIR WORK AND SUPPLY THEIR PRODUCTS IN COMPLIANCE WITH ALL BUILDING CODES AND LAWS OF THE PROVINCE OF BRITISH COLUMBIA

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This drawing must not be scaled

Verify all dimensions and datums prior to commencement of work.

Report all errors and omissions to the Architect.

NEW TOWN
ARCHITECTURE
URBAN PLANNING
CIVIL ENGINEERING
www.newtownservices.ca

Seal



Revisions

No	Date	Description
1	22/04/20	50% COORDINATION
2	06/05/20	75% COORDINATION
3	13/05/20	90% COORDINATION
4	22/12/20	ISSUED FOR BP

project title
LAURIER TOWNHOUSES

project address
913 LAURIER AVE,
KELOWNA, BC

project no. 4109

file no.
drawing title
SITE PLAN

designed L.A. scale 1 : 100

drawn L.A.

checked R.Y.

drawing no.

A2.00

plotted 22/01/2021 10:47:04 AM

SCHEDULE

A

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DP18-0195

Planner Initials

AF

City of Kelowna

COMMUNITY PLANNING

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Revisions

No	Date	Description
5	19/10/20	RE-ISSUED FOR DP
6	22/01/21	RE-ISSUED FOR DP

project title

LAURIER TOWNHOUSES

project address

913 LAURIER AVE,
KELOWNA, BC

project no. 4109

file no.

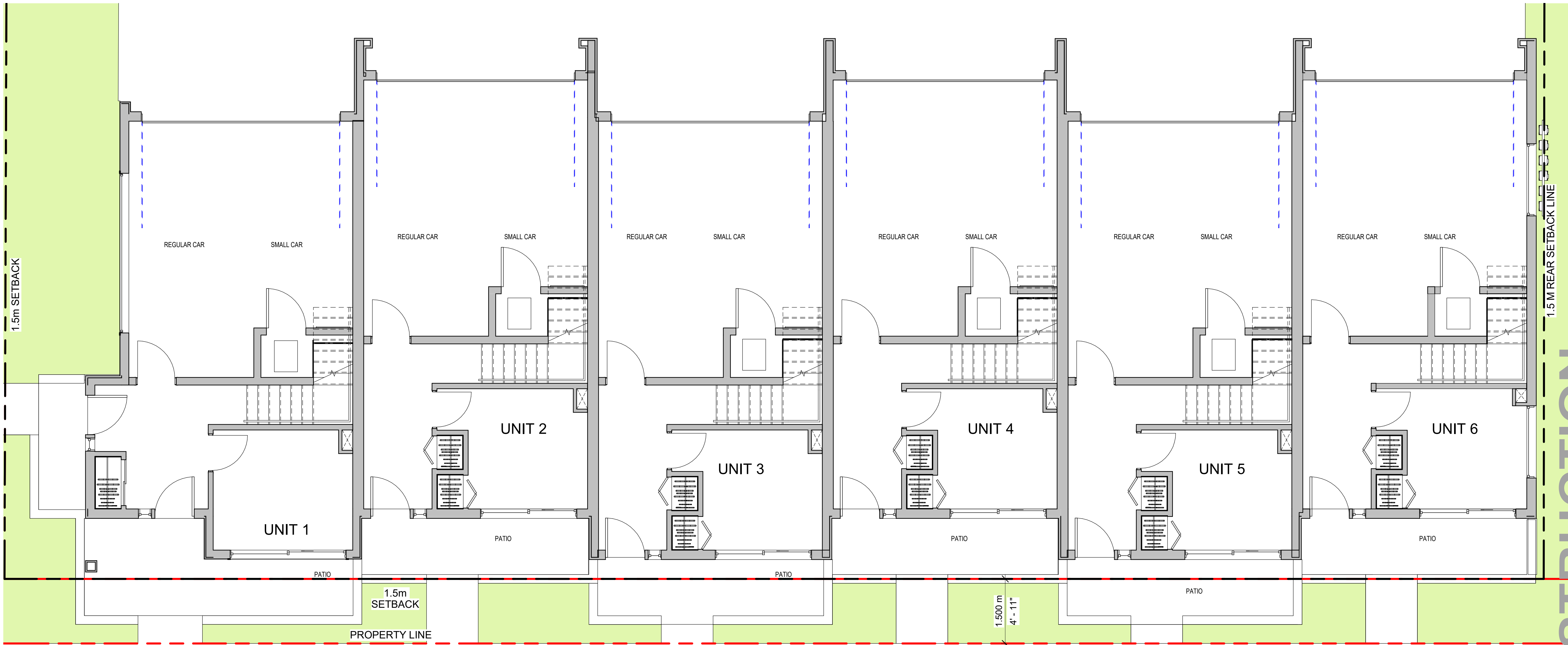
drawing title

LEVEL 1

designed	RY/LA	scale	1/4" = 1'-0"
drawn	LA		
checked	RY		
drawing no.			

A3.1DP

plotted 22/01/2021 10:47:10 AM



SCHEDULE

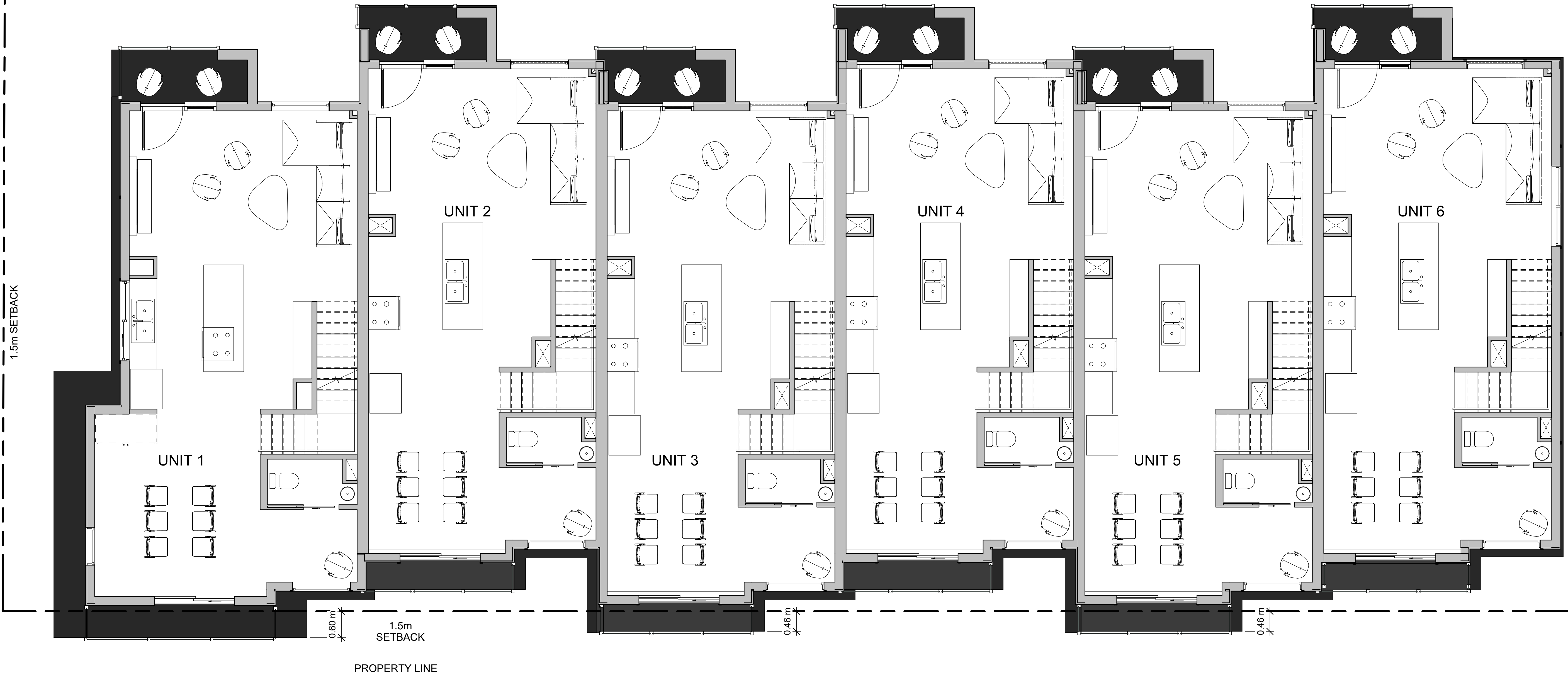
A

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Planner
Initials AF

City of Kelowna

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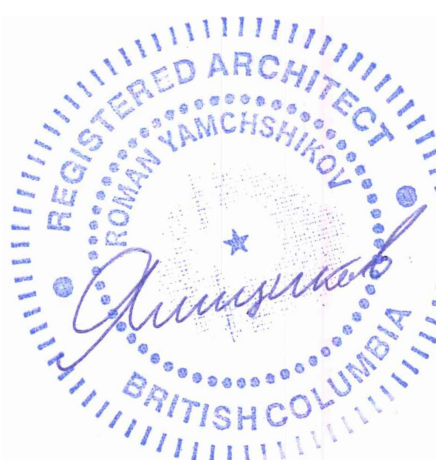
ARCHITECTURE

URBAN PLANNING

CIVIL ENGINEERING

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Revisions

No	Date	Description
5	19/10/20	RE-ISSUED FOR DP
6	22/01/21	RE-ISSUED FOR DP

project title
LAURIER TOWNHOUSES

project address
913 LAURIER AVE,
KELOWNA, BC

project no. 4109

file no.

drawing title
LEVEL 2

designed	RY/LA	scale	1/4" = 1'-0"
drawn	LA		
checked	RY		

drawing no.

A3.2DP

plotted 22/01/2021 10:47:17 AM

SCHEDULE

A

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Planner

Initials

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City of

Kelowna

COMMUNITY PLANNING



NOT FOR CONSTRUCTION

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project address

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file no.

drawing title

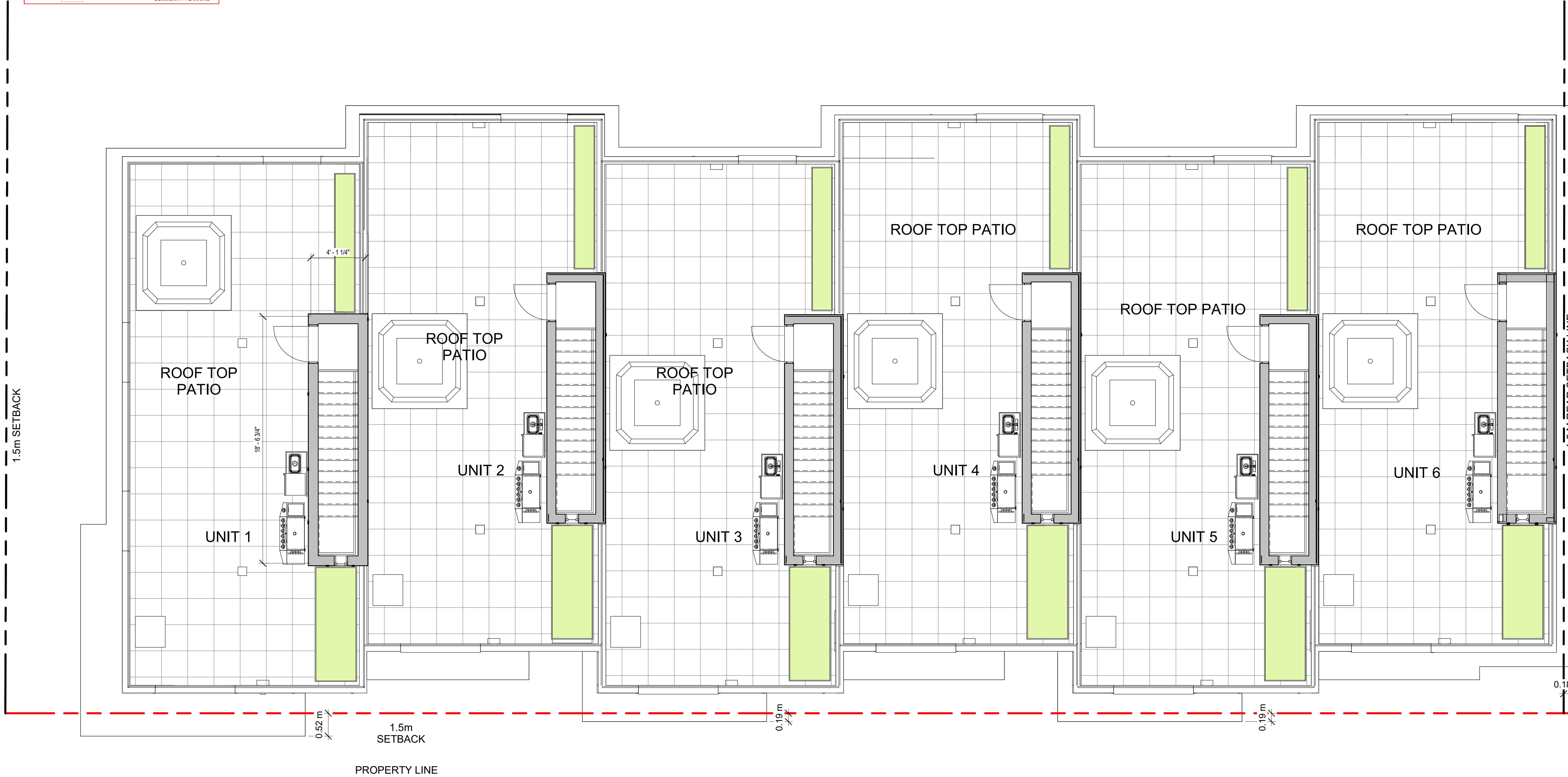
LEVEL 3

designed	RY/LA	scale	1/4" = 1'-0"
drawn	LA		
checked	RY		

drawing no.

A3.3DP

plotted 22/01/2021 10:47:20 AM



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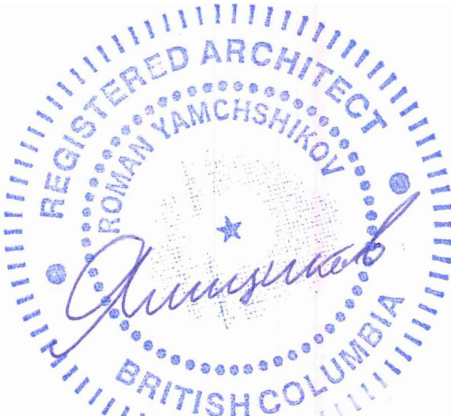
This drawing must not be scaled

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Seal



Revisions

No	Date	Description
5	19/10/20	RE-ISSUED FOR DP
6	22/01/21	RE-ISSUED FOR DP

project title
LAURIER TOWNHOUSES

project address
913 LAURIER AVE,
KELOWNA, BC

project no. 4109

file no.

drawing title
ROOF DECK

designed RY/LA scale 1/4" = 1'-0"

drawn LA

checked RY

drawing no.

A3.4DP

plotted 22/01/2021 10:47:21 AM



1 West Elevation
3/16" = 1'-0"



2 North Elevation
3/16" = 1'-0"

MATERIAL KEYNOTE LEGEND	
1.	HARDIE PANEL (SMOOTH) W/ EASY TRIM REVEAL & PAINTED EXP. FASTENERS; COLOUR MONUMENT
2.	HARDIE PANEL W/ EASY TRIM REVEAL & PAINTED EXP. FASTENERS; COLOUR PURE WHITE SW 7005
3.	THIN BRICK VENEER - IMPERIAL RED
4.	HARDIE PANEL PLANK SIDING/W/ EASY TRIM REVEAL & PAINTED EXP. FASTENERS; COLOUR CHESTNUT BROWN JH80-30
5.	FIBER CEMENT LAP SIDING - TIMBER LOOK
6.	DOUBLE GLAZED SEALED UNIT WINDOW W/ BLACK FRAME (W/ SPANDREL PANEL AS PER ELEVATIONS)
7.	INSULATED EXTERIOR DOOR W/ BLACK FRAME
8.	INSULATED OVERHEAD GARAGE DOOR
9.	SLIDING PATIO DOOR (DOUBLE GLAZED SEALED UNITS) W/ BLACK FRAME
10.	GLASS GUARDRAIL (PREMANUFACTURED PROVIDE ENGINEERED SHOP DWG'S)
11.	GLAZED SWING PATIO DOOR (DOUBLE GLAZED SEALED UNITS)
12.	UNIT NUMBER IDENTIFICATION, ALUMINIUM
13.	PATIO PRIVACY WALL - TEXTURED CONCRETE WOOD GRAIN PRIVACY FENCE
14.	MOLOK GARBAGE CONTAINERS (INSTALLED AS PER MANUFACTURES DETAILS)
15.	1.8m SOLID SCREEN WOOD FENCE
16.	FIBER CEMENT FASCIA BOARD; COLOUR MONUMENT
17.	PRE-FINISHED ALU FLASHING (COLOUR BLACK)

SCHEDULE

B

This forms part of application
DP18-0195

Planner Initials

AF

City of Kelowna

COMMUNITY PLANNING

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5	19/10/20	RE-ISSUED FOR DP
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project title
LAURIER TOWNHOUSES

project address
**913 LAURIER AVE,
KELOWNA, BC**

project no. **4109**

drawing title
**BUILDING
ELEVATIONS**

designed L.A. scale As indicated

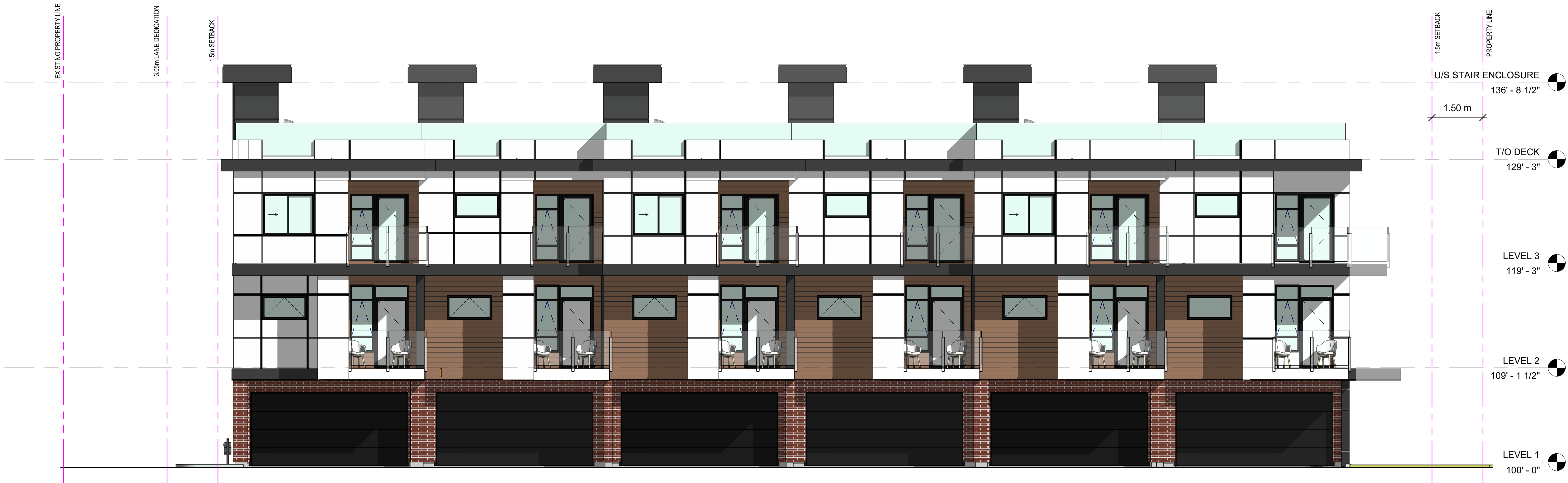
drawn L.A.

checked R.Y.

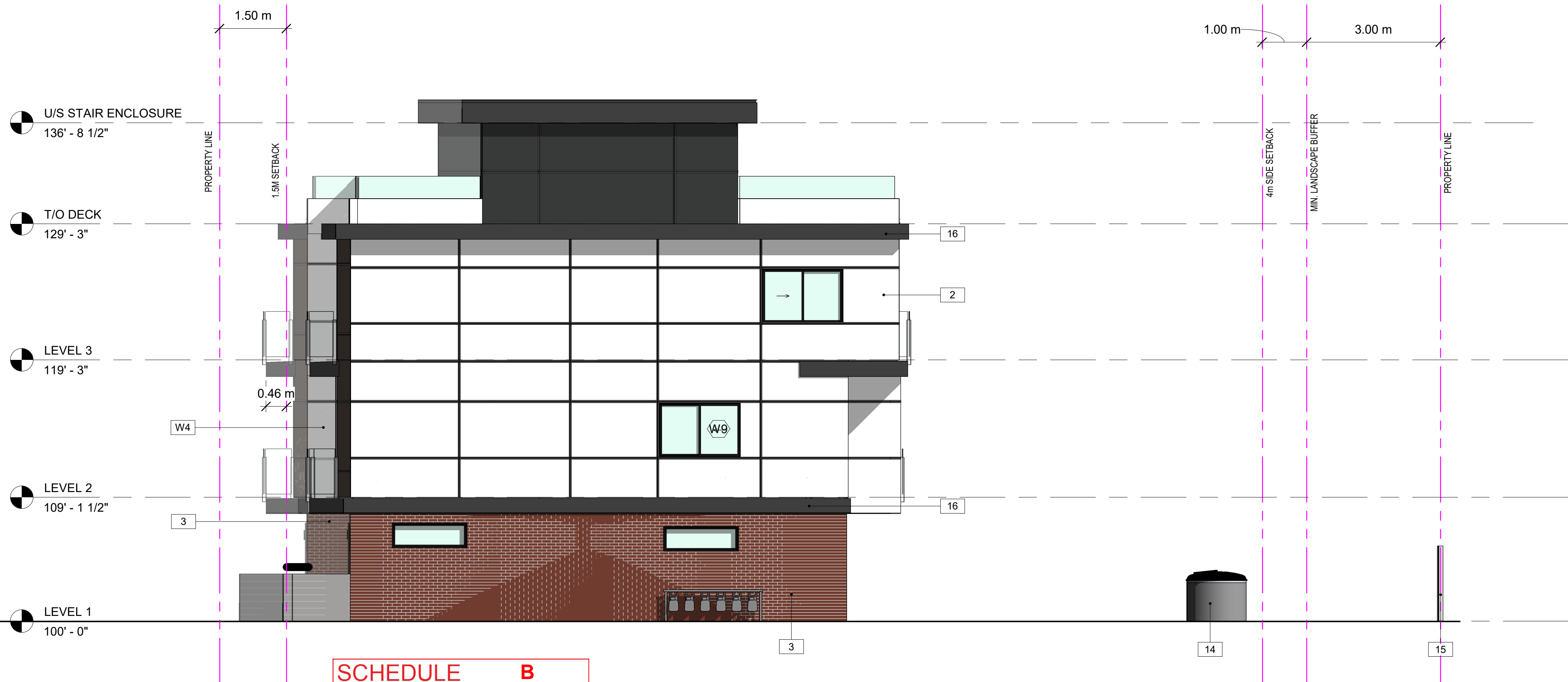
drawing no.

A4.1DP

plotted 22/01/2021 10:47:34 AM



1 East Elevation
3/16" = 1'-0"



2 South Elevation
3/16" = 1'-0"

SCHEDULE B
This forms part of application
DP18-0195
Planner Initials AF
City of Kelowna
COMMUNITY PLANNING

MATERIAL KEYNOTE LEGEND

- HARDIE PANEL (SMOOTH) W/ EASY TRIM REVEAL & PAINTED EXP. FASTENERS; **COLOUR MONUMENT**
- HARDIE PANEL W/ EASY TRIM REVEAL & PAINTED EXP. FASTENERS; **COLOUR PURE WHITE SW 7005**
- THIN BRICK VENEER - IMPERIAL RED
- HARDIE PANEL PLANK SIDING;W/ EASY TRIM REVEAL & PAINTED EXP. FASTENERS; **COLOUR CHESTNUT BROWN JH80-30**
- FIBER CEMENT LAP SIDING - TIMBER LOOK
- DOUBLE GLAZED SEALED UNIT WINDOW W/ BLACK FRAME (W/ SPANDREL PANEL AS PER ELEVATIONS)
- INSULATED EXTERIOR DOOR W/ BLACK FRAME
- INSULATED OVERHEAD GARAGE DOOR
- SLIDING PATIO DOOR (DOUBLE GLAZED SEALED UNITS) W/ BLACK FRAME
- GLASS GUARDRAIL (PREMANUFACTURED PROVIDE ENGINEERED SHOP DWG'S)
- GLAZED SWING PATIO DOOR (DOUBLE GLAZED SEALED UNITS)
- UNIT NUMBER IDENTIFICATION, ALUMINIUM
- PATIO PRIVACY WALL - TEXTURED CONCRETE WOOD GRAIN PRIVACY FENCE
- MOLOK GARBAGE CONTAINERS (INSTALLED AS PER MANUFACTURES DETAILS)
- 1.8m SOLID SCREEN WOOD FENCE
- FIBER CEMENT FASCIA BOARD; **COLOUR MONUMENT**
- PRE-FINISHED ALU FLASHING (COLOUR BLACK)

NOT FOR CONSTRUCTION

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No	Date	Description
5	19/10/20	RE-ISSUED FOR DP
6	22/01/21	RE-ISSUED FOR DP

project title
LAURIER TOWNHOUSES

project address
913 LAURIER AVE,
KELOWNA, BC

project no. 4109

file no.

drawing title

**BUILDING
ELEVATIONS**

designed RY/LA scale As indicated

drawn LA

checked RY

drawing no.

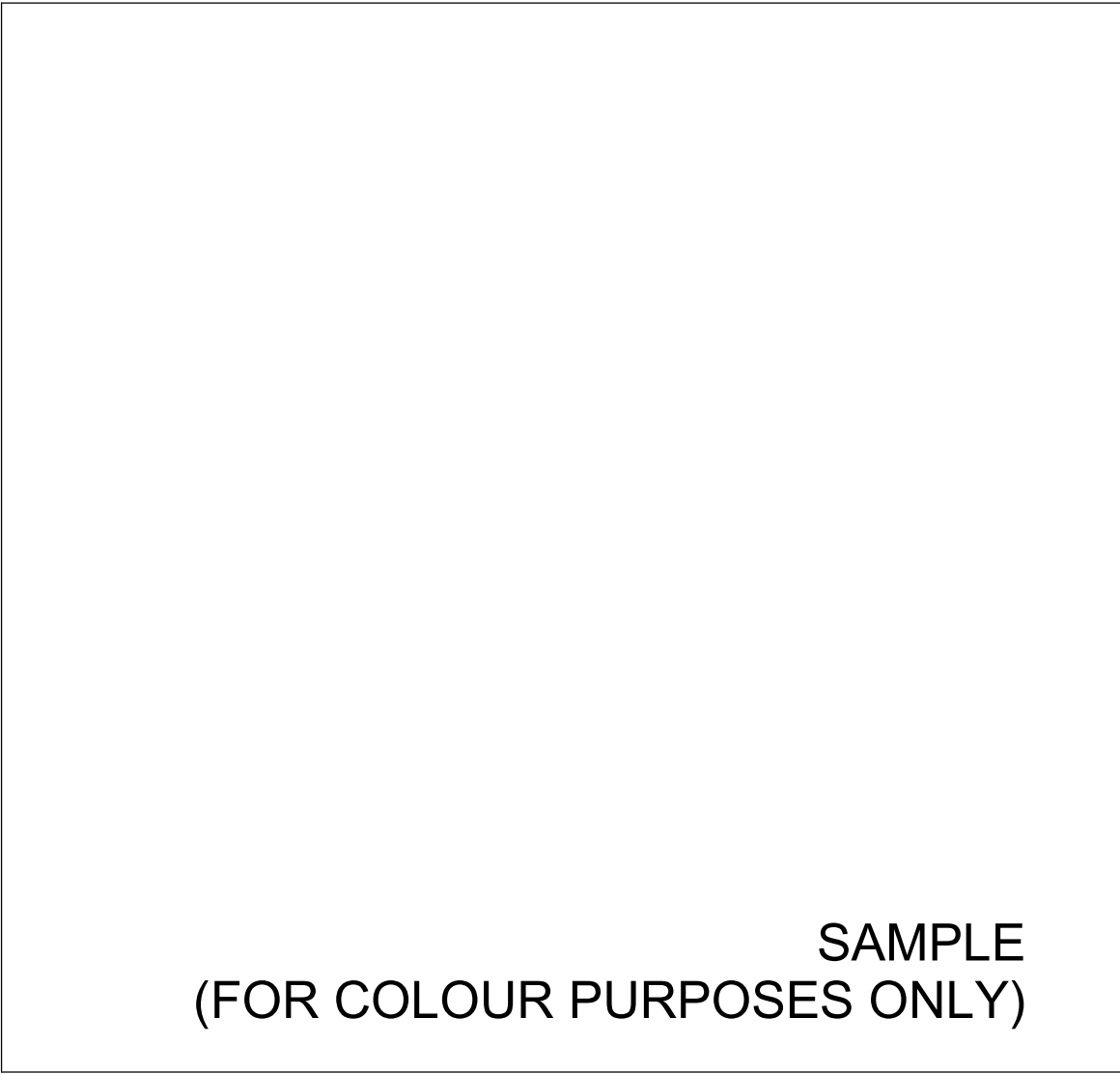
A4.2DP

plotted 22/01/2021 10:47:47 AM

HARDIE PANEL (SMOOTH) W/ PREFIN. ALU BREAK
SHAPE (COLOR TO MATCH) & PAINTED EXP.
FASTENERS; **COLOUR MONUMENT (#1)**



HARDIE REVEAL PANEL (SMOOTH) W/ EASY TRIM REVEAL &
PAINTED EXP. FASTENERS; **COLOUR PURE WHITE SW 7005 (#2)**



BRICK VENEER - IMPERIAL RED (#3)



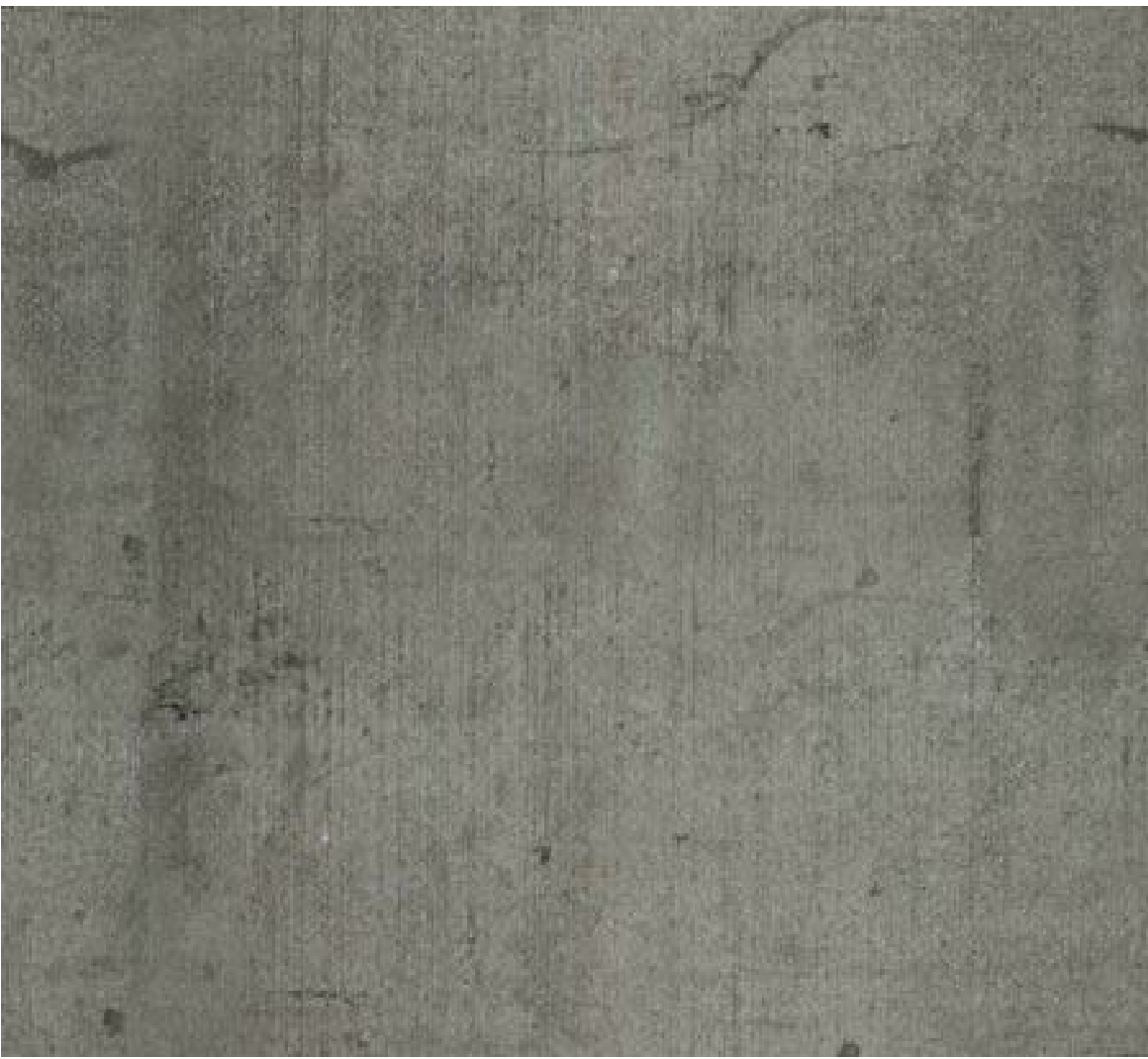
HARDIE PANEL SIDING;
COLOUR CHESTNUT BROWN JH80-30 (#4)



HORIZONTAL PLANKS - TIMBER LOOK (#5)



PATIO PRIVACY WALL - CONCRETE FINISH (#13)



WINDOWS - CLEAR VISION GLASS
W/ BLACK FRAME (#6)



MOLOK GARBAGE CONTAINERS (#14)



TEXTURED CONCRETE WOOD GRAIN
PRIVACY FENCE (#13)



SCHEDULE

B

This forms part of application

DP18-0195

Planner

Initials

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City of

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COMMUNITY PLANNING

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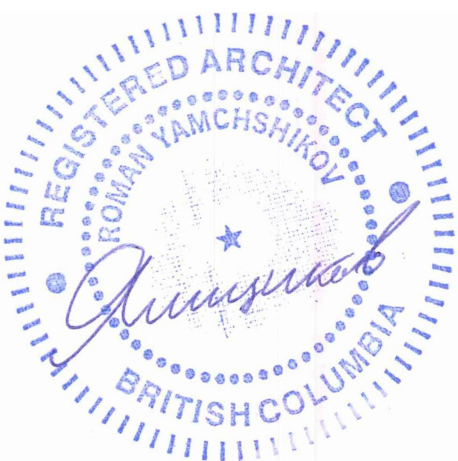
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Seal



Revisions

No	Date	Description
1	22/04/20	50% COORDINATION
2	06/05/20	75% COORDINATION
3	13/05/20	90% COORDINATION
4	22/12/20	ISSUED FOR BP
6	22/01/21	RE-ISSUED FOR DP

project title
LAURIER TOWNHOUSES

project address
913 LAURIER AVE,
KELOWNA, BC

project no. 4109

file no.
drawing title
MATERIALS

designed L.A. scale
drawn L.A.
checked R.Y.

drawing no.
A4.00DP
plotted 22/01/2021 10:47:22 AM



SCHEDULE

C

This forms part of application

DP18-0195

Planner Initials

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City of Kelowna

COMMUNITY PLANNING



OUTLAND DESIGN

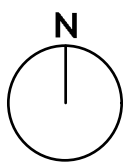
LANDSCAPE ARCHITECTURE

303 - 590 KLO Road

Kelowna, BC V1Y 7S2

T (250) 868-9270

www.outlanddesign.ca



PROJECT TITLE

LAURIER TOWNHOMES
913 LAURIER AVENUE

Kelowna, BC

DRAWING TITLE

CONCEPTUAL
LANDSCAPE PLAN

ISSUED FOR / REVISION		
1	19.12.18	Review
2	20.02.24	Review
3	20.12.02	Review
4		
5		

PROJECT NO.	19130
DESIGN BY	FB
DRAWN BY	NG
CHECKED BY	FB
DATE	DEC. 2, 2020
SCALE	1:100

SEAL



DRAWING NUMBER

L1/2

ISSUED FOR REVIEW ONLY
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NOTES

1. PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED THE CANADIAN LANDSCAPE STANDARD.
2. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.
3. TREE AND SHRUB BEDS TO BE DRESSED IN A MINIMUM 50mm DOUGLAS RED FIR MULCH, AS SHOWN IN PLANS. DO NOT PLACE WEED MAT UNDERNEATH TREE AND SHRUB BEDS.
4. TREE AND SHRUB BEDS TO RECEIVE A MINIMUM 300mm DEPTH TOPSOIL PLACEMENT.
5. TURF AREAS FROM SOD SHALL BE NO. 1 GRADE GROWN FROM CERTIFIED SEED OF IMPROVED CULTIVARS REGISTERED FOR SALE IN B.C. AND SHALL BE TOLERANT OF DROUGHT CONDITIONS. A MINIMUM OF 100mm DEPTH OF GROWING MEDIUM IS REQUIRED BENEATH TURF AREAS. TURF AREAS SHALL MEET EXISTING GRADES AND HARD SURFACES FLUSH.
6. SITE GRADING AND DRAINAGE WILL ENSURE THAT ALL STRUCTURES HAVE POSITIVE DRAINAGE AND THAT NO WATER OR LOOSE IMPEDIMENTS WILL BE DISCHARGED FROM THE LOT ONTO ADJACENT PUBLIC, COMMON, OR PRIVATE PROPERTIES.

PLANT LIST

BOTANICAL NAME	COMMON NAME	QTY	SIZE/SPACING & REMARKS
CARPINUS BETULUS 'FRANS FONTAINE'	FRANS FONTAINE HORNBEAM	9	6cm CAL
LIQUIDAMBAR STYRACIFLUA 'WORPLESDON'	WORPLESDON SWEET GUM	1	6cm CAL
SHRUBS			
BERBERIS THUNBERGI 'ROSE GLOW'	ROSE GLOW BARBERRY	39	#02 CONT. /1.0M O.C. SPACING
HYDRANGEA ARBORESCENS 'ANNABELLE'	ANNABELLE HYDRANGEA	17	#02 CONT. /1.5M O.C. SPACING
RHODODENDRON 'NOVA ZEMBLA'	NOVA ZEMBLA RHODODENDRON	12	#02 CONT. /1.8M O.C. SPACING
ROSA 'EMILY CARR'	EMILY CARR ROSE	17	#02 CONT. /1.5M O.C. SPACING
PINUS MUGO 'MOPS'	MOPS MUGO PINE	39	#02 CONT. /1.0M O.C. SPACING
PERENNIALS, GRASSES & GROUNDCOVERS			
ANTENNARIA DIOICA 'RUBRA'	PINK PUSSY TOES	133	#01 CONT. /0.3M O.C. SPACING
COREOPSIS 'JETHRO TULL'	JETHRO TULL COREOPSIS	48	#01 CONT. /0.5M O.C. SPACING
ECHINACEA PURPUREA 'MAGNIUS'	MAGNIUS CONEFLOWER	33	#01 CONT. /0.6M O.C. SPACING
ERYNGIUM PLANUM 'BLUE DIAMOND'	BLUE DIAMOND SEA HOLLY	33	#01 CONT. /0.6M O.C. SPACING
HEMEROCALLIS 'SUMMERWINE'	SUMMERWINE DAYLILY	33	#01 CONT. /0.6M O.C. SPACING
PHLOX PANICULATA 'ORANGE PERFECTION'	ORANGE PERFECTION GARDEN PHLOX	21	#01 CONT. /0.75M O.C. SPACING
PENNISETUM ALOPECUROIDES	FOUNTAIN GRASS	12	#02 CONT. /1.0M O.C. SPACING

LAURIER TOWNHOUSES

RE-ISSUED FOR DEVELOPMENT PERMIT, JANUARY 22, 2021



ARCHITECTURAL DRAWING LIST:

NEW TOWN ARCHITECTURE & ENGINEERING INC.
1464 St. Paul Street Kelowna, B.C., V1Y 2E6
Roman Yamchshikov, Architect AIBC
ph: 250 860 8185, fax: 250 860 0985
roman@newtownservices.net

- A0.0DP COVER PAGE
- A3.1DP LEVEL 1
- A3.2DP LEVEL 2
- A3.3DP LEVEL 3
- A3.4DP ROOF DECK
- A4.00DP MATERIALS
- A4.2DP BUILDING ELEVATIONS

CIVIL DRAWING LIST:

NEW TOWN ARCHITECTURE & ENGINEERING INC.
1464 St. Paul Street Kelowna, B.C., V1Y 2E6
Jacob Paul, ET
ph: 250 860 8185, fax: 250 860 0985
jacob@newtownservices.net

- STORMWATER MANAGEMENT STRATEGY

LANDSCAPE DRAWING LIST:

OUTLAND DESIGN LANDSCAPE ARCHITECTURE
303-590 KLO Road Kelowna BC V1Y 7S2
Fiona Barton MCSLA CSLA
ph: 250 868 9270
fiona@outlanddesign.ca

- L1/2 CONCEPTUAL LANDSCAPE PLAN
- L2/2 WATER CONSERVATION / IRRIGATION PLAN

ATTACHMENT A

This forms part of application

DP18-0195

Planner Initials AF

City of Kelowna COMMUNITY PLANNING

ALL CONTRACTORS ARE REQUIRED TO PERFORM THEIR WORK AND SUPPLY THEIR PRODUCTS IN COMPLIANCE WITH ALL BUILDING CODES AND LAWS OF THE PROVINCE OF BRITISH COLUMBIA

This drawing is an instrument of service and the property of New Town Services. The use of this drawing shall be restricted to the original site for which it was prepared and publication thereof is expressly limited to such use.

This drawing must not be scaled

Verify all dimensions and datums prior to commencement of work.

Report all errors and omissions to the Architect.

NEW TOWN

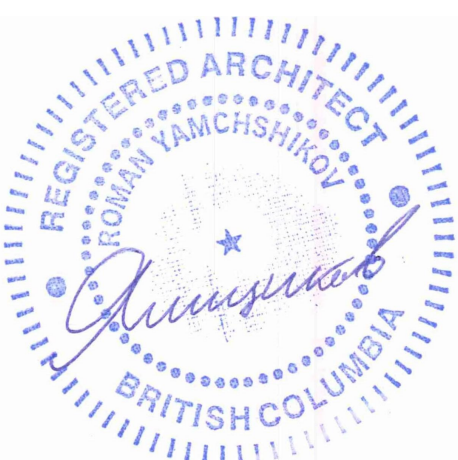
ARCHITECTURE

URBAN PLANNING

CIVIL ENGINEERING

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Seal



Revisions

No	Date	Description
5	19/10/20	RE-ISSUED FOR DP
6	22/01/21	RE-ISSUED FOR DP

NOT FOR CONSTRUCTION

project title

LAURIER TOWNHOUSES

project address

913 LAURIER AVE,
KELOWNA, BC

project no. 4109

file no.

drawing title

COVER PAGE

designed

RY/LA

scale

drawn

LA

checked

RY

drawing no.

A0.0DP

plotted

22/01/2021 10:46:59 AM