

ATTACHMENT A

This forms part of application
Z20-0099

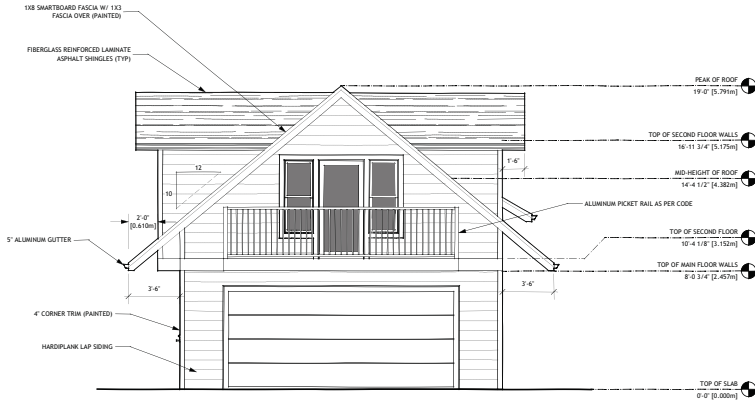


City of
Kelowna
DEVELOPMENT PLANNING

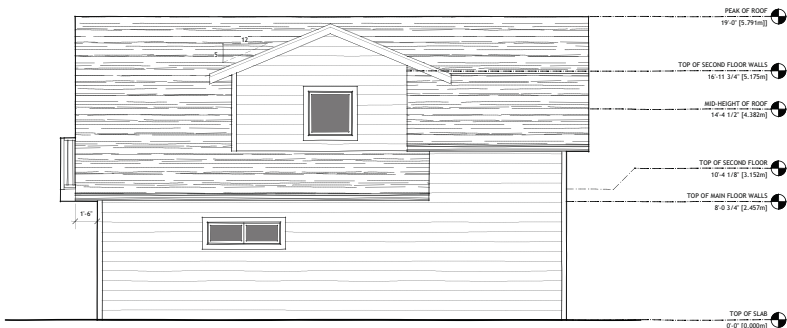
Planner
Initials **TC**



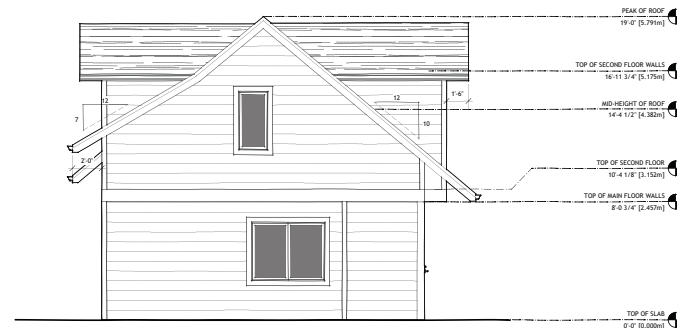
1 CARRIAGE HOUSE NORTH ELEVATION
Scale: 1/4" = 1'-0"



2 CARRIAGE HOUSE WEST ELEVATION
Scale: 1/4" = 1'-0"



3 CARRIAGE HOUSE SOUTH ELEVATION
Scale: 1/4" = 1'-0"



4 CARRIAGE HOUSE EAST ELEVATION
Scale: 1/4" = 1'-0"



IHS DESIGN

#202 - 1470 ST. PAUL STREET
KELOWNA, BC V1Y 2E6
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250.212.7938

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PROJECT NORTH

REVISION	DATE	DISCUSSION

PROJECT
CARRIAGE HOUSE
395 FLEMING ROAD
KELOWNA, BC V1X 3Z4
LOT A PLAN KAP26972

DRAWING TITLE
ELEVATIONS

DATE
NOVEMBER 4, 2020

DRAWING NUMBER

1
of
3

Planner initials **TC**



EXTERIOR WALL ASSEMBLIES

- W1 - EXTERIOR 2X6 WALL**
- 1/2" CONCRETE LAG SIDING
 - 1/2" EXTERIOR SHEATHING
 - 2X6 STUDS @ 24" O.C.
 - BATT TYPE INSULATION
 - 6 MIL POLY VAPOUR BARRIER
 - 1/2" GYPSUM BOARD (PAINTED)

- W2 - EXTERIOR FOUNDATION WALL**
- 1" CONCRETE
 - 4" AIRSPACE
 - 2X4 STUDS @ 16" O.C.
 - BATT TYPE INSULATION
 - 6 MIL POLY VAPOUR BARRIER
 - 1/2" GYPSUM BOARD (PAINTED)

INTERIOR WALL ASSEMBLIES

- W3 - INTERIOR 2X4 PARTITION WALL**
- 1/2" GYPSUM BOARD (PAINTED)
 - 2X4 STUDS @ 16" O.C.
 - 1/2" GYPSUM BOARD (PAINTED)

- W4/W4A - INTERIOR 2X6 PARTITION WALL**
- 1/2" GYPSUM BOARD (PAINTED)
 - 2X6 STUDS @ 16" O.C.
 - 800 AND 3/8" BATT TYPE INSULATION (W4A NO INSULATION)
 - 1/2" GYPSUM BOARD (PAINTED)

- 1 ROOF SYSTEM**
- EPDM ROOF MEMBRANE SYSTEM
 - BUTYLEN SATURATED ROOFING PAPER
 - 7/16" SHEATHING W/ H-CLIPS
 - ENGINEERED ROOF TRUSSES @ 24" O.C.
 - LOGS FILL INSULATION
 - 6 MIL POLY VAPOUR & AIR BARRIER
 - 1/2" CEILING BOARD (TEXTURED)

- 2 EXTERIOR WALL**
- HARDPLANK LAP SIDING/BOARD & BATTEN
 - BUILDING PAPER
 - 1/2" SHEATHING
 - 2X6 STUD WALL - STUDS @ 24" O.C.
 - BATT TYPE INSULATION
 - 6 MIL POLY VAPOUR & AIR BARRIER
 - 1/2" DRYWALL (PAINTED)

- 3 INTERIOR LOAD BEARING WALL**
- 1/2" DRYWALL (PAINTED)
 - 2X4 STUD WALL - STUDS @ 16" O.C.
 - 1/2" DRYWALL (PAINTED)

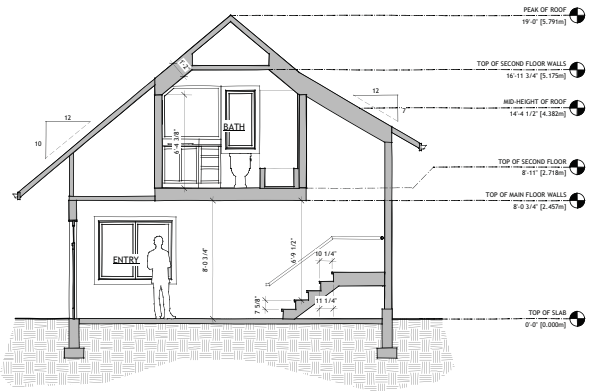
- 4 INTERIOR NON-LOAD BEARING WALL**
- 1/2" DRYWALL (PAINTED)
 - 2X4 STUD WALL - STUDS @ 16" O.C.
 - 1/2" DRYWALL (PAINTED)

- 5 FLOOR SYSTEM**
- INTERIOR FLOOR COVERINGS
 - 3/4" T & G PLYWOOD SUBFLOOR
 - 1/4" T & G SILENT FLOOR (SEE APPROVED LAYOUT FOR JOIST SPACING AND PLACEMENT)
 - 1/2" DRYWALL (TEXTURED) IN FINISHED AREAS ONLY
 - REFER TO APPROVED FLOOR LAYOUT DIAGRAM

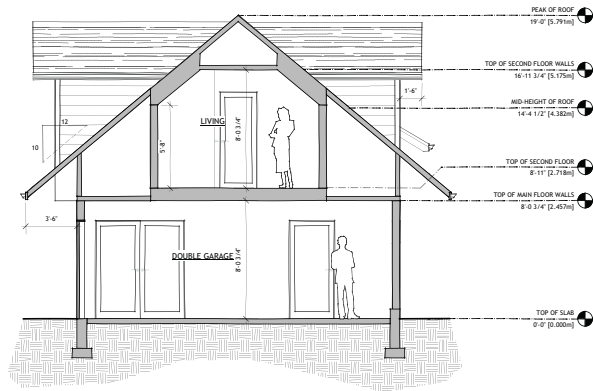
- 6 CONCRETE FOUNDATION**
- 8" CONCRETE FOUNDATION WALL
 - MIN. 20 MPa 28 DAY CONCRETE STRENGTH
 - 15M BAR (HORIZ.) @ 20" O.C.
 - 2 - 15M BAR (VERT.) @ TOP OF WALL
 - 15M BAR (VERT.) @ 24" O.C. ALTERNATING
 - 24" X 24" 15M CORNER BARS @ ALL CORNERS
 - 1 1/2" CLEAR TO REBAR FROM INSIDE OF WALL
 - 1/2" A307 ANCHOR BOLTS REQ'D @ 4'-0" O.C.
 - 8" X 16" CONTINUOUS CONCRETE FOOTING
 - 2 ROWS 15M BAR CONTINUOUS
 - 2" CLEAR TO REBAR FROM BOTTOM OF FOOTING
 - UNEXCAVATED EARTH
 - PROVIDE MINIMUM 24" FROST PROTECTION

- 7 BASEMENT CONCRETE SLAB**
- 4" CONCRETE SLAB (20 MPa MIN)
 - 10M BARS @ 16" E.W. IN TILED FLOOR AREAS
 - 6 MIL POLY LAPPED NOT LESS THAN 12" & ALL JOINTS SEALED TO PREVENT AIR LEAKAGE
 - RIGID INSULATION
 - MINIMUM 4" CLEAN GRANULAR MATERIAL
 - PROVIDE ROUGH-IN FOR FUTURE SUBFLOOR DEPRESSURIZATION SYSTEM TO CONTROL SOIL GAS AS PER BCBC 9.13-4.3

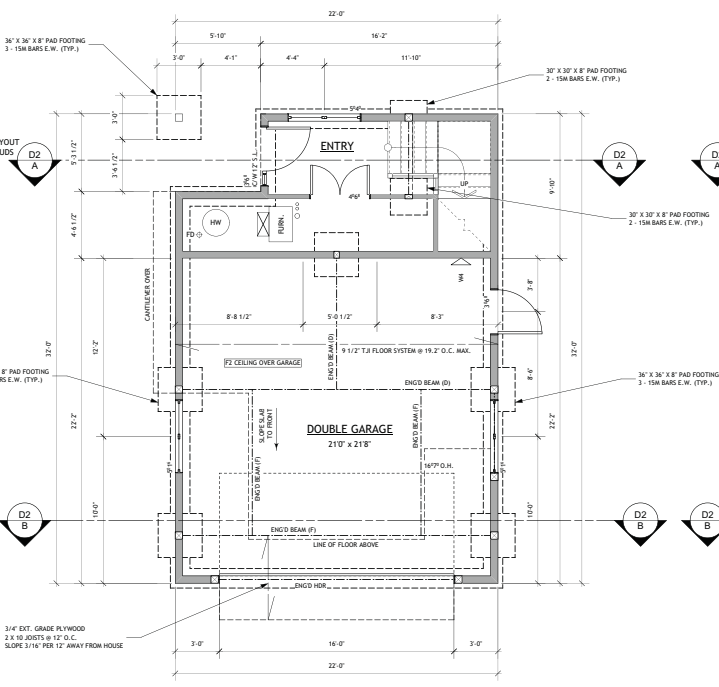
- 8 GARAGE CONCRETE SLAB**
- 4" CONCRETE SLAB (32 MPa MIN)
 - MIN. 2% SLOPE TO FRONT OF GARAGE
 - 5% MIN AIR ENTRAINMENT
 - 10M BARS @ 16" E.W.
 - 6" MIN WELL COMPACTED GRANULAR FILL
 - UNEXCAVATED EARTH



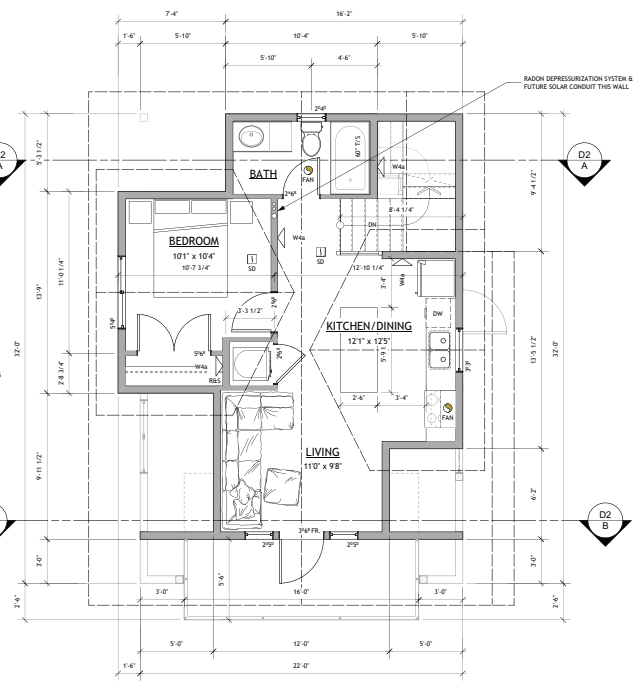
A SECTION
Scale: 1/4" = 1'-0"



B SECTION
Scale: 1/4" = 1'-0"



1 MAIN FLOOR CARRIAGE HOUSE
Scale: 1/4" = 1'-0" FFA = 141 SQ.FT.



2 SECOND FLOOR CARRIAGE HOUSE
Scale: 1/4" = 1'-0" FFA = 493 SQ.FT.



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PROJECT NORTH

REVISION	DATE	DESCRIPTION

PROJECT
CARRIAGE HOUSE
395 FLEMING ROAD
KELOWNA, BC V1X 3Z4
LOT A PLAN KAP26972

DRAWING TITLE
FLOOR PLANS/SECTIONS

DATE
NOVEMBER 4, 2020

DRAWING NUMBER
2 of 3

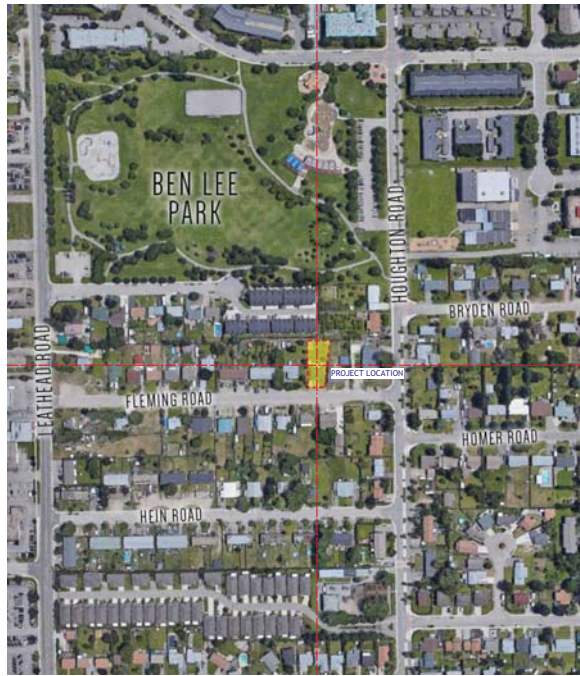


Planner Initials TC

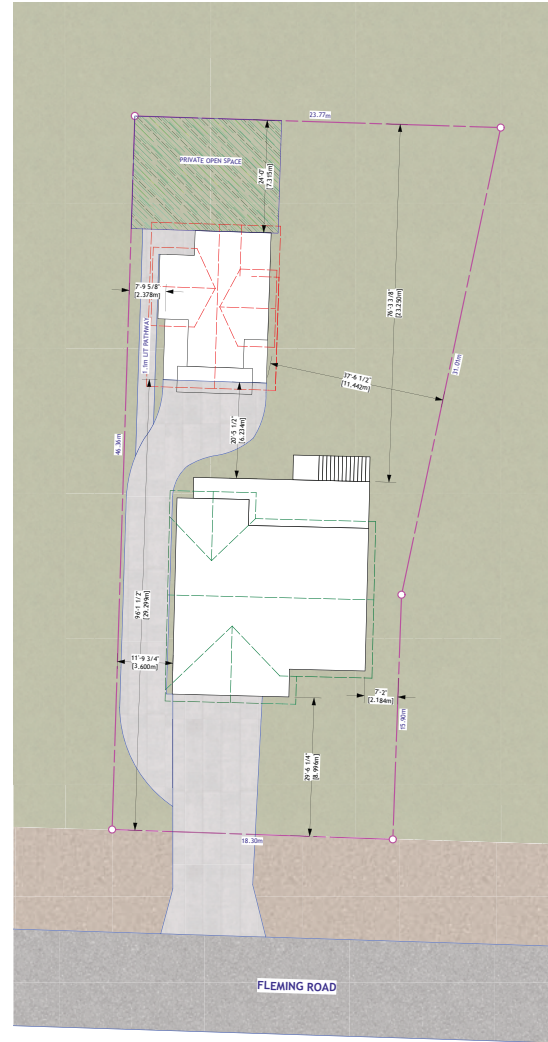
City of Kelowna
DEVELOPMENT PLANNING

PROJECT DATA: CIVIC ADDRESS 395 FLEMING ROAD
KELOWNA, BC V1X 3Z4
LEGAL ADDRESS LOT A PLAN KAP26972 SEC. 27 TWP. 26 ODYO
CURRENT ZONING RU-1 LARGE LOT HOUSING
PROPOSED ZONING RU-1 LARGE LOT HOUSING WITH CARRIAGE HOUSE
FUTURE LAND USE MRL - MULTIPLE UNIT RESIDENTIAL (LOW DENSITY)

RU-1-C ZONING ANALYSIS	PERMITTED	PROPOSED
PROJECT INFORMATION		
SITE AREA	550.00m ²	931.85m ²
EXISTING BUILDING FOOTPRINT AT GRADE		137.20m ²
EXISTING DECK		28.66m ²
PROPOSED CARRIAGE HOUSE FOOTPRINT AT GRADE		62.54m ²
PRINCIPAL DWELLING NET FLOOR AREA		236.90m ²
PROPOSED CARRIAGE HOUSE NET FLOOR AREA		58.90m ²
EXISTING DRIVEWAY		49.93m ²
PROPOSED DRIVEWAY		110.23m ²
8.3.1.1 RESIDENTIAL PARKING		
SINGLE DETACHED HOUSING	2.0	2.0
SECONDARY SUITE	1.0	1.0
REGULAR SIZE VEHICLE PARKING SPACE 4.0m X 2.5m	50.0%	2.0
SMALL SIZE VEHICLE PARKING SPACE 4.8m X 2.3m	50.0%	1.0
9.5b CARRIAGE HOUSE REGULATIONS		
MAXIMUM SITE COVERAGE	14.0%	6.7%
MAXIMUM FOOTPRINT	90.00m ²	62.54m ²
MAXIMUM FLOOR AREA	90.00m ²	58.90m ²
CARRIAGE HOUSE NFA PERCENTAGE OF PRINCIPAL	75.0%	24.7%
MAXIMUM HEIGHT	4.8m / 1 1/2 STOREYS	4.382m / 1 1/2 STOREYS
PRINCIPAL ROOF PEAK TO CH ROOF PEAK		5.822m
MINIMUM FRONT YARD (WEST)	9.000m	31.593m
MINIMUM REAR YARD (EAST)	1.500m	7.315m
MINIMUM SIDE YARD (NORTH)	1.500m	2.378m
MINIMUM SIDE YARD (SOUTH)	1.500m	11.847m
MINIMUM DISTANCE TO PRINCIPAL DWELLING	3.000m	8.528m
PRIVATE OPEN SPACE	30.00m ²	51.52m ²
12.3 & DEVELOPMENT REGULATIONS		
SITE COVERAGE	40.0%	21.4%
SITE COVERAGE WITH DRIVEWAYS	50.0%	38.6%
PRINCIPAL DWELLING BUILDING HEIGHT	9.5m / 2 1/2 STOREYS	5.822m / 2 STOREYS
FRONT (WEST) YARD SETBACK (HOUSE TO P.L.)	6.000m	8.996m
REAR (EAST) YARD SETBACK	7.500m	23.250m
SIDE (NORTH) YARD SETBACK	2.000m	3.600m
SIDE (SOUTH) YARD SETBACK	2.000m	2.184m



SITE CONTEXT



1 SITE PLAN
Scale: 1:150



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DRAWING TITLE
SITE PLAN/ZONING ANALYSIS

DATE
NOVEMBER 4, 2020

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