



Affordable Housing Land Acquisition Strategy

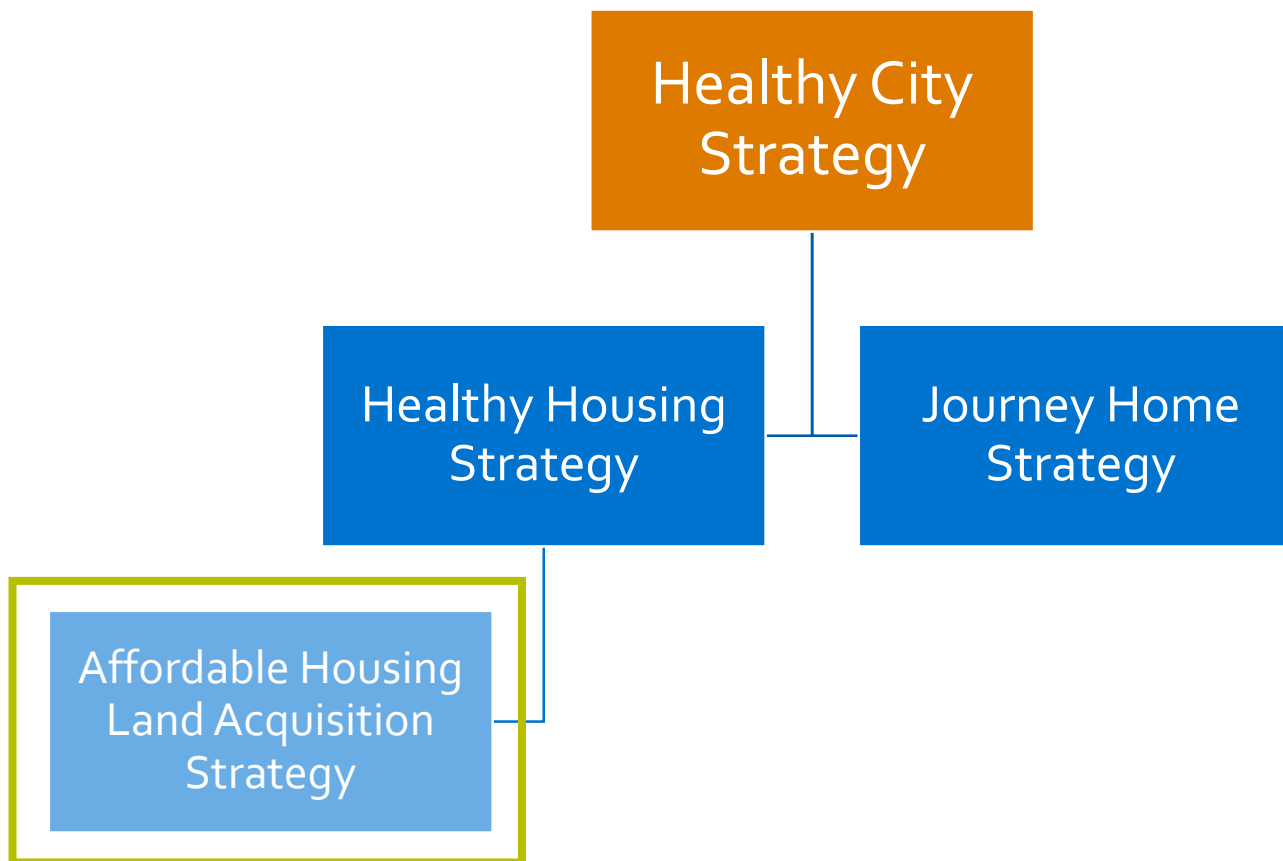
January 2021



Purpose

- ▶ Provide Council with information regarding an Affordable Housing Land Acquisition Strategy
- ▶ Recommend that Council direct staff to include budget requests as part of the 2022 Financial Plan

Background – Context



Background – Wheelhouse



Background – Goal

- ▶ Why develop and implement an Affordable Housing Land Acquisition Strategy?
 - ▶ Provide a strategy for how the City can fund and optimize land acquisition for affordable housing and contribute to impactful partnerships in a timely manner
 - ▶ I.e. partnership with BC Housing
 - ▶ Address bottleneck caused by lack of available land

Discussion – Social Return on Investment

- ▶ Multiple positive impacts expected to result from establishing an Affordable Housing Land Acquisition Strategy

Employment, community involvement, health

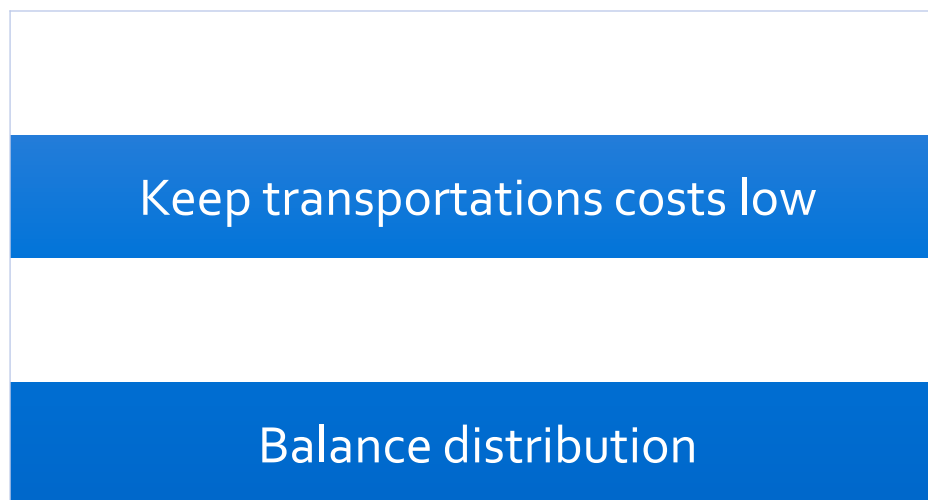
disposable income, job generation, recruit and retain workers

Discussion – Housing Needs

- ▶ 2021: approximately 19,600 rental households in Kelowna total
 - ▶ Approximately 9,200 are in core housing need – spending more than 30% of income on rent
- ▶ 2031: estimated 2,600 additional households in core housing need
- ▶ The demand for rental housing is expected to continue trending upward

Discussion – Site Selection

- ▶ Align with guiding principles outlined in the City of Kelowna Land Strategy
- ▶ Key considerations:



Discussion – Other Key Recommendations

Engage with partners responsible for implementation

Consider community engagement requirements

Discussion – Funding Strategy

- ▶ Housing Opportunity Reserve Fund contributions
 - ▶ Increase annual contributions from general taxation
 - ▶ Increase \$200,000 to \$400,000 in 2022
 - ▶ Increase an additional \$200,000 to \$600,000 in 2023 and on
 - ▶ Would result in \$2.2M every four years
 - ▶ Adequate to fund land for one affordable housing project
 - ▶ Additionally, continue to provide funding from Online Accommodation Platform (OAP) tax

Conclusion

- ▶ An Affordable Housing Land Acquisition Strategy will help to meet the ongoing need for land for affordable rental housing projects
 - ▶ Addresses a key barrier in affordable housing projects
 - ▶ Acts as a catalyst to encourage investments from our partners
 - ▶ Supports those in core and extreme core housing need

Conclusion

- ▶ Overall, land acquisition for affordable housing will be a key tool to express the City's leadership
- ▶ In conclusion, staff are asking Council to recommend bringing forward funding requests

