



TA20-0025

1585 Springfield Road

Text Amendment



Proposal

- ▶ To amend the Zoning Bylaw by changing the Development Regulations in the CD16 – Bingo and Gaming zone and replacing the CD16 – Bingo and Gaming Site Plan to reflect these changes.

Development Process

Dec 18, 2020

Development Application Submitted

Staff Review & Circulation

Sept 14, 2020

Public Notification Received

Jan 18, 2021

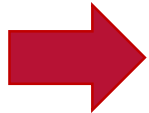
Initial Consideration

Public Hearing
Second & Third Readings

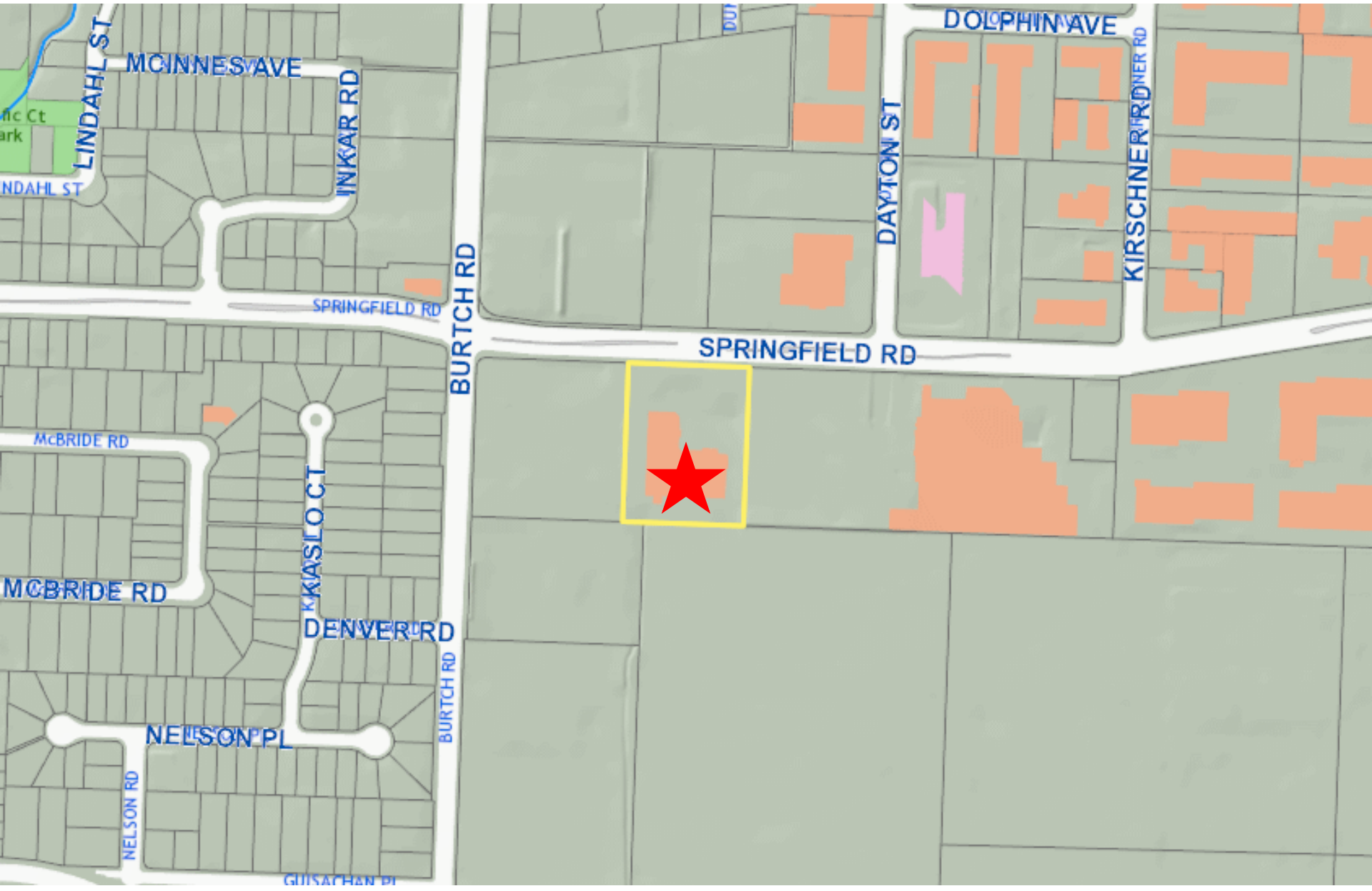
MOTI Approval, Final Reading

Building Permit

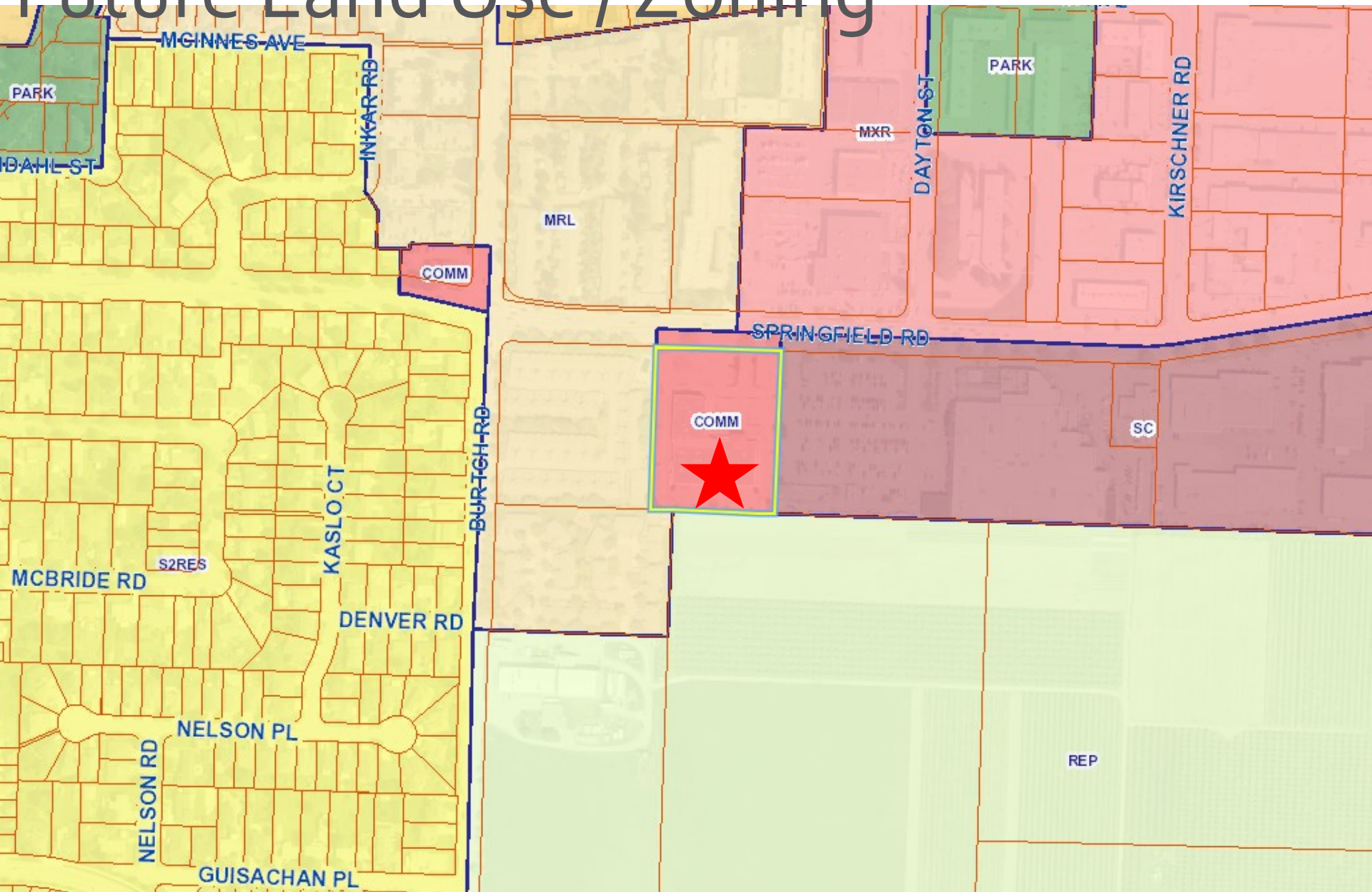
Council Approvals



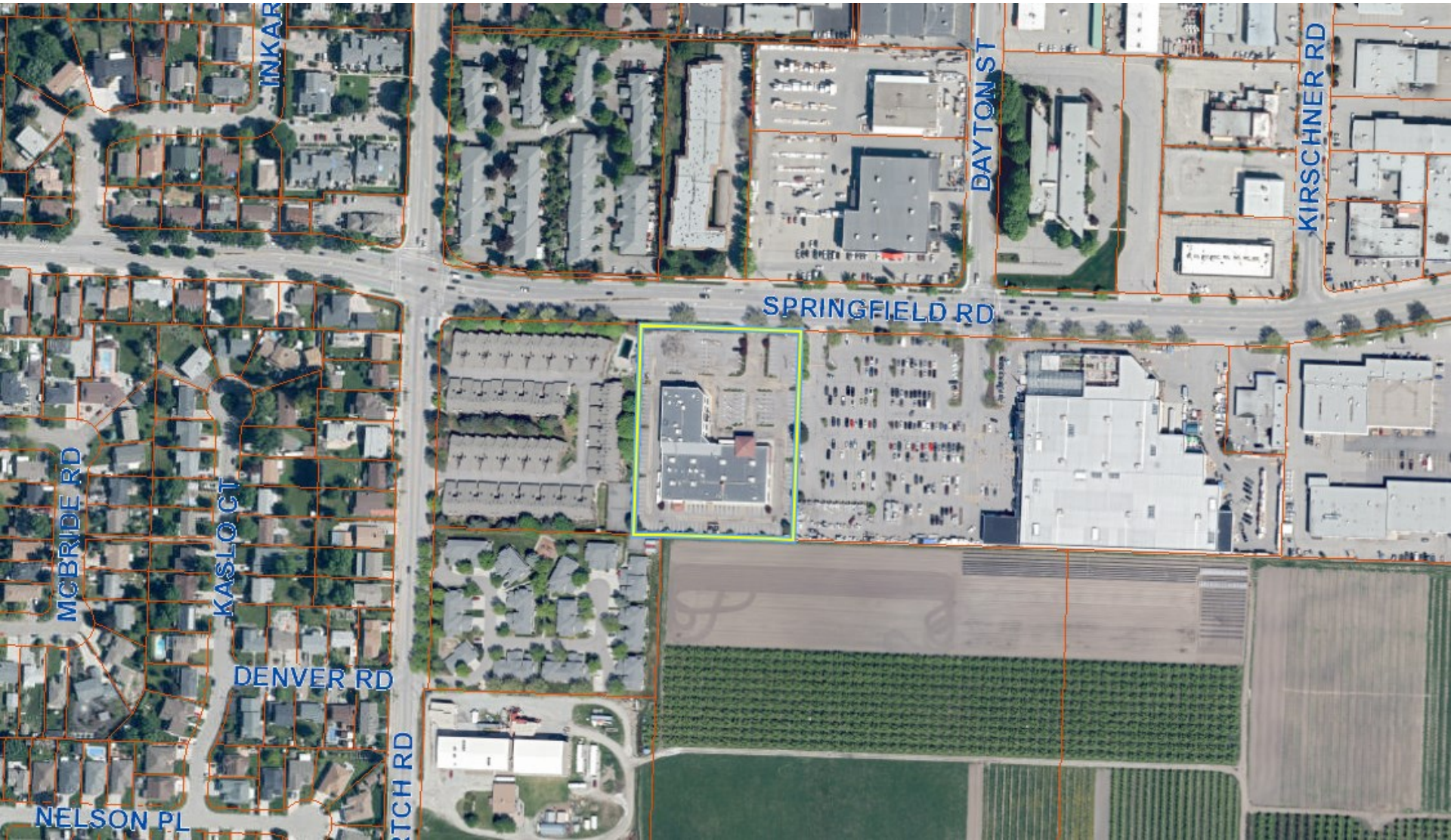
Context Map



Future Land Use / Zoning



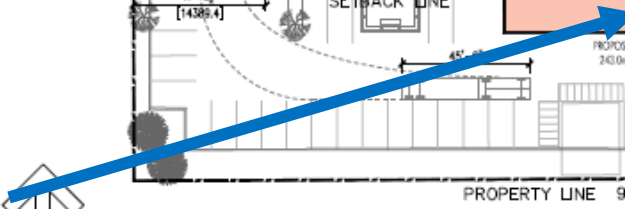
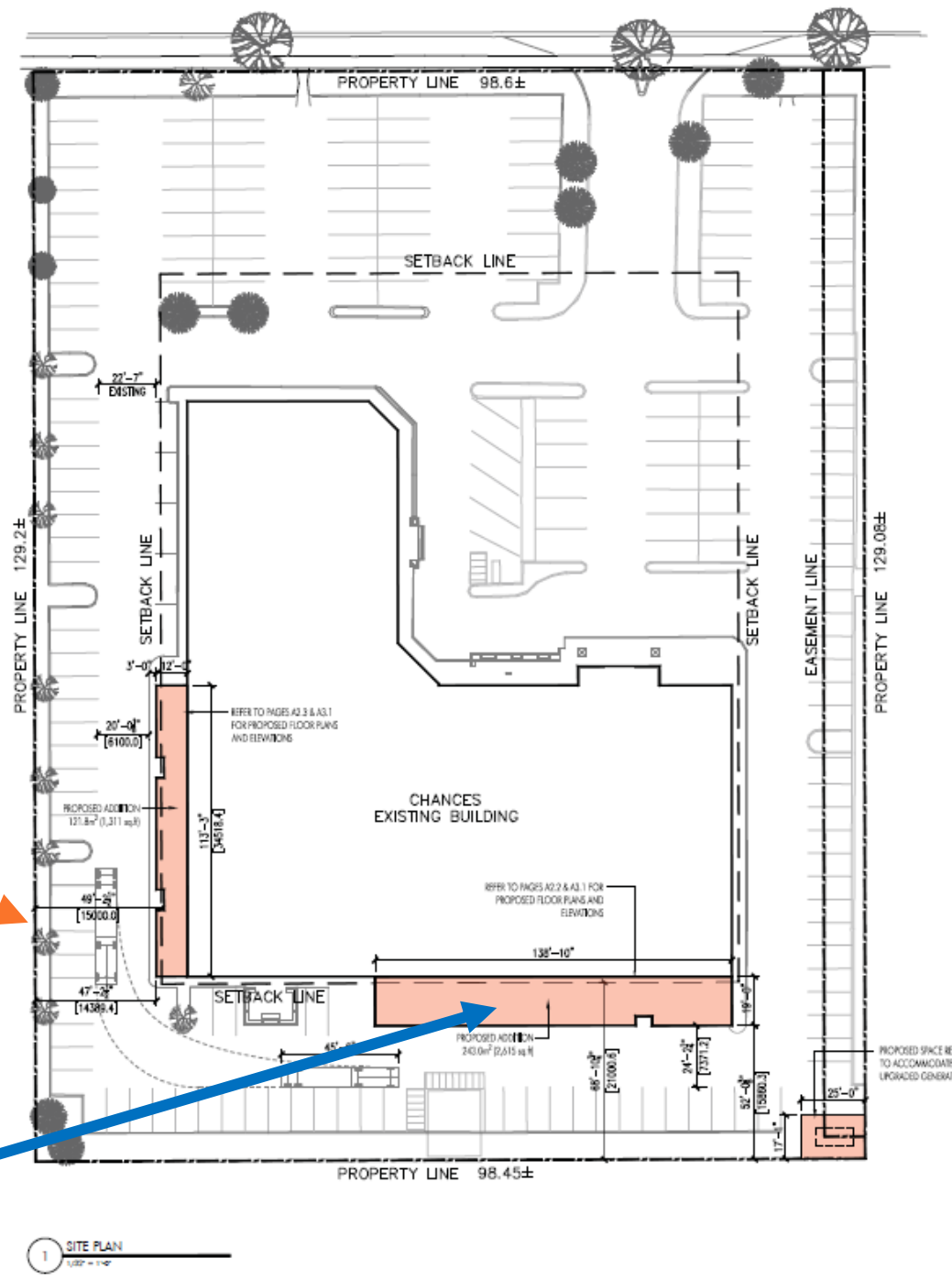
Subject Property Map



Project Details

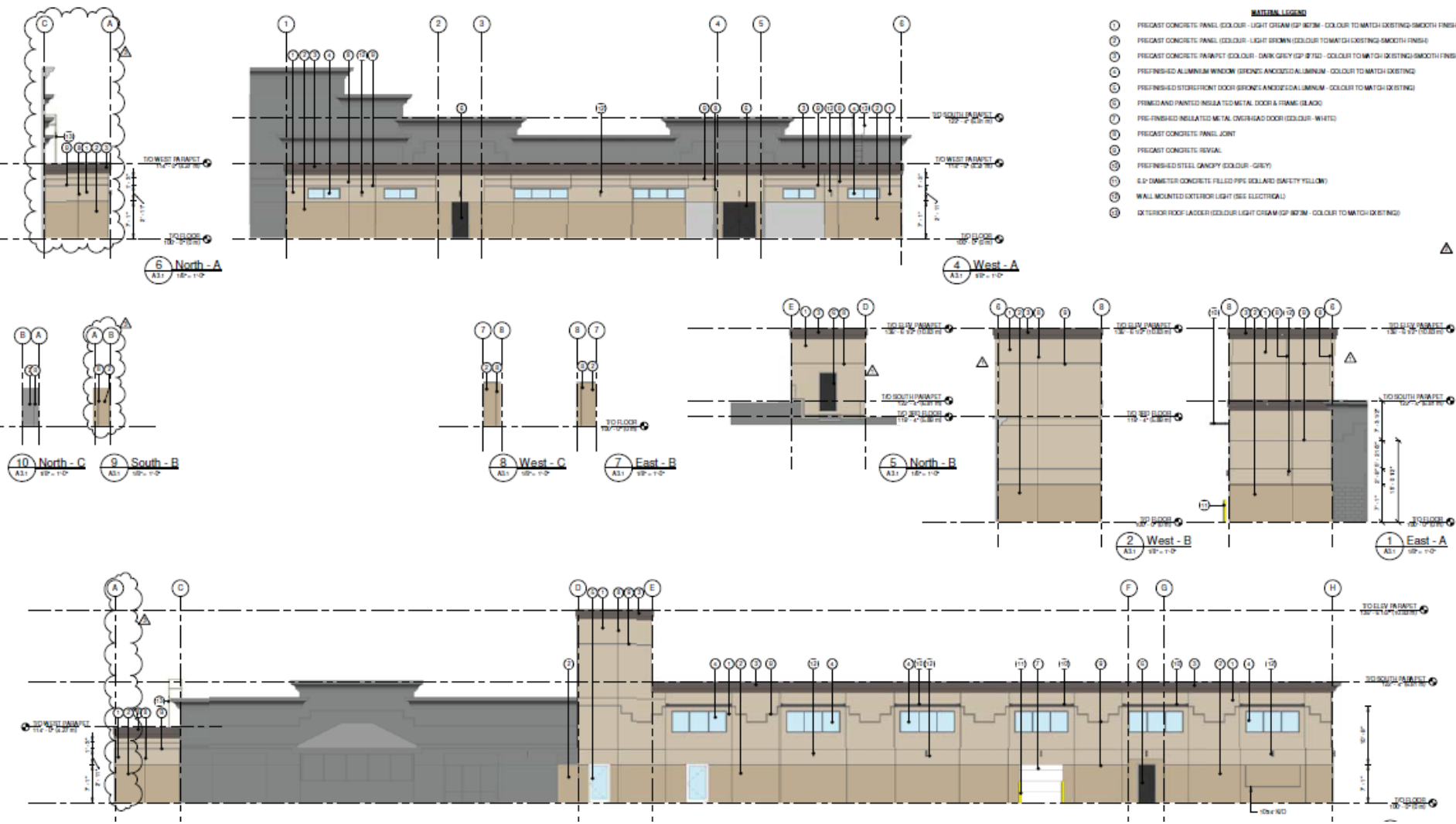
121.8m² – West Addition

243m² – South Addition



1 SITE PLAN
1" = 10'-0"

Project Details



Text Amendments

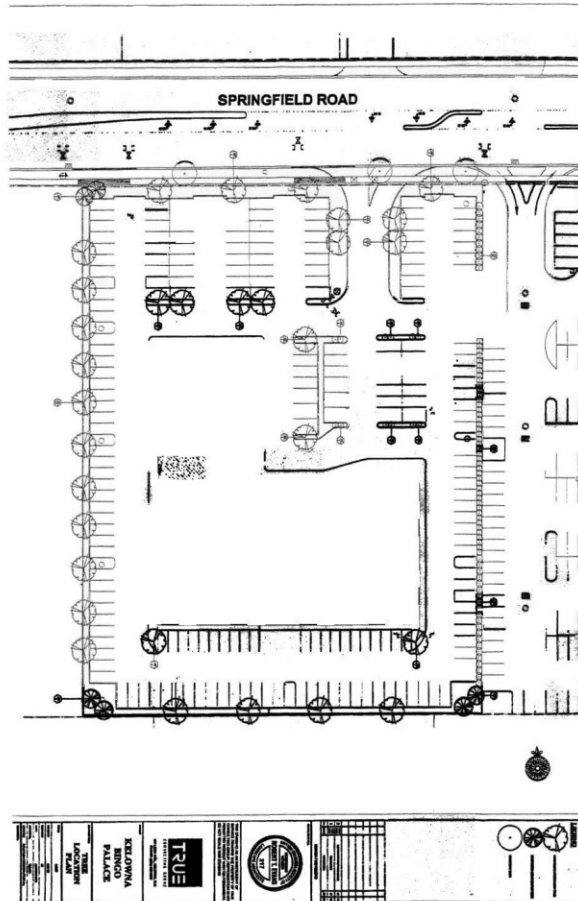
▶ Amend Development Regulations

Development Regulation	CD16 Zone	Proposed
Max. Site Coverage	25%	27.3 %
Min. Side Yard	15.0 m	14.39 m
Min. Rear Yard	21.0 m	15.86 m

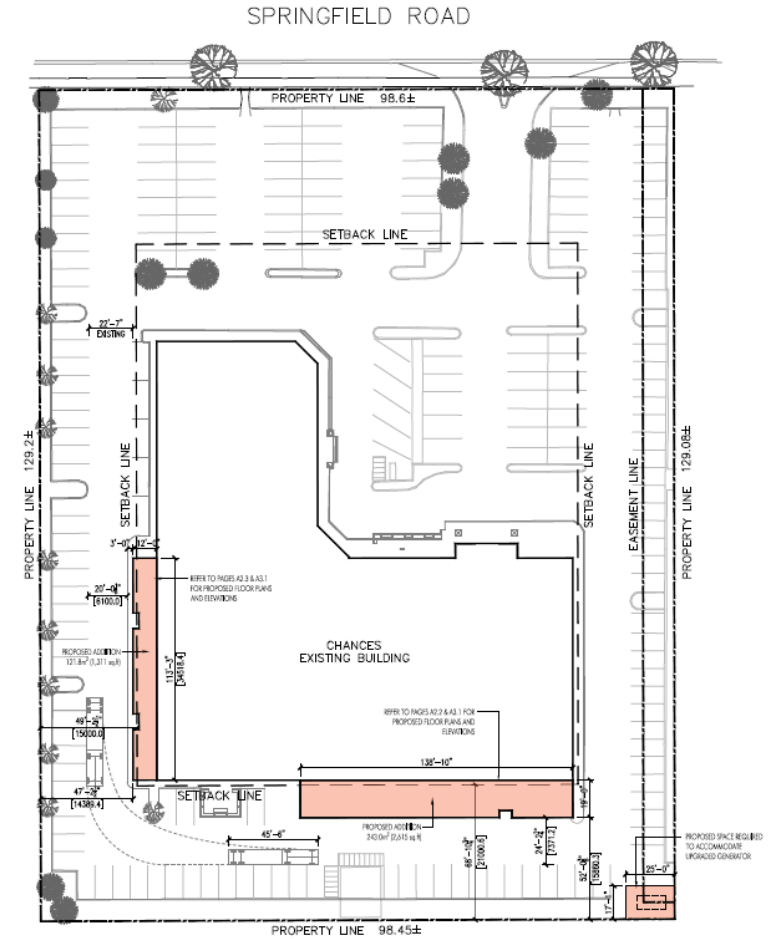
▶ Additional Changes

- ▶ In addition, the application proposes a new regulation to lower the double drive aisle width to 6.1m, which isn't defined in the CD16 zone, but is 7.0m in the Bylaw.

Site Plan



Existing



Proposed

Future Development

- ▶ Staff understand the applicants have further development plans following the application:
 - ▶ Will require additional development applications
 - ▶ Anticipate to significantly change CD16 Zone
 - ▶ Substantial change to existing building form and scale
- ▶ Applicant is still working through their preferred design and development plans

Staff recommendation

- ▶ Staff recommend **support** of the proposed Text Amendments
- ▶ Recommend the Bylaw be forwarded to Public Hearing



Conclusion of Staff Remarks