

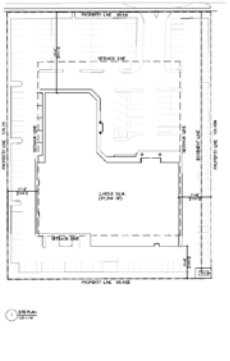


## Schedule A - Proposed Text Amendments to CD16 – Bingo and Gaming

No.	Section	Current Wording (CD15)	Originally Proposed Wording (April 2020 – BL12017)	Updated Proposed Wording	Reason for Change
1.4 (b)	<b>Development Regulations</b>	b) The maximum <b>site coverage</b> is 25%	b) The maximum <b>site coverage</b> is 26%	b) The maximum <b>site coverage</b> is 27.3%	Increase the maximum site coverage
1.4 (e)	<b>Development Regulations</b>	e) The minimum <b>side yard</b> is 15.0m	e) The minimum <b>side yard</b> is 14.0m	e) The minimum <b>side yard</b> is 14.39m	Decrease the minimum side yard
1.4 (f)	<b>Development Regulations</b>	f) The minimum <b>rear yard</b> is 21.0m	f) The minimum <b>rear yard</b> is 18.0m	f) The minimum <b>rear yard</b> is 15.86m	Decrease the minimum rear yard
1.4 (c)	<b>Other Regulations</b>	c) Development of the subject property is limited to that shown on the <b>CD16 – Bingo and Gaming Site Plan</b> . 	c) Development of the subject property is limited to that shown on the <b>CD16 – Bingo and Gaming Site Plan</b> . 	c) Development of the subject property is limited to that shown on the <b>CD16 – Bingo and Gaming Site Plan</b> . 	Update the Site Plan with the proposed changes to Development Regulations
n/a	<b>Other Regulations</b>	n/a	n/a	The minimum drive aisle width for a double lane drive aisle is 6.1m	Decrease the minimum drive aisle width

### SCHEDULE A

This forms part of application  
# TA20-0025

Planner  
Initials TC



# CHANCES CASINO - NEW ADDITIONS

## 1585 SPRINGFIELD RD, KELOWNA, BC

### PROPERTY DESCRIPTION:

CHANCES CASINO  
 CMC ADDRESS: 1585 SPRINGFIELD ROAD, KELOWNA BC  
 LEGAL ADDRESS: PLAN 70110, LOT A, ROLL 10519967  
 ZONING: CD16  
 BUILDING AREA: 33,380 SQ.FT (EXISTING)  
 INTENDED USAGE: CASINO

### CASINO FLOOR AREAS:

EXISTING GROSS FLOOR AREA: 40,788 SQ.FT (3,789 SQ.M)  
 WEST ADDITION: 1,311 SQ.FT (121.8 SQ.M)  
 SOUTH ADDITION MAIN FLOOR: 2,615 SQ.FT (243.0 SQ.M)  
 SOUTH ADDITION UPPER FLOOR: 2,622 SQ.FT (243.6 SQ.M)  
 TOTAL GROSS FLOOR AREA: 47,336 SQ.FT (4,397.4 SQ.M)  
 EXISTING BUILDING AREA: 33,380 SQ.FT (3,101 SQ.M)  
 WEST ADDITION: 1,311 SQ.FT (121.8 SQ.M)  
 SOUTH ADDITION: 2,622 SQ.FT (243.6 SQ.M)  
 TOTAL BUILDING AREA: 37,313 SQ.FT (3,466.4 SQ.M)

### PARKING CALCULATIONS:

**PARKING STALLS:**  
 CASINO (CD16) 3-4 PER 100m<sup>2</sup> GFA  
 = 4,297/1100  
 = 43.97 x 3 or 4  
 = 132-176 STALLS

**LOADING BAYS:** REQUIRED  
 CASINO (CD16) EXISTING TO REMAIN

**BICYCLE PARKING:** REQUIRED  
 CASINO (CD16) EXISTING TO REMAIN

**TOTAL EXISTING STALLS:**  
 CASINO = 205 STALLS

**TOTAL REMAINING STALLS (WITH ADDITIONS):**  
 CASINO = 186 STALLS (19 STALLS LOST)

### ZONING CALCULATIONS:

CURRENT: CITY OF KELOWNA, CD16 (COMPREHENSIVE DEVELOPMENT, BINGO AND GAMING)

### SITE INFORMATION:

	ALLOWED	PROPOSED
GROSS SITE AREA=	N/A	136,778 SF (12,707 SM)
ALLOWABLE SITE COVERAGE=	25% (34,195 SF)(3,177 SM)	27.3% (37,313 SF)(3,476.4 SM) VARIANCE
F.A.R. =	0.4 (54,711 SF)(5,083 SM)	0.35 (45,664 SF)(4,242.1 SM)
REQUIRED	12M (39FT) OR 3 STOREYS	PROPOSED
MAX. HEIGHT -	24.0 M	EXISTING TO REMAIN
FRONT YARD -	15.0 M	EXISTING TO REMAIN
SIDE YARD (WEST) -	15.0 M	48'-11" (14.83M) VARIANCE
SIDE YARD (EAST) -	21.0 M	EXISTING TO REMAIN
REAR YARD -	21.0 M	51'-0" (15.5M) VARIANCE
DRIVE WAYS -	REQUIRED	PROPOSED
DOUBLE LANE DRIVEWAY	7.0 M	6.1 M VARIANCE

### B.C. BUILDING CODE (2018) ANALYSIS

- OCCUPANCY CLASSIFICATION:  
A2 - CASINO
- NUMBER OF STREETS FACED: 3,2,2,1,0  
ONE (1)
- BUILDING AREA: 3,222.5  
3,475.2 m<sup>2</sup> (37,407 sq.ft)
- BUILDING HEIGHT: 3,2,2,5  
3 STOREYS
- USE & OCCUPANCY REQUIREMENTS:  
GROUP A, DIVISION 2, UP TO 6 STOREYS, ANY AREA, SPRINKLERED (3,2,2,2,4)
- CONSTRUCTION REQUIREMENTS:  
NON-COMBUSTIBLE CONSTRUCTION  
FLOOR ASSEMBLIES AS FIRE SEPARATIONS WITH 1 HOUR F.R.R.  
MEZZANINES WITH 1 HOUR F.R.R.  
LOAD BEARING WALLS, COLUMNS, AND ARCHES REQUIRE A 1 HOUR F.R.R.  
OR BE NOT LESS THAN THAT REQUIRED FOR THE SUPPORTED ASSEMBLY

## ATTACHMENT A

This forms part of application

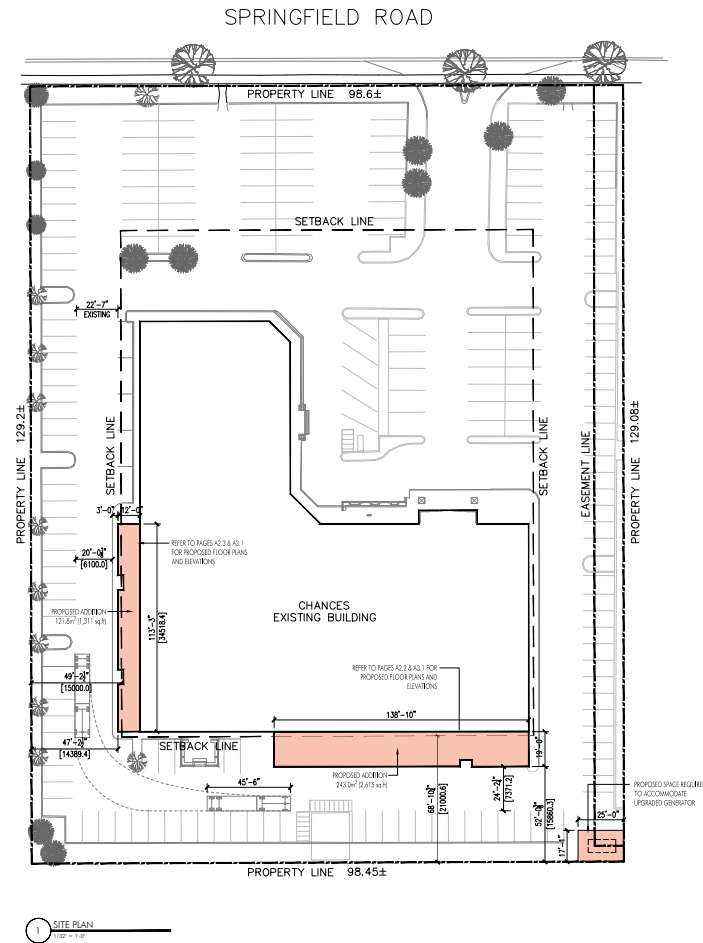
# TA20-0025

Planner Initials

TC



**City of Kelowna**  
DEVELOPMENT PLANNING





PHONE 250-468-7881  
 285-1628 Robson Street  
 Kelowna, BC V1Y 0R3  
[www.limearchitecture.com](http://www.limearchitecture.com)

**COMMENTS:**  
 All ideas, designs, drawings and specifications are the exclusive property of LIME Architecture Inc. As instruments of service, they may not be used or reproduced in any manner without the expressed written consent of LIME Architecture Inc. All Consulting Trades shall check and verify all work, dimensions, date and conditions on site prior to commencement of any work. Any discrepancies are to be reported immediately to LIME Architecture Inc. Do not take any dimensions from this drawing.

All ideas are to execute the work in accordance with the current municipality building bylaws and requirements of other local authorities having jurisdiction. All work is to be done in accordance with the current bylaws and requirements of other local authorities including all building revisions and addenda. All trades shall assume full responsibility for the location and protection of all utilities and above ground utilities, wires and conduits, connections, including but not limited to water, sewer, gas, hydro and fibre optic.

Revision No.	Date	Description
01	16.20	FOR DVP
02	21.20	DVP ADDENDUM #1
06	25.20	CLIENT REVIEW
08	23.20	DVP ADDENDUM #2
08	19.20	DVP ADDENDUM #4

Plot Date	Drawing No.
25-Aug-20	A-001

**PROJECT:**  
CHANCES

**DRAWING TITLE:**  
SITE PLAN & PROJECT INFORMATION



DVP ADDENDUM #4

# ATTACHMENT A

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Planner Initials **TC**



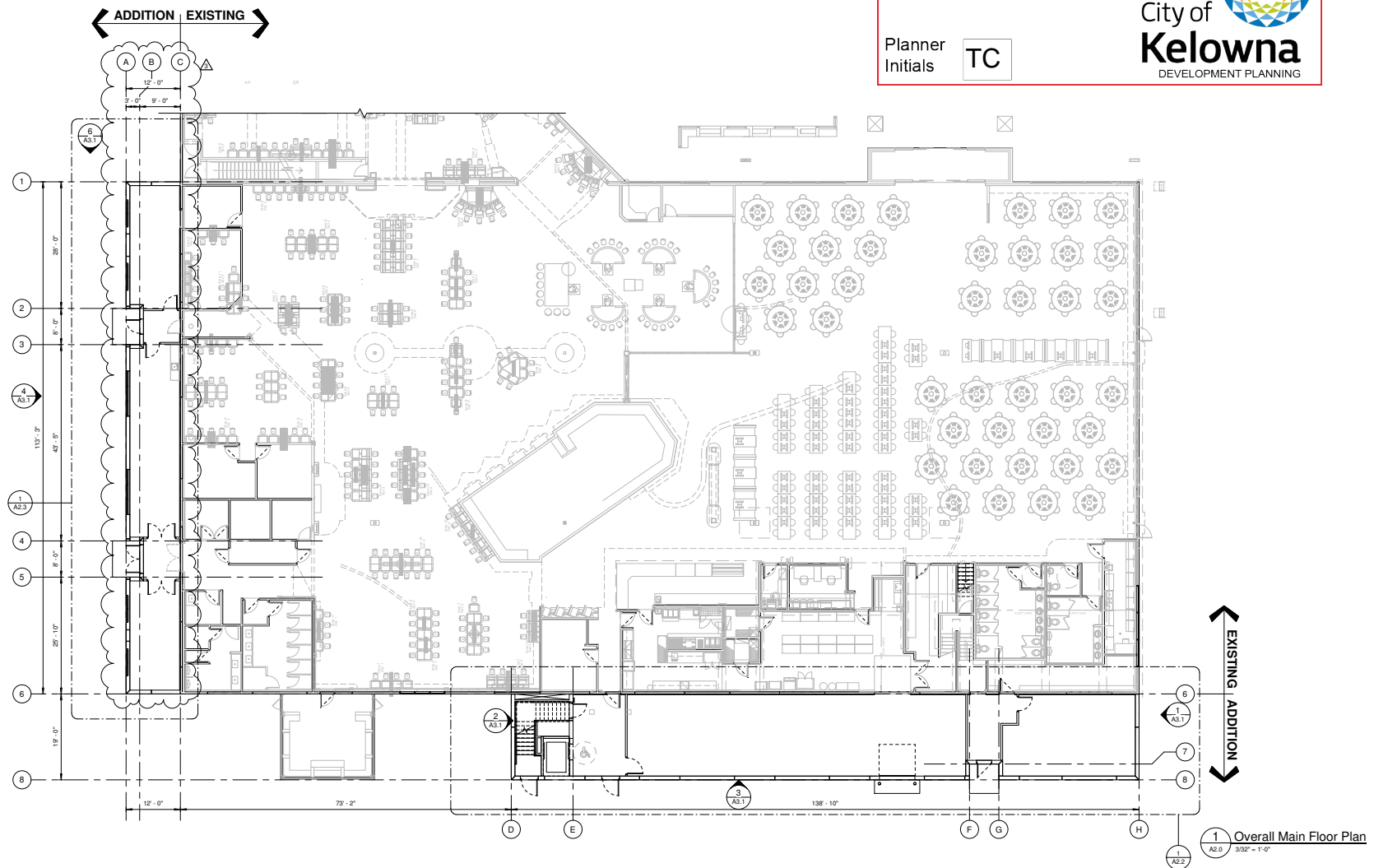
- NOTES**
1. RATED WALLS SHALL BE FRAMED TO UNDERSIDE OF RATED FLOOR ASSEMBLY OR ROOF ASSEMBLY
  2. ADD BLOCKING BETWEEN STUDS AS REQUIRED TO SUPPORT ALL EDGES OF 1/2" TYPE 'X' GYPSUM BOARD
  3. FIRE SEPARATION AS SHOWN:
    - 3/4 HR
    - 1 HR
    - 2 HR
    - 4 HR

**NOTE:**

- ALL WASHROOMS AND JANITOR ROOMS TO RECEIVE IMPERVIOUS DURABLE FLOOR AND WALL FINISH UP TO 5'-0" A.F.F.
- FURNITURE NOT INCLUDED
- MILLWORK BY MILLWORK SUPPLIER
- FLOOR SLAB POLY. TO BE SEALED AT ALL JOINTS & PERFORATIONS. REFER TO MECHANICAL FOR RADON COLLECTION

**Wall Types**

- 10" INSULATED PRECAST CONCRETE WALL PANEL CW 4" INSULATION (TYPE S CONCRETE: UP TO 2 HR F.R.R. AS PER TABLE D.2.1.1.)
- 5.5" SOLID PRECAST CONCRETE WALL PANEL (TYPE S CONCRETE: UP TO 2 HR F.R.R. AS PER TABLE D.2.1.1.)
- 4" SOLID PRECAST CONCRETE WALL PANEL (TYPE S CONCRETE: UP TO 1 HR F.R.R. AS PER TABLE D.2.1.1.)
- 1/2" GYPSUM BOARD 3.5" 25ga STEEL STUDS @ 24" O/C 1/2" GYPSUM BOARD
- 5/8" TYPE 'X' GYPSUM BOARD 3.5" 25ga STEEL STUDS @ 24" O/C 1 1/2" MINERAL FIBRE BATT INSULATION 5/8" TYPE 'X' GYPSUM BOARD (UP TO 1 HR FIRE RESISTANCE RATING) (DESIGN NO. ULC W455)
- 1/2" GYPSUM BOARD 3.5" 25ga STEEL STUDS @ 24" O/C
- 1/2" GYPSUM BOARD 3" 25ga STEEL STUDS @ 24" O/C
- 2 LAYERS 5/8" TYPE 'X' GYPSUM BOARD 2.5" 25ga STEEL STUDS @ 24" O/C 2 1/2" MINERAL FIBRE BATT INSULATION 2 LAYERS 5/8" TYPE 'X' GYPSUM BOARD (UP TO 2 HR FIRE RESISTANCE RATING) (DESIGN NO. ULC W455)
- 1.5" 25ga STEEL STUDS @ 24" O/C 1/2" GYPSUM BOARD



EXISTING ADDITION

1 Overall Main Floor Plan  
A2.0 3/32" = 1'-0"



NO.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2020-06-10
3	MOVED GRID LINE A	2020-08-17

**Chances Casino Renovation**  
Kelowna, British Columbia  
Lot A, Plan KAP70110



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(403) 885-5525 P.O. BOX 1690 BLACKFALDS, AB, T0M 0J0

**Floor Plan Overall**  
A2.0

Project number: B20284

Date: 2020-08-18 9:56:39

Drawn by: AB

Checked by: RO

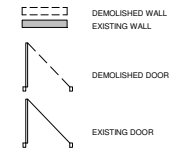
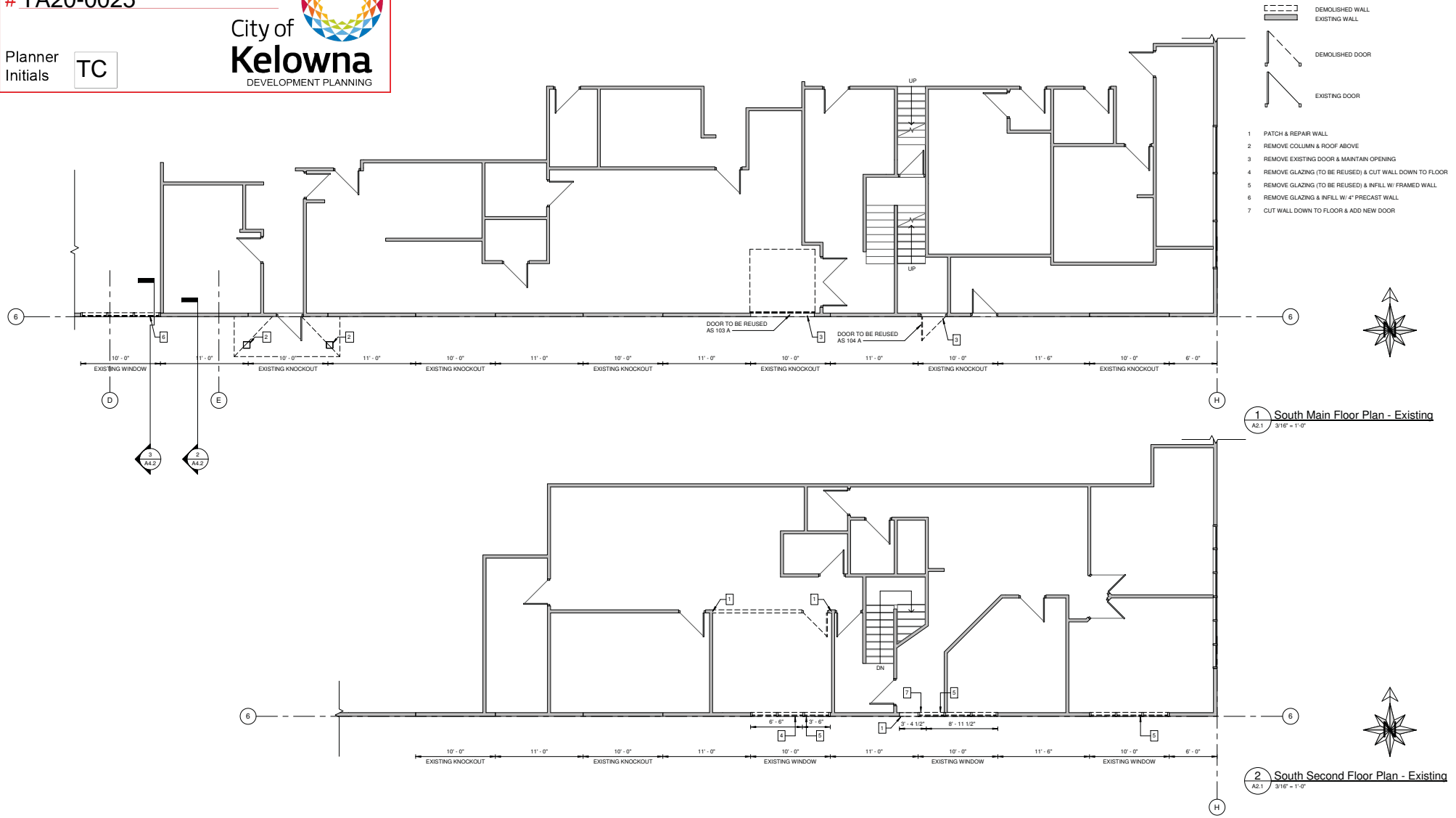
Scale: As indicated

# ATTACHMENT A

This forms part of application

# TA20-0025

Planner Initials **TC**



- 1 PATCH & REPAIR WALL
- 2 REMOVE COLUMN & ROOF ABOVE
- 3 REMOVE EXISTING DOOR & MAINTAIN OPENING
- 4 REMOVE GLAZING (TO BE REUSED) & CUT WALL DOWN TO FLOOR
- 5 REMOVE GLAZING (TO BE REUSED) & INFILL W/ FRAMED WALL
- 6 REMOVE GLAZING & INFILL W/ 4" PRECAST WALL
- 7 CUT WALL DOWN TO FLOOR & ADD NEW DOOR

**1 South Main Floor Plan - Existing**  
A2.1 3/16" = 1'-0"

**2 South Second Floor Plan - Existing**  
A2.1 3/16" = 1'-0"

NO.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2020-06-10

**Chances Casino  
Renovation**  
Kelowna, British Columbia  
Lot A, Plan KAP70110



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**Demo Floor Plan**  
  
**A2.1**

Project number:	B20284
Date:	2020-08-18 9:56:40
Drawn by:	AB
Checked by:	RO
Scale:	As indicated

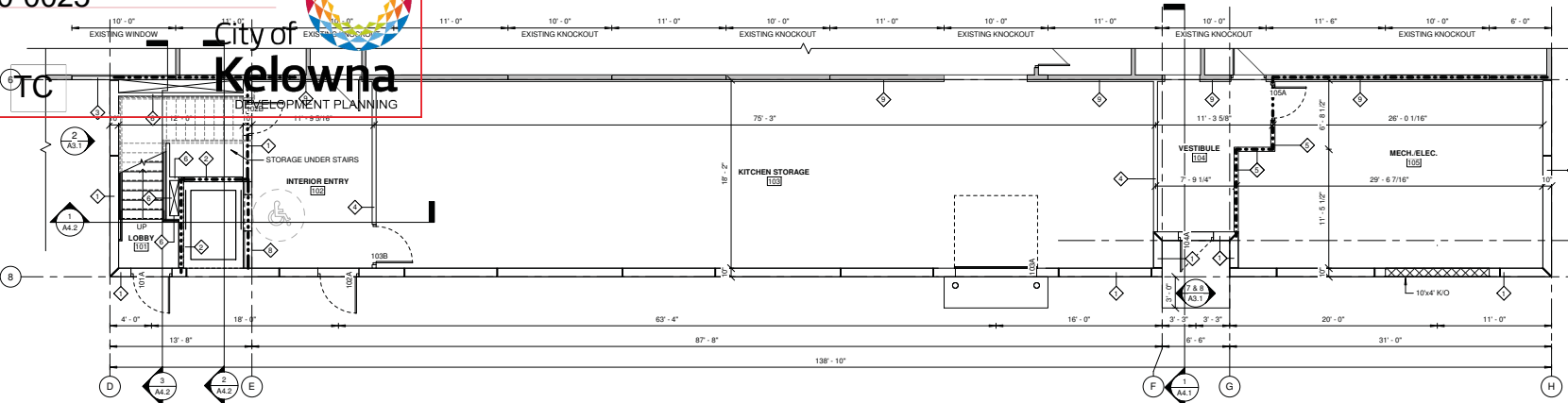
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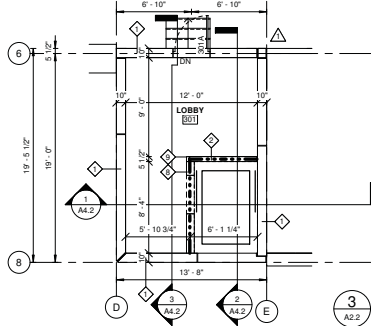
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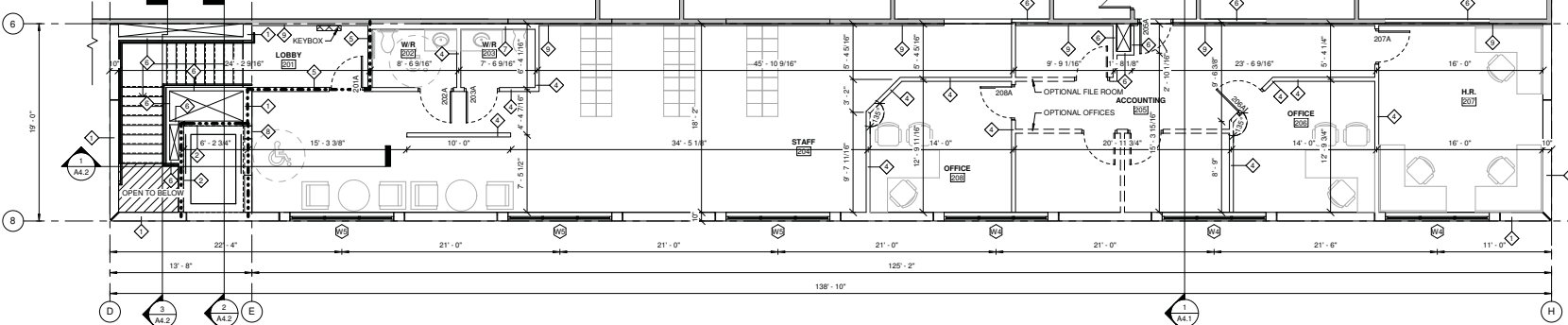
Planner Initials



1 South Floor Plan  
A2.2 3/16" = 1'-0"



3 South Third Floor Plan  
A2.2 3/16" = 1'-0"



2 South Second Floor Plan  
A2.2 3/16" = 1'-0"

NO.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2020-06-10
1	REVISED WALL 8	2020-06-25

**Chances Casino  
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Kelowna, British Columbia  
Lot A, Plan KAP70110



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**Enlarged Floor Plan**  
  
**A2.2**

Project number:	B20284
Date:	2020-08-18 9:56:41
Drawn by:	AB
Checked by:	RO
Scale:	As indicated

# ATTACHMENT A

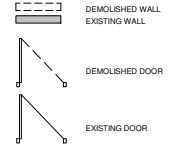
This forms part of application

# TA20-0025

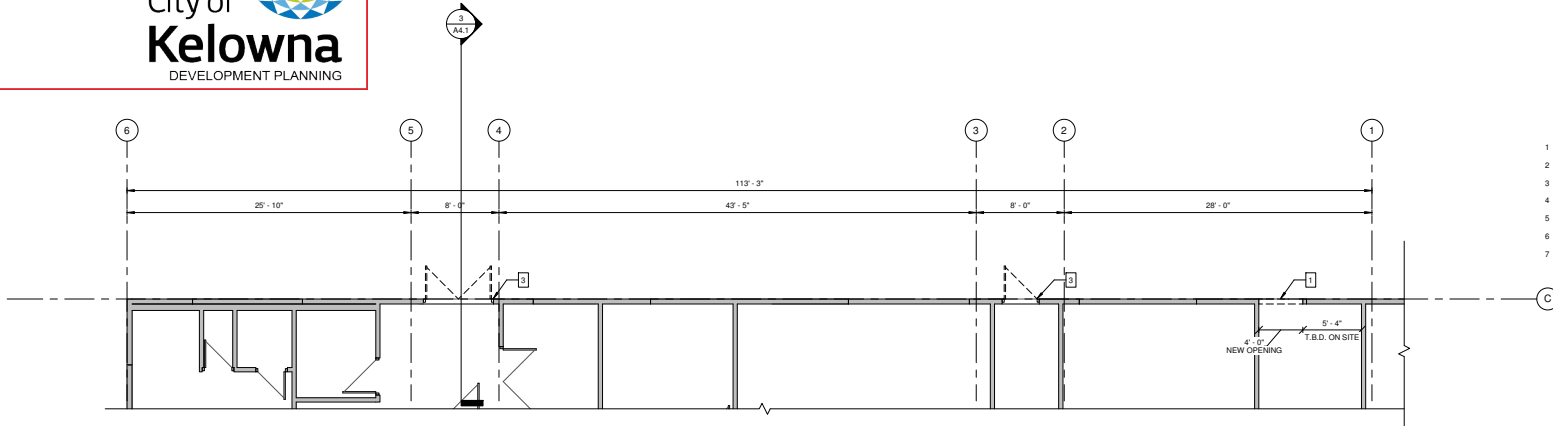


City of  
**Kelowna**  
DEVELOPMENT PLANNING

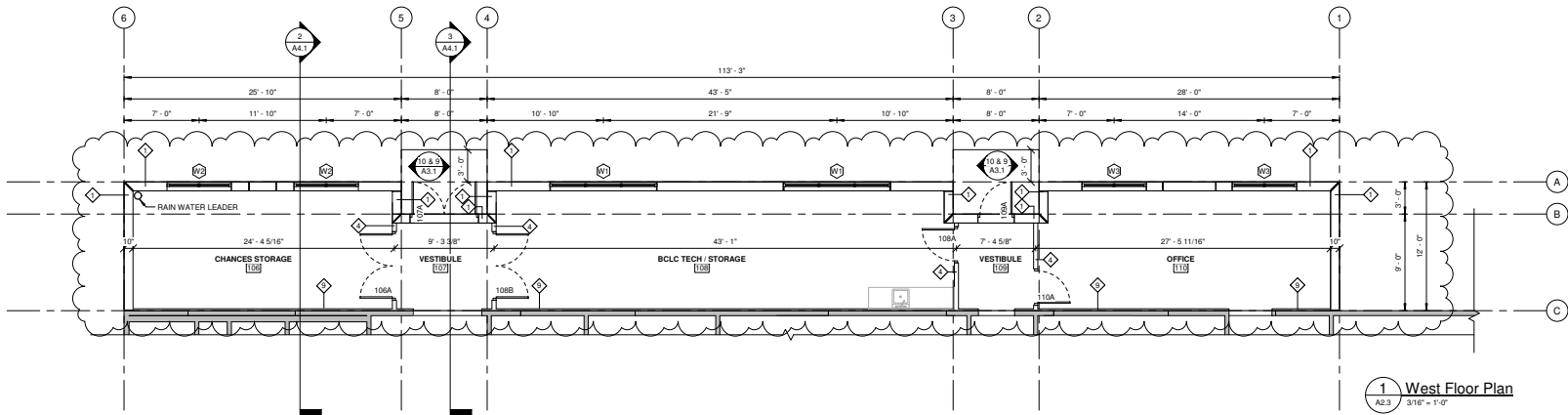
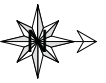
Planner  
Initials **TC**



- 1 PATCH & REPAIR WALL
- 2 REMOVE COLUMN & ROOF ABOVE
- 3 REMOVE EXISTING DOOR & MAINTAIN OPENING
- 4 REMOVE GLAZING (TO BE REUSED) & CUT WALL DOWN TO FLOOR
- 5 REMOVE GLAZING (TO BE REUSED) & INFILL W/ FRAMED WALL
- 6 REMOVE GLAZING & INFILL W/ 4" PRECAST WALL
- 7 CUT WALL DOWN TO FLOOR & ADD NEW DOOR



**2 West Floor Plan - Existing**  
A2.3 3/16" = 1'-0"



**1 West Floor Plan**  
A2.3 3/16" = 1'-0"



NO.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2020-06-10
3	MOVED GRID LINE A	2020-08-17

**Chances Casino  
Renovation**  
Kelowna, British Columbia  
Lot A, Plan KAP70110



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CLIENT SCALE DRAWING  
IDENTIFY ALL DIMENSIONS, DATE AND DEVELOPER TO CORRESPONDENT OF WORK. VERIFY ANY DISCREPANCIES OR  
CONFLICTS TO THE ARCHITECT IMMEDIATELY.  
ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE APPLICABLE BUILDING CODE AND ANY OTHER  
GOVERNING AUTHORITIES.  
THIS IS A CONCEPT DRAWING AND SHALL NOT BE REPRODUCED OR REVISED WITHOUT THE WRITTEN CONSENT OF THE  
CONSULTANT.

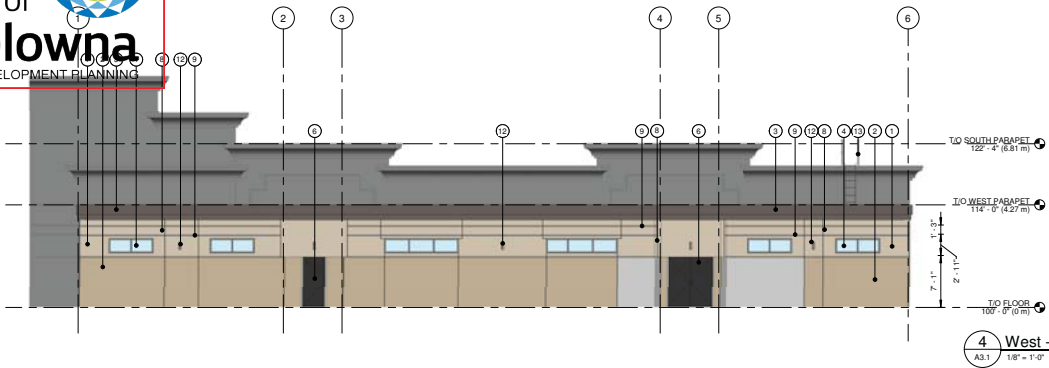
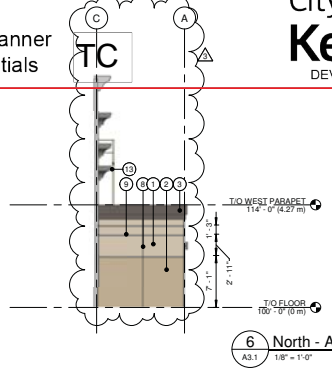
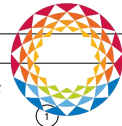
**Enlarged Floor Plan**  
  
**A2.3**

Project number:	B20284
Date:	2020-08-18 9:56:41
Drawn by:	AB
Checked by:	RO
Scale:	As indicated

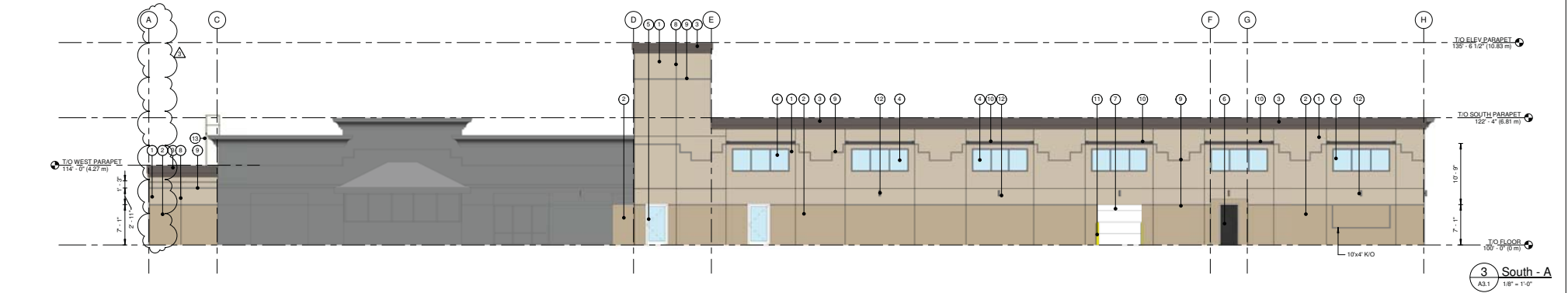
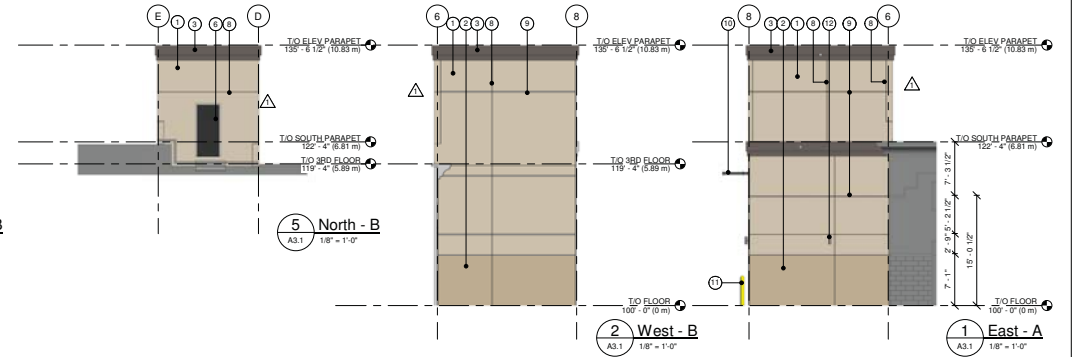
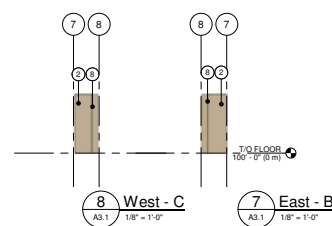
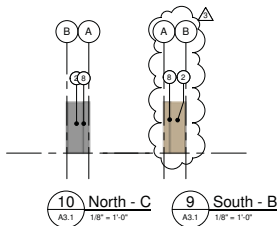
This forms part of application

#TA20-0025

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- MATERIAL LEGEND**
- ① PRECAST CONCRETE PANEL (COLOUR - LIGHT CREAM (GP 8673M - COLOUR TO MATCH EXISTING) SMOOTH FINISH)
  - ② PRECAST CONCRETE PANEL (COLOUR - LIGHT BROWN (COLOUR TO MATCH EXISTING) SMOOTH FINISH)
  - ③ PRECAST CONCRETE PARAPET (COLOUR - DARK GREY (GP 8775D - COLOUR TO MATCH EXISTING) SMOOTH FINISH)
  - ④ PREFINISHED ALUMINUM WINDOW (BRONZE ANODIZED ALUMINUM - COLOUR TO MATCH EXISTING)
  - ⑤ PREFINISHED STOREFRONT DOOR (BRONZE ANODIZED ALUMINUM - COLOUR TO MATCH EXISTING)
  - ⑥ PRIMED AND PAINTED INSULATED METAL DOOR & FRAME (BLACK)
  - ⑦ PRE-FINISHED INSULATED METAL OVERHEAD DOOR (COLOUR - WHITE)
  - ⑧ PRECAST CONCRETE PANEL JOINT
  - ⑨ PRECAST CONCRETE REVEAL
  - ⑩ PREFINISHED STEEL CANOPY (COLOUR - GREY)
  - ⑪ 6.5" DIAMETER CONCRETE FILLED PIPE BOLLARD (SAFETY YELLOW)
  - ⑫ WALL MOUNTED EXTERIOR LIGHT (SEE ELECTRICAL)
  - ⑬ EXTERIOR ROOF LADDER (COLOUR LIGHT CREAM (GP 8673M - COLOUR TO MATCH EXISTING))



NO.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2020-06-10
1	REVISED WALL S	2020-08-25
2	METRIC ELEVATIONS, DRIVE ANGLES	2020-07-31
3	MOVED GRID LINE A	2020-08-17

**Chances Casino Renovation**  
Kelowna, British Columbia  
Lot A, Plan KAP70110



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**Elevations**  
A3.1

Project number: B20284  
Date: 2020-08-18 9:56:43  
Drawn by: AB  
Checked by: RO  
Scale: As indicated