



# DP18-0132 / DVP18-0133 1960 Underhill St

Development Permit and Development Variance Permit



# Proposal

- ▶ To review the Form & Character Development Permit for three 6-storey rental residential buildings and to consider two variances to increase the building height by two storeys and to reduce the number of parking stalls by twenty stalls.

# Development Process

June 15, 2018

Development Application Submitted



Staff Review & Circulation



July 10, 2019

Public Notification Received



Oct 7, 2019

Initial Consideration



July 13, 2020

Public Hearing  
Second & Third Readings



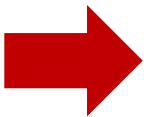
Oct 27, 2020

Final Reading  
DP & Variances



Building Permit

Council  
Approvals



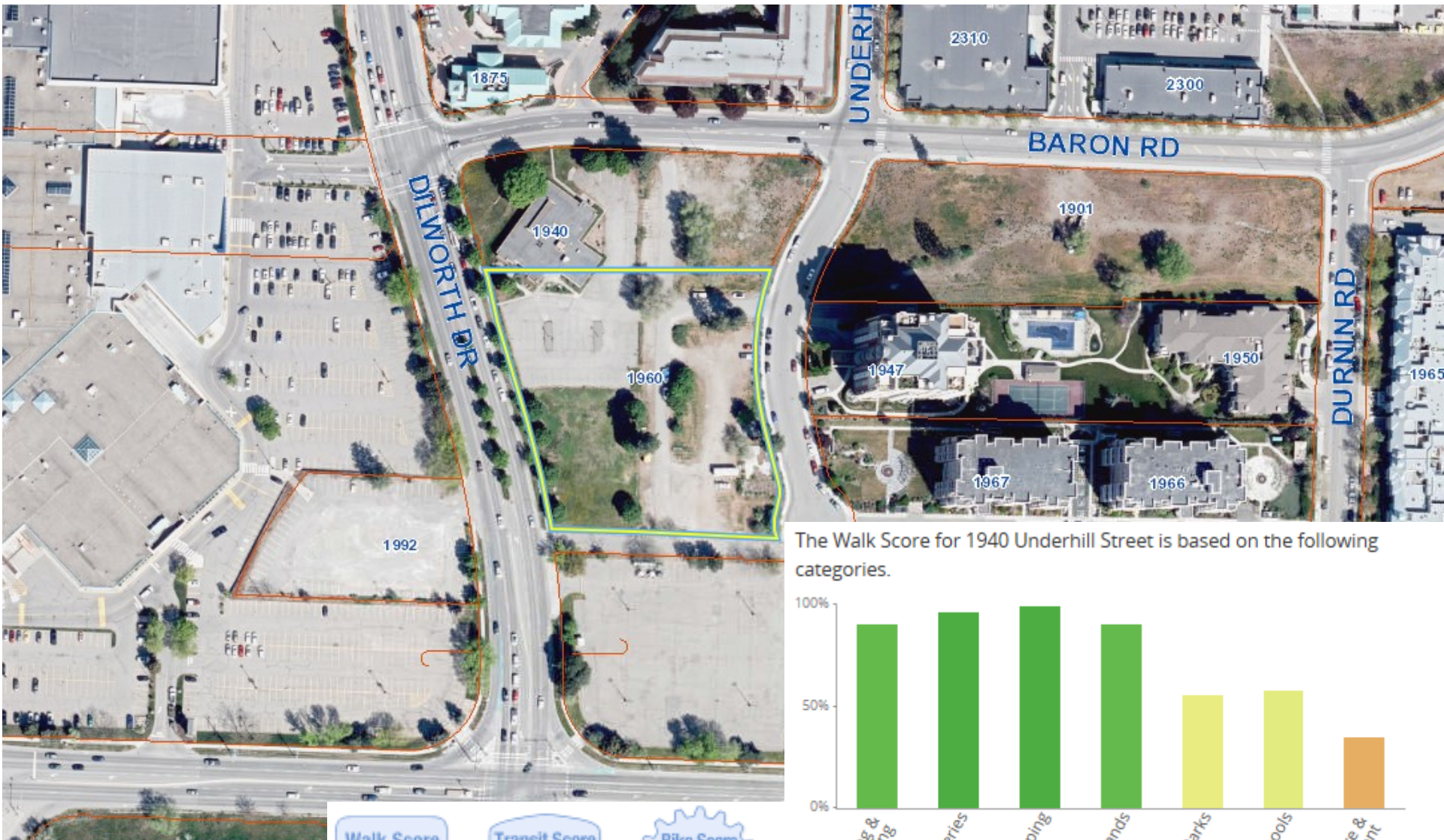


# Context Map

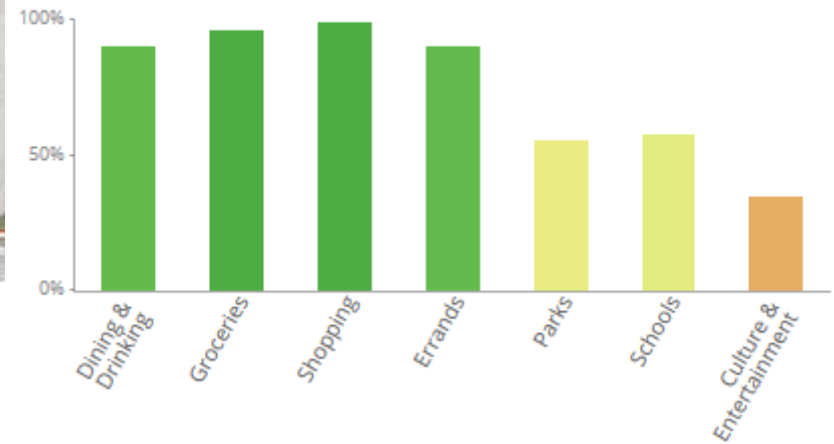




# Subject Property Map



The Walk Score for 1940 Underhill Street is based on the following categories.



Walk Score  
**67**

Transit Score  
**48**

Bike Score  
**73**

# Project/technical details

Zoning Analysis Table		
CRITERIA	C <sub>4</sub> ZONE REQUIREMENTS	PROPOSAL
Unit Summary		
Studio	n/a	31
1 bedroom	n/a	181
2 bedrooms	n/a	76
3 bedrooms	n/a	6
Total	n/a	294 units
Development Regulations		
Height	15.0 m / 4 storeys	19.0 m / 6 storeys ❶
Site coverage of buildings	75 %	44%
FAR	Base Far: 1.3 + Parking within Bldg. bonus: 0.19 + 5 & 6 storey bonus: 0.2 = 1.69	1.69 (18,113 m <sup>2</sup> / 10,700 m <sup>2</sup> )
Parking Regulations		
Minimum Parking Requirements	<u>270 Res + 42 visitors + 3 Comm</u> = 315 parking stalls	<u>250 Res + 34 visitors + 3 Comm</u> = 295 parking stalls ❷
Minimum Loading Spaces	0 spaces	0 spaces
Ratio of Parking Stalls	Regular size: 50% Min Small Size: 50% Max	Regular size: 59% (174 stalls) Small Size: 40% (121 stalls)
Other Regulations		
Minimum Bicycle Parking Requirements	Long term: 223 bikes Short Term: 75 bikes	Long term: 229 bikes Short Term: 96 bikes
❶ A variance to increase the permitted height by 4.0 metres and 2 extra storeys; ❷ A variance to reduce the number of parking spaces from 315 stalls to 295 stalls;		

# Variances

## Section 14.4.5 (c) Development Regulations

- ▶ To vary the maximum height from 15.0m / 4 storeys to 19.0m / 6 storeys.

## Table 8.1 Parking Schedule

- ▶ To vary the minimum parking requirements from 315 stalls to 295 stalls.
- ▶ Mid-rise buildings up to 6 storeys are appropriate in key urban locations where significant residential density is encouraged
- ▶ Parking variances is consistent with appropriate level of parking for rental residential projects

# Site Plan





Architectural site plan for Level 1 of a multi-unit residential building. The plan shows a central courtyard, multiple residential units (e.g., Unit A, Unit B, Unit C), a gym, a party room, and various service areas. The building is situated between Underhill Street and Idylworth Road. A legend indicates amenity, circulation, rental, retail, and service areas. The plan includes a scale of 1/8" = 1'-0" and a north arrow.

**LEGEND**

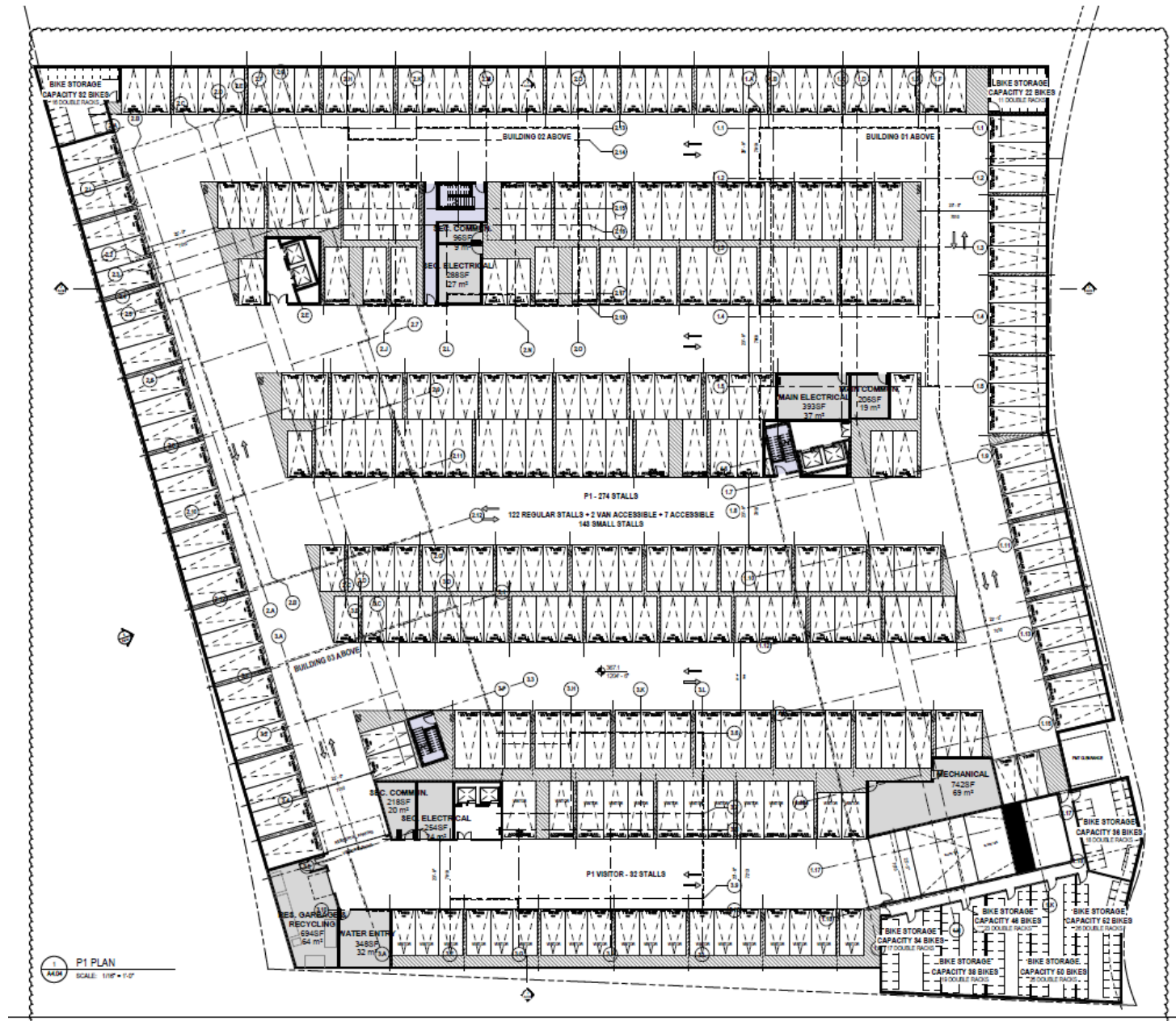
- AMENITY
- CIRCULATION
- RENTAL
- RETAIL
- SERVICE

**LEVEL 1**

SCALE: 1/8" = 1'-0"

1 LEVEL 1  
A2.14 SCALE: 1/16" = 1'-0"

# Underground parkade





# Elevations

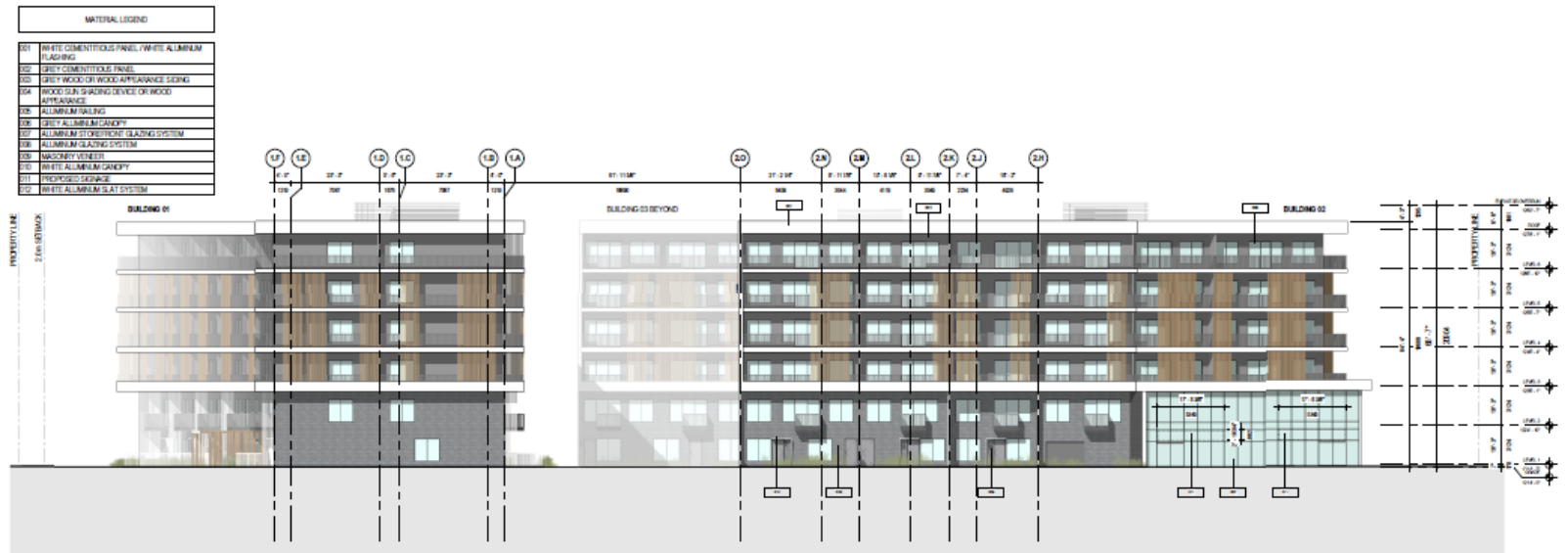


1 SOUTH ELEVATION  
A2.01 SCALE: 1/8" = 1'-0"





# Elevations



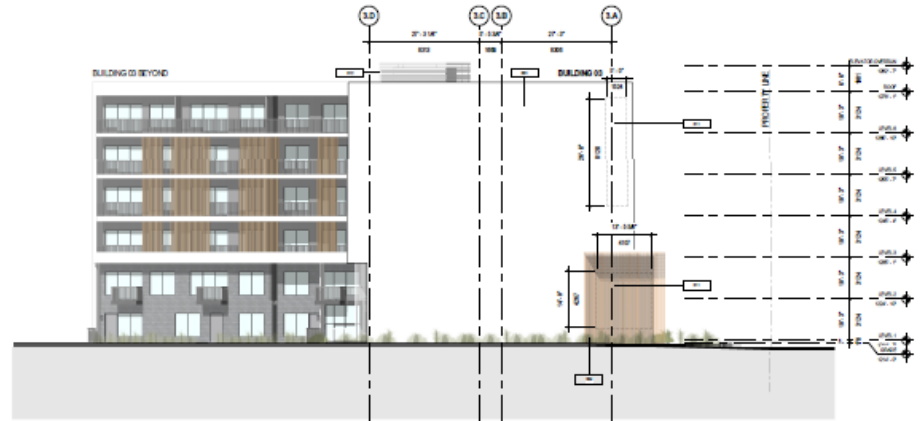
1 NORTH ELEVATION  
A2.01 SCALE: 1/16" = 1'-0"



2 EAST ELEVATION  
A2.01 SCALE: 1/16" = 1'-0"

# Elevations

WATERFALL LEGEND	
001	WHITE CEMENTITIOUS PANEL / WHITE ALUMINUM FLASHING
002	GREY CEMENTITIOUS PANEL
003	GREY WOOD / WOOD APPEARANCE SIDING
004	WOOD SLAT SIDING TYPE OF WOOD APPEARANCE
005	ALUMINUM SIDING
006	GREY ALUMINUM SIDING
007	ALUMINUM STONE/CLAY GLAZING SYSTEM
008	ALUMINUM GLAZING SYSTEM
009	MAKROBOND VENEER
010	WHITE ALUMINUM SIDING
011	PREFORMED SKIMCOE
012	WHITE ALUMINUM SLAT SYSTEM



1 INTERIOR ELEVATION LOOKING SOUTH  
A2.01 SCALE: 1/16" = 1'-0"



2 INTERIOR ELEVATION LOOKING WEST  
A2.D1 SCALE: 1/16" = 1'-0"

# Elevations

MATERIAL LEGEND	
001	WHITE CEMENTITIOUS PANEL / WHITE ALUMINUM FLASHING
002	GREY CEMENTITIOUS PANEL
003	GREY WOOD OR WOOD APPEARANCE SIDING
004	WOOD SUN SHADING DEVICE OR WOOD APPEARANCE
005	ALUMINUM RAILING
006	2017 ALUMINUM CLADDER
007	ALUMINUM STOREFRONT GLAZING SYSTEM
008	ALUMINUM GLAZING SYSTEM
009	MASONRY VENEER
010	WHITE ALUMINUM CANOPY
011	PROPOSED SIGNAGE
012	WHITE ALUMINUM SLAT SYSTEM



1  
A2.01  
INTERIOR ELEVATION LOOKING NORTH  
SCALE: 1/16" = 1'-0"

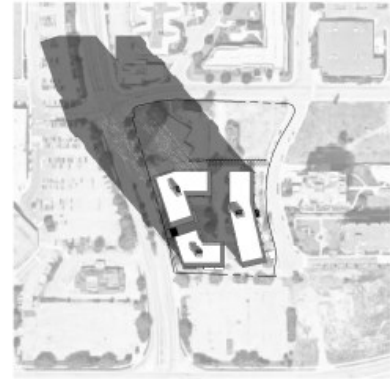


2  
A2.01  
INTERIOR ELEVATION LOOKING EAST  
SCALE: 1/16" = 1'-0"



# Shadow Studies

9AM



12PM



3PM



JUNE 21

EQUINOX

DECEMBER 21

# Renderings





# Renderings





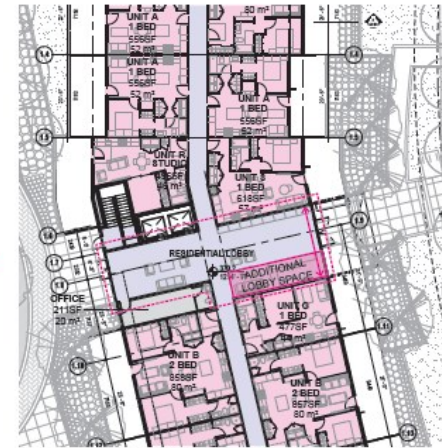
# Underhill Entry & Arch



UNDERHILL ENTRANCE VIEW



EXISTING UNDERHILL ENTRY PLAN



REVISED UNDERHILL ENTRY PLAN

- More generous lobby on Underhill
- Unit count remains the same (1 bed south of entrance was made a studio)
- Refined arch design



REFINED DESIGN

- Varied spacing of the wooden slats
- Addition of bench/resting area outside the lobby
- More pronounced signage



# Residential Patios



RESIDENTIAL PATIO ENTRY



PATIO PRECEDENTS



RESIDENTIAL PATIOS

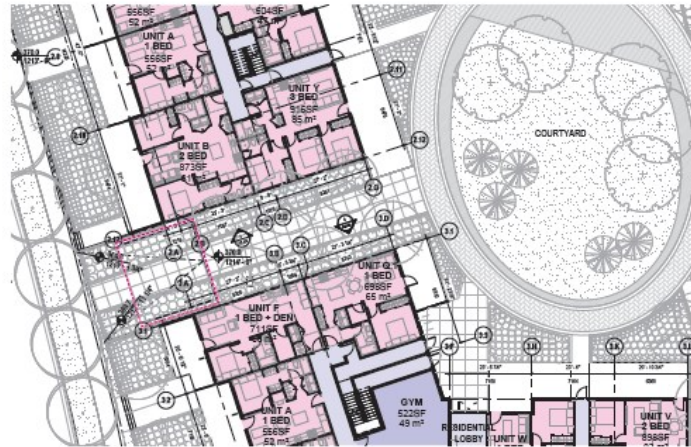


STEPPING ALONG DILWORTH

# Dilworth Arch



DILWORTH ENTRANCE VIEW



EXISTING UNDERHILL ENTRY PLAN



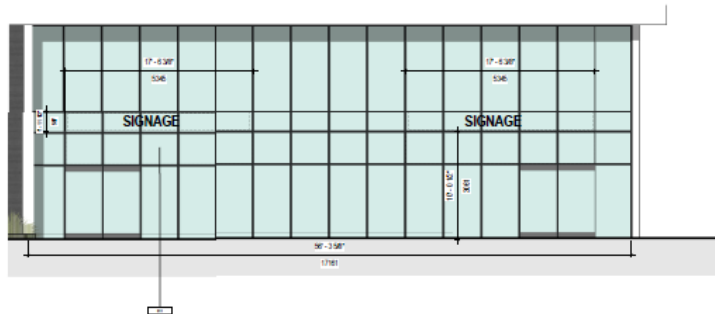
DILWORTH ARCH  
- Varied spacing of the wooden slats  
- Landscaped



ARCH PRECEDENTS



# Signage Plan



## 4.6 Facade Sign

4.6.1. 'Facade Sign' means a flat sign, illuminated or non-illuminated, that runs parallel to the facade of a building to which it is attached.

### 4.6.2. Regulations:

- (a) Shall not project above roof line or more than 0.4 m from the wall face.
- (b) Shall have a minimum vertical clearance of 2.5 m.
- (c) May be located above the second storey provided that the sign consists of only a logo, the name of a building, street address, or particular tenant.

## 9.3 Signage Regulations

(a) Maximum sizes of permanent signs:

- i. Facade Sign: Maximum sign area of 18.8 m<sup>2</sup> per linear metre of business frontage to a maximum of 20% of the area of the wall it is attached to.

## DESCRIPTION

Individual painted aluminum channel letters/logo with acrylic faces and face applied vinyl, internally illuminated with 4100K LEDs. Mounted to 3\" square aluminum recesses to conceal all electrical supply, attached to building facade and painted to match architectural finishes. Where attachment to horizontal architectural louvers is required, channel letters are directly mounted to louvers without recesses, electrical supply to be concealed within louvers. Maximum 2'-0\" overall logo height with maximum 1'-0\" letter height.



## 4.2 Canopy Sign

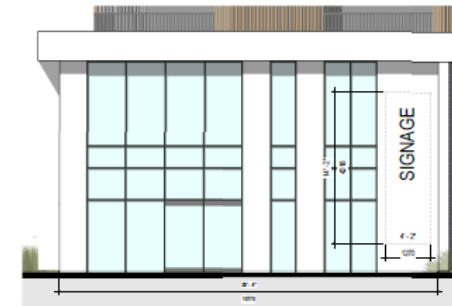
4.2.1. 'Canopy Sign' means a sign attached to, constructed as part of, or installed under, on top of, or in front of the face of a building canopy, and shall not include an Awning Sign.

### 4.2.2. Regulations:

- (a) Shall not extend beyond the horizontal limits of the canopy.
- (b) Shall conform with the Building Bylaw.
- (c) Where a canopy projects over public property, the canopy must have been issued a valid and subsisting Building Permit and comply with the City of Kelowna Building Bylaw and all other relevant bylaws and policies prior to the issuance of a Sign Permit.
- (d) A professional engineer registered in British Columbia shall prepare and seal the structure design.
- (e) The maximum sign area is 1.0 m<sup>2</sup> per linear meter of canopy to a maximum of 40% of the canopy face.
- (f) Shall have a minimum vertical clearance of 2.5 m.

## DESCRIPTION

Individual painted aluminum channel letters/logo, 1'-0\" letter height.



## 4.12 Wall Sign

4.12.1. 'Wall Sign' means a sign, painted mural or architectural feature that consists of a logo, the name of the building, street address or tenant name attached to any wall of a principal building or structure on a property, including retaining walls, fences freestanding walls and walls enclosing the perimeter of a property.

### 4.12.2. Regulations:

- (a) Shall not project above roof line.
- (b) The maximum sign area or mural area is 1.0 m<sup>2</sup> per linear metre of building frontage to a maximum of 20% of the wall surface to which it is attached.

## DESCRIPTION

Individual painted aluminum channel letters/logo. Maximum 4'-0\" overall logo height with maximum 3'-0\" letter height.



## 4.12 Wall Sign

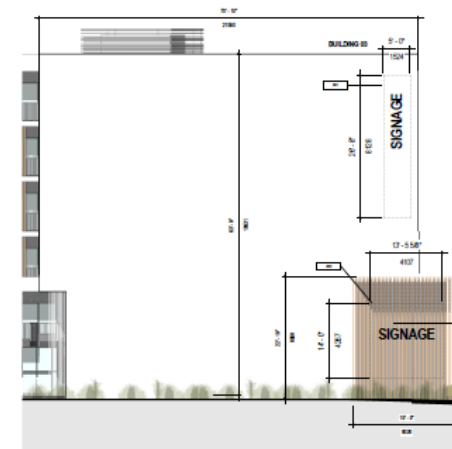
4.12.1. 'Wall Sign' means a sign, painted mural or architectural feature that consists of a logo, the name of the building, street address or tenant name attached to any wall of a principal building or structure on a property, including retaining walls, fences freestanding walls and walls enclosing the perimeter of a property.

### 4.12.2. Regulations:

- (a) Shall not project above roof line.
- (b) The maximum sign area or mural area is 1.0 m<sup>2</sup> per linear metre of building frontage to a maximum of 20% of the wall surface to which it is attached.

## DESCRIPTION

Individual painted aluminum channel letters/logo, 3\" letter height.



## 4.12 Wall Sign

4.12.1. 'Wall Sign' means a sign, painted mural or architectural feature that consists of a logo, the name of the building, street address or tenant name attached to any wall of a principal building or structure on a property, including retaining walls, fences freestanding walls and walls enclosing the perimeter of a property.

### 4.12.2. Regulations:

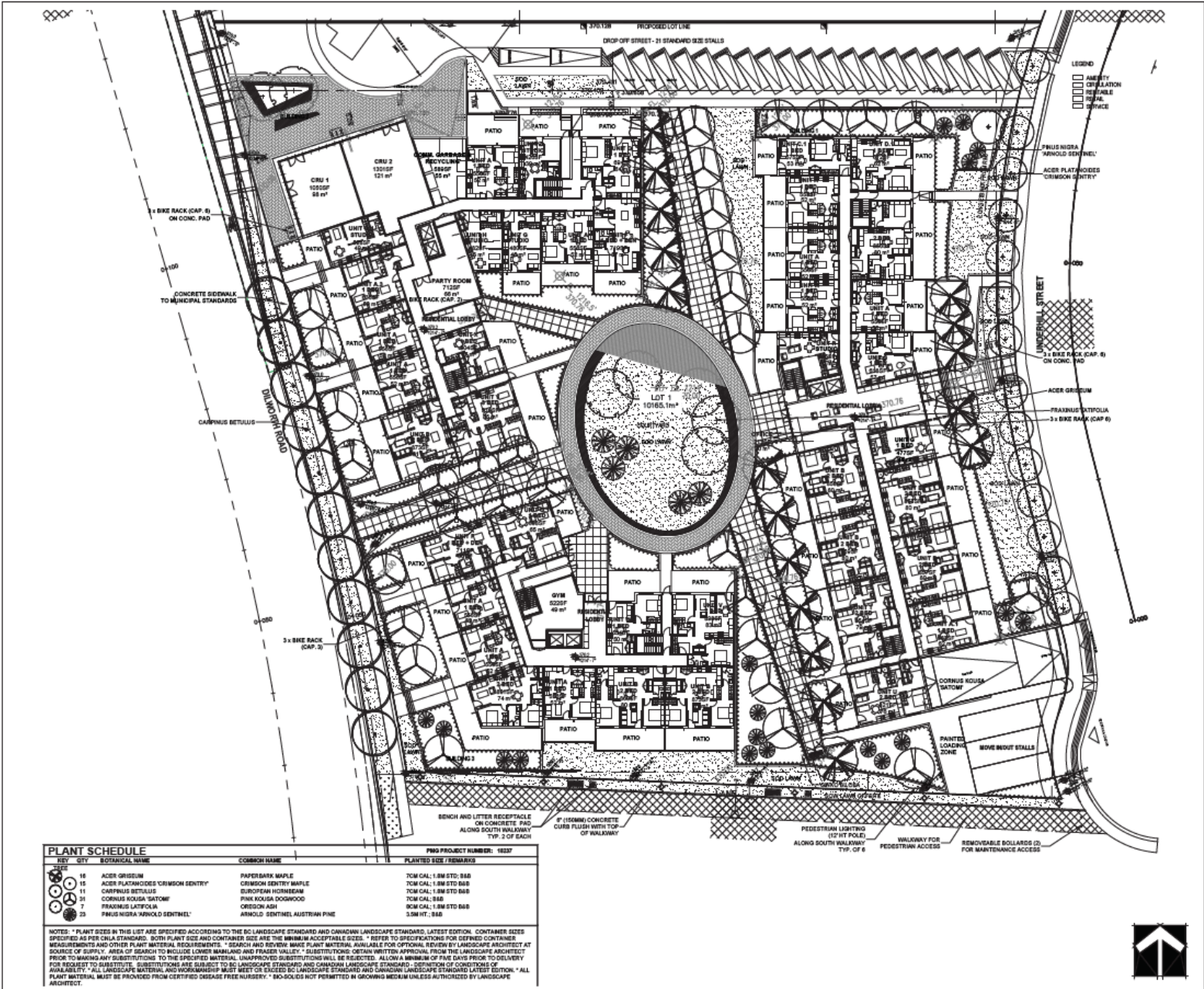
- (a) Shall not project above roof line.
- (b) The maximum sign area or mural area is 1.0 m<sup>2</sup> per linear metre of building frontage to a maximum of 20% of the wall surface to which it is attached.

## DESCRIPTION

- 01 Individual painted aluminum channel letters/logo, Max overall logo height 5', 3'-0\" letter height.
- 02 Individual painted aluminum channel letters/logo, Max logo height 14\", max sign area should not exceed 5m<sup>2</sup>.



# Landscape Plan



# Development Policy

- ▶ Ensure appropriate and context sensitive built form
- ▶ Urban Design Guidelines
- ▶ Land Use Designation Massing and Height
- ▶ Housing Mix
- ▶ Rental Housing
- ▶ Compact Urban Form
- ▶ Contain Urban Growth
- ▶ Midtown: 16 storeys, where the OCP designation provides for high-density multiple units.

# Staff Recommendation

- ▶ Staff are recommending support for the Development Permit and Development Variance Permit
  - ▶ Significant rental residential in key urban centre where residential growth is encouraged
  - ▶ Form and character meet guidelines
  - ▶ Height variance and parking variance are consistent with growth expectations on this site with rental residential units



## *Conclusion of Staff Remarks*