

Development Permit DP20-0052



This permit relates to land in the City of Kelowna municipally known as

1080–1090 Richter Street

and legally known as

Lot 1 District Lot 139 ODYD Plan 7858

and permits the land to be used for the following development:

I4 – Central Industrial

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

<u>Date of Decision</u>	October 5, 2020
<u>Decision By:</u>	Council
<u>Development Permit Area:</u>	Comprehensive Development Permit Area
Existing Zone:	I4 – Central Industrial
Future Land Use Designation:	IND – Industrial

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner:	Bromaxx Property Group Ltd., Inc. No. BC1021305
Applicant:	Redbird Brewing Inc – Powell Maxfield

Terry Barton
Development Planning Department Manager
Planning & Development Services

Date

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.

This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) An Irrevocable Letter of Credit **OR** certified cheque in the amount of **\$44,602.50**

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
 Security shall ONLY be returned to the signatory of the
 Landscape Agreement or their designates.**

December 12, 2019

Our File: 3394

City of Kelowna
1435 Water Street
Kelowna, BC V1Y 1J4

Attention: Land Use Management Department

Re: Application for a Development Permit, a Development Variance Permit and a Text Amendment to renovate an existing industrial facility to facilitate a brewery and lounge for Red Bird Brewing at 1080 Richter Street, Kelowna B.C

Project Description

Red Bird Brewing has been in full operation for over two years. With the popularity of the craft beer industry along with Kelowna's population growth and strong tourism we are now in a position where we need to expand our space.

Fortunately, the opportunity has come up to take over the neighboring building on our current property. We are submitting the drawings with our development permit application.

We are submitting a Development Permit to expand our current Brewery located on the property (1086 Richter St) to a larger building (1080, 1082, 1084 Richter St.) on the property. This property is currently zoned I4 Industrial which includes a Brewery as an acceptable use. The building we are expanding to is currently operating as an industrial manufacturing operation.

ILLUSTRATIONS:



Notes:

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Tabulated scales refer to Arch D size drawing sheet.

This drawing must not be scaled.

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Any omissions or discrepancies shall be reported to the architect.

Seal

- A 2020.06.12 Revision : Revisions to items as required by City of Kelowna - Development Planning Department
- B 2020.08.05 Revision : Revisions to items as required by City of Kelowna - Development Planning Department (July 30, 2020)

SCHEDULE A

This forms part of application
DP20-0052

Planner Initials **AF**

City of Kelowna
COMMUNITY PLANNING

CONSULTANTS:

ARCHITECTURAL:
PATRICK McCUSKER ARCHITECTURE INC.
3430 BENVOLIN ROAD,
KELOWNA, B.C. V1W 4M5
CONTACT: PATRICK McCUSKER AIBC, AAA, MRAIC
TEL: 778.484.0223 e-mail: pat@pmccarch.com

STRUCTURAL:
ROV CONSULTING INC.
101 - 2040 SPRINGFIELD ROAD,
KELOWNA, B.C. V1Y 9N7
CONTACT: NATE EAGERS BASc, E.I.T.
TEL: 250.860.0412 e-mail: nate@rovconsulting.ca

ELECTRICAL:
PARALYNX ENGINEERING
#32034 - 2151 LOUIE DRIVE,
WEST KELOWNA, B.C. V4T 3G2
CONTACT: GREG LYNCH P. Eng, MBA
TEL: 778.738.2172 x1 e-mail: greg.lynch@paralynxengineering.com

MECHANICAL:
DELTA-T CONSULTANTS LTD.
101 - 1449 ST. PAUL STREET,
KELOWNA, B.C. V1Y 2E5
CONTACT: ERIC SCHREDL P.Eng,
TEL: 250.860.5550 e-mail: eric@delta-t.ca

LANDSCAPE ARCHITECT:
OUTLAND DESIGN LANDSCAPE ARCHITECTURE
303-500 KLO ROAD
KELOWNA, B.C. V1Y 7S2
CONTACT: FIONA BARTON
TEL: 250.868.9270 e-mail: fiona@outlanddesign.ca



DRAWING INDEX:

DWG. No.	DRAWING NAME
DP0.00	COVER SHEET
DP1.00	SITE PLAN
DP2.00	MAIN FLOOR PLAN
DP2.01	MAIN FLOOR PLAN (OCCUPANCY LOADS)
DP3.00	LICENSED & UN-LICENSED AREAS
DP3.01	ELEVATIONS AND SITE SECTION ELEVATIONS
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S200	EXISTING FOUNDATION PLAN
S300	EXISTING ROOF FRAMING PLAN
S400	FRONT ELEVATION, SECTIONS & DETAILS
ELECTRICAL:	
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E0.2	DETAILS
E0.3	SINGLE LINE DIAGRAM
E0.4	PHOTOMETRICS
E1.0	MAIN FLOOR - POWER & TEL/DATA LAYOUT
E1.1	MAIN FLOOR - LIGHTING LAYOUT
E2.0	ROOF - POWER & TEL/DATA LAYOUT
E3.0	FIRE ALARM SPECIFICATIONS
E4.0	SCHEDULES
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E5.0	SPECIFICATIONS
MECHANICAL:	
M-1.01	UNDERGROUND PIPING
M-1.02	MAIN FLOOR PLUMBING
M-2.01	MAIN FLOOR HVAC
M-2.02	ROOF TOP MECHANICAL PLAN
M-3.01	SPECIFICATIONS & SCHEDULES
LANDSCAPE:	
L1/2	CONCEPTUAL LANDSCAPE PLAN
L2/2	WATER CONSERVATION / IRRIGATION PLAN

PROJECT STATISTICS:

PROJECT DATA			
CIVIC ADDRESS: 1080 RICHTER STREET, KELOWNA BC			
LEGAL DESCRIPTION: LOT 2, PLAN EPP12919, TS 26, SEC 34, PID 028-713-851			
PROJECT NAME: RED BIRD BREWING INC. EXPANSION			
APPLICANT: ADAM SEMENIUK, CELL No. 778-821-0404			
ZONING BYLAW REQUIREMENTS			
CURRENT ZONING: I-4 CENTRAL INDUSTRIAL			
LOT AREA = 2,090.25 sq m			
INTENDED USAGE: BREWERIES, MAJOR & FOOD/LIQUOR PRIMARY			
BUILDING AREAS:			
EXISTING BUILDING: GROSS FLOOR AREA (GFA) = 464.5 sq m			
PROPERTY & STRUCTURES	PERMITTED/REQ'D	PROPOSED/ACTUAL	
LOT WIDTH (min)	40.0m	45.72m	
LOT DEPTH (min)	30.0m	45.72m	
LOT AREA (min)	1,300 sq.m.	2,090.3 sq.m.	
FLOOR AREA RATIO (max)	3.0	0.3	
LOT COVERAGE (max %)	N/A	33.3%	
BUILDING HEIGHT (max)	18.0m	N/A	
SETBACKS (m)			
FRONT (BLDG 'A')	0.0m	3.09m	
SOUTH SIDE (BLDG 'A')	0.0m	0.28m	
NORTH SIDE (BLDG 'B')	0.0m	0.10m	
REAR (BLDG 'B')	0.0m	0.12m	
PARKING	REQ'D	PROVIDED	
PROPOSED RENOVATED BUILDING	7 STALLS	7 STALLS	
TOTAL PARKING FOR BUILDING 'B'		7 STALLS	
LOADING SPACES			
1 SPACE PER 2,800 sq.m. GFA	= 1 SPACE	1 SPACE	
HANDICAP PARKING			
1 SPACE FOR > 50 STALLS	= 1 SPACE	1 STALL	
BICYCLE PARKING SPACES			
FOOD/LIQUOR PRIMARY CLASS I: CLASS I = 0.1 PER 100 sq.m. GFA OR 1 PER 10 EMPLOYEES (397.9 sqm / 100 sq m) x 0.1	= 0.4 STALLS	56 STALLS	
GENERAL INDUSTRIAL USE CLASS II: CLASS II = 0.3 PER 100 sq.m. GFA (269.5 sqm / 100 sq m) x 0.3	= 0.8 STALLS	10 STALLS	
COMMERCIAL (OFFICES) CLASS II = 0.6 PER 100 sq.m. GFA (92.8 sqm / 100 sq m) x 0.6	= 0.6 STALLS	10 STALLS	
TOTAL BICYCLE STALLS	= 1.8 STALLS	76 STALLS	
LANDSCAPE BUFFERS (m)			
LANDSCAPE BUFFERS NOT REQ'D DUE TO 0.0m SETBACKS AT ALL PL's			

LOCATION MAP:



No.	Date	Description
03	2020.06.25	Issued for Building Permit
02	2020.06.25	Re-Issued for Development Permit
01	2019.12.11	Issued for Development Permit

Revisions

PM A

PATRICK McCUSKER
ARCHITECTURE INC.

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KELOWNA B.C. V1W 4M5
~ Phone: 778-484-0223 ~
pat@pmccarch.com
www.pmccarch.com

project title
RED BIRD BREWING
BREWERY EXPANSION
1080-1090 RICHTER STREET
KELOWNA, B.C.

project no. 3394

drawing title
**COVER SHEET &
ZONING ANALYSIS**

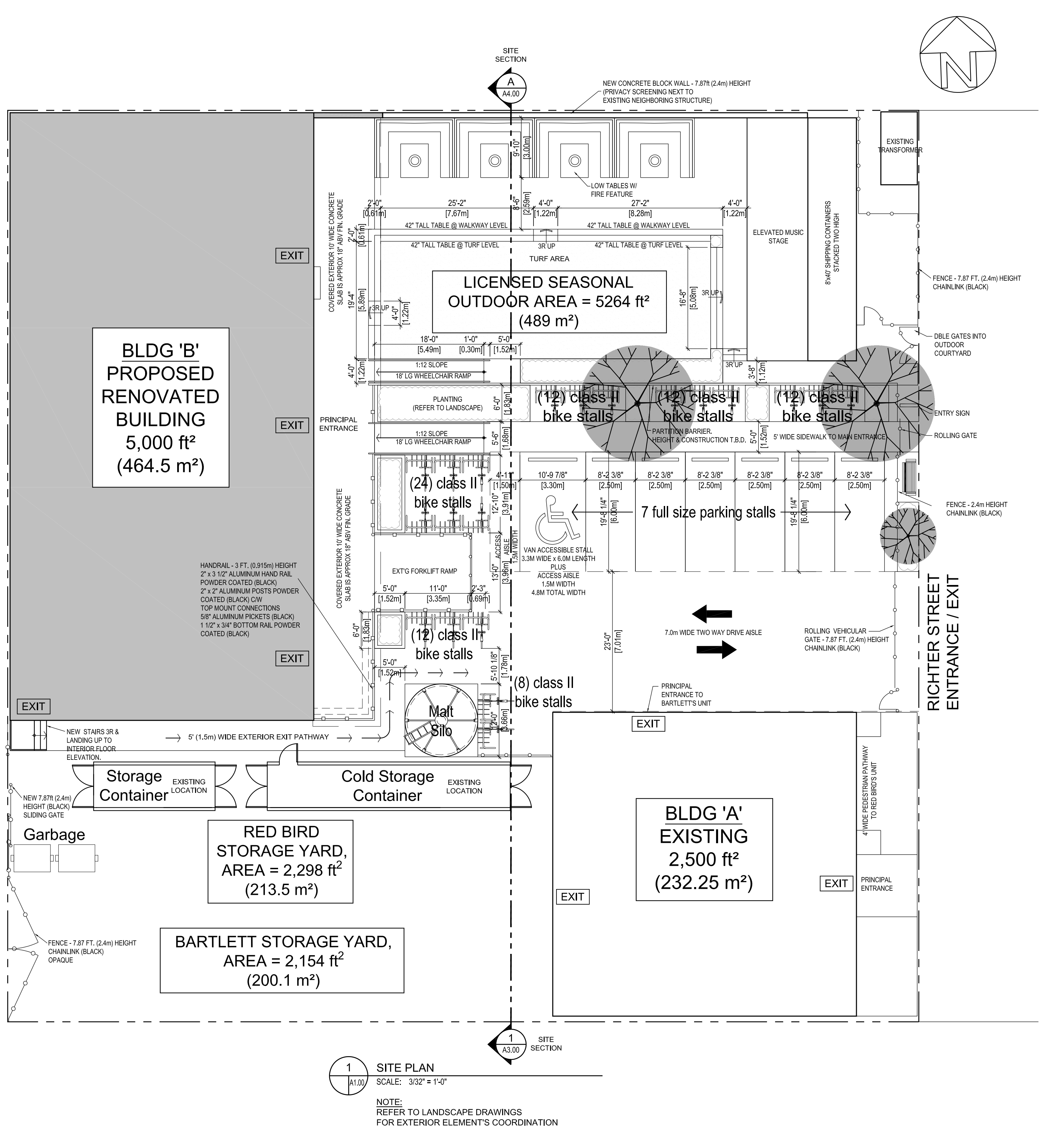
designed	scale N/A
drawn	
checked	PMC
drawing no.	

DP0.00

plotted September 8, 2020 08:31 AM

BACK LANE (SERVICE ROAD)

LANE ENTRANCE TO STORAGE YARDS



1 SITE PLAN
SCALE: 3/32" = 1'-0"
NOTE:
REFER TO LANDSCAPE DRAWINGS
FOR EXTERIOR ELEMENTS COORDINATION

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SCHEDULE A
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DP20-0052
Planner Initials AF
City of Kelowna COMMUNITY PLANNING

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No. Date Description
Revisions

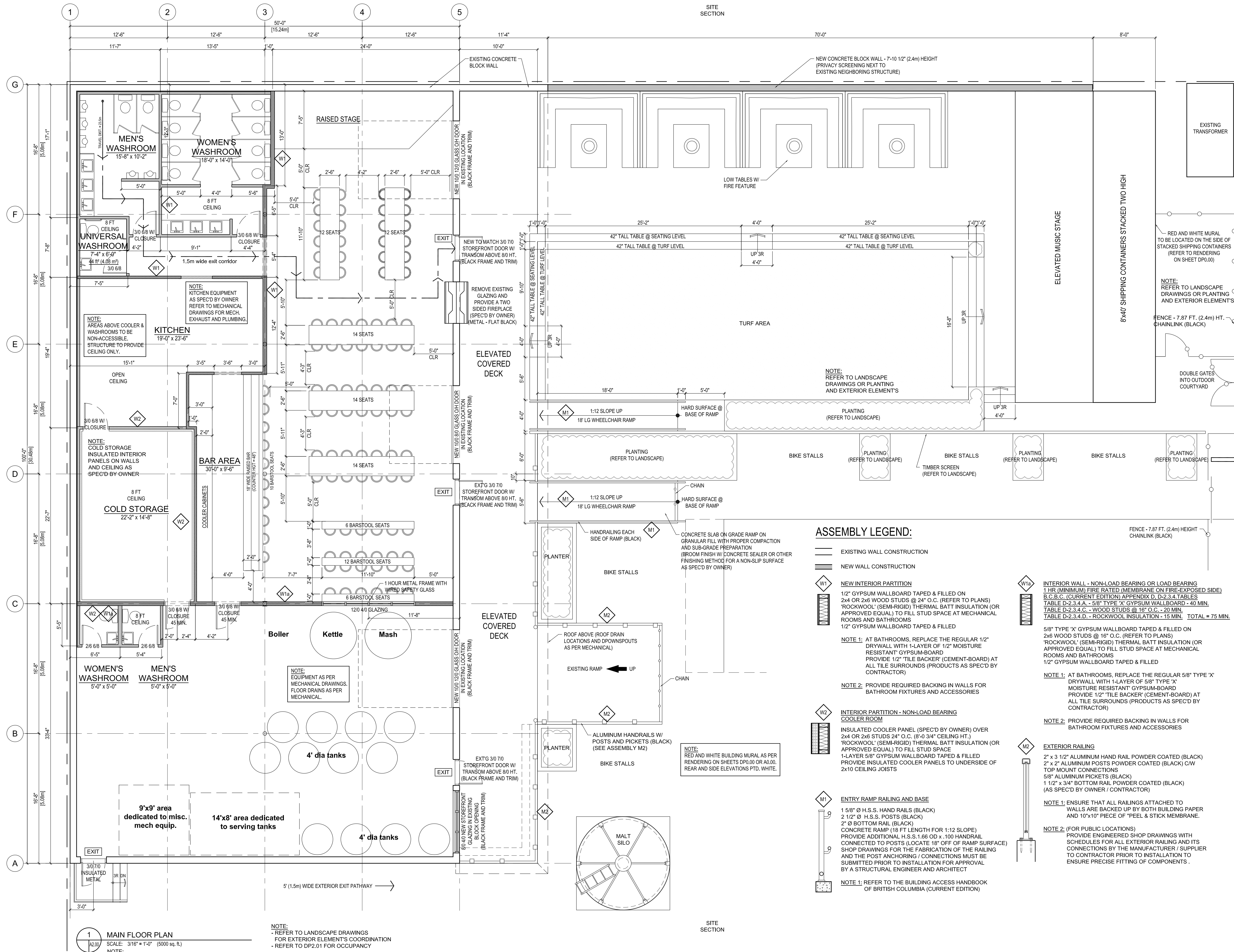
PM
P A T R I C K M C C U S K E R
A R C H I T E C T U R E I N C .
A A A M A I B C M R A I C
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p a t @ p m c c a r c h . c o m
w w w . p m c c a r c h . c o m

project title
**RED BIRD BREWING
BREWERY EXPANSION**
1080-1090 RICHTER STREET
KELOWNA, B.C.
project no. 3394
drawing title
SITE PLAN

designed	scale 3/32" = 1'-0"
drawn WJZ	
checked PMC	
drawing no.	

DP1.00

plotted September 8, 2020 08:34 AM

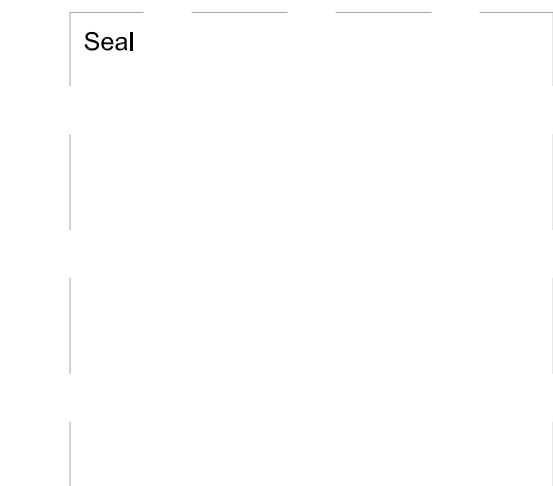


1 MAIN FLOOR PLAN
SCALE: 3/16" = 1'-0" (5000 sq. ft.)
NOTE:

NOTE:
- REFER TO LANDSCAPE DRAWINGS
FOR EXTERIOR ELEMENTS COORDINATION
- REFER TO DP2.01 FOR OCCUPANCY

SITE SECTION

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City of Kelowna
COMMUNITY PLANNING

ASSEMBLY LEGEND:

- EXISTING WALL CONSTRUCTION
- NEW WALL CONSTRUCTION

- NEW INTERIOR PARTITION**
1/2" GYPSUM WALLBOARD TAPED & FILLED ON 2x4 OR 2x6 WOOD STUDS @ 24" O.C. (REFER TO PLANS)
"ROCKWOOL" (SEMI-RIGID) THERMAL BATT INSULATION (OR APPROVED EQUAL) TO FILL STUD SPACE AT MECHANICAL ROOMS AND BATHROOMS
1/2" GYPSUM WALLBOARD TAPED & FILLED
- NOTE 1:** AT BATHROOMS, REPLACE THE REGULAR 1/2" DRYWALL WITH 1-LAYER OF 1/2" MOISTURE RESISTANT GYPSUM-BOARD PROVIDE 1/2" "TILE BACKER" (CEMENT-BOARD) AT ALL TILE SURROUNDS (PRODUCTS AS SPEC'D BY CONTRACTOR)
- NOTE 2:** PROVIDE REQUIRED BACKING IN WALLS FOR BATHROOM FIXTURES AND ACCESSORIES
- INTERIOR PARTITION - NON-LOAD BEARING COOLER ROOM**
INSULATED COOLER PANEL (SPEC'D BY OWNER) OVER 2x4 OR 2x6 STUDS 24" O.C. (8'-0" 3/4" CEILING HT.)
"ROCKWOOL" (SEMI-RIGID) THERMAL BATT INSULATION (OR APPROVED EQUAL) TO FILL STUD SPACE
1-LAYER 5/8" GYPSUM WALLBOARD TAPED & FILLED PROVIDE INSULATED COOLER PANELS TO UNDERSIDE OF 2x10 CEILING JOISTS
- ENTRY RAMP RAILING AND BASE**
1 5/8" Ø H.S.S. HAND RAILS (BLACK)
2 1/2" Ø H.S.S. POSTS (BLACK)
2" Ø BOTTOM RAIL (BLACK)
CONCRETE RAMP 118 FT LENGTH FOR 1:12 SLOPE
PROVIDE ADDITIONAL H.S.S. 1.66 OD x 100 HANDRAIL CONNECTED TO POSTS (LOCATE 18" OFF OF RAMP SURFACE)
SHOP DRAWINGS FOR THE FABRICATION OF THE RAILING AND THE POST ANCHORING / CONNECTIONS MUST BE SUBMITTED PRIOR TO INSTALLATION FOR APPROVAL BY A STRUCTURAL ENGINEER AND ARCHITECT
- NOTE 1:** REFER TO THE BUILDING ACCESS HANDBOOK OF BRITISH COLUMBIA (CURRENT EDITION)

- INTERIOR WALL - NON-LOAD BEARING OR LOAD BEARING 1 HR (MINIMUM) FIRE RATED (MEMBRANE ON FIRE-EXPOSED SIDE) B.C.B.C. (CURRENT EDITION) APPENDIX D-D-2.3.4 TABLES**
TABLE D-2.3.4.A - 5/8" TYPE 'X' GYPSUM WALLBOARD - 40 MIN.
TABLE D-2.3.4.C - WOOD STUDS @ 16" O.C. - 20 MIN.
TABLE D-2.3.4.D - ROCKWOOL INSULATION - 15 MIN. TOTAL = 75 MIN.
- 5/8" TYPE 'X' GYPSUM WALLBOARD TAPED & FILLED ON 2x6 WOOD STUDS @ 16" O.C. (REFER TO PLANS)
"ROCKWOOL" (SEMI-RIGID) THERMAL BATT INSULATION (OR APPROVED EQUAL) TO FILL STUD SPACE AT MECHANICAL ROOMS AND BATHROOMS
1/2" GYPSUM WALLBOARD TAPED & FILLED
- NOTE 1:** AT BATHROOMS, REPLACE THE REGULAR 5/8" TYPE 'X' DRYWALL WITH 1-LAYER OF 5/8" TYPE 'X' MOISTURE RESISTANT GYPSUM-BOARD PROVIDE 1/2" "TILE BACKER" (CEMENT-BOARD) AT ALL TILE SURROUNDS (PRODUCTS AS SPEC'D BY CONTRACTOR)
- NOTE 2:** PROVIDE REQUIRED BACKING IN WALLS FOR BATHROOM FIXTURES AND ACCESSORIES
- EXTERIOR RAILING**
2" x 3 1/2" ALUMINUM HAND RAIL POWDER COATED (BLACK)
2" x 2" ALUMINUM POSTS POWDER COATED (BLACK) C/W TOP MOUNT CONNECTIONS
5/8" ALUMINUM PICKETS (BLACK)
1 1/2" x 3/4" BOTTOM RAIL POWDER COATED (BLACK) (AS SPEC'D BY OWNER / CONTRACTOR)
- NOTE 1:** ENSURE THAT ALL RAILINGS ATTACHED TO WALLS ARE BACKED UP BY BOTH BUILDING PAPER AND 10"x10" PIECE OF "PEEL & STICK MEMBRANE.
- NOTE 2:** (FOR PUBLIC LOCATIONS)
PROVIDE ENGINEERED SHOP DRAWINGS WITH SCHEDULES FOR ALL EXTERIOR RAILING AND ITS CONNECTIONS BY THE MANUFACTURER / SUPPLIER TO CONTRACTOR PRIOR TO INSTALLATION TO ENSURE PRECISE FITTING OF COMPONENTS.

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PM

PATRICK MCCUSKER
ARCHITECTURE INC.

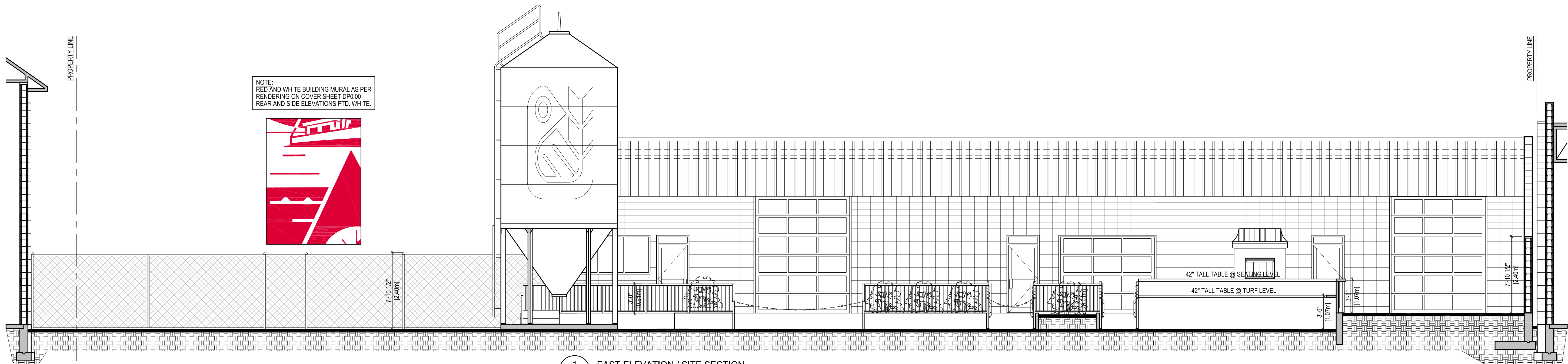
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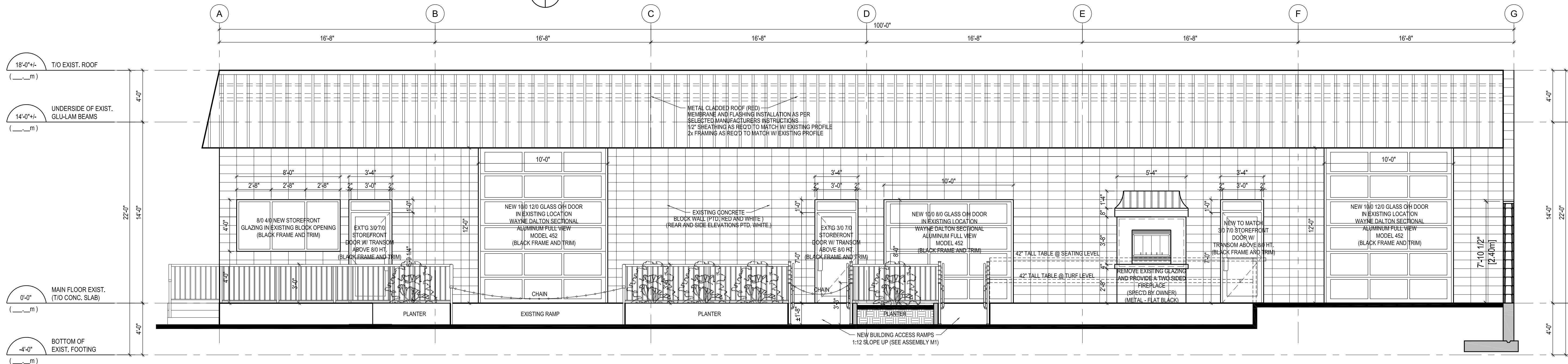
drawing title
MAIN FLOOR PLAN

designed	scale
drawn	3/16" = 1'-0"
checked	PMC
drawing no.	

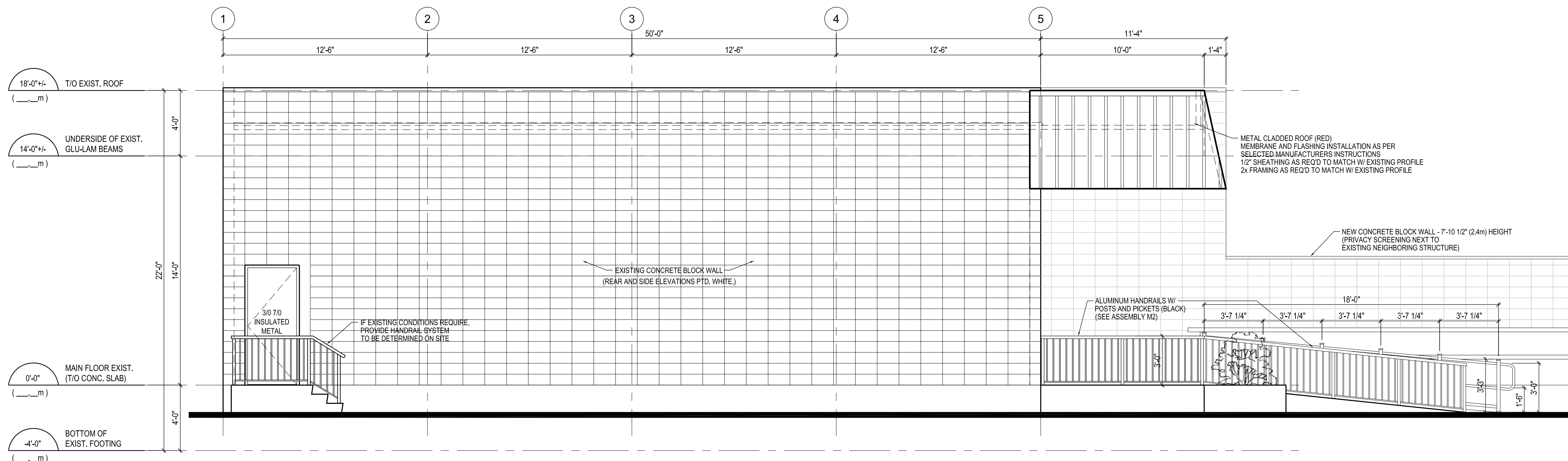
DP2.00
September 8, 2020 08:36 AM



1 EAST ELEVATION / SITE SECTION
DP 3.00 SCALE: 3/16" = 1'-0"



2 FRONT ELEVATION
DP 3.00 SCALE: 1/4" = 1'-0"



3 RIGHT SIDE ELEVATION
DP 3.00 SCALE: 1/4" = 1'-0"

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SCHEDULE B
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City of Kelowna
COMMUNITY PLANNING

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Revisions		

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pat@pmccarch.com
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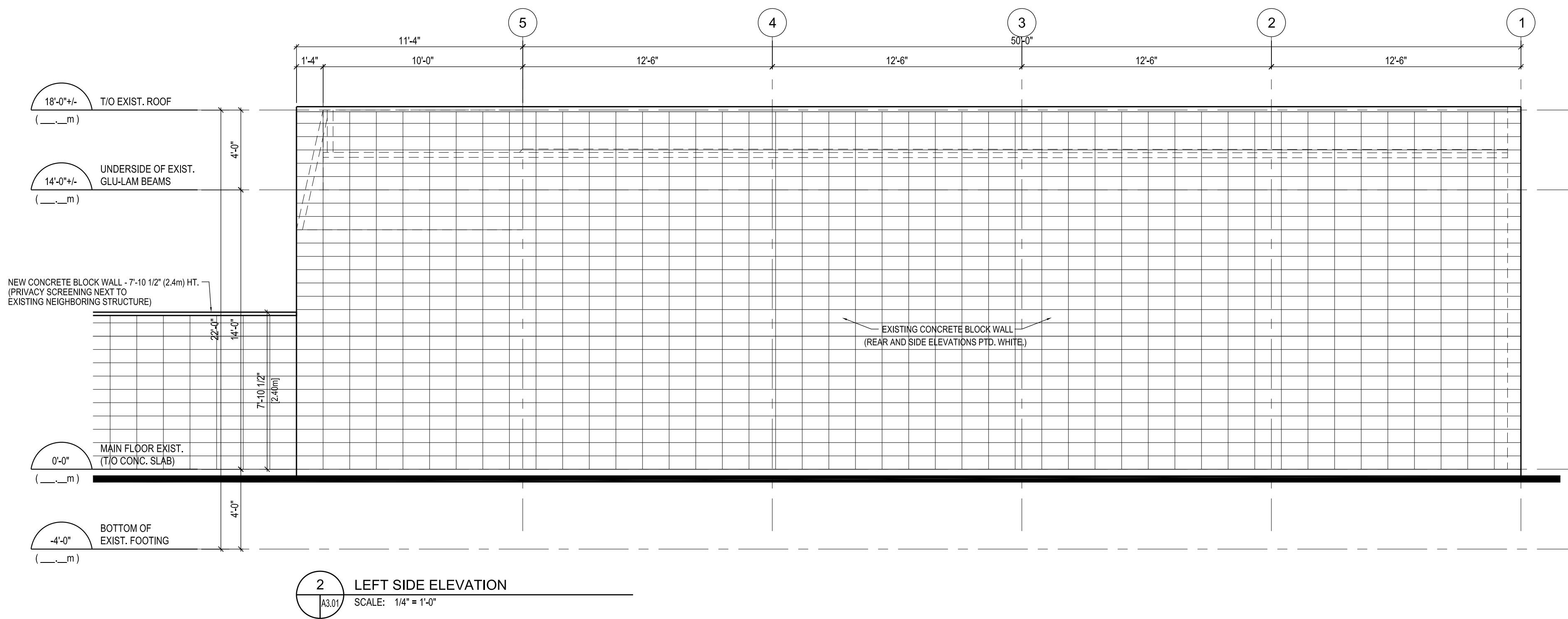
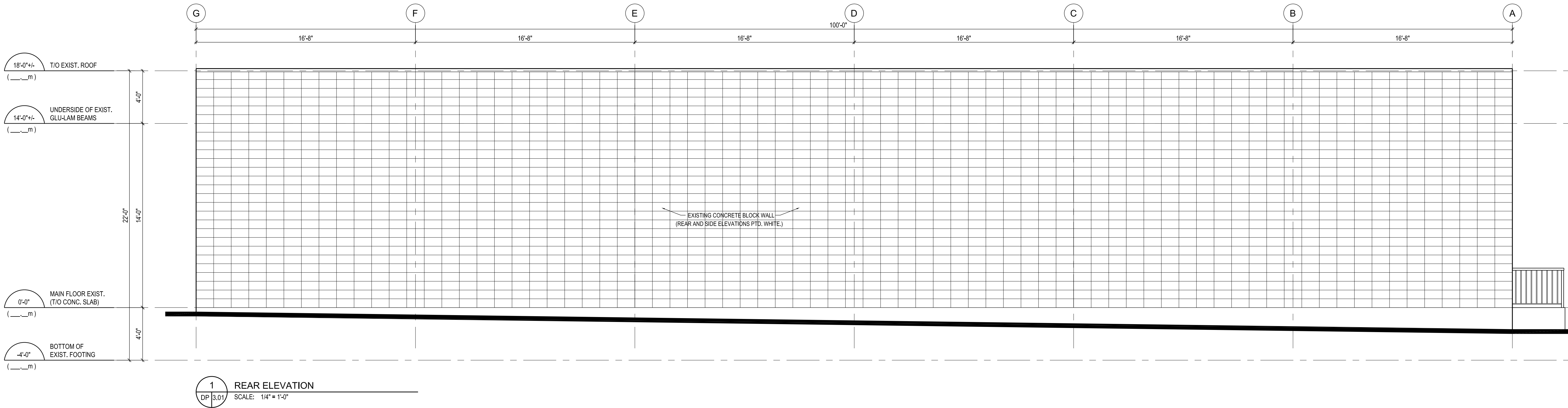
project no. 3394

drawing title
ELEVATIONS

designed	scale 1/4" = 1'-0"
drawn	WJZ
checked	PMC
drawing no.	

DP3.00

plotted September 8, 2020 08:40 AM



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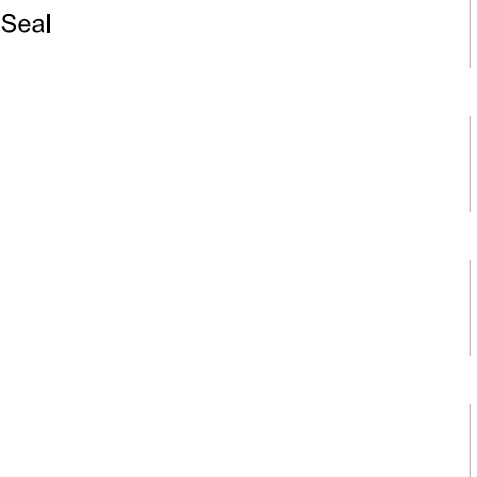
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SCHEDULE B

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City of Kelowna
COMMUNITY PLANNING

Planner Initials AF

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Revisions

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ARCHITECTURE INC.

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KELOWNA B.C. V1W 4M5
~ Phone: 778-484-0223 ~
pat@pmccarch.com
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BREWERY EXPANSION
1080-1090 RICHTER STREET
KELOWNA, B.C.

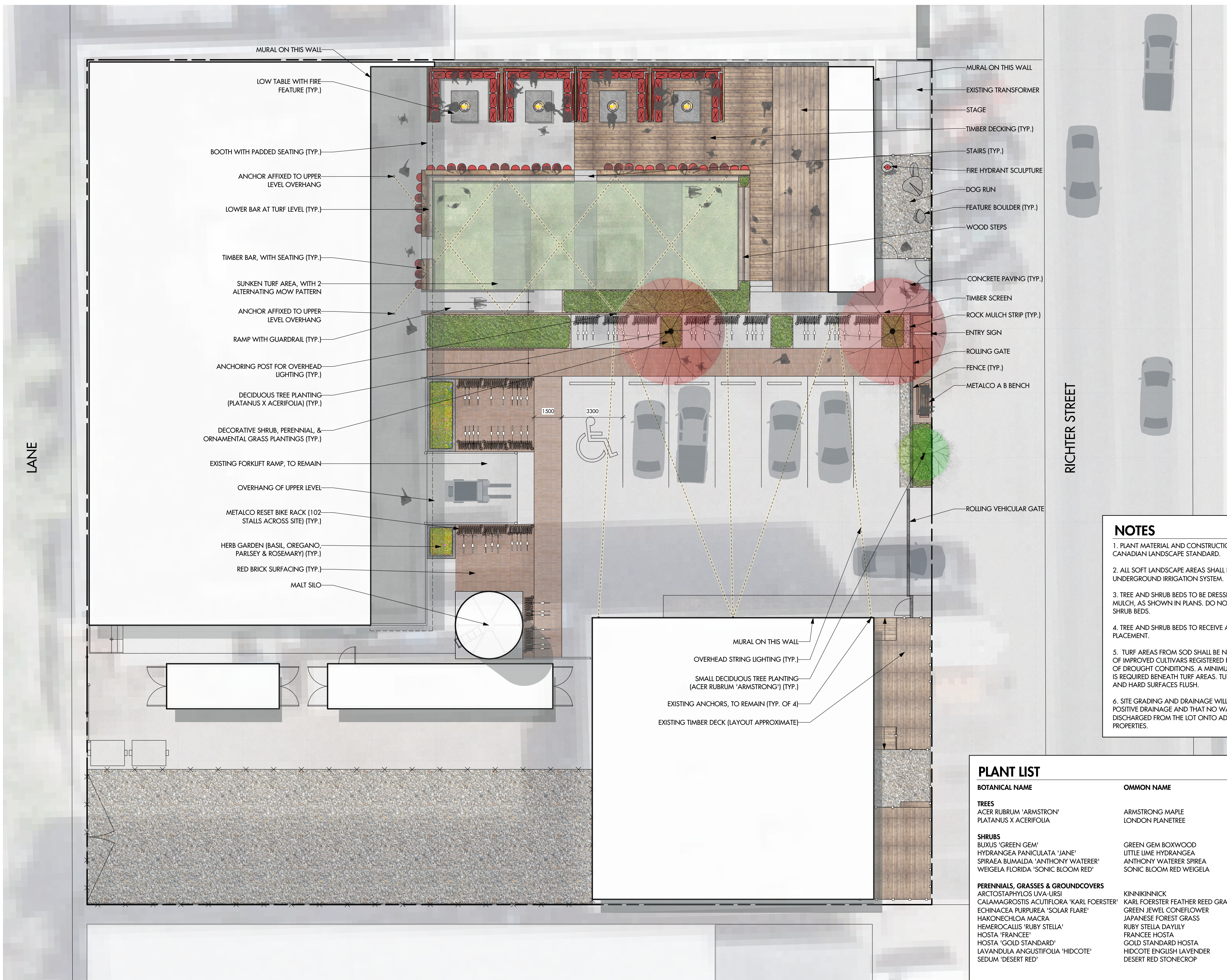
project no. 3394

drawing title
ELEVATIONS

designed	scale 3/16" = 1'-0"
drawn WJZ	
checked PMC	
drawing no.	

DP3.01

plotted September 8, 2020 08:42 AM



- NOTES**
1. PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED THE CANADIAN LANDSCAPE STANDARD.
 2. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.
 3. TREE AND SHRUB BEDS TO BE DRESSED IN A MINIMUM 50mm DOUGLAS RED FIR MULCH, AS SHOWN IN PLANS. DO NOT PLACE WEED MAT UNDERNEATH TREE AND SHRUB BEDS.
 4. TREE AND SHRUB BEDS TO RECEIVE A MINIMUM 300mm DEPTH TOPSOIL PLACEMENT.
 5. TURF AREAS FROM SOD SHALL BE NO. 1 GRADE GROWN FROM CERTIFIED SEED OF IMPROVED CULTIVARS REGISTERED FOR SALE IN B.C. AND SHALL BE TOLERANT OF DROUGHT CONDITIONS. A MINIMUM OF 100mm DEPTH OF GROWING MEDIUM IS REQUIRED BENEATH TURF AREAS. TURF AREAS SHALL MEET EXISTING GRADES AND HARD SURFACES FLUSH.
 6. SITE GRADING AND DRAINAGE WILL ENSURE THAT ALL STRUCTURES HAVE POSITIVE DRAINAGE AND THAT NO WATER OR LOOSE IMPEDIMENTS WILL BE DISCHARGED FROM THE LOT ONTO ADJACENT PUBLIC, COMMON, OR PRIVATE PROPERTIES.

PLANT LIST			
BOTANICAL NAME	OMMON NAME	QTY	SIZE/SPACING & REMARKS
TREES			
ACER RUBRUM 'ARMSTRON'	ARMSTRONG MAPLE	1	6cm CAL.
PLATANUS X ACERIFOLIA	LONDON PLANETREE	2	6cm CAL.
SHRUBS			
BUXUS 'GREEN GEM'	GREEN GEM BOXWOOD	2	#02 CONT. /1.0M O.C. SPACING
HYDRANGEA PANICULATA 'JANE'	LITTLE LIME HYDRANGEA	1	#02 CONT. /1.5M O.C. SPACING
SPIRAEA BUMALDA 'ANTHONY WATERER'	ANTHONY WATERER SPIREA	2	#02 CONT. /1.2M O.C. SPACING
WEIGELA FLORIDA 'SONIC BLOOM RED'	SONIC BLOOM RED WEIGELA	2	#02 CONT. /1.2M O.C. SPACING
PERENNIALS, GRASSES & GROUNDCOVERS			
ARCTOSTAPHYLOS UVA-URSI	KINNICKINICK	4	#01 CONT. /0.75M O.C. SPACING
CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	4	#01 CONT. /0.75M O.C. SPACING
ECHINACEA PURPUREA 'SOLAR FLARE'	GREEN JEWEL CONEFLOWER	6	#01 CONT. /0.6M O.C. SPACING
HAKONECHLOA MACRA	JAPANESE FOREST GRASS	8	#01 CONT. /0.5M O.C. SPACING
HEMEROCALLIS 'RUBY STELLA'	RUBY STELLA DAYLILY	6	#01 CONT. /0.6M O.C. SPACING
HOSTA 'FRANCEE'	FRANCEE HOSTA	6	#01 CONT. /0.6M O.C. SPACING
HOSTA 'GOLD STANDARD'	GOLD STANDARD HOSTA	2	#01 CONT. /1.0M O.C. SPACING
LAVANDULIA ANGSTUFOLIA 'HIDCOTE'	HIDCOTE ENGLISH LAVENDER	6	#01 CONT. /0.6M O.C. SPACING
SEDUM 'DESERT RED'	DESERT RED STONECROP	6	#01 CONT. /0.6M O.C. SPACING

ISSUED FOR / REVISION		
1	20.03.26	Review
2	20.03.31	Review
3	20.04.08	Review
4	20.06.19	Review
5	29.06.19	Review

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