

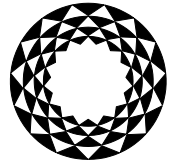
ATTACHMENT

This forms part of application

DVP20-0142

Planner
Initials

City of
Kelowna
DEVELOPMENT PLANNING



Development Variance Permit DVP20-0142

City of
Kelowna

This permit relates to land in the City of Kelowna municipally known as

4341 Hazell Road, Kelowna, BC

and legally known as

Lot 3 District Lot 358 ODYD Plan 18307

and permits the land to be used for the following development:

Single Dwelling Housing

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council Decision:

Decision By: COUNCIL

Development Permit Area: N/A

Existing Zone: RU1 – Large Lot Housing

Future Land Use Designation: S2RES – Single / Two Unit Residential

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Long Van Thanh Quang & Iona Ladine Quang

Applicant: Richard Michel

Planner: Arlene Janousek

Terry Barton
Community Planning Department Manager
Planning & Development Services

Date

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";

AND THAT a variance to the following section of Zoning Bylaw No. 8000 be granted:

Section 13.1.6(c): RU1 - Large Lot Housing Development Regulations

To vary the required minimum front yard from 4.5 m permitted to 2.5 m proposed.

This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.

3. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**

GENERAL SPECIFICATIONS

CODES & STANDARDS

ALL WORKMANSHIP TO BE OF A STANDARD EQUAL IN ALL RESPECTS TO GOOD NORTH AMERICAN BUILDING PRACTICES AT TIME OF PREPARATION THESE DRAWINGS WERE MADE IN ACCORDANCE TO NATIONAL BUILDING CODE STANDARDS, B.C. BUILDING CODE STANDARDS AS WELL AS LOCAL BUILDING CODE REQUIREMENTS FOR SPECIFIC CONDITIONS. IT IS THE RESPONSIBILITY OF THE PLAN HOLDER (OWNER OR BUILDER) TO ENSURE THAT ANY CHANGES OR AMENDMENTS TO CODE STANDARDS BE INCORPORATED INTO THESE DRAWINGS. ALL WORK SHALL CONFORM TO LOCAL OR REGIONAL BUILDING CODES AND ANY LOCAL BYLAW WHICH MAY TAKE PRECEDENCE. THE BUILDER IS RESPONSIBLE TO VERIFY ALL INFORMATION, DIMENSIONS & SPECIFICATIONS REGARDING THESE PLANS PRIOR TO COMMENCEMENT OF CONSTRUCTION. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED MEASUREMENTS. ANY VARIATION REGARDING STRUCTURAL ELEMENTS OR SPECIFICATIONS OF THESE DRAWINGS DUE TO VARIATIONS IN SITE CONDITIONS SHALL BE RESOLVED BY THE BUILDER OR OWNER. SUCH RESOLUTIONS ARE TO BE THEIR SOLE RESPONSIBILITY.

CONCRETE FOUNDATIONS

ALL CAST-IN-PLACE CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2900 PSI (20MPa) AT 28 DAYS. CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED SOIL OR COMPACTED SOIL TO AN ELEVATION BELOW FROST LEVEL. FOOTINGS SHOWN ON THESE DRAWINGS HAVE BEEN DESIGNED FOR A SOIL BEARING CAPACITY OF 2500 PSF. IT IS THE RESPONSIBILITY OF THE BUILDER OR OWNER TO HAVE THE FOOTINGS REDESIGNED BY QUALIFIED PERSONS TO SUIT ANY LESSER BEARING CAPACITY CONDITIONS WHICH MAY BE ENCOUNTERED ON SITE. FOUNDATION WALLS SHALL NOT BE BACKFILLED UNTIL CONCRETE OR MASONRY GROUT HAS REACHED ITS SPECIFIC 28 DAY STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING SUB-FLOOR) REQUIRED TO STABILIZE WALLS IS COMPLETELY & FULLY Nailed & ANCHORED. ALL CONCRETE & MASONRY FOUNDATION WALLS REQUIRED TO EXCEED THE LIMITS STATED IN THE NATIONAL BUILDING CODE ARE REQUIRED TO BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER. ALL FOUNDATION WALLS 24" (600mm) AND HIGHER TO HAVE ONE HORIZONTAL 10mm REINFORCING BAR 3' (75mm) FROM TOP OF WALL CENTRE REINFORCING TO BE LAPPED A MINIMUM OF 24" (600mm). ALL FOOTINGS SHALL HAVE TWO (2) 10mm REINFORCING BARS. THESE REINFORCING BARS ARE TO BE LOCATED SUCH THAT ONE BAR IS 3" (75mm) CLEAR DISTANCE OF THE SIDE & BOTTOM OF THE FOOTING AT BOTH ENDS OF THE FOOTING. GRADE LEVELS SHOWN ON THESE DRAWINGS ARE ESTIMATES ONLY. ADJUSTMENTS AS REQUIRED ARE TO BE MADE ON SITE. RETAINING WALLS OTHER THAN THE FOUNDATION WALLS OF THE RESIDENCE ARE BEYOND THE SCOPE OF THESE DRAWINGS UNLESS OTHERWISE NOTED.

DEPTHS OF FOUNDATIONS

DEPTHS OF FOUNDATIONS TO BE AS PER NATIONAL BUILDING CODE STANDARDS AND IN CONJUNCTION WITH STANDARDS ACCEPTABLE TO LOCAL BUILDING AUTHORITY.

MASONRY ABOVE GRADE:

ALL ABOVE GRADE MASONRY IS TO CONFORM TO STANDARDS OF THE NATIONAL BUILDING CODE. WHERE BRICK VENEER IS INSTALLED COUNTERFLASHINGS SHALL BE INSTALLED TO A MINIMUM 8" (200mm) UP BEHIND BUILDING FELTS & BELOW THE BOTTOM COURSE WITH VERTICAL JOINTS RACKED CLEAN. WEEPHOLES AT MINIMUM 24" (600mm) o.c.

CARPENTRY:

FRAMING LUMBER SHALL BE No. 2 SPF OR BETTER UNLESS OTHERWISE SPECIFIED FOR OTHER COMMON SPECIES REFER TO SPAN TABLES OF THE CURRENT EDITION OF THE NATIONAL OR B.C. BUILDING CODES. ALL BEAM & LINTEL SIZES SHOWN ON THE DRAWINGS ARE BASED ON No. 2 SPF & ARE TO BE 2 X 12 BUILT-UP UNLESS OTHERWISE SPECIFIED. JOISTS ARE TO BE DOUBLED UNDER INTERIOR PARTITION WALLS. JOISTS SHALL BE PLACED TO MINIMIZE INTERFERENCE WITH HEATING & PLUMBING ELEMENTS. ALL HEADERS & TRIMMERS ARE TO COMPLY WITH CURRENT EDITION OF THE NATIONAL & B.C. BUILDING CODES. THE BUILDER OR OWNER ARE TO OBTAIN NECESSARY CERTIFICATES FROM FLOOR JOIST, ROOF TRUSS LVL & GULLAM MANUFACTURERS FOR STRUCTURAL COMPLIANCE. FLOOR & ROOF JOIST SPANS OF MORE THAN 7'-0" (2135mm) SHALL BE BRIDGED AT MIDSPAN OR AT 7'-0" (2135mm) o.c. MAXIMUM UNLESS SHEATHED OR STRAPPED BOTH SIDES WITH WOOD BRIDGING SHALL BE A 2 X 2 DIAGONAL TYPE (WHENEVER POSSIBLE) WOOD IN CONTACT WITH CONCRETE SHALL BE DAMPROOFED WITH 45# FELT OR CLOSED CELL GASKET MATERIAL OR PRESSURE TREATED WOOD USING A WATERBORNE PRESERVATIVE OR OTHER APPROVED METHOD. INTERIOR FRAMING TO BE 4" (100mm) CLEAR OF BACK & SIDES OF ANY FIREBOX AND 2" (50mm) CLEAR OF BRICK CHIMNEY'S FRAME. INTERIOR WALLS (25mm) CLEAR FROM EXTERIOR FIREPLACES. SILL PLATES TO BE ANCHORED TO CONCRETE WITH 5/8" o.c. (8mm) ANCHOR BOLTS @ MINIMUM 8'-0" (2400mm) o.c. OR OTHER APPROVED METHOD. FLUSH FRAMED WOOD MEMBERS SHALL BE ANCHORED WITH 2000# (90kg) RATED JOIST HANGERS UNLESS OTHERWISE SPECIFIED. DIMENSIONS ARE FROM THE OUTSIDE FACE OF SHEATHING TO THE CENTRE OF PARTITION WALL.

VAPOUR BARRIER & MOISTURE RETARDATION

ALL JOINTS IN VAPOUR BARRIER TO BE LAPPED MIN 4" & TO OCCUR OVER FRAMING MEMBERS OR SEALED WITH CAULKING. ALL HOLES THROUGH VAPOUR BARRIER FOR WIRES ELECTRICAL BOXES PIPING DUCTS ETC. SHALL BE SEALED. SILL PLATES TO BE PROPERLY TREATED OR SEPARATED FROM CONCRETE BY DAMPROOFING MATERIAL. MOISTURE RESISTANT BACKING IS REQUIRED AROUND ALL BATHTUBS OR SHOWERS. VIBER CERAMIC TILE & PLASTIC SHEET IS TO BE INSTALLED.

MISCELLANEOUS

NON-HARDENING CAULKING COMPOUND SHALL BE APPLIED OVER & AROUND ALL EXTERIOR OPENINGS. ALL AREAS SHALL BE PROPERLY FLASHED WHERE A CHANGE IN EXTERIOR MATERIALS OCCUR OR DISSIMILAR MATERIALS ARE USED. FLASHING REQUIRED OVER ALL EXTERIOR OPENINGS. ALL SINK OR STUCCO TO BE A MINIMUM 8" ABOVE FINISHED GRADE LEVEL. CAST IRON CHIMNEY FLUES ARE REQUIRED TO BE APPROVED FOR ALL FIREPLACES. ALL BALCONY RAILINGS TO BE 3'-6" IN HEIGHT WITH A MAXIMUM SPACING OF 4" BETWEEN VERTICAL MEMBERS. MINIMUM DISTANCE BETWEEN HORIZONTAL RAILS TO BE 32" WITH A TOP RAIL ABILITY TO SUSTAIN OUTWARD APPLIED LOAD OF 40 POUNDS PER LINEAL FOOT. CLOTHES CLOSETS SHALL HAVE AT LEAST ONE ROD & SHELF AND A MINIMUM DEPTH OF 24" (945 mm) UNLESS OTHERWISE STATED. LINEN CLOSETS SHALL HAVE 5 ADJUSTABLE SHELVES. WHEREVER POSSIBLE, BROOM CLOSETS SHALL HAVE AT LEAST ONE SHELF.

INSULATION - VENTILATION

MINIMUM INSULATION REQUIREMENTS ARE AS FOLLOWS:
- ROOF / CEILING: R-44 (R51 - 775)
- WALLS (2 X 4): R-14 (R51 - 25)
(2 X 6): R-22 (R51 - 39)
CEILING INSULATION MAY BE LOOSE FILL OR BATT TYPE. WALL & FLOOR INSULATION MUST BE BATT TYPE. WALLS & CEILING BETWEEN RESIDENCE & ATTACHED GARAGE SHALL BE INSULATED. INSULATION REQUIREMENTS MAY VARY WITH HEATING SYSTEMS & LOCAL CONDITIONS. ALL ROOF SPACES SHALL BE VENTILATED WITH SOFFIT, ROOF OR GABLE VENTS OR IN COMBINATION THEREOF. VENTING SHALL BE EQUALLY DISTRIBUTED BETWEEN TOP OF ROOF SPACES & SOFFITS. ALL VENTILATION OF CRAWL SPACES SHALL CONFORM TO STANDARDS OF THE NATIONAL & B.C. BUILDING CODE REQUIREMENTS.

STUCCO PROJECTIONS

STUCCO PROJECTIONS & STUCCO CORBELLING TO BE CONSTRUCTED FROM 2 X 4 LUMBER ON FLAT WITH 3/4" PLYWOOD OVER CORNER BEAD WITH WIRE MESH OR STUCCO WIRE FINISH OVER. ALL EXPOSED HORIZONTAL PROJECTIONS TO BE SLOPED A MINIMUM OF 15 DEGREES TO EXTERIOR SIDE FOR DRAINAGE.

EXTERIOR ENTRY DOORS

ALL EXTERIOR ENTRY DOORS TO BE INSTALLED WITH THE FOLLOWING MINIMUM REQUIREMENTS: USE SOLID WOOD BLOCKING @ LOCK HEIGHT ON BOTH SIDE OF DOOR. JAMBS FOR TWO (2) STUD SPACES (EXCEPT WHERE SIDELIGHTS OCCUR). DEADBOLT LOCK WITH A MINIMUM 1" (25mm) THROW. LINTELS SECURED TO DOOR WITH 1" (25mm) SCREWS & INTO FRAME WITH 3" (75mm) SCREWS INTO SOLID WOOD BLOCKING. MAIN ENTRANCE DOORS TO HAVE A DOOR VEWER WITH 180 DEGREE VIEW ANGLE OR DOORLIGHT OR SIDELIGHT WITH A PORTION OF CLEAR GLAZING FOR VIEWING. SIDELIGHTS OR WINDOWS WITHIN 36" (915mm) OF AN EXTERIOR LOCKING DOOR SHALL HAVE SAFETY LAMINATED, TEMPERED OR WIRID GLAZING. SLIDING TYPE PATIO DOORS MUST HAVE A PIN TYPE LOCKING DEVICE (IE. TOE LOCK) WITH A MINIMUM 1" (25mm) THROW.

LINTELS & BEARING WALL

ALL LINTELS IN EXTERIOR FRAME WALLS TO BE 2 X 10 SPF UNLESS OTHERWISE SPECIFIED. ALL SUPPORT COLUMNS FOR GORDER TRUSSES & BEAMS ARE TO BEAR SECURELY ONTO FOUNDATION. GROUND SNOW LOAD TAKEN AT 40 PSF (9 kN/m).

GENERAL NOTES

ALL WORK SHALL BE EQUAL IN ALL RESPECTS TO GOOD BUILDING PRACTICES. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS. THESE PLANS ARE FOR THE SOLE PURPOSE OF CONSTRUCTION ONLY. THEY MAY NOT BE USED FOR REPEAT CONSTRUCTION OR SOLD TO OTHERS FOR SUCH PURPOSES. THE DESIGN CONTAINED HEREIN IS TO BE A GUIDE ONLY & CAN BE SUBJECT TO CHANGE AT ANY TIME. PROTOCOL HOME PLANNING & DESIGN ITS EMPLOYEES OR PRINCIPALS WILL NOT BE HELD LIABLE FOR ANY CHANGES DUE TO UNFORESEEN CIRCUMSTANCES IN CONSTRUCTION BUILDING CODES OR ENGINEERING THAT MAY AFFECT THE ORIGINAL DESIGN OR ANY OTHER CONDITION THAT MAY AFFECT THE OVERALL BUILDING OF THIS OR ANY OTHER RELATED STRUCTURES ON THESE DRAWINGS.

ALL MAJOR STRUCTURAL COMPONENTS & RELATED SUPPORTS AND CONNECTIONS TO BE ENGINEER REVIEWED & CERTIFIED AS REQUIRED BY MUNICIPAL AUTHORITY HAVING JURISDICTION AND THE LATEST VERSIONS OF BOTH THE NATIONAL AND B.C. BUILDING CODES & AMENDMENTS THERE TO.

ALL DIMENSIONS ARE TO BE VERIFIED ON SITE BY BUILDING CONTRACTOR. LOCATIONS OF POST BEARING PADS & BEARING WALL FOOTINGS TO BE CONFIRMED & THESE LOCATIONS TO BE DETERMINED TO BE ADEQUATE WITH PROPER BEARING ON SUBSTRATE & POTENTIAL LATERAL SHIFT DUE TO VIBRATION AND / OR EARTH MOVEMENT. GEO-TECHNICAL SURVEY TO BE CONFIRMED TO VERIFY SUBSTRATE CONDITIONS REQUIRED.

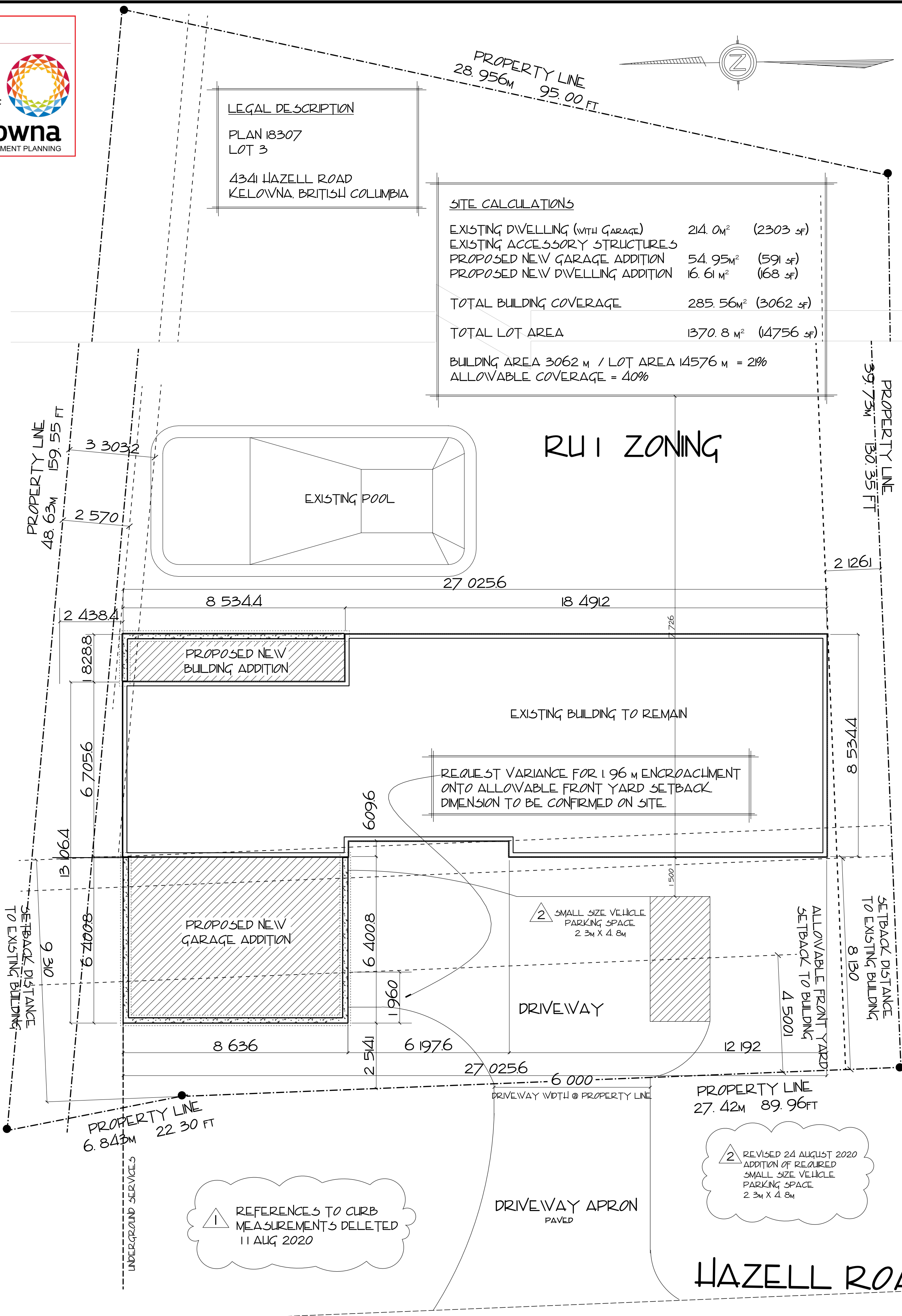
SCHEDULE A

This forms part of application
DVP20-0142

Planner Initials AJ

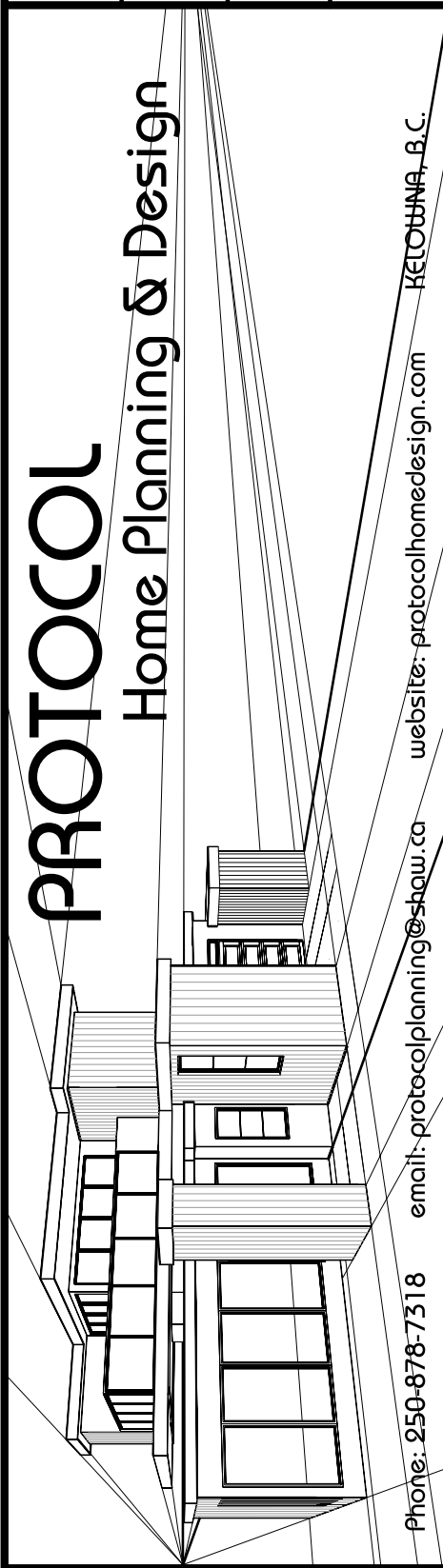


SITE PLAN
SCALE: 1 : 100



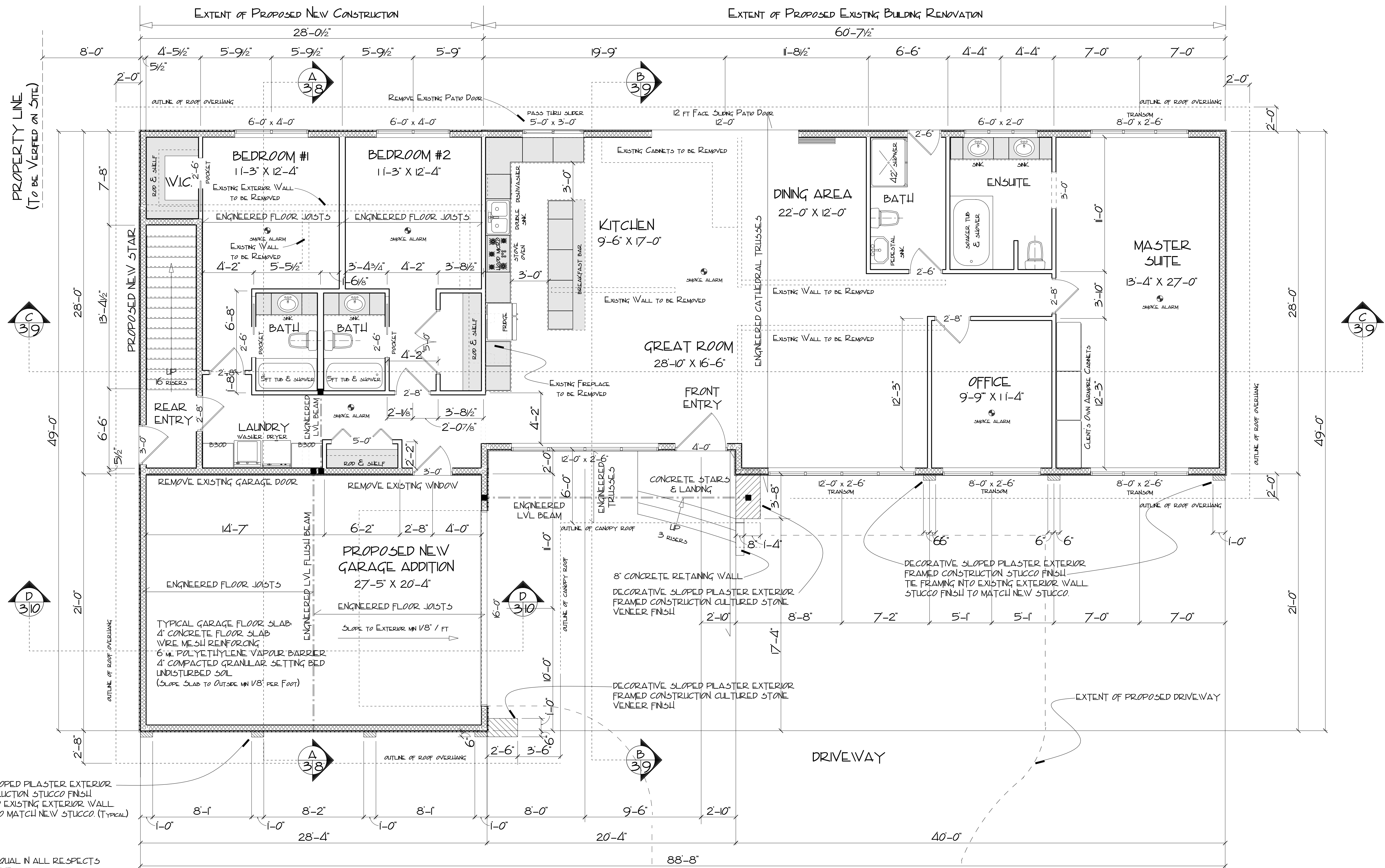
SITE PLAN

Drawn By: LES C50LLE	Approved By:
Checked By: AQUILA ENTERPRISES	Scale: AS SHOWN
Drawing Number: PT904 - 01 of 10	Date: 11 AUG 2020
	4341 HAZELL ROAD



NOTE:

GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL BUILDING MEASUREMENTS AND COMPLIANCE TO B.C. BUILDING CODE REQUIREMENTS. ALL STRUCTURAL COMPONENTS TO BE ENGINEER DESIGNED OR VERIFIED. LIVE LOADS, DEAD LOADS, WIND LOADS, OR SNOW LOADS FOR THE PROPOSED LOCATION OF THE BUILDING. SITE CONDITIONS TO BE TESTED AND APPROVED ACCORDING TO LOCAL BUILDING AUTHORITY REGARDING SUBSTRATE STABILITY AND FROST PENETRATION FOR THE PROPOSED BUILDING. FINAL GRADE REQUIREMENTS TO BE VERIFIED BY THE GENERAL CONTRACTOR TO PROVIDE A POSITIVE SLOPE TO DRAIN AND GROUND WATER DRAINAGE.



MAIN FLOOR LAYOUT - 2472 sq

Scale: 1/4" = 1'-0"

Garage - 600 sq

■ - DENOTES BEARING POINT

GENERAL NOTES:
ALL WORK SHALL BE EQUAL IN ALL RESPECTS TO GOOD BUILDING PRACTICES.
WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS.
THESE PLANS ARE FOR THE SOLE PURPOSE OF CONSTRUCTION ONLY. THEY MAY NOT BE USED FOR REPEAT CONSTRUCTION OR SOLD TO OTHERS FOR SUCH PURPOSES. THE DESIGN CONTAINED HEREIN IS TO BE A GUIDE ONLY AND IS SUBJECT TO CHANGE AT ANY TIME. PROTOCOL HOME PLANNING & DESIGN ITS EMPLOYEES OR PRINCIPALS WILL NOT BE HELD RESPONSIBLE FOR ANY CHANGES DUE TO UNFORESEEN CIRCUMSTANCES IN CONSTRUCTION BUILDING CODES, ENGINEERING, ORIGINAL DESIGN OR ANY OTHER CONDITION THAT MAY AFFECT THE OVERALL BUILDING OF THIS OR RELATED STRUCTURES.

ALL MAJOR STRUCTURAL COMPONENTS AND RELATED SUPPORTS & CONNECTIONS ARE TO BE ENGINEER REVIEWED & CERTIFIED AS REQUIRED BY THE MUNICIPAL AUTHORITY HAVING JURISDICTION AND THE LATEST VERSION OF THE NATIONAL & LOCAL BUILDING CODES AND AMENDMENTS THERETO.

SCHEDULE A

This forms part of application
DVP20-0142

Planner Initials **AJ**

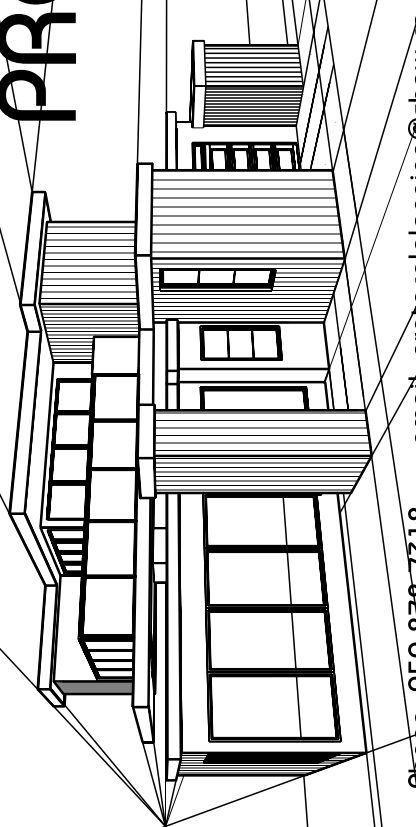
City of Kelowna
DEVELOPMENT PLANNING

ALL DIMENSIONS SHOWN ARE TO BE VERIFIED ON SITE BY THE BUILDING CONTRACTOR. LOCATIONS OF POST BEARING PADS AND BEARING WALL FOOTINGS ARE TO BE CONFIRMED AND THESE LOCATIONS DETERMINED TO BE ADEQUATE WITH PROPER BEARING OF SUBSTRATE AND POTENTIAL LATERAL SHIFT DUE TO VIBRATION AND / OR EARTH MOVEMENT. A GEO-TECHNICAL SURVEY IS TO BE CONDUCTED TO VERIFY SITE CONDITIONS AS REQUIRED.

NOTE:

GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL BUILDING MEASUREMENTS AND COMPLIANCE TO LOCAL BUILDING CODE REQUIREMENTS. ALL STRUCTURAL COMPONENTS TO BE ENGINEER DESIGNED OR VERIFIED FOR COMPLIANCE TO NATIONAL AND LOCAL BUILDING CODES REGARDING LIVE LOADS, DEAD LOADS, WIND LOADS, OR SNOW LOADS FOR THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING AUTHORITY REGARDING SUBSTRATE STABILITY AND PROST PENETRATION FOR THE PROPOSED BUILDING. FINAL GRADE REQUIREMENTS TO BE VERIFIED BY THE GENERAL CONTRACTOR TO PROVIDE A POSITIVE SLOPE TO DRAIN AND GROUND WATER DRAINAGE.

PROTOCOL
Home Planning & Design



Phone: 250-878-7318 email: protocolplanning@shaw.ca website: protocolplanning.com

KELOWNA, B.C.

MAIN FLOOR LAYOUT

Scale: A5 3/4"=1'-0"

Approved By: AS 3/4"=1'-0"

Date: 22 JUNE 2020

Checked By: AQUILA ENTERPRISES

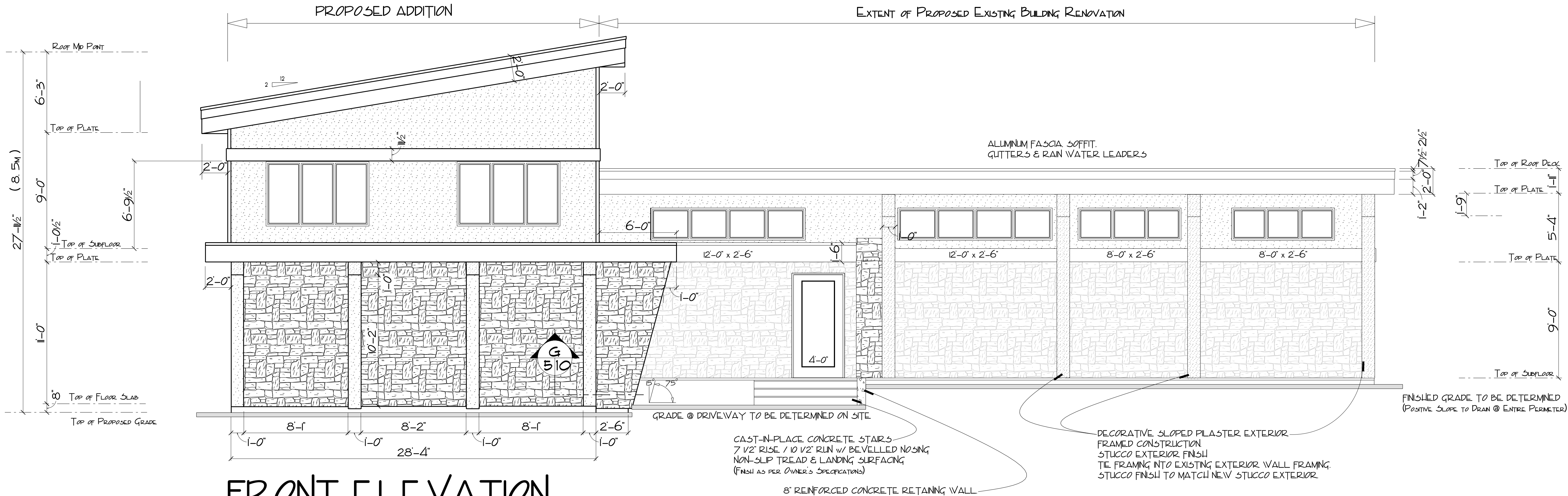
Drawn By: LE.S C30LLE

4341 HAZEL ROAD

Drawing Number: PT904 - 03 of 10

Phone: 250-878-7318 email: protocolplanning@shaw.ca website: protocolhomedesign.com KELOWNA, B.C.

Drawing Number:
PT1904 - 04 of 10



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

SCHEDULE B

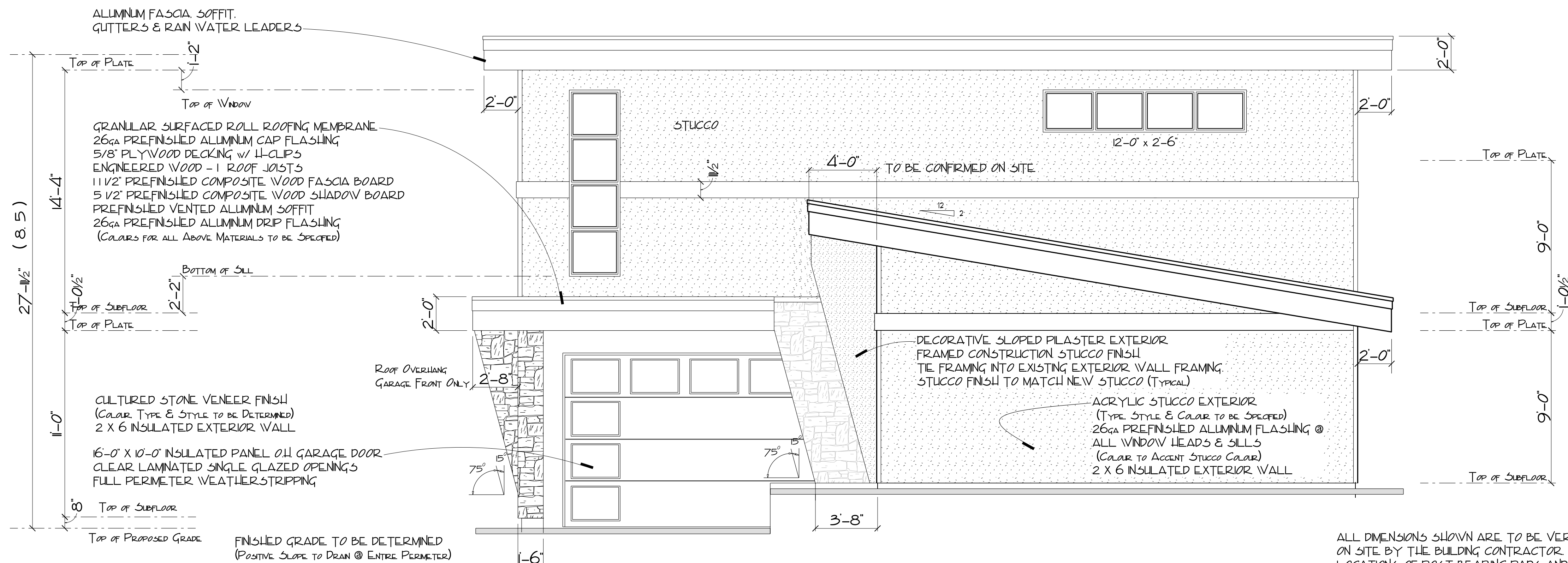
This forms part of application
DVP20-0142

Planner Initials AJ



GENERAL NOTES:
ALL WORK SHALL BE EQUAL IN ALL RESPECTS TO GOOD BUILDING PRACTICES.
WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS.
THESE PLANS ARE FOR THE SOLE PURPOSE OF CONSTRUCTION ONLY. THEY MAY NOT BE USED FOR REPEAT CONSTRUCTION OR SOLD TO OTHERS FOR SUCH PURPOSES. THE DESIGN CONTAINED HEREIN IS TO BE A GUIDE ONLY AND IS SUBJECT TO CHANGE AT ANY TIME. PROTOCOL HOME PLANNING & DESIGN ITS EMPLOYEES OR PRINCIPALS WILL NOT BE HELD RESPONSIBLE FOR ANY CHANGES DUE TO UNFORESEEN CIRCUMSTANCES IN CONSTRUCTION. BUILDING CODES, ENGINEERING, ORIGINAL DESIGN OR ANY OTHER CONDITION THAT MAY AFFECT THE OVERALL BUILDING OF THIS OR RELATED STRUCTURES.

ALL MAJOR STRUCTURAL COMPONENTS AND RELATED SUPPORTS & CONNECTIONS ARE TO BE ENGINEER REVIEWED & CERTIFIED AS REQUIRED BY THE MUNICIPAL AUTHORITY HAVING JURISDICTION AND THE LATEST VERSION OF THE NATIONAL & LOCAL BUILDING CODES AND AMENDMENTS THERE TO.



RIGHT SIDE ELEVATION

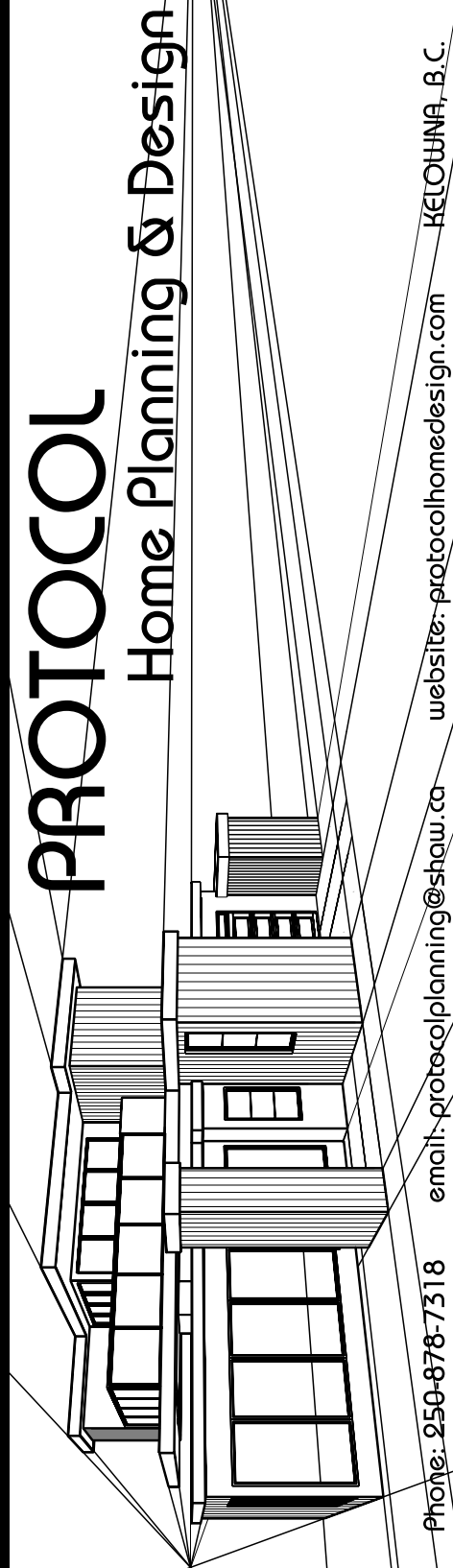
SCALE: 1/4" = 1'-0"

ALL DIMENSIONS SHOWN ARE TO BE VERIFIED ON SITE BY THE BUILDING CONTRACTOR. LOCATIONS OF POST BEARING PADS AND BEARING WALL FOOTINGS ARE TO BE CONFIRMED AND THESE LOCATIONS DETERMINED TO BE ADEQUATE WITH PROPER BEARING OF SUBSTRATE AND POTENTIAL LATERAL SHIFT DUE TO VIBRATION AND / OR EARTH MOVEMENT. A GEO-TECHNICAL SURVEY IS TO BE CONDUCTED TO VERIFY SITE CONDITIONS AS REQUIRED.

NOTE:

GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL BUILDING MEASUREMENTS AND COMPLIANCE TO LOCAL BUILDING CODE REQUIREMENTS. ALL STRUCTURAL COMPONENTS TO BE ENGINEER DESIGNED OR VERIFIED FOR COMPLIANCE TO NATIONAL AND LOCAL BUILDING CODES REGARDING LIVE LOADS, DEAD LOADS, WIND LOADS, OR SNOW LOADS FOR THE PROPOSED BUILDING. THE GENERAL CONTRACTOR SHALL OBTAIN ALL NECESSARY APPROVED PERMITS AND FOLLOW ALL LOCAL BUILDING AUTHORITY REGULATIONS. FINAL STABILITY AND PROST PENETRATION FOR THE PROPOSED BUILDING. FINAL GRADE REQUIREMENTS TO BE VERIFIED BY THE GENERAL CONTRACTOR TO PROVIDE A POSITIVE SLOPE TO DRAIN AND GROUND WATER DRAINAGE.

PROTOCOL
Home Planning & Design

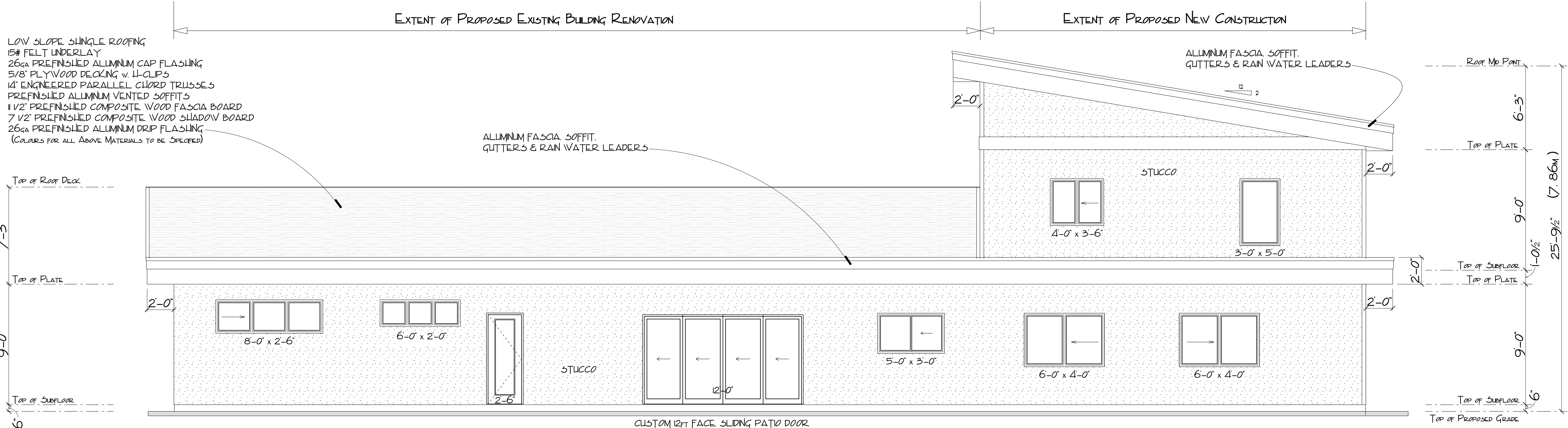


Phone: 250-878-7318 email: protocolplanning@shaw.ca website: protocolplanning.com KECOLUMA.B.C.

ELEVATIONS

Scale: AS 310/VN	Approved By:	Drawn By: LES C30LLE
Date: 22 JUNE 2020		Checked By: AQUILA ENTERPRISES
		Drawing Number: PT904 - 06 of 10

4341 HAZEL ROAD



REAR ELEVATION
SCALE: 1/4" = 1'-0"

SCHEDULE

B

This forms part of application

DVP20-0142

Planner

Initials

AJ

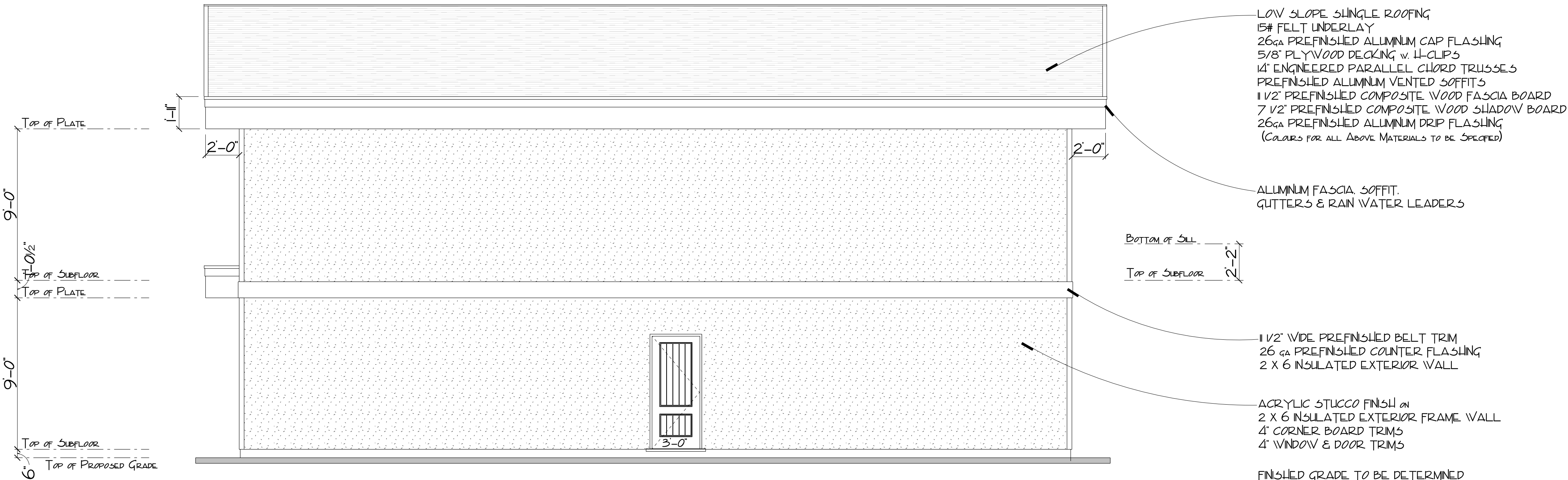
City of

Kelowna

DEVELOPMENT PLANNING

GENERAL NOTES:
ALL WORK SHALL BE EQUAL IN ALL RESPECTS TO GOOD BUILDING PRACTICES.
WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS.
THESE PLANS ARE FOR THE SOLE PURPOSE OF CONSTRUCTION ONLY. THEY MAY NOT BE USED FOR REPEAT CONSTRUCTION OR SOLD TO OTHERS FOR SUCH PURPOSES. THE DESIGN CONTAINED HEREIN IS TO BE A GUIDE ONLY AND IS SUBJECT TO CHANGE AT ANY TIME. PROTOCOL HOME PLANNING & DESIGN ITS EMPLOYEES OR PRINCIPALS WILL NOT BE HELD RESPONSIBLE FOR ANY CHANGES DUE TO UNFORESEEN CIRCUMSTANCES IN CONSTRUCTION, BUILDING CODES, ENGINEERING, ORIGINAL DESIGN OR ANY OTHER CONDITION THAT MAY AFFECT THE OVERALL BUILDING OF THIS OR RELATED STRUCTURES.

ALL MAJOR STRUCTURAL COMPONENTS AND RELATED SUPPORTS & CONNECTIONS ARE TO BE ENGINEER REVIEWED & CERTIFIED AS REQUIRED BY THE MUNICIPAL AUTHORITY HAVING JURISDICTION AND THE LATEST VERSION OF THE NATIONAL & LOCAL BUILDING CODES AND AMENDMENTS THERE TO.



LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

ALL DIMENSIONS SHOWN ARE TO BE VERIFIED ON SITE BY THE BUILDING CONTRACTOR. LOCATIONS OF POST BEARING PADS AND BEARING WALL FOOTINGS ARE TO BE CONFIRMED AND THESE LOCATIONS DETERMINED TO BE ADEQUATE WITH PROPER BEARING OF SUBSTRATE AND POTENTIAL LATERAL SHIFT DUE TO VIBRATION AND / OR EARTH MOVEMENT. A GEO-TECHNICAL SURVEY IS TO BE CONDUCTED TO VERIFY SITE CONDITIONS AS REQUIRED.

ELEVATIONS

Home Planning & Design

PROTOCOL

Drawn By:

LE-5 C30LLE

Checked By:

AQUILA ENTERPRISES

Drawing Number:

PT904 - 07 of 10

Scale:

A5 3/4" = 1'-0"

Approved By:

4341 HAZEL ROAD

Date:

22 JUNE 2020

NOTE:

GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL BUILDING MEASUREMENTS AND COMPLIANCE TO LOCAL BUILDING CODE REQUIREMENTS. ALL STRUCTURAL COMPONENTS TO BE ENGINEER DESIGNED OR VERIFIED FOR COMPLIANCE TO NATIONAL AND LOCAL BUILDING CODES REGARDING LIVE LOADS, DEAD LOADS, WIND LOADS, OR SNOW LOADS FOR THE PROPOSED BUILDING. THE BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TO THE LOCAL BUILDING AUTHORITY REGARDING SUBSTRATE STABILITY AND PROST PENETRATION FOR THE PROPOSED BUILDING. FINAL GRADE REQUIREMENTS TO BE VERIFIED BY THE GENERAL CONTRACTOR TO PROVIDE A POSITIVE SLOPE TO DRAIN AND GROUND WATER DRAINAGE.