

KIRSCHNER MOUNTAIN - PHASE 6

REZONING & DEVELOPMENT PERMIT APPLICATION

DESIGN RATIONALE



2020.02.19

Prepared for:

**Kirschner Mountain Developments
1261 Loseth Rd
Kelowna, BC, V1P 1E5**

Prepared by:

**Architecture
Interior Design and Planning
Building Envelope Consulting**

To be submitted to:

**City of Kelowna
Development Services
City of Kelowna**



**Garry Tomporowski Architect Ltd
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1.0 OVERVIEW

The proposed hillside housing development thoroughly addresses the main goals pursued by the City of Kelowna for these land uses. Many strategies have been discussed among the project's stakeholders and the City Planning for minimizing the impact of the development on the natural environment, topography, open space and visual hillside character of Kelowna.

During the creation of the new Kirschner Mountain Area Structure Plan there was considerable pressure from the City at the time, to ensure a high proportion of units would be in the multifamily residential forms and density to ensure efficient use of the land. The OCP Future Land use Designation was adopted accordingly, and the aimed Zoning: RH3 – Hillside Cluster Housing accepts that the form and character may include *multiple dwelling housing* units.

We believe that the proposed townhouse typology – Triplex, Fourplex and Fiveplex – addresses all significant elements of the OCP, and are deemed to be quality yet affordable forms of housing in the Kelowna area market. They have become an excellent product type to satisfy the mid to upper market housing demand, much of which has not been available in the overall Kirschner/Black Mountain areas.

2.0 PROJECT DESCRIPTION

The topography of the developable land lends itself to this multi-family form product type. The subject site is located in a gully where there are limited views, largely inward-looking and in a transition area through to the backside of the mountain via single road, rendering the area somewhat restricted in development potential. The setting also limits the visual impact from any surrounding view perspectives.

This townhouse form project develops along Loseth Road, on both North and South sides, with 19 residential buildings and a total number of 77 units. It comprises diversified buildings types – triplex, four-plex and five-plex – and multiple configurations based on their relationship with the topographic setting and the road/grading design by CTQ Civil Engineers.

In terms of density, the Kirschner Mountain – Phase 6 achieves a slightly higher density at approximately 8.5 to 9 units/acre with this 'low density' multi-plex housing type. Also this site, of approximately 8 acres serves as the entry to the multifamily residential area in line with the approved Master Plan (Area Structure Plan).

'Flat pad' building lots live together with half storey benched and full storey benched lots. This provides a rich variety of topographical context to the architectural design, which GTA has certainly taken advantage of.

In this regard, the architectural design has tackled a wide range of different floor plans options, in combination with diverse section developments. We propose full three storey units, split-level units and walk-out units, ensuring an attractive broad housing mix in this new neighborhood.

The Architectural exterior design has been carefully designed taking in account the adjacent neighborhoods architectural context and design guidelines, and the specific

sensibilities that were put on the table by the participants during the preliminary design stage.

Therefore, a refined craftsman style with flares of urban and mountain appeal defines the architectural design of Kirschner Mountain - Phase 6, creating an elegant, modern and vibrant looking neighborhood.

In addition, the buildings' envelope have been conceived with parameters that enable the efficiency of both energy and construction costs, emphasizing the differentiation of the buildings through the choice of colors, architectural accents and landscaping, rather than over-complicating the facades layout (form factor, opaque walls to openings ratio,...) or over-designing the buildings' elevations.

Generous patios and balconies allow for enjoyment of the Okanagan environment and personal entertainment, and a carefully created landscape views are key factors on this design.

Special attention was given to the landscaped areas and to the interface with the adjacent natural parks, enhancing the pedestrian connectivity between the development and these Kirschner Mountain Estates' preserved enclaves.

Finally, an amenity building has been proposed in a central location, certainly adding a great supporting infrastructure for the use of the community.

3.0 SITE AND PARKING ACCESS

The proposed roads and grading layout, as well as the architectural design tackle the challenging topographic context by giving a responsible and conscious solution from many perspectives: cost efficiencies, yield efficiencies, tax impact to municipality, neighborhood character and efficient use of the land.

In regards to parking; all the units have double garage, with a minimum driveway length of 6 m, and provisions for visitor on-site parking as per the Section 8 – Parking and Loading zoning bylaw.

4.0 VARIANCES

We are requesting two variances in this application. These variances have been lengthily discussed with the Planning Department at the City of Kelowna, and are being sought to reduce the mountain cut height at both sides of Loseth Road.

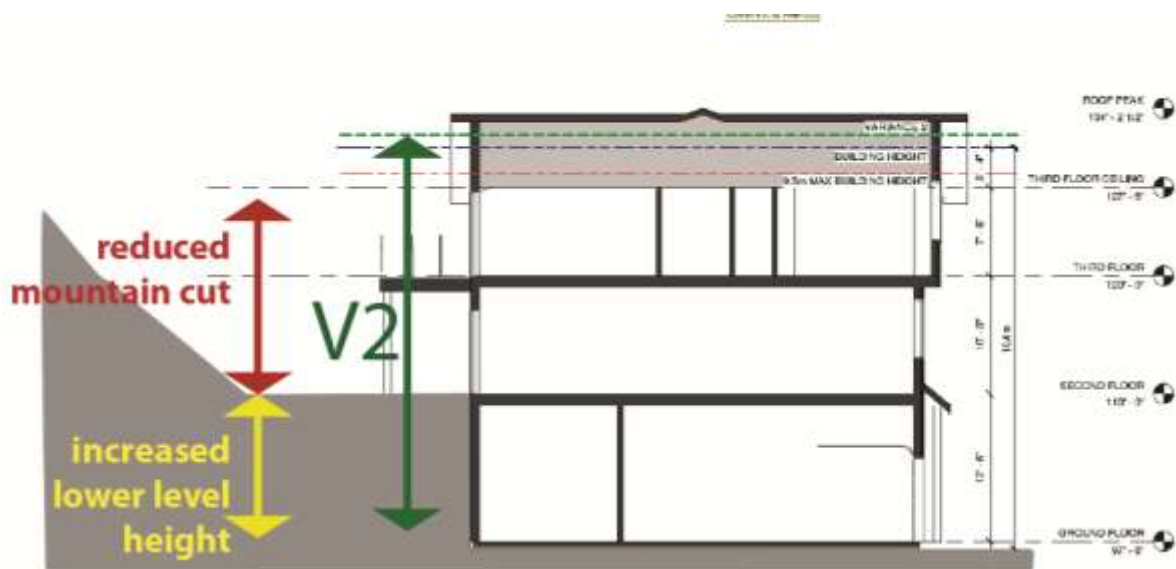
▪ VARIANCE 1: 3.0 m REAR YARD VARIANCE WITH LOSETH ROAD.

Request a variance for the reduction of the rear yards setback from 4.5 m to 3.0 m at the buildings B-01, B-02, B-09 and B-10 with Loseth Road. This allows the Roads 1 & 4 to be pushed further off the mountain cut.



▪ VARIANCE 2: BUILDING HEIGHT VARIANCE FROM 9.5 m TO 10.5 m.

Request a variance for the increase of building height of the walk-out buildings adjoining the toe of mountain cuts; buildings B-06, B-07, B-08, B-15, B-16, B-17, B-18, B-19.



5.0 SUSTAINABILITY AND CRIME PREVENTION

This increased density over the traditional or even small-lot residential forms of housing is not only able to help mitigate increasing costs for first time buyers, but also enables efficiencies in achieving reductions in cost of city services per capita, energy consumption, carbon footprint, heat island effect,...

Envelope details that prevent water and moisture ingress, yet still allow the assemblies to dry, will prevent mould growth. Reducing thermal bridging combined with appropriate thermal insulation will reduce heating and cooling loads. Providing windows in all of the occupied spaces allows natural day lighting, and reducing energy consumption required for illumination. Operable windows also allow for natural ventilation, thus reducing the need for mechanical ventilation to provide fresh air, and adding "liveability".

Extensive use of materials from natural sources is used to the largest extent possible, and thereby reduces the carbon foot print accordingly. A properly designed and detailed building will also reduce heating and cooling loads, increase air quality, and reduce energy consumption.

Carefully selected landscaping material will help reduce the projects use of water. This will prove an attractive, colorful and interesting variety of grass, shrubs and large trees for shade, privacy and path definition. Special attention was placed on the connection to the adjacent parks, and should provide a style of development which is highly desirable within the Kelowna community.

The design of the buildings and landscaping promote natural surveillance and does not provide opportunistic hiding spaces. The entrances are clearly visible from the street and well lit public sidewalks surround the building.

The intentions of CPTED have been addressed in the following ways: well maintained entrances and frontages are intended to promote pride in ownership amongst the residents and allied businesses. This will discourage vandalism, encourage surveillance and will improve overall maintenance of the site. The walk-up, pedestrian friendly and ground oriented entrance has been provided to reinforce this principle.

The social lifestyle of the site will help promote further surveillance and territorial reinforcement. Separation of private, semi-private and public spaces will be achieved with overall landscaping and finish materials to separate and add comfort to the residents and visitors. Large windows and patios help to provide eyes to the street and surrounding areas. To support interaction and familiarity amongst the residents and users, an abundance of common outdoor space has been provided.

Site lighting to the streetscape and pathways will be clearly lit, designed to illuminate the faces of users, and provide illumination levels that do not create high contrast areas that could potentially conceal offenders.

This unique and attractive project will endure due to its sense of community, and the fact that it presents a prominent streetscape and connection to the surrounding neighborhood. It also provides well thought out external traffic patterns.

6.0 LANDSCAPING

The Developer has selected CTQ Landscaping Consultants to create an interesting and aesthetically pleasing landscape solution that responds to the challenging grading and the architectural style of the project. This will also compliment the character of the surrounding and future neighborhoods. The site design proposes a series of green pockets for the use and enjoyment of the families, with play areas for children to benefit from the outdoors.

Special attention was placed on the connection to the adjacent parks, and should provide a style of development which is highly desirable within the Kelowna community.

Carefully selected landscaping material will help reduce the projects use of water. A number of annual and perennial shrubs have been selected for along Loseth and the internal roads throughout the site, and in special groupings adjoining the buildings' ends. This will prove an attractive, colorful and interesting variety of grass, shrubs and large trees for shade, privacy and path definition. Trees will be planted along the roads. Given enough time to mature, these trees will help the project blend with the existing forest that surrounds the site.

The landscape concept for the boundary areas, the Loseth Rd. Boulevard and the small community gardens, will provide a visually exciting and high volume of green space. If viewed from above, there would appear to be significantly more "green" than buildings. Finally, Decorative Allan type blocks will be used for addressing the minimized locations where retaining soils is needed.

7.0 SUMMARY

Kirschner Mountain Developments and the design team feel that the combination of a quality design coupled with leading edge technology, pedestrian-friendly landscape features, and modern building materials will provide for a very functional and highly desired residential neighbourhood project.

It is also our desire that this project will be one of many to be built in an area critical to the continued sustainability and growth of our City internationally.

We look forward to your enthusiastic support and recognition for all the project brings to our community.

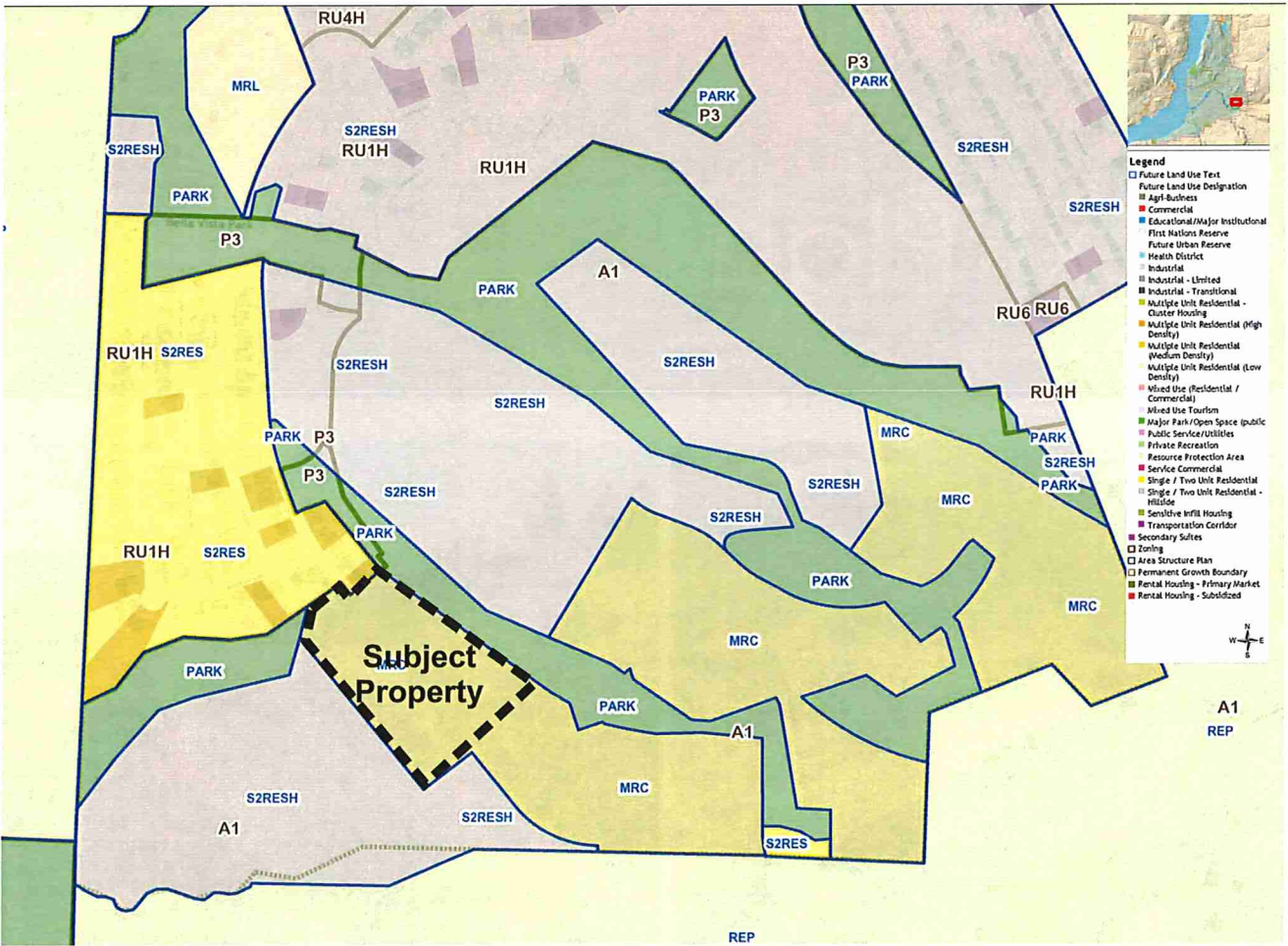
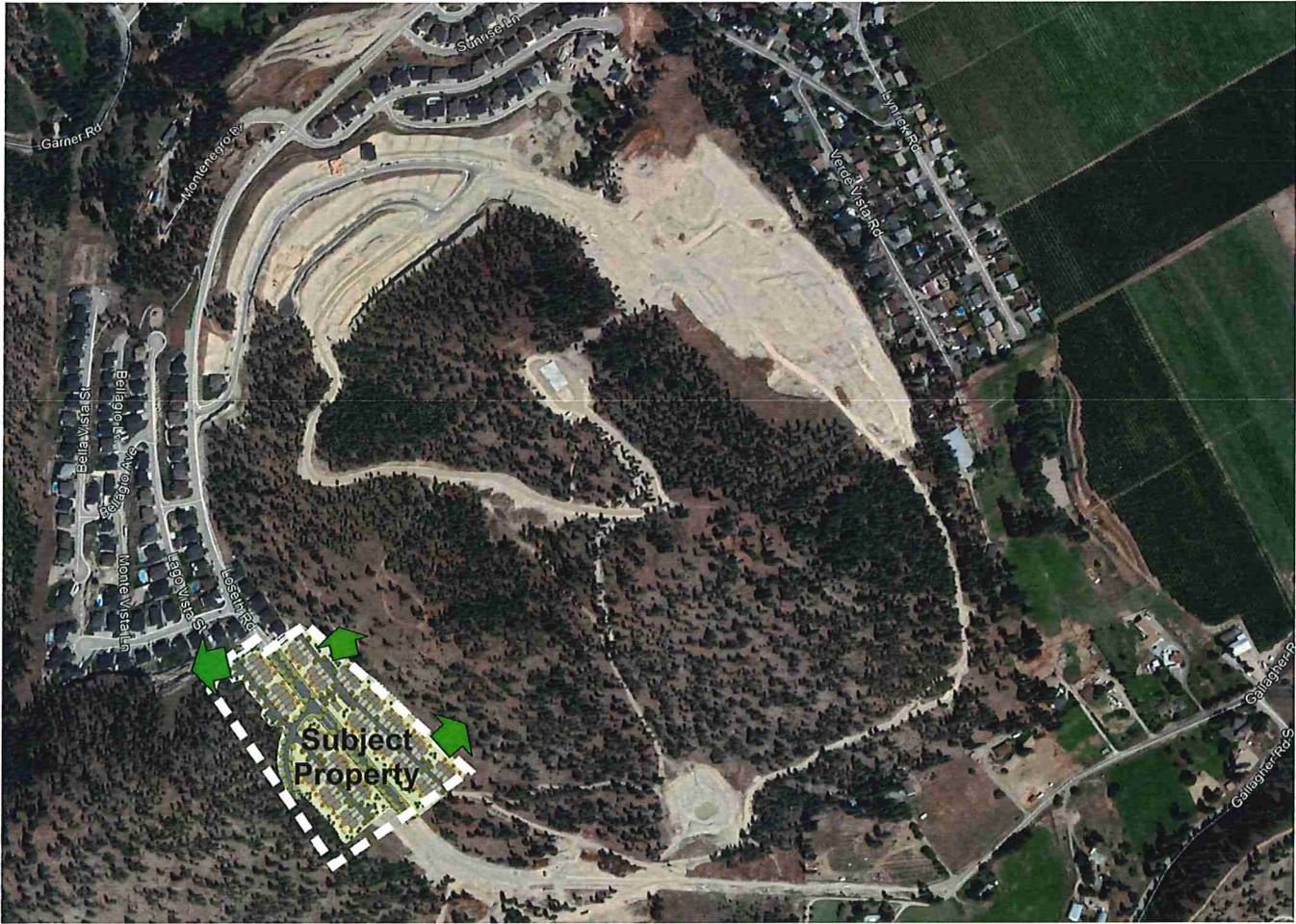
8.0 ARCHITECTURAL RENDERINGS





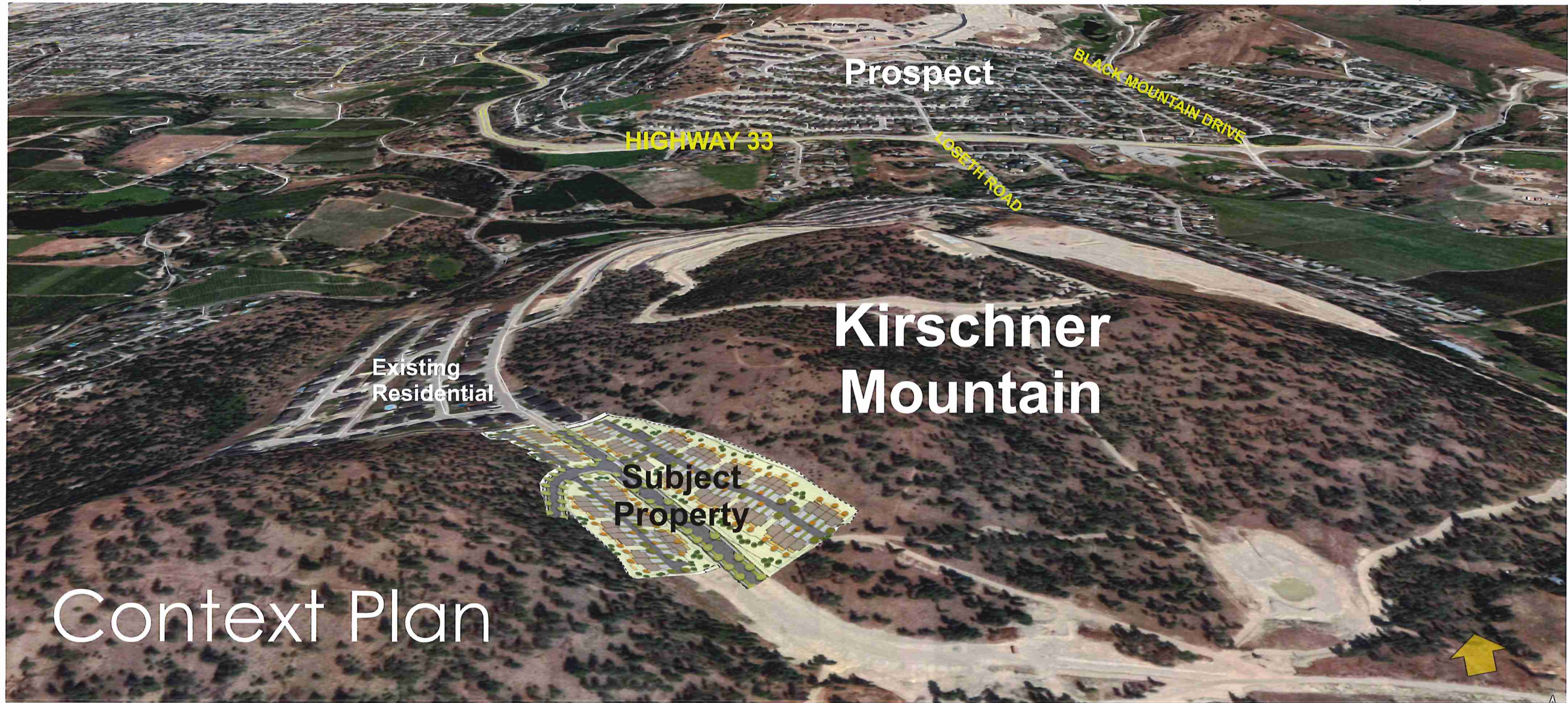


END



Connections to
OPEN SPACE NETWORK, TRAILS AND PARKS

LAND USE PLAN



Notes

- The illustrated landscape plan is conceptual only...not for construction.
- All plants, material and planting practices to conform to the Canadian Landscape Standard - Current Edition
- Contractor to provide a warranty and maintenance period of 1 year on all plants and materials. Plants and materials that fail before end of the warranty period shall be replaced by the contractor.
- All planting areas to receive 450mm of topsoil. Lawn 150mm depth topsoil and dryland grass areas 100mm topsoil.
- Prior to delivery to site, a representative sample and test results of topsoil should be made available to the consultant for approval.
- Plant material selections are conceptual only. Final planting selections may vary depending on availability. No plant species substitution will be accepted without the written consent of the consultant.
- All planting beds to receive 50 mm depth of Ogo - Grow mulch or approved equivalent..
- All planting beds and lawn areas to be irrigated.

Sodded Lawn area

Dryland Grass Mix

Dryland Grass Mix Seed Blend
(% by weight)

Crested Wheat Grass

20

Perennial Rye

15

Slender Wheat Grass

10

Tall Wheat Grass

10

Hard Fescue

10

Crested Red Fescue

10

Annual Rye

10

Fall Rye

15

Application Rate - 150 kg/ha

Seed Mix to be certified #1 Grade

Undisturbed Areas

Retain Natural conditions

Rock Mulch

between buildings

Large Scale Boulevard Street Trees

Large Scale Deciduous Trees

Medium Scale Ornamental Trees

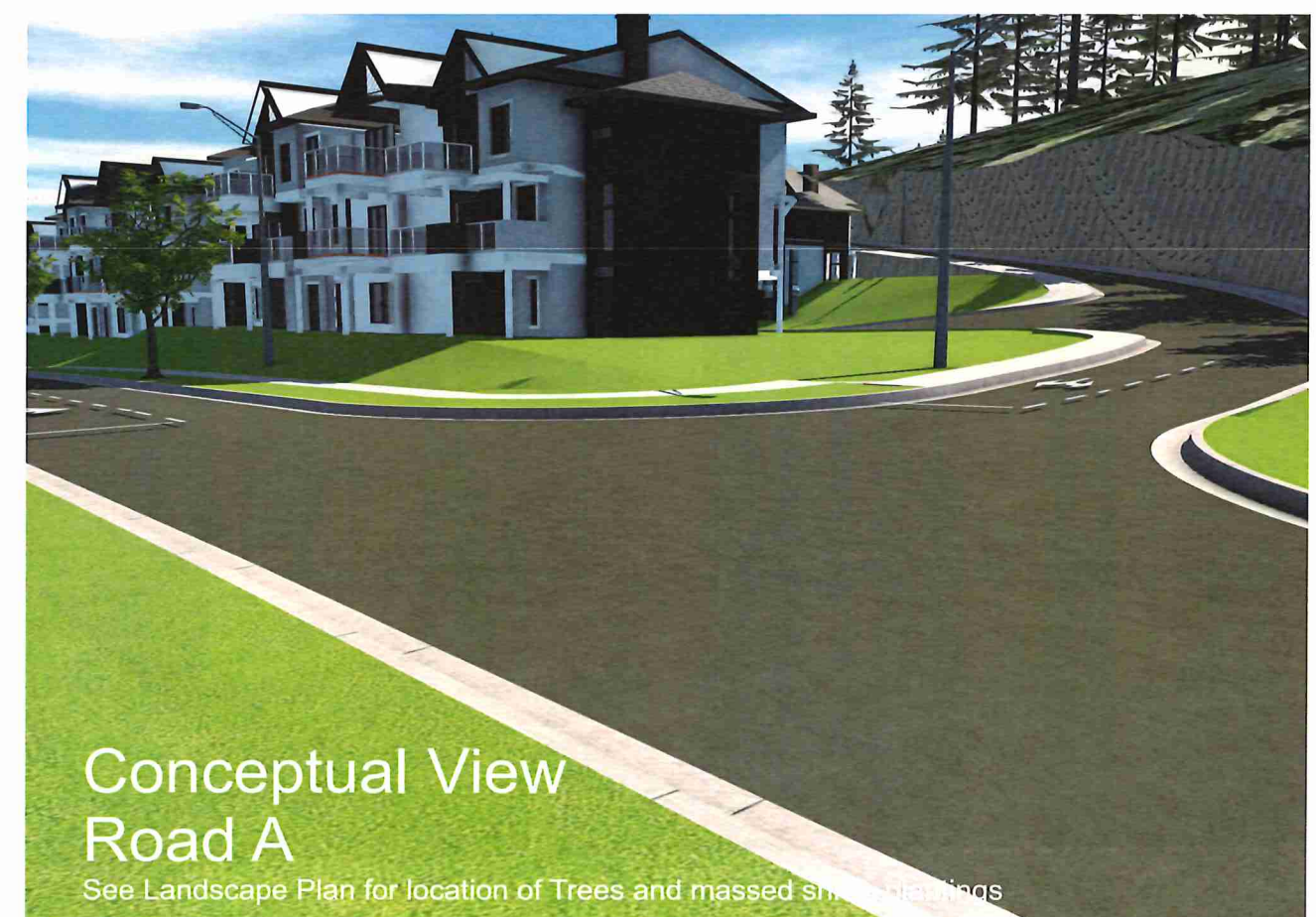
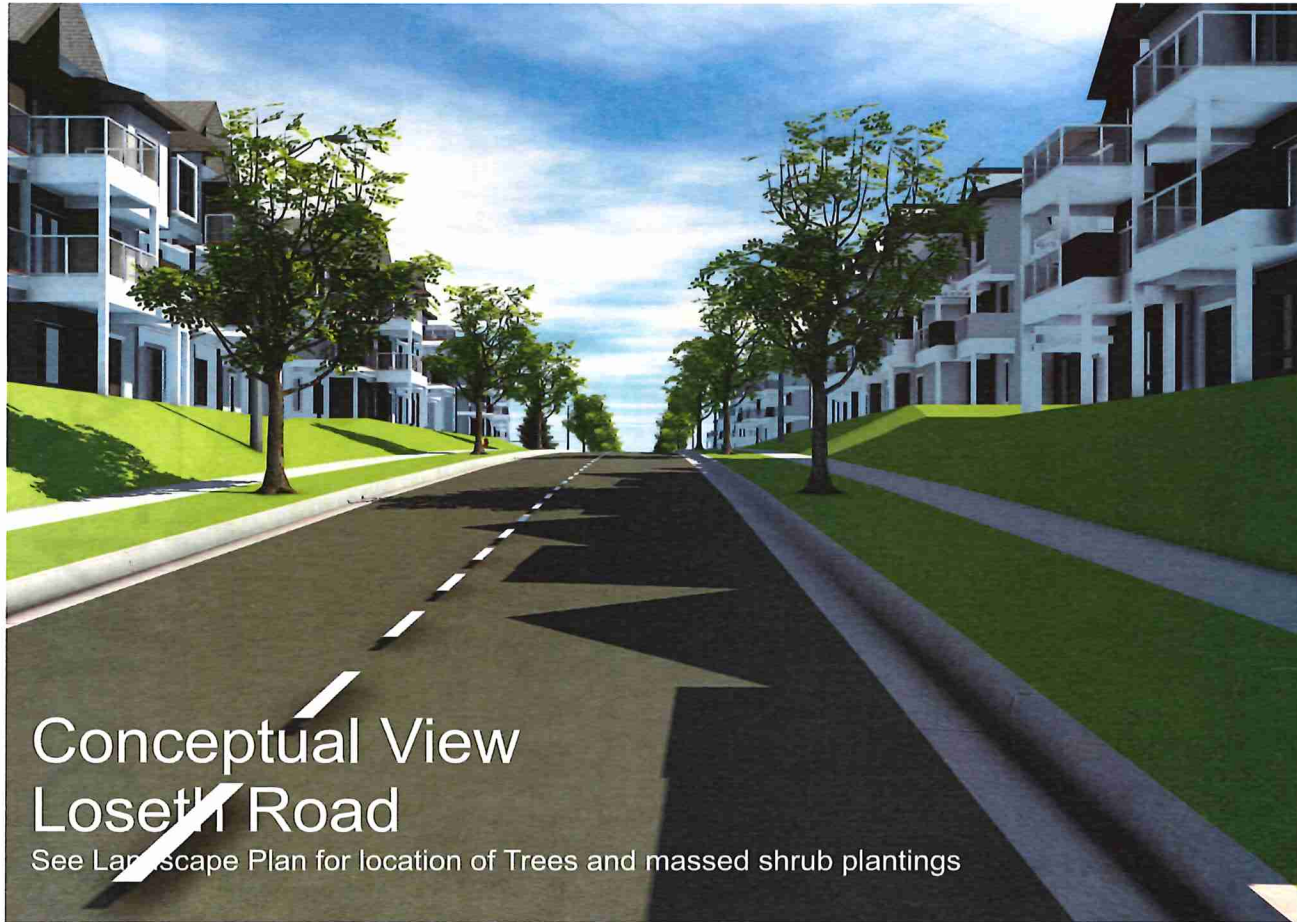
Coniferous Trees

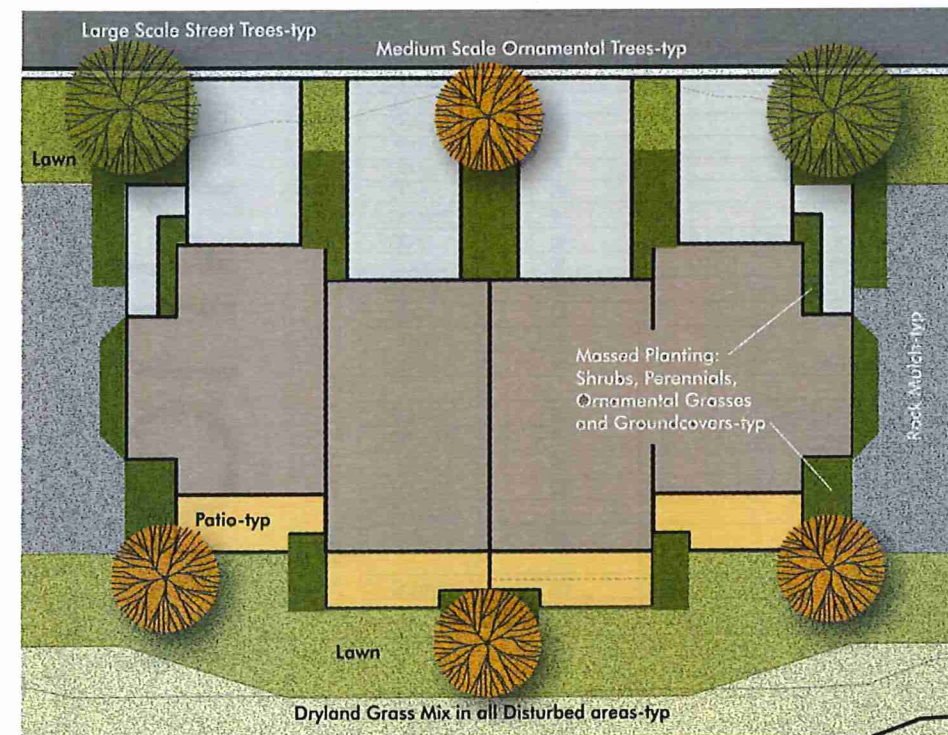
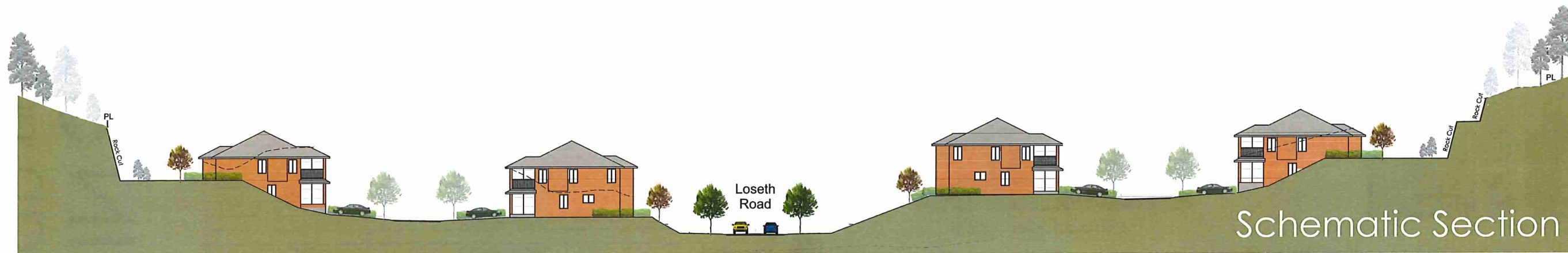
Massed planting shrubs, perennials, ornamental grasses

See Plant List

Connection to Open Space, Parks and Trails







Townhomes
represented as simple blocks
see Architectural Drawings

KIRSCHNER MOUNTAIN

Conceptual Landscape Plan

PHASE 6

ENGINEERING PLANNING DESIGN



Large Scale
Deciduous Trees
75/60MM CAL



Coniferous Trees 1.8m ht



Medium Scale
Ornamental Trees
60MM CAL

SHRUBS, GRASSES, PERENNIALS MIN # 2 POT



Proposed Plant List -Kirschner Mountain Phase 6				
Symbol.	Botanical Name	Common Name	Size	Spacing
	Acer rubrum 'Red Sunset'	Red Sunset Maple	75mm cal	
	Gleditsia triacanthos inermis 'Skyline'	Skyline Honeylocust	75mm cal	
	Populus tremuloides	Trembling Aspen	60mm cal	
	Cercis canadensis	Eastern Redbud	60mm cal	
	Magnolia stellata	Star Magnolia	tree form 60 mm cal	
	Pyrus calleryana 'Chanticleer'	Chanticleer Pear	60mm cal	
	Syringa reticulata 'Ivory Silk'	Ivory Silk Tree Lilac	60 mm cal	
	Pinus ponderosa	Ponderosa Pine	1.8 m ht, B&B	
	Pseudotsuga menziesii	Douglas Fir	1.8 m ht, B&B	
	Cornus sericea	Red Twig Dogwood	#2	1.2m OC
	Euonymus alata compacta	Dwarf Burning Bush	#2	1.2m OC
	Forsythia x courtasol 'Gold Tide' (yellow)	Gold Tide Forsythia	#2	1.2m OC
	Hosta 'El Nino'	El Nino Hosta	#2	1.0m OC
	Kerria japonica	Japanese Kerria	#2	1.2m OC
	Mahonia aquifolium	Oregon Grape	#2	1.0m OC
	Paxistima canbyi	Cliff Green	#2	1.2m OC
	Philadelphus lewisii 'Blizzard'	Blizzard Mockorange	#2	2.0m OC
	Pinus mugo pumilio	Dwarf Mugo Pine	#2	1.2m OC
	Potentilla fruticosa 'Red Ace'	Red Ace Potentilla	#2	1.2m OC
	Rosa 'meicouban	White Meidiland Rose	#2	1.2m OC
	Rhus aromatica 'Gro-low'	Gro Low Sumac	#2	1.5m OC
	Symphoricarpos alba	Snowberry	#2	2.0m OC
	Syringa vulgaris 'Belle de Nancy'	Belle de Nancy Lilac	#2	1.5m OC
	Calamagrostis ' Karl Foerster'	Karl Foerster Reed grass	#2	1.0m OC
	Festuca ovina Elijah Blue	Elijah Blue Fescue	#2	0.6m OC
	Helictotrichon sempervirens	Blue Oat Grass	#2	1.0m OC
	Mscanthus sinensis purpurascens	Orange Flame grass	#2	1.2m OC
	Pennisetum alopecuroides	Fountain Grass	#2	1.0m OC
	Pennisetum orientale' Tall Tails'	Oriental fountain grass	#2	1.0m OC
	Artemesia ludoviciana 'Valerie Finnis'	White Sage	#2	1.2m OC
	Aster woods purple	Woods Purple Aster	#2	
	Hermocallis ' Gentle Sheperd' (white)	Gentle Sheperd Daylily	#2	0.6m OC
	Hermocallis ' Stella d'Oro' (yellow)	Stella D'Oro Daylily	#2	0.6m OC
	Lavendula ' Munstead' (purple)	Munstead lavender	#2	1.0m OC
	Perovskia atriplicifolia	Russian sage	#2	1.2m OC
	Rudbeckia hirta 'Goldsturm' (yellow)	Goldsturm Gloriosa Daisy	#2	0.6m OC
	Leucanthemum x superbum 'Snow Lady' (white)	Snow Lady Shasta Daisy	#2	0.6m OC
	Arctostaphylos uva ursi 'Vancouver Jade'	Vancouver Jade Kinnikinnick	#2	0.6m OC

- Dryland Grass Mix Seed Blend
(% by weight)
- Crested Wheat Grass 20
 - Perennial Rye 15
 - Slender Wheat Grass 10
 - Tall Wheat Grass 10
 - Hard Fescue 10
 - Creeping Red Fescue 10
 - Annual Rye 10
 - Fall Rye 15

Application Rate - 150 kg/ha
Seed Mix to be certified #1 Grade

PHASE
6
KIRSCHNER MOUNTAIN
Conceptual Landscape Plan

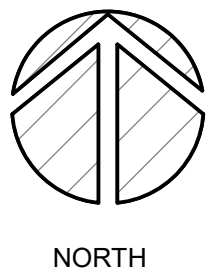
KIRSCHNER MOUNTAIN PHASE 6

2980 GALLAGHER RD.

77 TOWNHOME UNITS REZONING + DEVELOPMENT PERMIT



LOCATION MAP



CONSULTANTS:

ARCHITECTURAL:

GTA ARCHITECTURE LTD.
CONTACT: GARRY TOMPOROWSKI
243 - 1889 SPRINGFIELD ROAD
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PHONE: (250) 979-1668, FAX: (250) 979-4366
EMAIL: garry@gtarch.ca

LANDSCAPE:

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PHONE: 250.979.1221 ext. 115
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SURVEYOR:

RUNNALLS DENBY.
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LIST OF DRAWINGS:

A0.0 COVER SHEET

- A0.1 SITE PHOTOS
- A0.2 BUILDING PERSPECTIVES
- A1.0 SITE PLAN
- A1.1 LONGITUDINAL SITE SECTIONS
- A1.2 CROSS SITE SECTIONS
- A1.3 CROSS SITE SECTIONS
- A2.1 BUILDINGS ON LEVELED GRADING FLOOR PLANS (FOURPLEX)
- A2.2 BUILDINGS ON FULL STOREY BENCHED GRADING FLOOR PLANS. WALK-OUT (TRIPLEX)
- A2.3 BUILDINGS ON HALF STOREY BENCHED GRADING FLOOR PLANS. SPLIT (FIVEPLEX)
- A3.1 LEVEL GRAD. MID-LEVEL FLOOR PLAN
- A3.2 LEVEL GRAD. END-UNIT FLOOR PLAN
- A3.3 WALK OUT. MID-UNIT FLOOR PLAN
- A3.4 WALK OUT. END-UNIT FLOOR PLAN
- A3.5 SPLIT LEVEL. MID-UNIT FLOOR PLAN
- A3.6 SPLIT LEVEL. END-UNIT FLOOR PLAN
- A4.1 ELEVATIONS. BUILDINGS ON LEVELED GRADING
- A4.2 ELEVATIONS. BUILDINGS ON FULL STOREY BENCHED GRAD. (WALK-OUT)
- A4.3 ELEVATIONS. BUILDINGS ON HALF STOREY BENCHED GRADING (SPLIT)
- A5.1 SECTIONS TYPICAL - HEIGHT VARIANCE

SYMBOL LEGEND:

- GL ——— GRID LINE:
- 1 ——— DRAWING NUMBER
- A5.5 ——— SHEET NUMBER
- 2 ——— DETAIL REFERENCE
- A3.4 ———
- ASSEMBLY TYPE
- STRUCTURAL MATERIAL
- BUILDING SECTION REFERENCE MARKER
- DETAIL REFERENCE
- ASSEMBLY TYPE REFERENCE

PROJECT INFO:

CIVIL ADDRESS: 2980 GALLAGHER RD.
LEGAL DESCRIPTION: KID: 820186; PLAN#: 71697; LOT#: 1

EXISTING LEGAL USE: VACANT
CURRENT ZONING: A1 - Agriculture 1
PROPOSED ZONING: RH3 - Hillside Cluster Housing

GRADES: VARIES / HILLSIDE
LOT AREA: 4.05 Ha = 40,500 m2

NUMBER OF BUILDINGS: 19 RESIDENTIAL + 1 AMENITY

UNIT COUNT:

LEVEL GRADE MID-UNIT: 17
LEVEL GRADE END-UNIT: 16

WALK-OUT MID-UNIT: 15
WALK-OUT END-UNIT: 16

SPLIT MID-UNIT: 7
SPLIT END-UNIT: 6
UNIT TOTAL : 77

FLOOR AREAS PER UNIT TYPE (G.F.A.) SQ.FT.:

LEVEL GRADE MID-UNIT: GROUND: 288 (+600) SECOND: 894 THIRD: 854 **TOTAL: 2,036**
LEVEL GRADE END-UNIT: GROUND: 367 SECOND: 791 THIRD: 868 **TOTAL: 2,026**

WALK-OUT MID-UNIT: GROUND: 288 (+600) SECOND: 894 THIRD: 854 **TOTAL: 2,036**
WALK-OUT END-UNIT: GROUND: 361 (+540) SECOND: 776 THIRD: 720 **TOTAL: 1,857**

SPLIT MID-UNIT: GROUND: 608 (+453) SECOND: 906 **TOTAL: 1,514**
SPLIT END-UNIT: GROUND: 690 (+411) SECOND: 897 **TOTAL: 1,587**

TOTAL FLOOR AREA (G.F.A.) SQ.FT.:

LEVEL GRADE MID-UNIT: 17 X 2,036 = 34,612
LEVEL GRADE END-UNIT: 16 X 2,026 = 32,416

WALK-OUT MID-UNIT: 15 X 2,036 = 30,540
WALK-OUT END-UNIT: 16 X 1,857 = 29,712

SPLIT MID-UNIT: 7 X 1,514 = 10,598
SPLIT END-UNIT: 6 X 1,587 = 9,522
TOTAL = 147,400

CITY OF KELOWNA ZONING BYLAW NO. 8000 ANALYSIS:

SECTION 7 - LANDSCAPING AND SCREENING

7.2 LANDSCAPING STANDARDS

PROJECT TO COMPLY WITH ALL THE LANDSCAPING STANDARDS THAT APPLY TO THE SITE. REFER TO LANDSCAPING CONSULTANT DRAWINGS.

7.3 REFUSE AND RECYCLING BINS

EACH UNIT TO HAVE TOTER TYPE BINS FOR INDIVIDUAL GARAGE & RECYCLING COLLECTION.

7.5 FENCING AND RETAINING WALLS

SCREEN FENCES SHALL BE CONSISTENT WITH THE QUALITY OF BUILDING DESIGN AND MATERIALS. NO FENCE SHALL EXCEED 2.0m IN HEIGHT. FOR RETAINING WALLS AND HEIGHT REFER TO THE CIVIL CONSULTANTS DRAWINGS.

7.6 MINIMUM LANDSCAPE BUFFERS

TABLE 7.1 - NO MINIMUM LANDSCAPE BUFFER TREATMENT LEVELS SCHEDULE ASSIGNED TO RH3.

SECTION 8 - PARKING AND LOADING

TABLE 8.3.1.1 RESIDENTIAL PARKING

MULTIPLE DWELLING: ALL OTHER NON- SINGLE FAMILY ZONES NOT WITHIN AN URBAN OR VILLAGE CENTRE

REQUIRED: 2.0 SPACES PER 3 BEDROOM OR MORE UNITS.
PROPOSED: 2 COVERED SPACES PER DWELLING UNIT

VISITOR:

REQUIRED: 0.14 VISITOR SPACE PER DWELLING UNIT (11 VISIT.)
PROPOSED: VISITOR SPACE PER 7 DWELLING UNITS = 12 VISIT.

PARKING SPACES FOR THE DISABLED
PER B.C. BUILDING CODE: 1/100

PROP: 1

8.2.7 SIZE AND RATIO

REGULAR SIZE: **PROP:** 2 x 77 UNITS = 154 + 12 VISITOR
a) MIN WIDTH: 2.5m **PROP:** 2.5m
MIN LENGTH: 6m **PROP:** 6.0m
MIN HEIGHT: 2.0m **PROP:** 2.0m

SMALL SIZE: MAX NUMBER: 50% **PROP:** 0

TABLE 8.5 MINIMUM BICYCLE PARKING REQUIRED

LONG-TERM: NOT REQUIRED FOR TOWNHOUSE
SHORT-TERM: 1 PER 5 UNITS = 16 REQUIRED **PROVIDED: 4 RACKS OF 4 BIKES EACH**

SECTION 13.16 - RH3 - HILLSIDE CLUSTER HOUSING

13.16.3 PRINCIPLE USES:

- (d) THREE DWELLING HOUSING
- (e) FOUR DWELLING HOUSING
- (f) MULTIPLE DWELLING HOUSING

13.16.5 BUILDINGS AND STRUCTURES PERMITTED:

- (d) TRIPLEX HOUSING
- (e) FOURPLEX HOUSING
- (f) ROW HOUSING
- (h) ACCESSORY BUILDINGS AND STRUCTURES

13.16.6 SUBDIVISION REGULATIONS

(a) FOR STRATA DEVELOPMENT CONTAINING THREE DWELLING HOUSING, FOUR DWELLING HOUSING, OR MULTIPLE DWELLING HOUSING:
MINIMUM SITE WIDTH: 30.0m. **124 m**
MINIMUM SITE DEPTH: 30.0m **280 m**
MINIMUM SITE AREA: 5,000 m². **40,500 m2**

13.16.7 DEVELOPMENT REGULATIONS

(b) LOT CONTAINING THREE OR MORE ATTACHED DWELLING UNITS:

MAXIMUM DENSITY: 22 DWELLINGS PER HECTARE
MAXIMUM SITE COVERAGE: 40% / 50% w/DRIVEWAYS

PROP: 4.05 Ha / 77 = 19
PROP: 35% / 45%

MIN FRONT YARD: 3.0 m / 6.0 m to garage
MIN REAR YARD: 4.5 m
MIN SIDE YARD: 4.5m to P.L. / 4.5 m between buildings

PROP: 4.5 m / 6.0 m to garage
PROP: 4.5 m / 3.0 m VARIANCE AT LOSETH
PROP: 4.5m to P.L. / 4.5m side yard

(d) 10% OF PRIVATE OPEN SPACE MAY BE TRANSFERRED TO A MULTI-RESIDENTIAL SHARED GARDEN LOCATED ON THE SAME PARCEL

13.16.8 BUILDING FORM AND MASSING

- (a) MAXIMUM HEIGHT IS 9.5 m. **PROP: 9.5 m / 10.5 m VARIANCE AT WALK-OUTS**
- (b) THIRD STOREY MUST BE STEPPED BACK 2.1 m AT FRONT, REAR AND FRANKLING STREET.
- (c) DECKS SHALL NOT EXCEED 1 STOREY IN HEIGHT

13.16.9 OTHER REGULATIONS

- (a) VEHICLE PARKING NOT PERMITTED BETWEEN BUILDINGS - WITHIN THE 4.5 M SIDE YARD SETBACK.

VARIANCE 1:
3.0 m REAR YARD VARIANCE AT LOSETH ROAD.

MOVING THE BUILDING STRUCTURES TOWARDS LOSETH
REDUCES THE MOUNTAIN CUT HEIGHTS.

VARIANCE 2:
10.5 m BUILDING HEIGHT

INCREASING THE MAIN LEVEL CEILING HEIGHT AT THE
WALK-UNITS ALLOWS FOR HIGHER GRADE LEVEL IN THE
BACKYARDS, REDUCING THE MOUNTAIN CUT HEIGHT.

Notes:

- THIS DRAWING MUST NOT BE SCALED.

- VERIFY ALL DIMENSIONS AND DATUMS PRIOR TO COMMENCEMENT OF WORK. REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT.

- VARIATIONS AND MODIFICATIONS ARE NOT ALLOWED WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT.

- THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE ARCHITECT.

ANY REPRODUCTION MUST BEAR THEIR NAME AS ARCHITECT.

FOR REZONING
AND DEV.
PERMIT

3	20.02.2020	CP	FOR RZ + DP
2	08.11.2018	CP	FOR CLIENT REVIEW
1	29.03.2018	CP	CONCEPT DESIGN

NO.	DATE	BY	DESCRIPTION
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www.gtarch.ca

DEVELOPED BY:

KIRSCHNER MOUNTAIN

PROJECT

KIRSCHNER
MOUNTAIN PH. 6

Enter address here

SHEET TITLE

COVER SHEET

DRAWN BY: Author

DRAWING NO.

DESIGNED BY: Designer

A0.0

SCALE: 12" = 1'-0"

DATE: 19/12/2018

FILE: 0001



VIEW FROM THE END OF LOSETH ROAD TOWARDS THE SITE (SOUTH-WEST)



VIEW FROM THE SOUTH SIDE OF THE FUTURE LOSETH RD TOWARDS THE NORTH



VIEW FROM THE NORTH SIDE OF THE FUTURE LOSETH RD TOWARDS THE SOUTH



VIEW FROM THE FUTURE LOSETH ROAD AT THE MIDDLE POINT OF THE SITE TOWARDS NORTH-EAST



VIEW FROM THE FUTURE LOSETH ROAD AT THE MIDDLE POINT OF THE SITE TOWARDS SOUTH-WEST

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SHEET TITLE

SITE PHOTOS

DRAWN BY:	Author	DRAWING NO.
DESIGNED BY:	Designer	A0.1
SCALE:	3" = 1'-0"	
DATE:	03/29/18	FILE: 0001



RENDERING VIEW OF BUILDING 19 - FROM ROAD 4 (WALK-OUT FOURPLEX)



RENDERING VIEW OF END OF ROAD 1 LOOKING TOWARDS THE SOUTH-WEST



RENDERING VIEW OF LOSETH ROAD AT NORTHERN SIDE



RENDERING VIEW OF ROAD 4 FROM THE VISITORS PARKING TOWARDS THE WEST



RENDERING VIEW OF BUILDING 10 FROM THE BACKYARD OF BUILDING 1, AT THE OTHER SIDE OF LOSETH RAOD



RENDERING VIEW OF BUILDING 6 (WALK-OUT) AND BUILDING 3 (LEVELED GRADING) LOOKING TOWARDS THE NORTH-WEST

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REVIEW

2	08.11.2018	CP	FOR CLIENT REVIEW
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SHEET TITLE
BUILDINGS
PERSPECTIVES
(RENDERINGS)

DRAWN BY:	Author	DRAWING NO.	A0.2
DESIGNED BY:	Designer		
SCALE:	12" = 1'-0"		
DATE:	19/12/2018	FILE:	0001



RENDERING VIEW OF SITE FROM ABOVE ROAD 4



RENDERING VIEW LOOKING WEST FROM INTERSECTION OF ROAD 3 AND 4



RENDERING VIEW LOOKING SOUTH ON ROAD 1



RENDERING VIEW LOOKING NORTH-WEST AT END OF ROAD 2



RENDERING VIEW LOOKING SOUTH ON LOSETH ROAD



RENDERING VIEW LOOKING EAST ON LOSETH ROAD

Notes:

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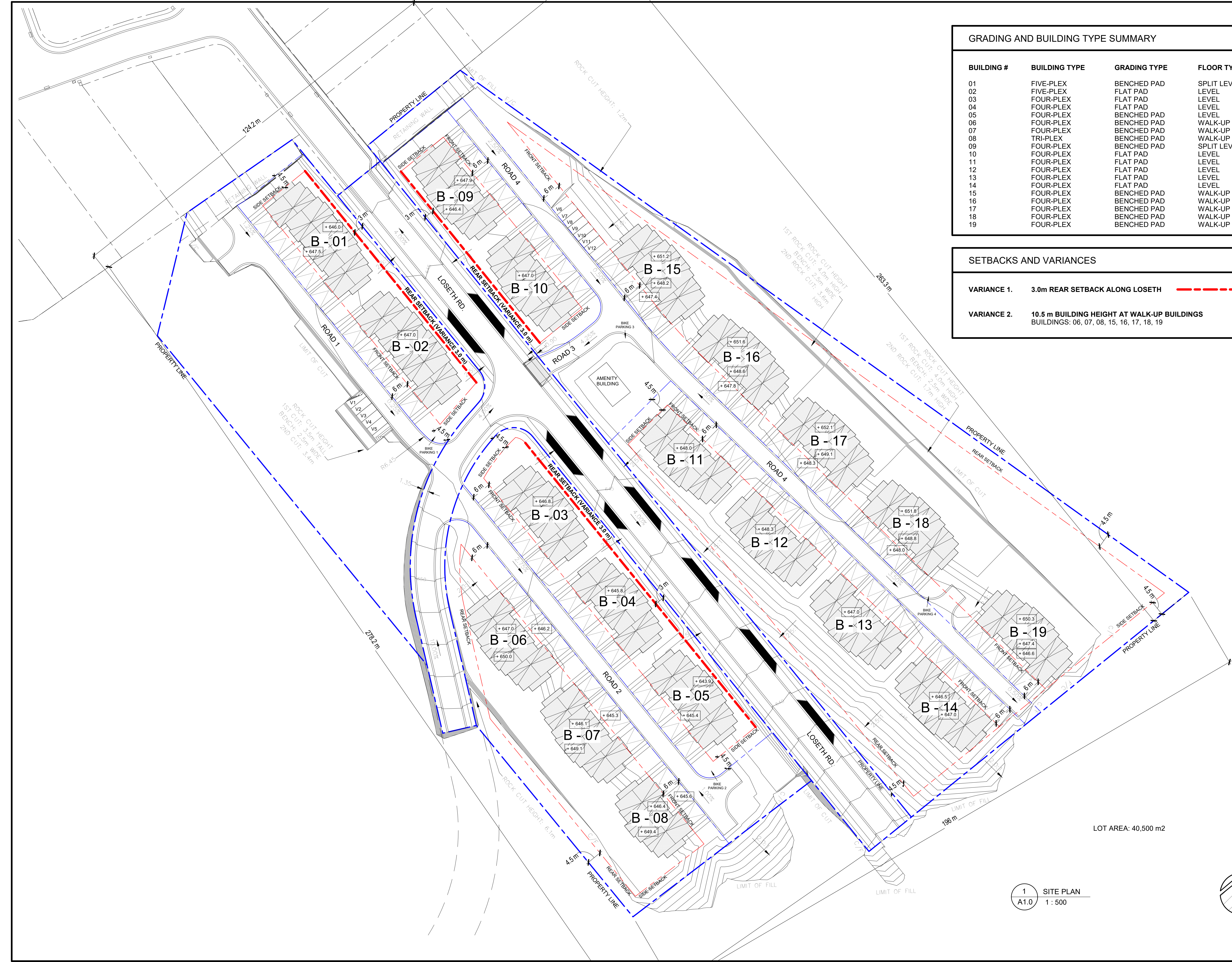
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SHEET TITLE

BUILDINGS
PERSPECTIVES
(RENDERINGS)

DRAWN BY:	Author	DRAWING NO.
DESIGNED BY:	Designer	A0.2
SCALE:	12" = 1'-0"	
DATE:	19/12/2018	FILE: 0001



GRADING AND BUILDING TYPE SUMMARY			
BUILDING #	BUILDING TYPE	GRADING TYPE	FLOOR TYPE
01	FIVE-PLEX	BENCHED PAD	SPLIT LEVEL
02	FIVE-PLEX	FLAT PAD	LEVEL
03	FOUR-PLEX	FLAT PAD	LEVEL
04	FOUR-PLEX	FLAT PAD	LEVEL
05	FOUR-PLEX	BENCHED PAD	LEVEL
06	FOUR-PLEX	BENCHED PAD	WALK-UP
07	FOUR-PLEX	BENCHED PAD	WALK-UP
08	TRI-PLEX	BENCHED PAD	WALK-UP
09	FOUR-PLEX	BENCHED PAD	SPLIT LEVEL
10	FOUR-PLEX	FLAT PAD	LEVEL
11	FOUR-PLEX	FLAT PAD	LEVEL
12	FOUR-PLEX	FLAT PAD	LEVEL
13	FOUR-PLEX	FLAT PAD	LEVEL
14	FOUR-PLEX	FLAT PAD	LEVEL
15	FOUR-PLEX	BENCHED PAD	WALK-UP
16	FOUR-PLEX	BENCHED PAD	WALK-UP
17	FOUR-PLEX	BENCHED PAD	WALK-UP
18	FOUR-PLEX	BENCHED PAD	WALK-UP
19	FOUR-PLEX	BENCHED PAD	WALK-UP

SETBACKS AND VARIANCES	
VARIANCE 1.	3.0m REAR SETBACK ALONG LOSETH
VARIANCE 2.	10.5 m BUILDING HEIGHT AT WALK-UP BUILDINGS BUILDINGS: 06, 07, 08, 15, 16, 17, 18, 19

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1	29.03.2018	CP	CONCEPT DESIGN

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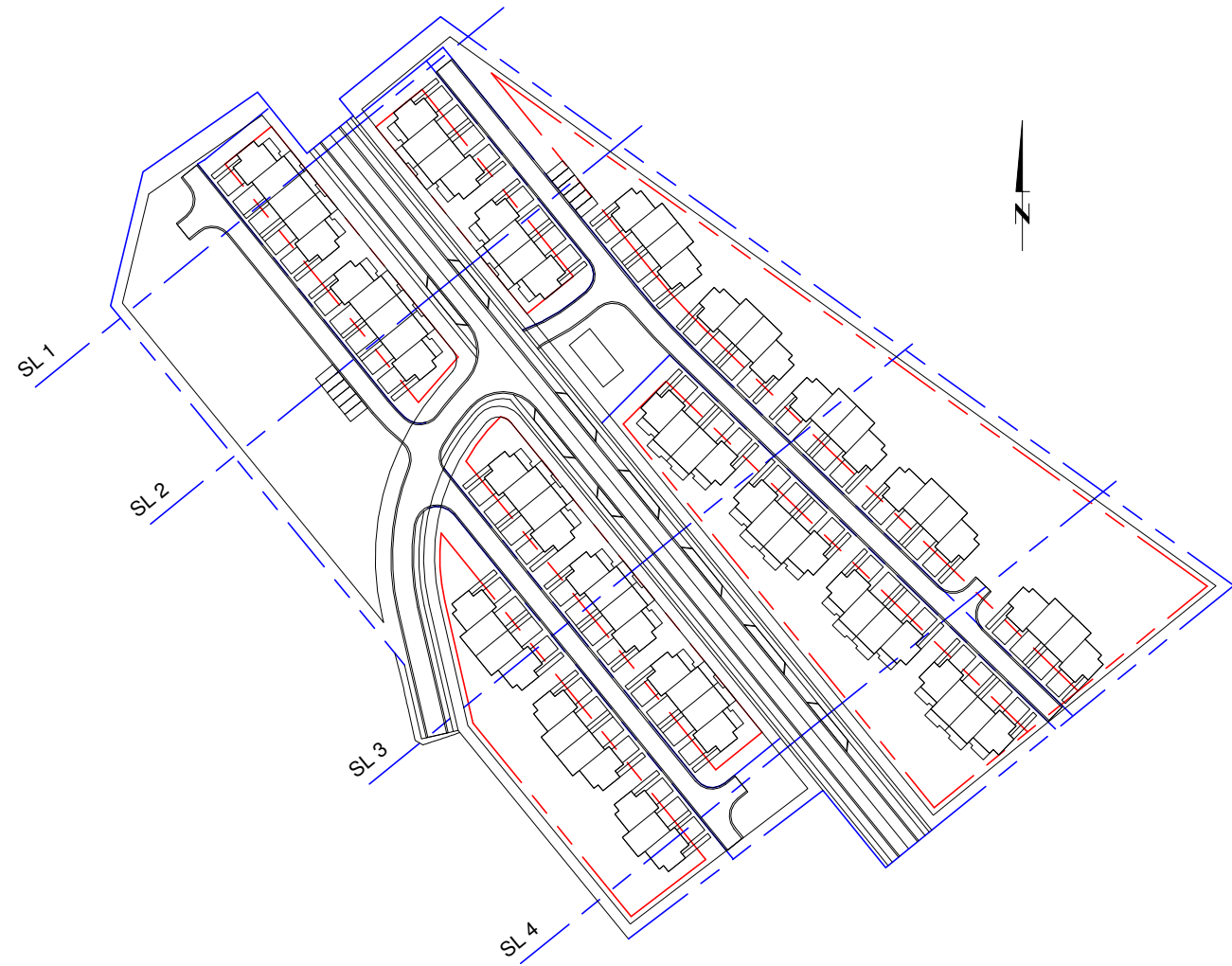


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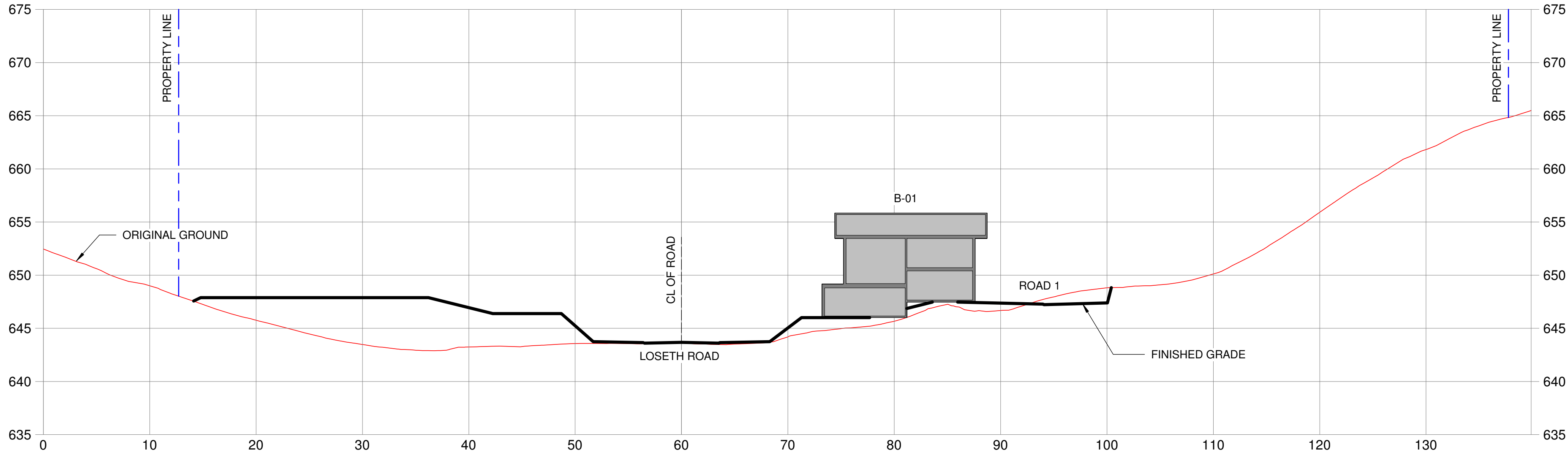
PROJECT
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MOUNTAIN PH. 6
KIRSCHNER MOUNTAIN

SHEET TITLE
SITE PLAN

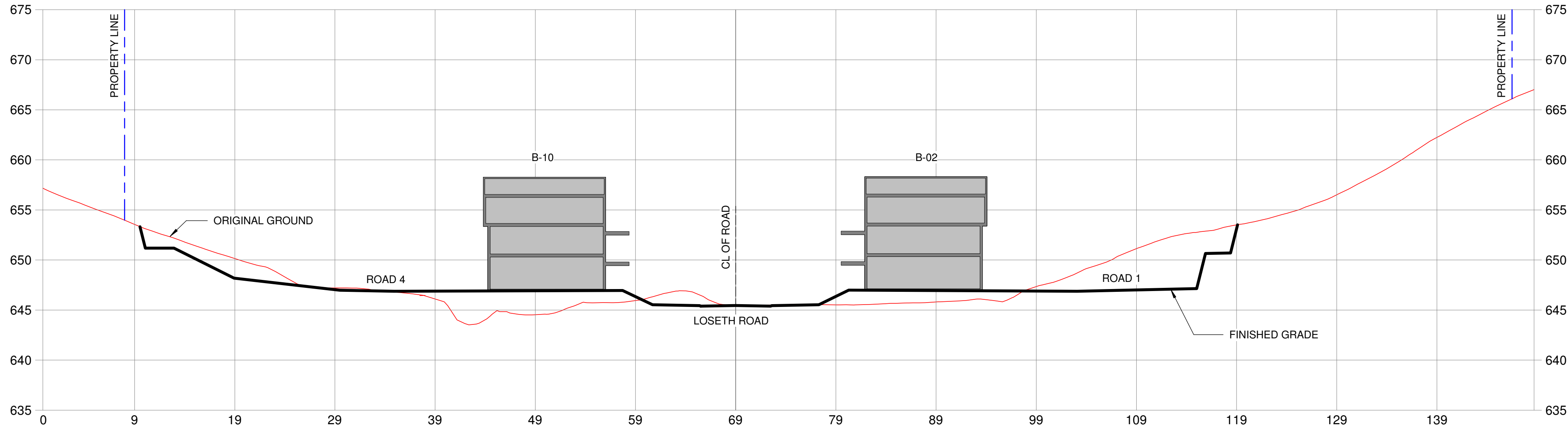
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DESIGNED BY:	CP	SCALE:	
DATE:	2019/11/08	FILE:	A18-08



SECTION SL 1 - STA 1+895



SECTION SL 2 - STA 1+945



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PROJECT

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MOUNTAIN PH. 6
KIRSCHNER MOUNTAIN

SHEET TITLE

CROSS SITE SECTIONS
1

DRAWN BY: AW

DRAWING NO.

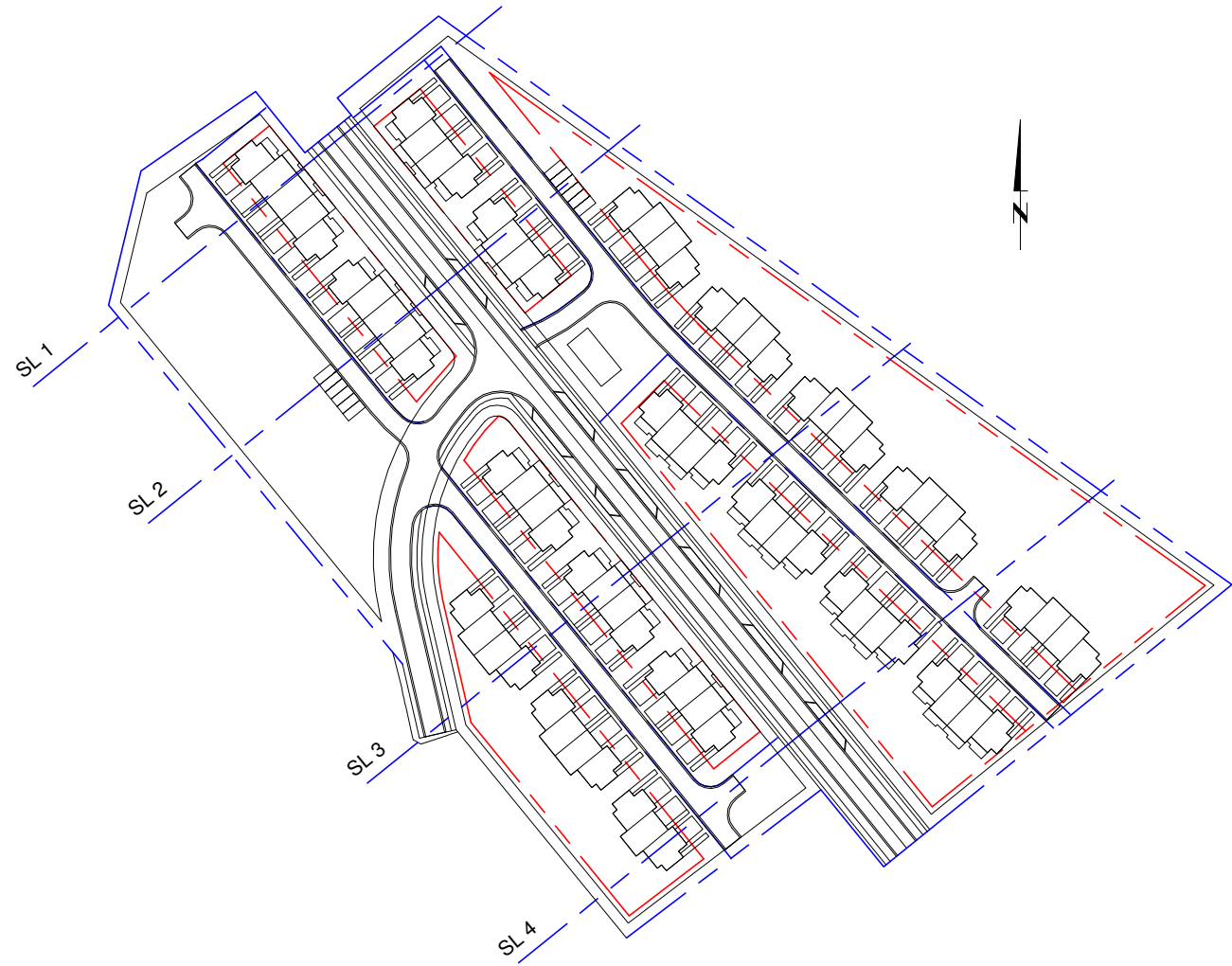
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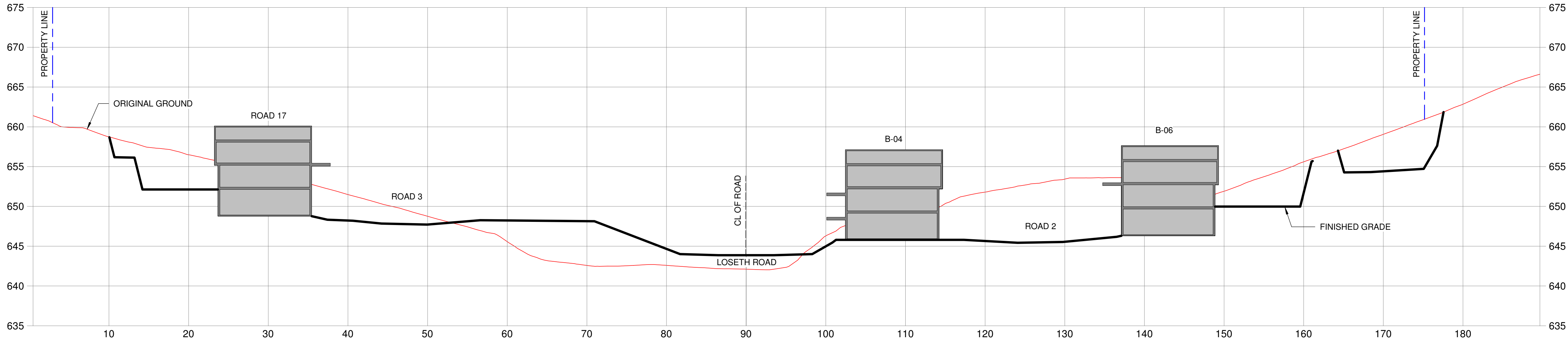
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DATE: 08/11/2019

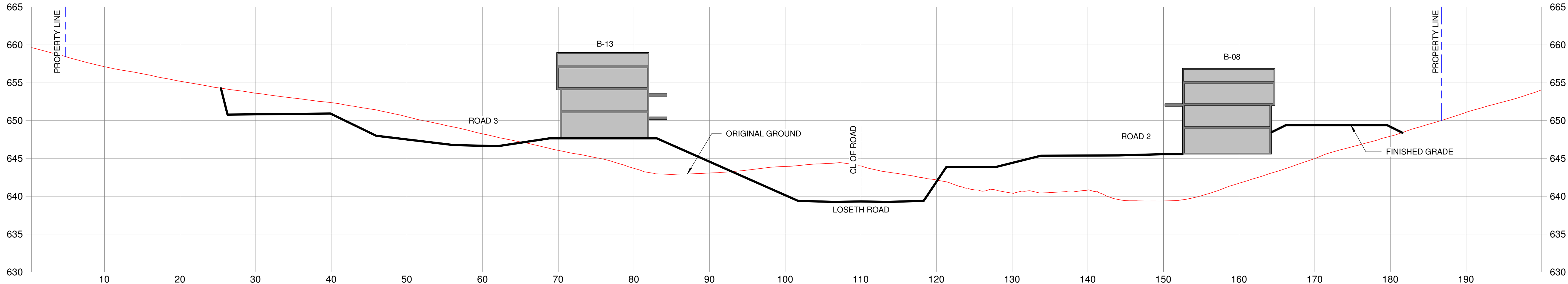
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SECTION SL 3 - STA 2+040



SECTION SL 4 - STA 2+100



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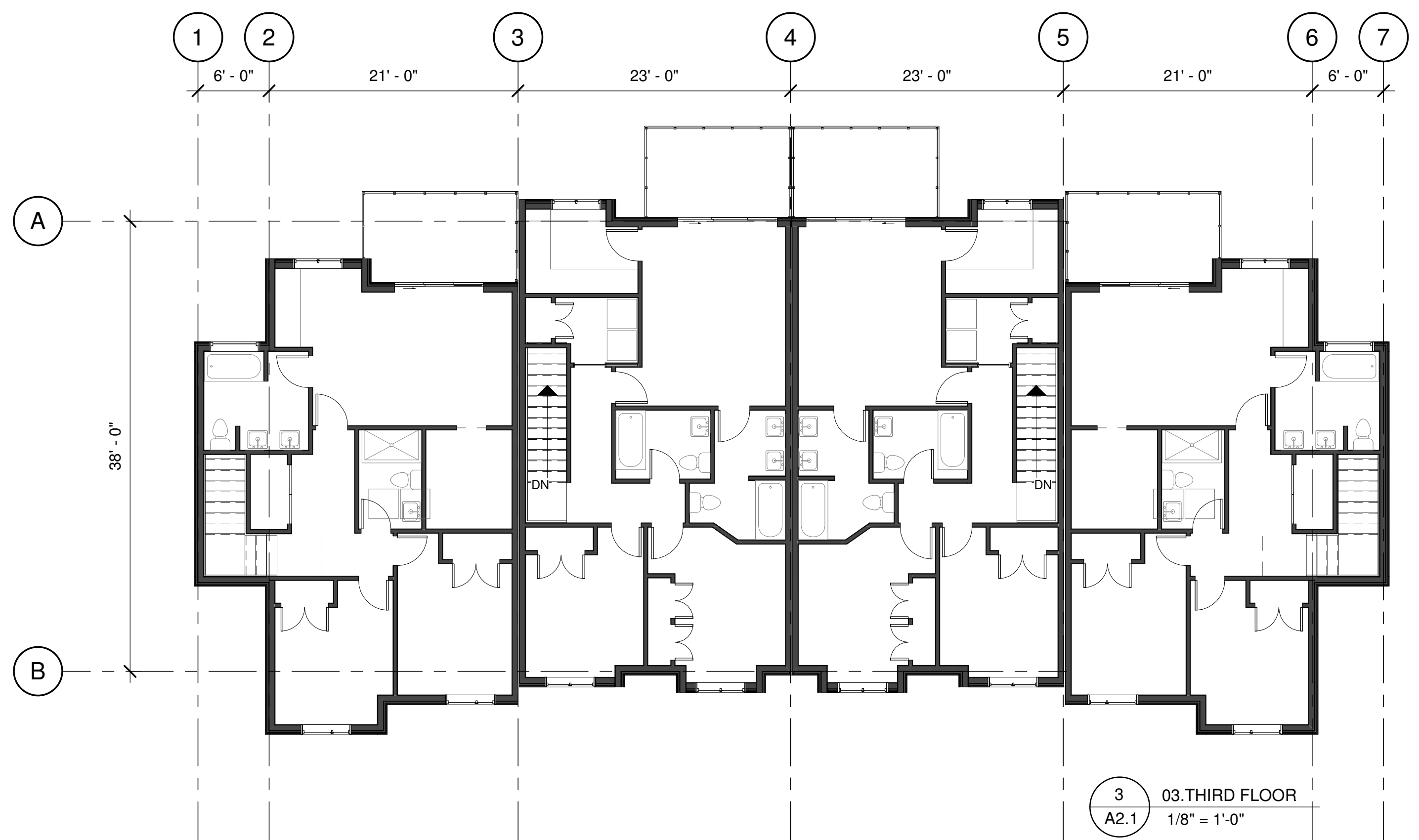
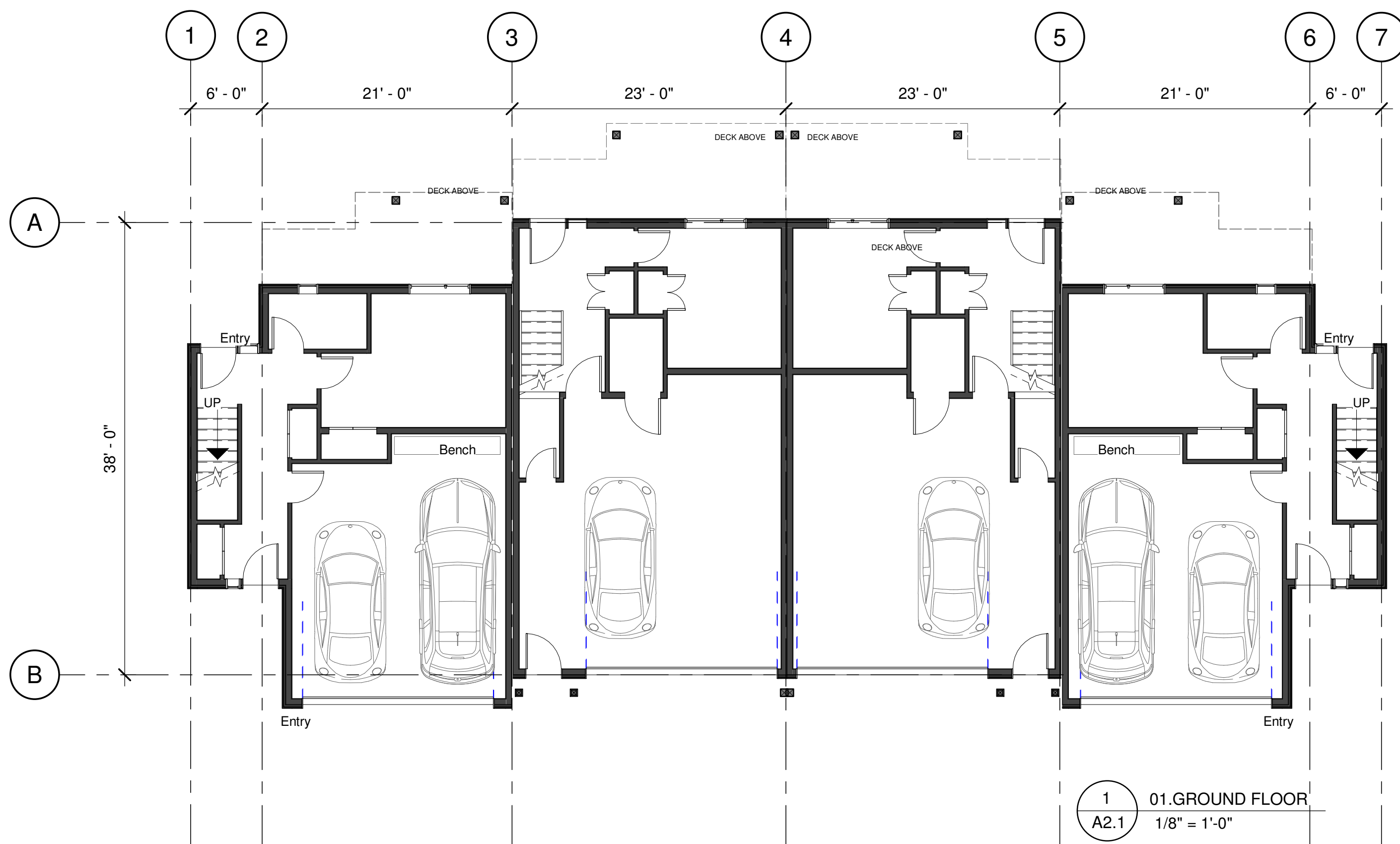
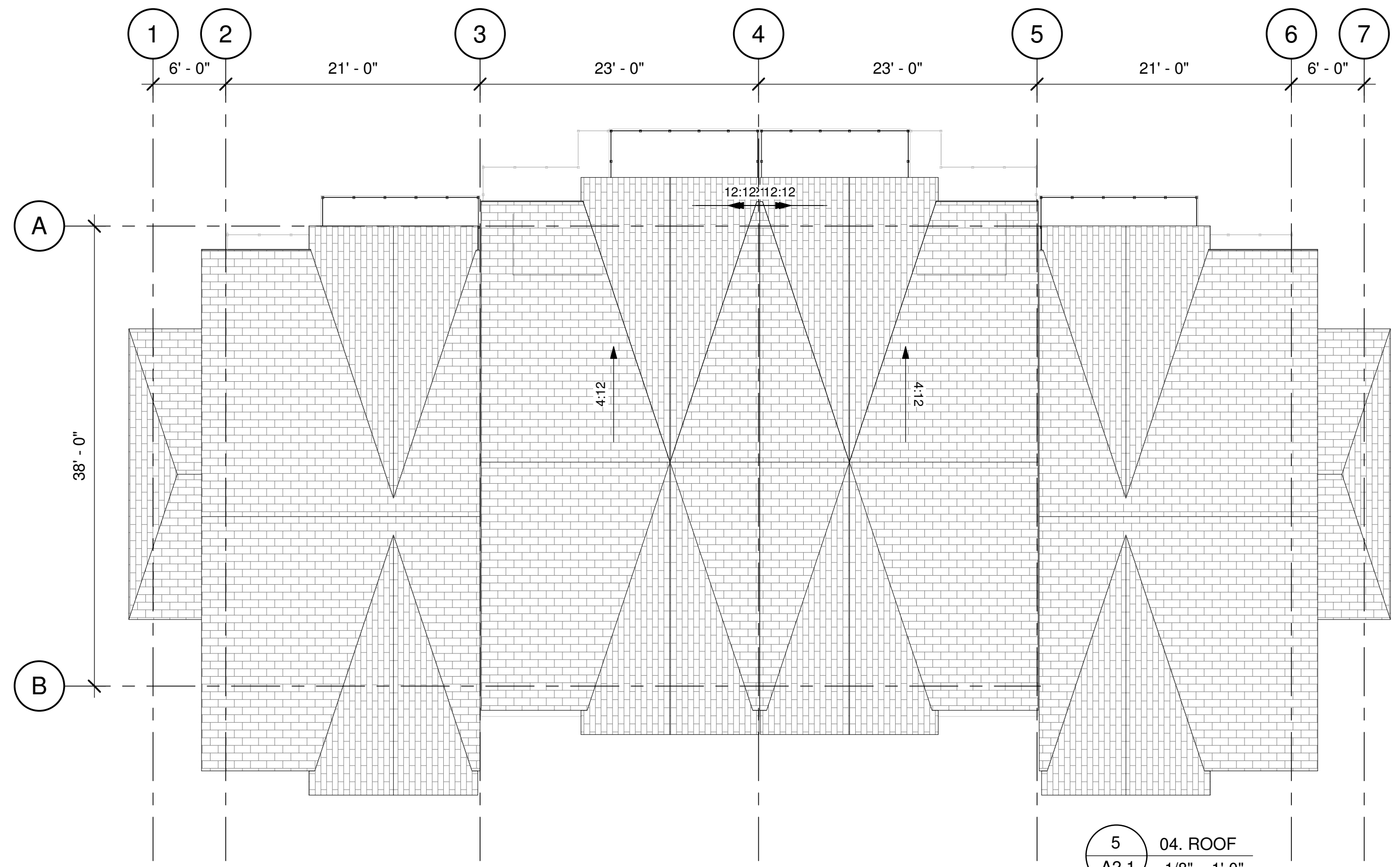
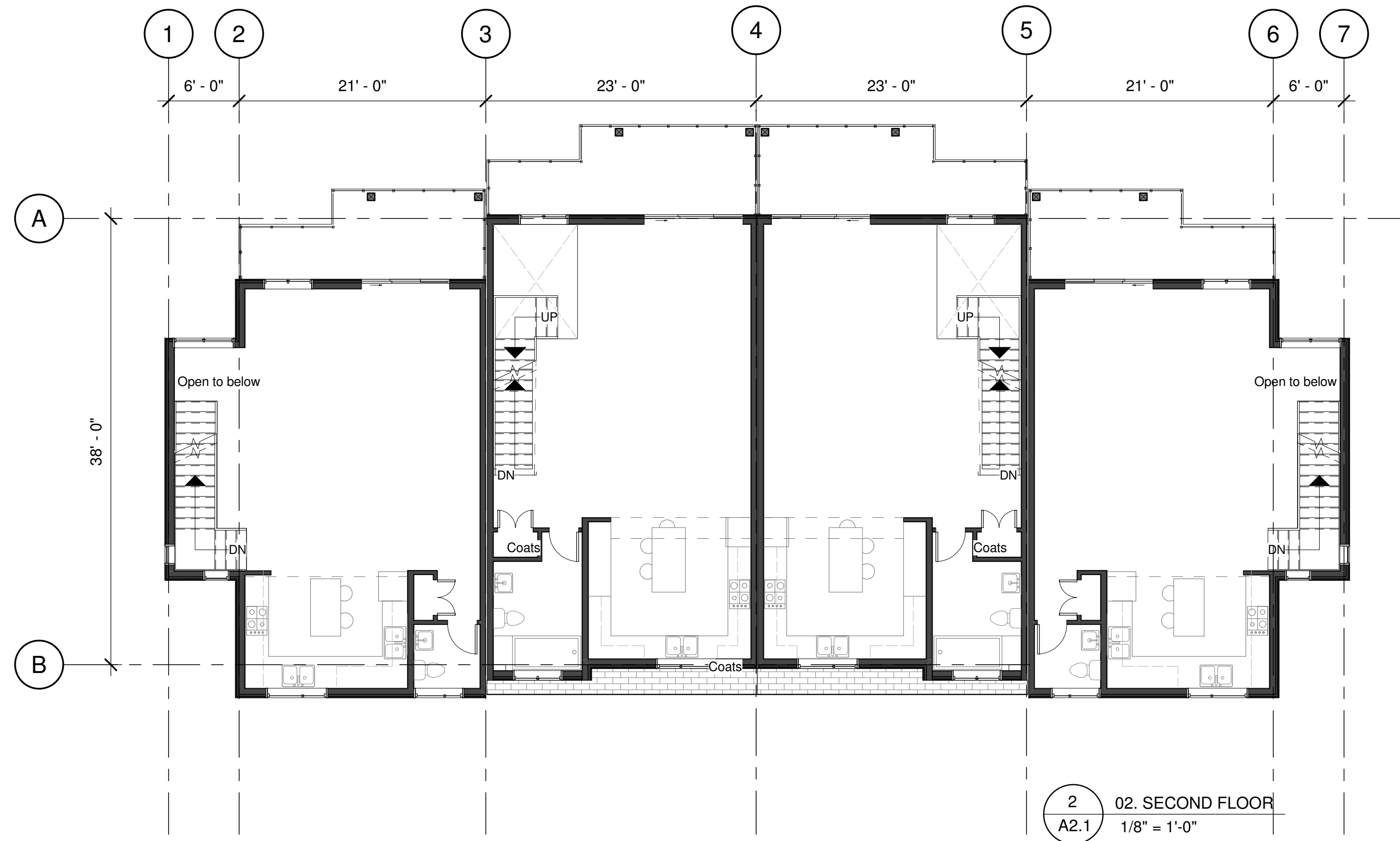
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MOUNTAIN PH. 6
KIRSCHNER MOUNTAIN

SHEET TITLE

CROSS SITE SECTIONS
2

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DESIGNED BY:	CP		
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DATE:	08/11/2019	FILE:	A18-08



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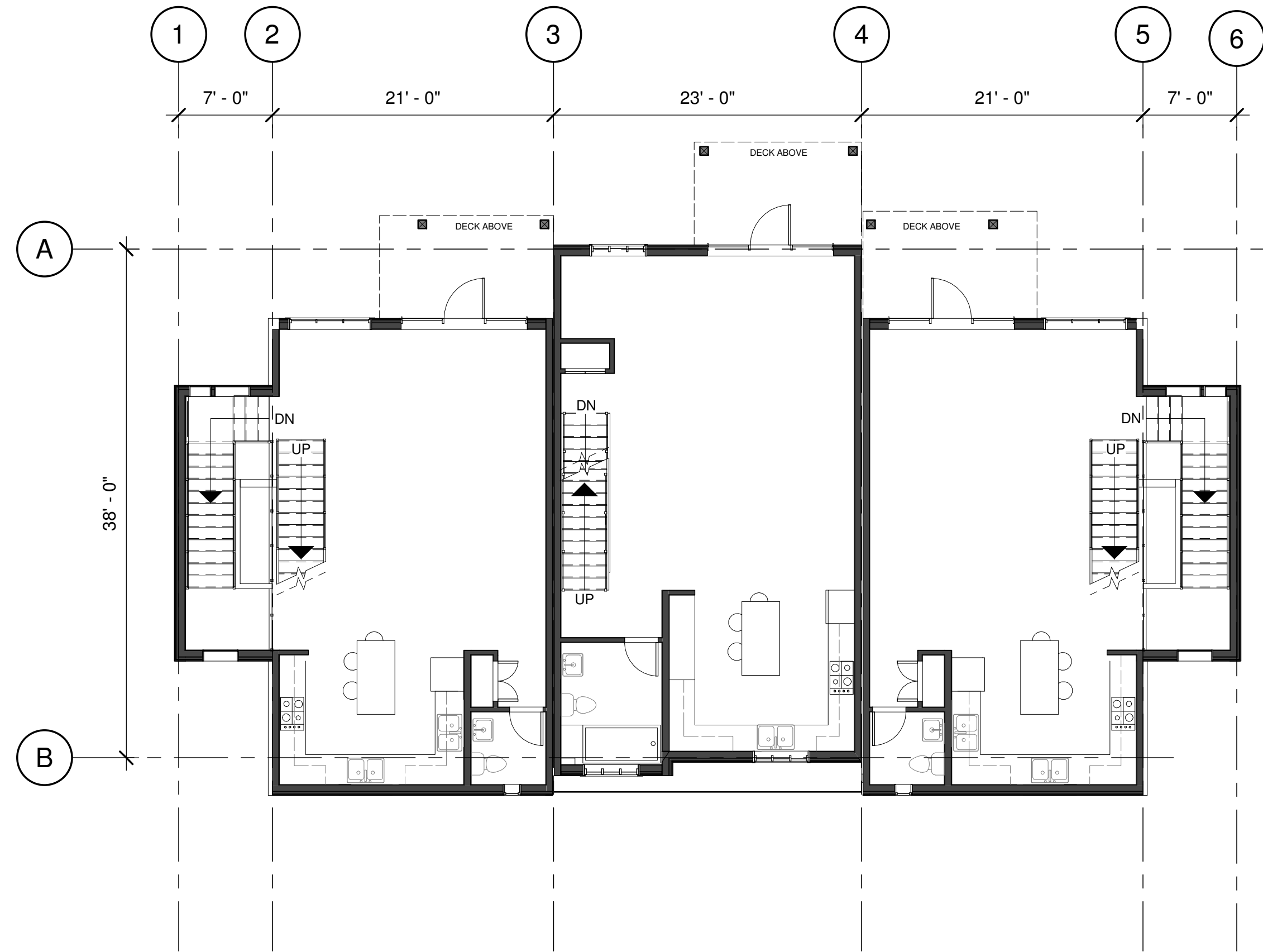
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MOUNTAIN PH. 6
2980 GALLAGHER RD.

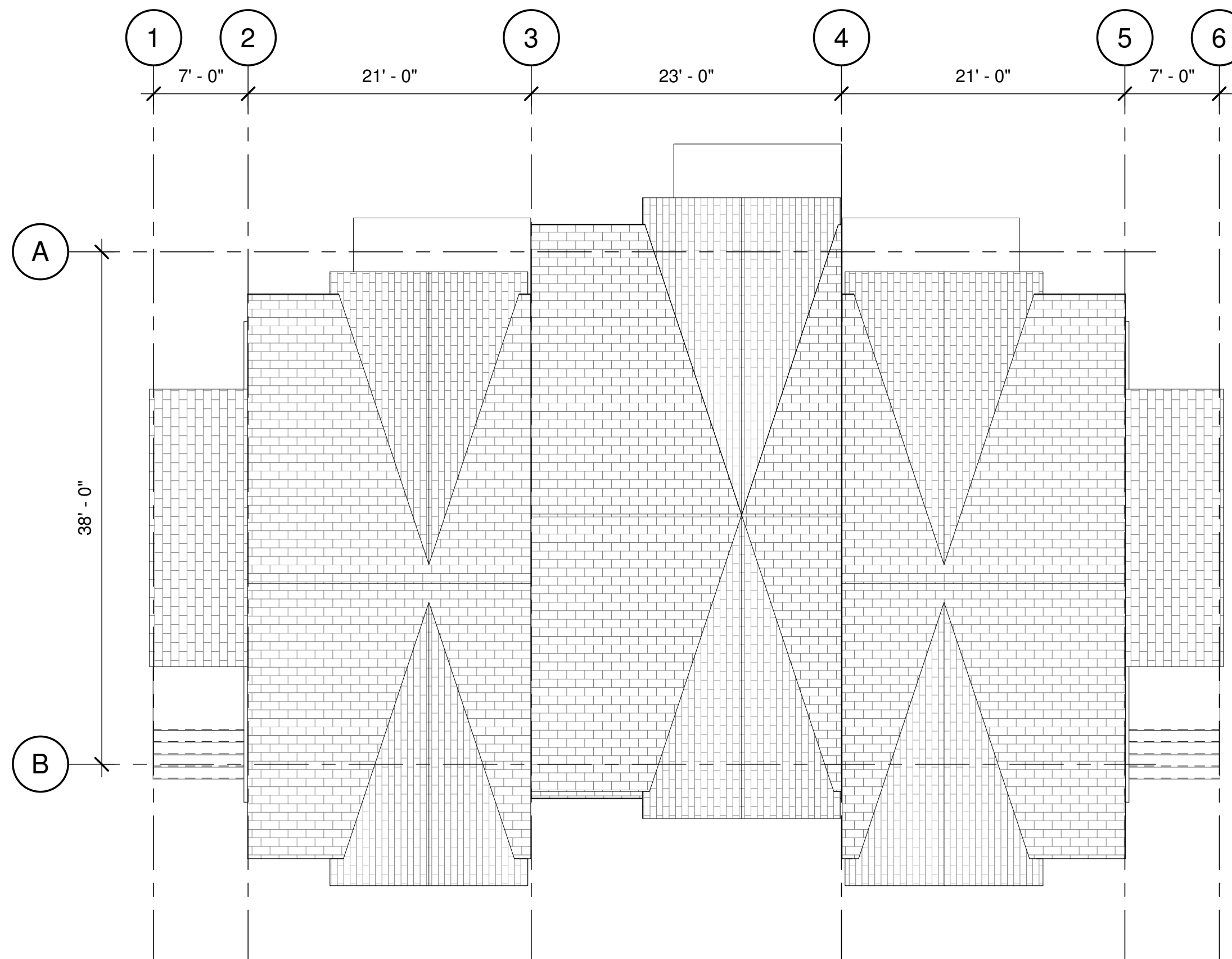
SHEET TITLE

BUILDING PLANS ON
LEVELED GRADING
(FOURPLEX)

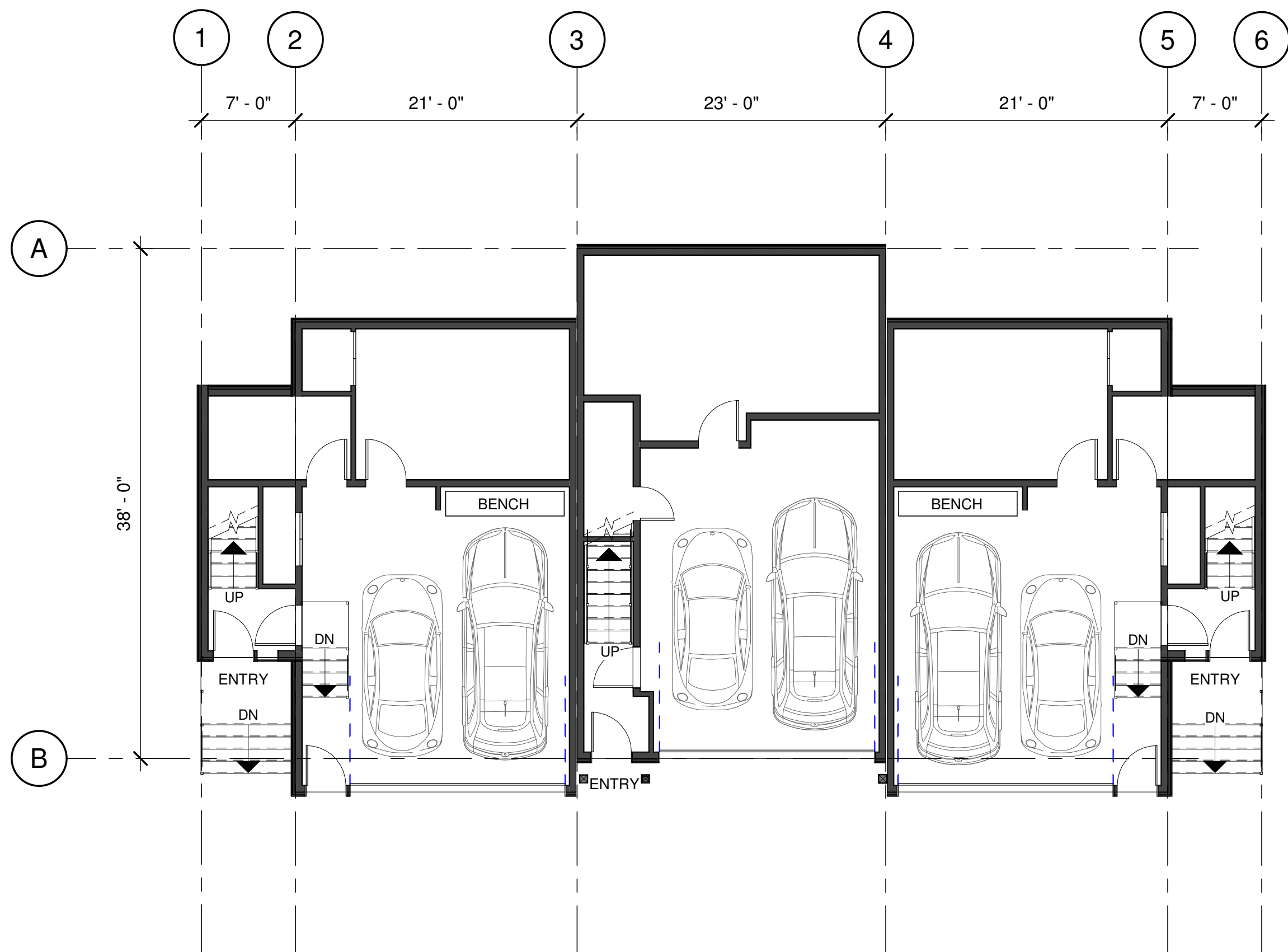
DRAWN BY:	CP	DRAWING NO.	A2.1
DESIGNED BY:	CP		
SCALE:	1/8" = 1'-0"		
DATE:	08/11/2019	FILE:	



2 02. SECOND FLOOR
A2.2 1/8" = 1'-0"



5 04. ROOF
A2.2 1/8" = 1'-0"



1 01. GROUND FLOOR
A2.2 1/8" = 1'-0"



3 03. THIRD FLOOR
A2.2 1/8" = 1'-0"

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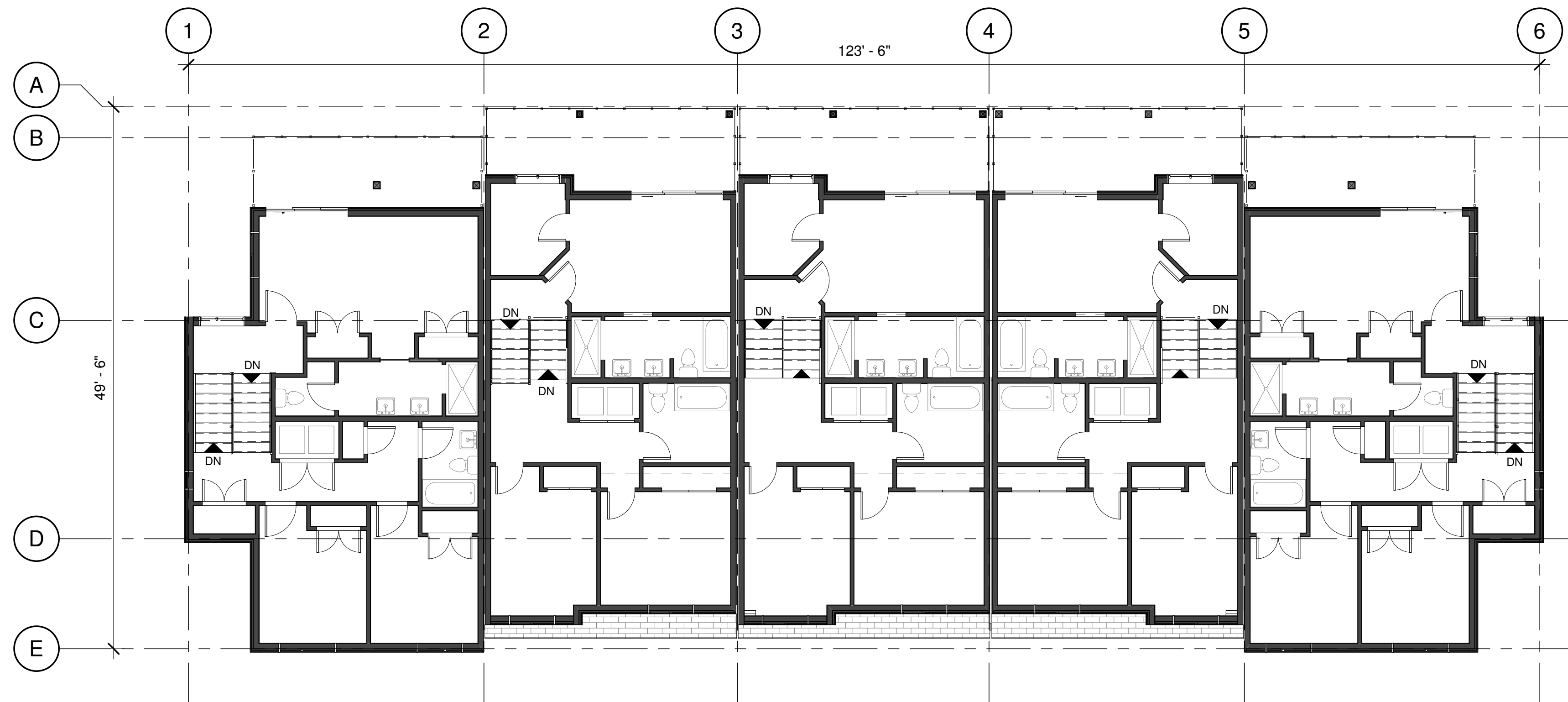
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MOUNTAIN PH. 6
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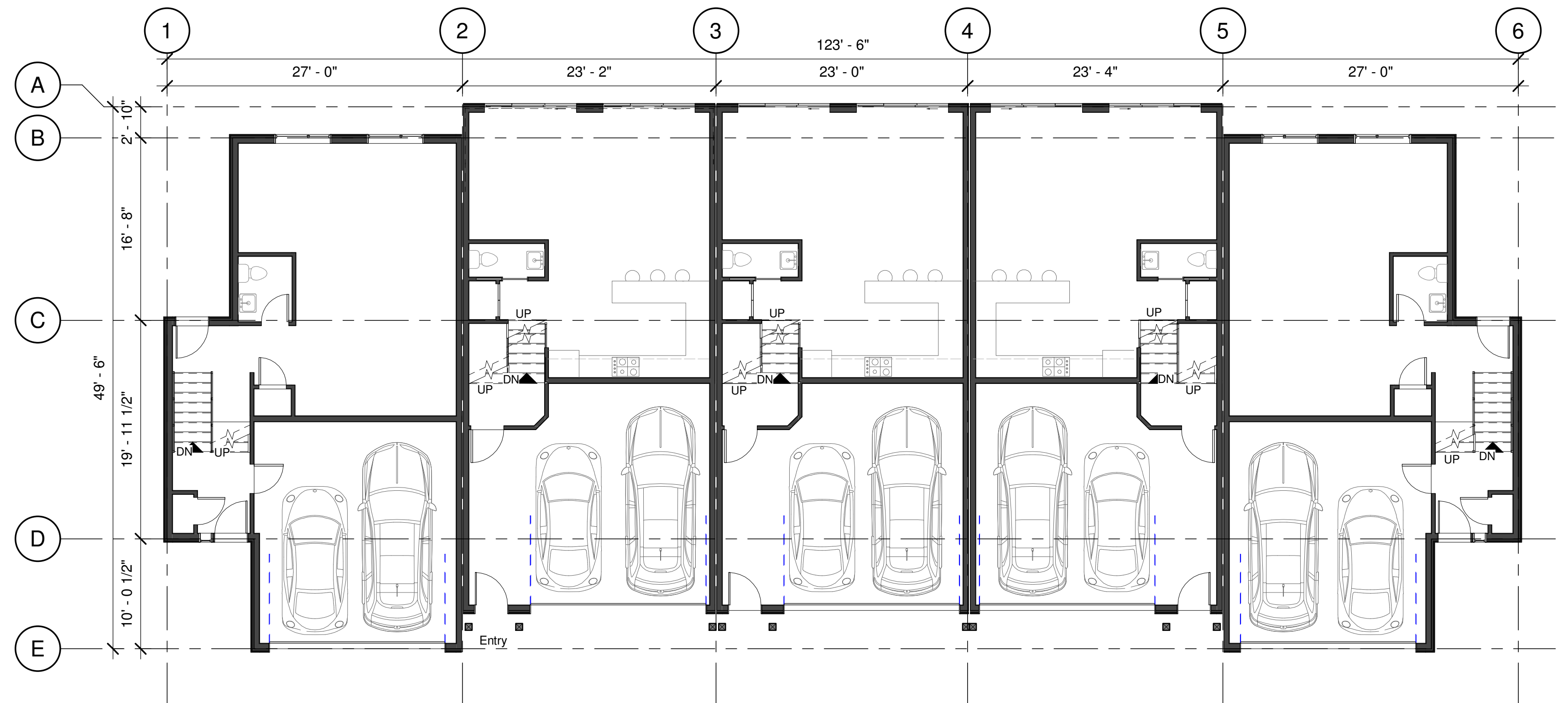
SHEET TITLE

BUILDING PLANS ON
FULL STOREY
BENCHED GRADING
(TRIPLEX)

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DESIGNED BY:	CP	A2.2
SCALE:	1/8" = 1'-0"	
DATE:	08/11/2019	FILE: A18-08



2 02. SECOND + SECOND SPLIT
A2.3 1/8" = 1'-0"



1 01 GROUND + GROUND SPLIT
A2.3 1/8" = 1'-0"

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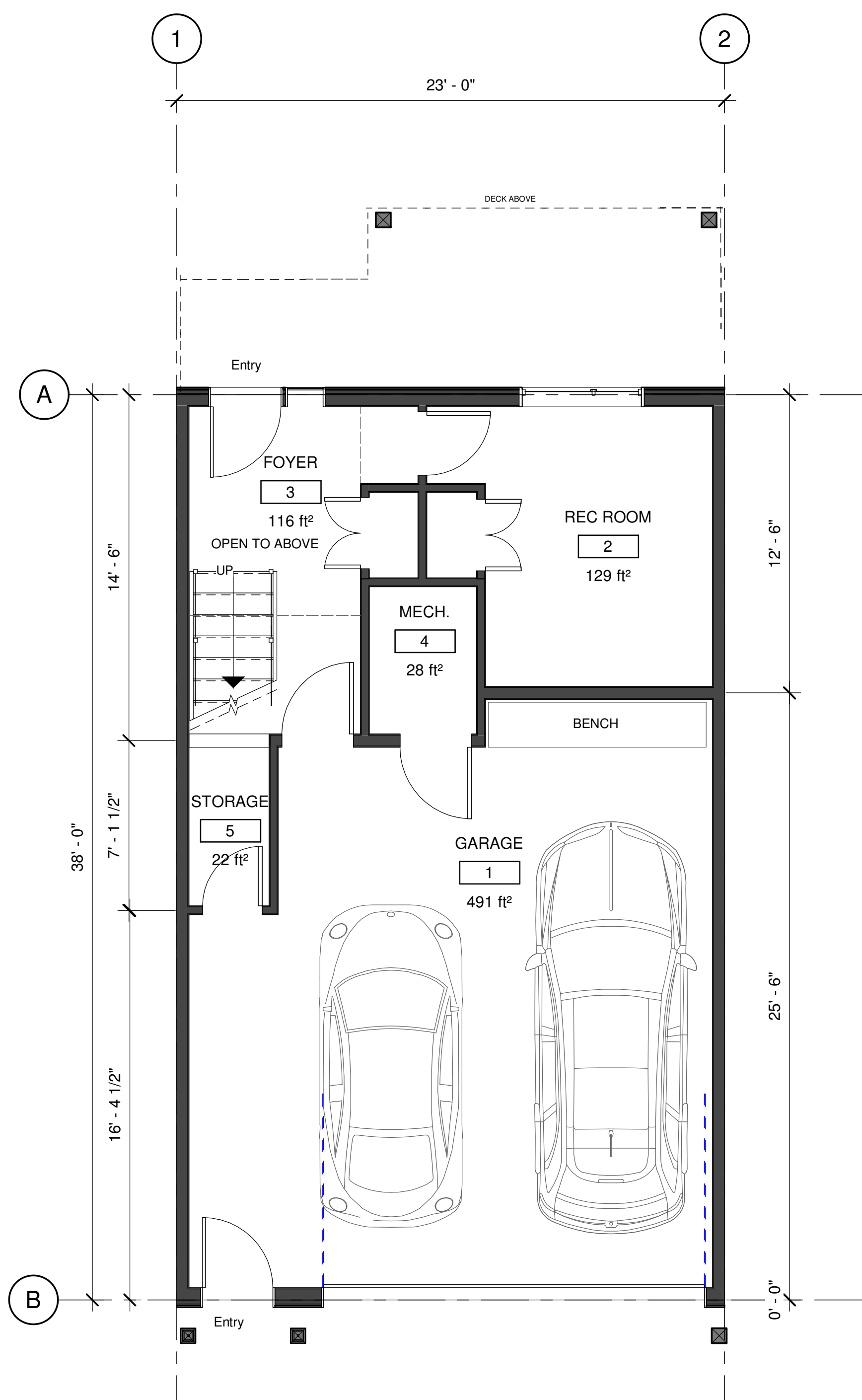
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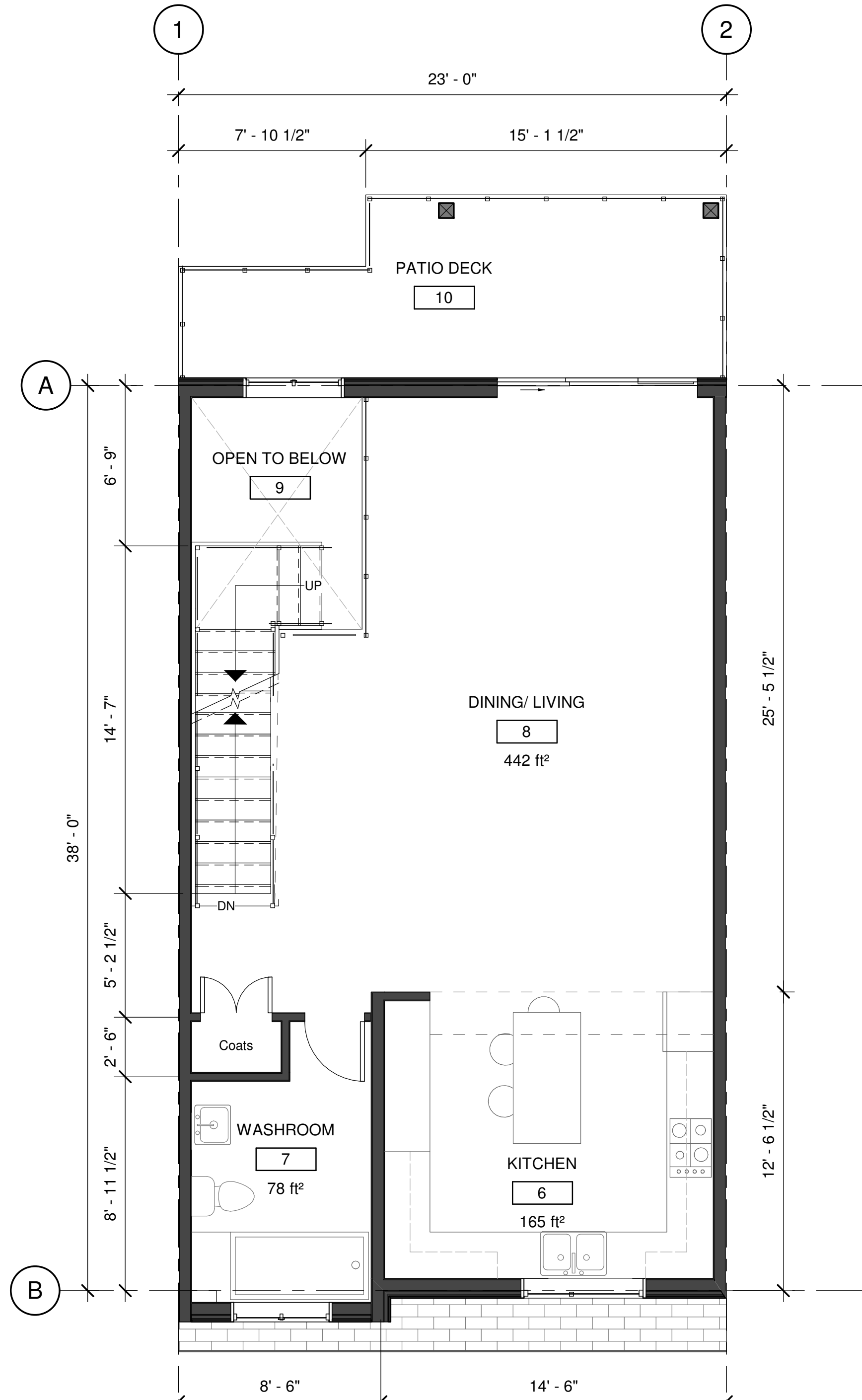
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2980 GALLAGHER RD.

SHEET TITLE
BUILDING PLANS ON
HALF STOREY
BENCHED GRADING
(FIVEPLEX)

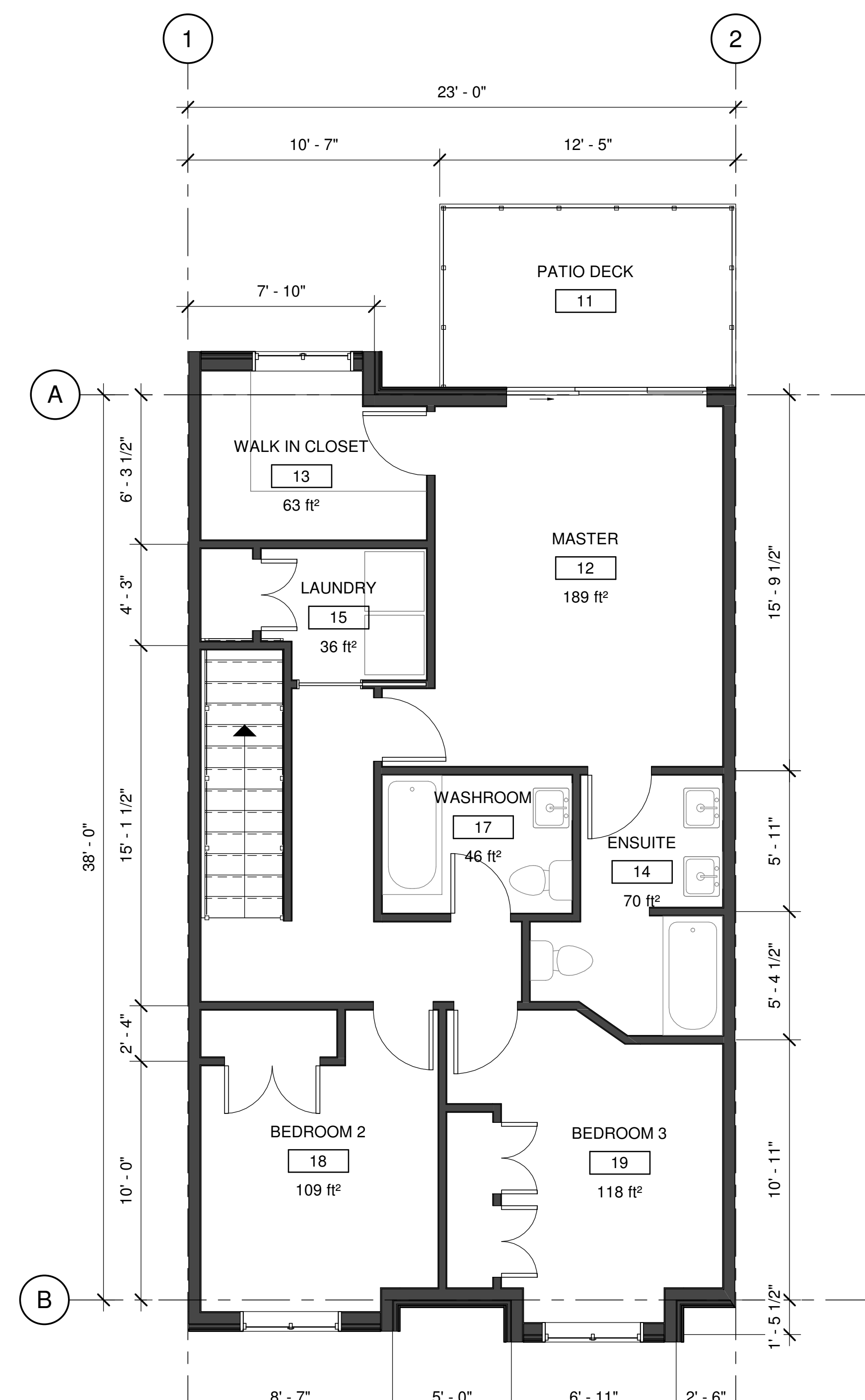
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DESIGNED BY:	CP		
SCALE:	1/8" = 1'-0"		
DATE:	08/11/2019	FILE:	A18-08



1 01.GROUND FLOOR
A3.1 1/4" = 1'-0"



2 02. SECOND FLOOR
A3.1 1/4" = 1'-0"



3 03. THIRD FLOOR
A3.1 1/4" = 1'-0"

GROSS BUILDING AREA	
Level	Area
FINISHED	
GROUND FLOOR	288 ft ²
SECOND FLOOR	894 ft ²
THIRD FLOOR	854 ft ²
	2,036 ft ²
UNFINISHED	
GROUND FLOOR	600 ft ²
	600 ft ²

Notes:

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SHEET TITLE

LEVEL GRADING MID
LEVEL FLOOR PLAN

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DRAWING NO.

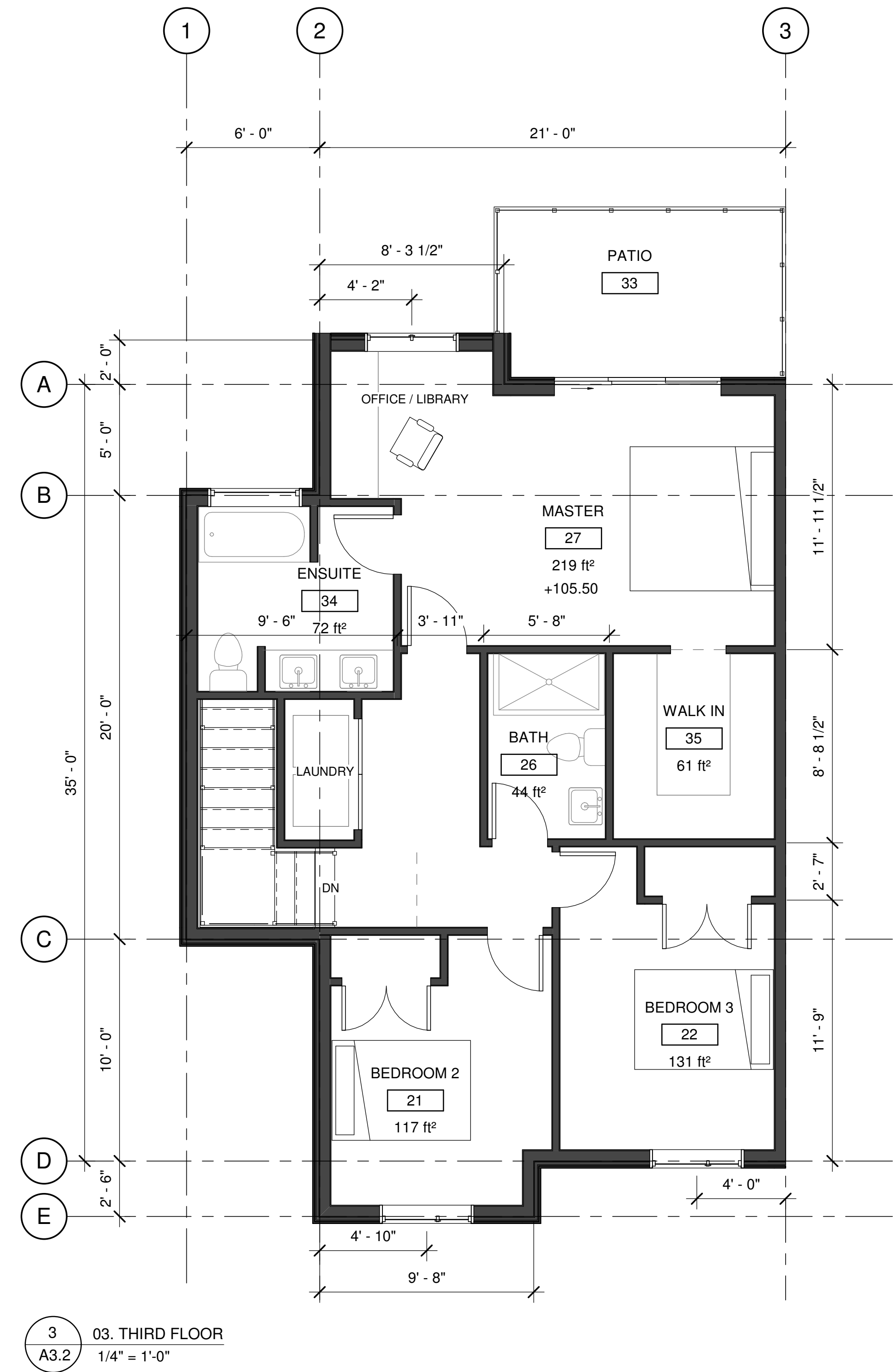
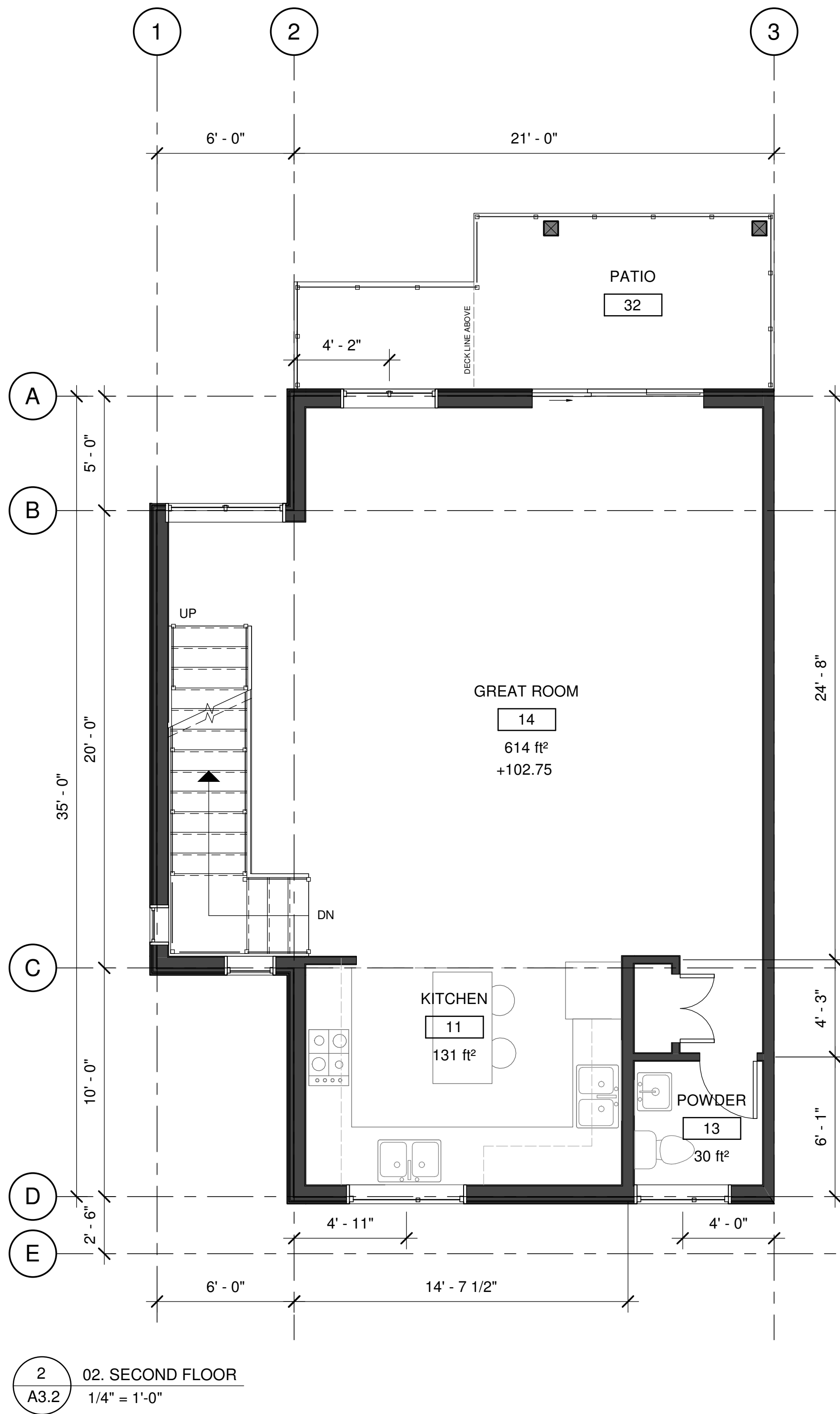
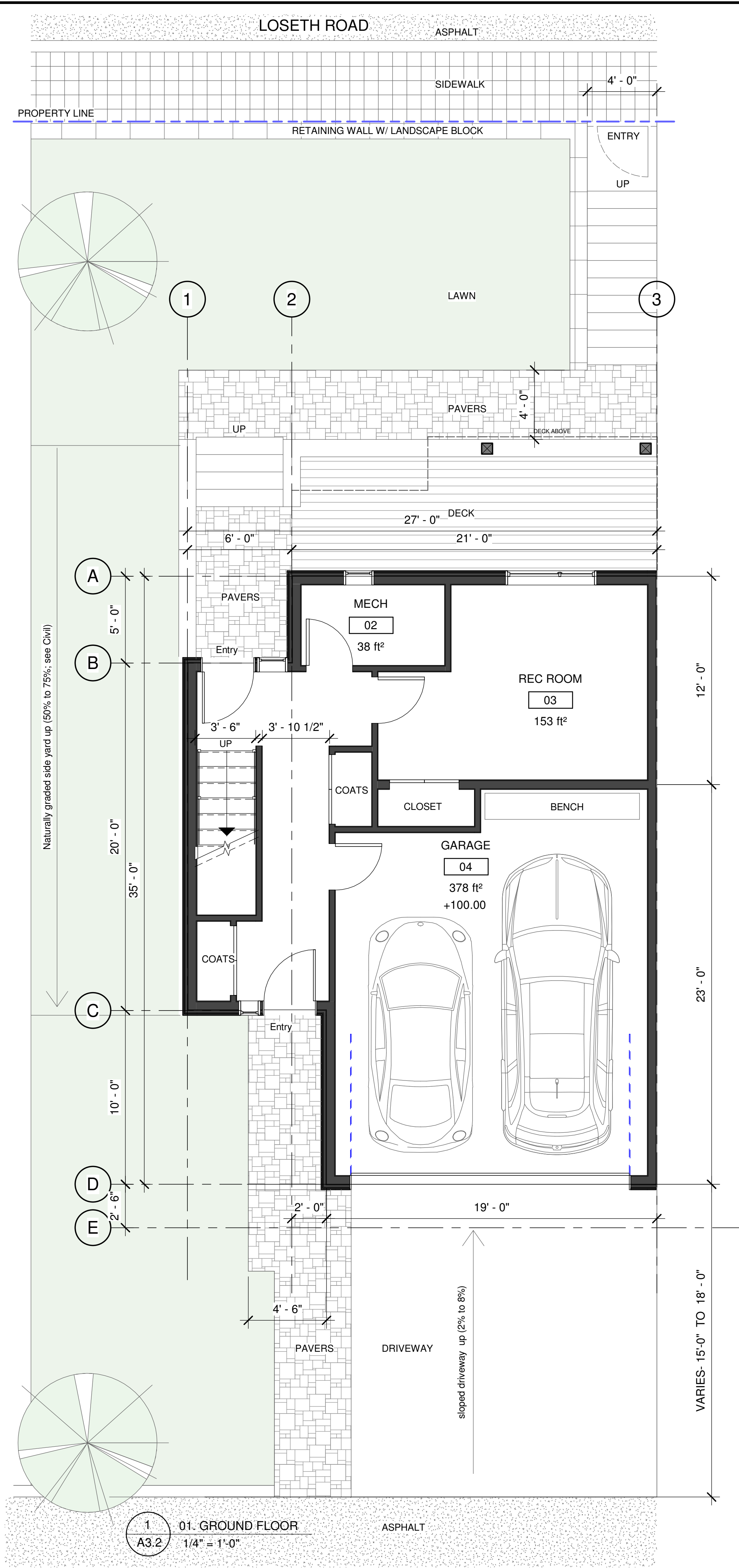
DESIGNED BY: CP

A3.1

SCALE: 1/4" = 1'-0"

DATE: 08/11/2019

FILE: A18-08



GROSS BUILDING AREA	
Level	Area
FINISHED	
GROUND FLOOR	367 ft²
SECOND FLOOR	791 ft²
THIRD FLOOR	868 ft²
	2,025 ft²
UNFINISHED	
GROUND FLOOR	442 ft²
SECOND FLOOR	52 ft²
THIRD FLOOR	494 ft²

Notes:

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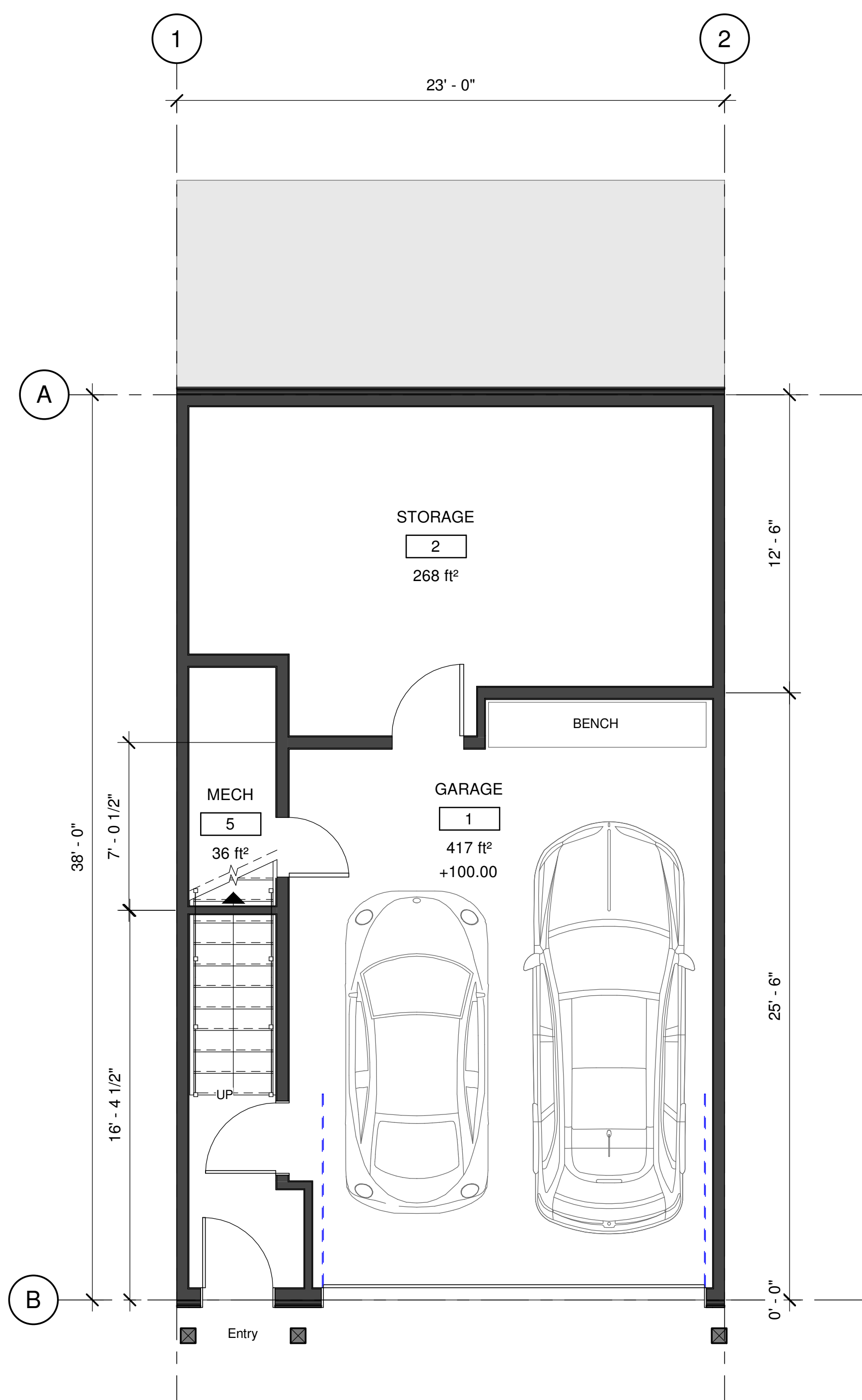
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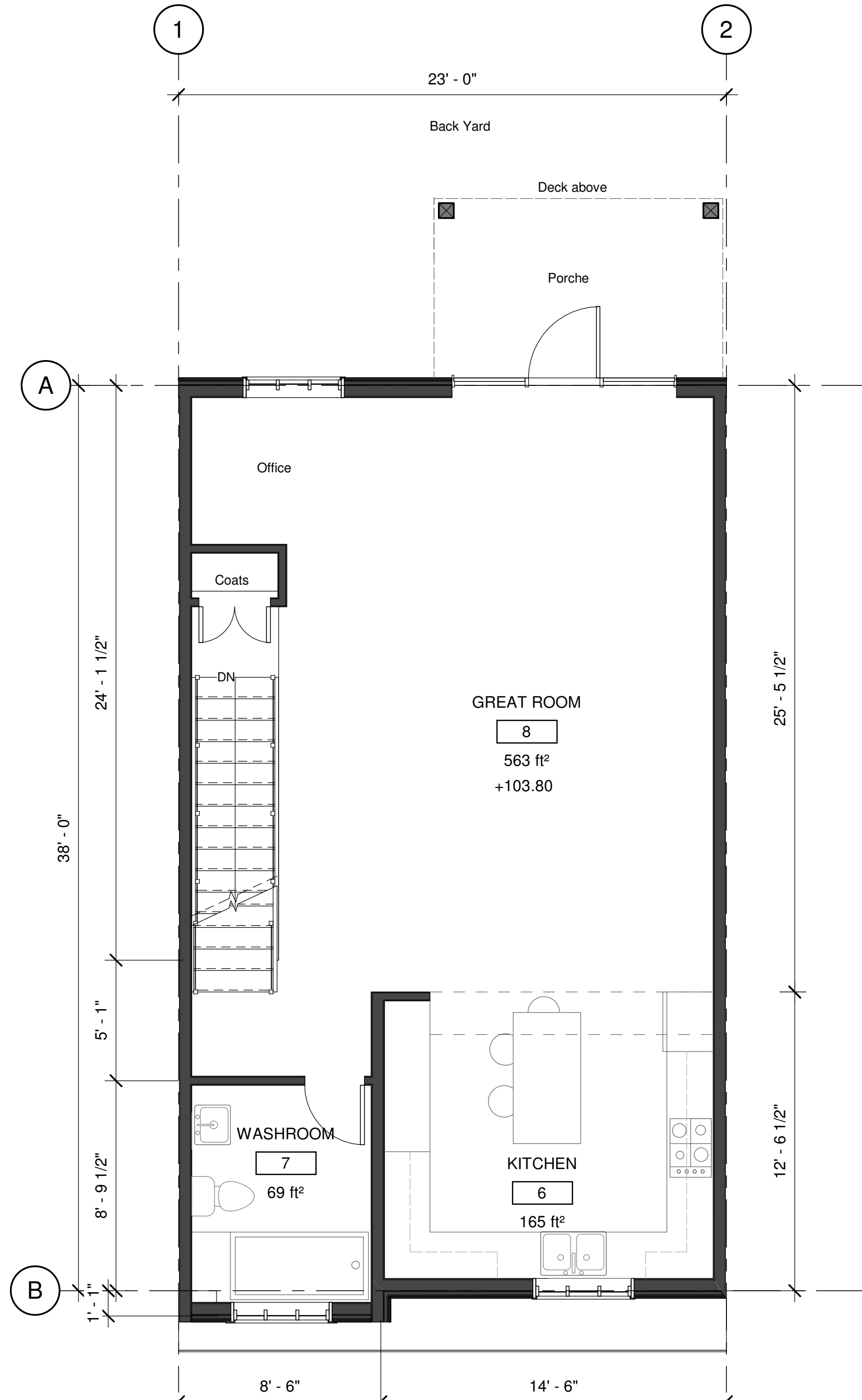
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LEVEL GRADING END UNIT FLOOR PLAN

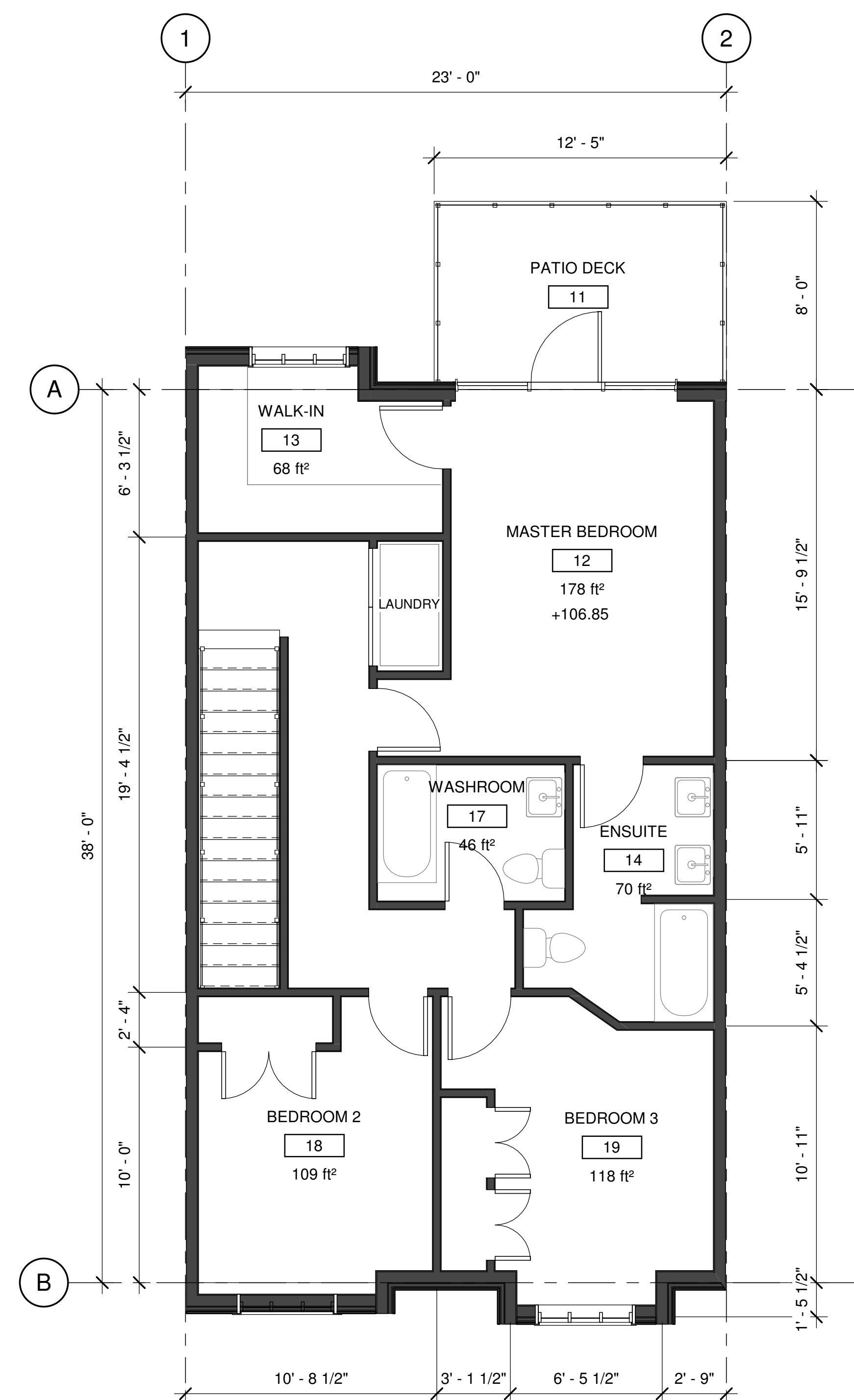
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DESIGNED BY:	CP		A3.2
SCALE:	1/4" = 1'-0"		
DATE:	08/11/2019	FILE:	A18-08



1 01.GROUND FLOOR
A3.3 1/4" = 1'-0"



2 02. SECOND FLOOR
A3.3 1/4" = 1'-0"



3 03. THIRD FLOOR
A3.3 1/4" = 1'-0"

GROSS BUILDING AREA	
Level	Area
FINISHED	
GROUND FLOOR 2	289 ft²
SECOND FLOOR	894 ft²
THIRD FLOOR	854 ft²
	2,037 ft²
UNFINISHED	
GROUND FLOOR 2	599 ft²
	599 ft²

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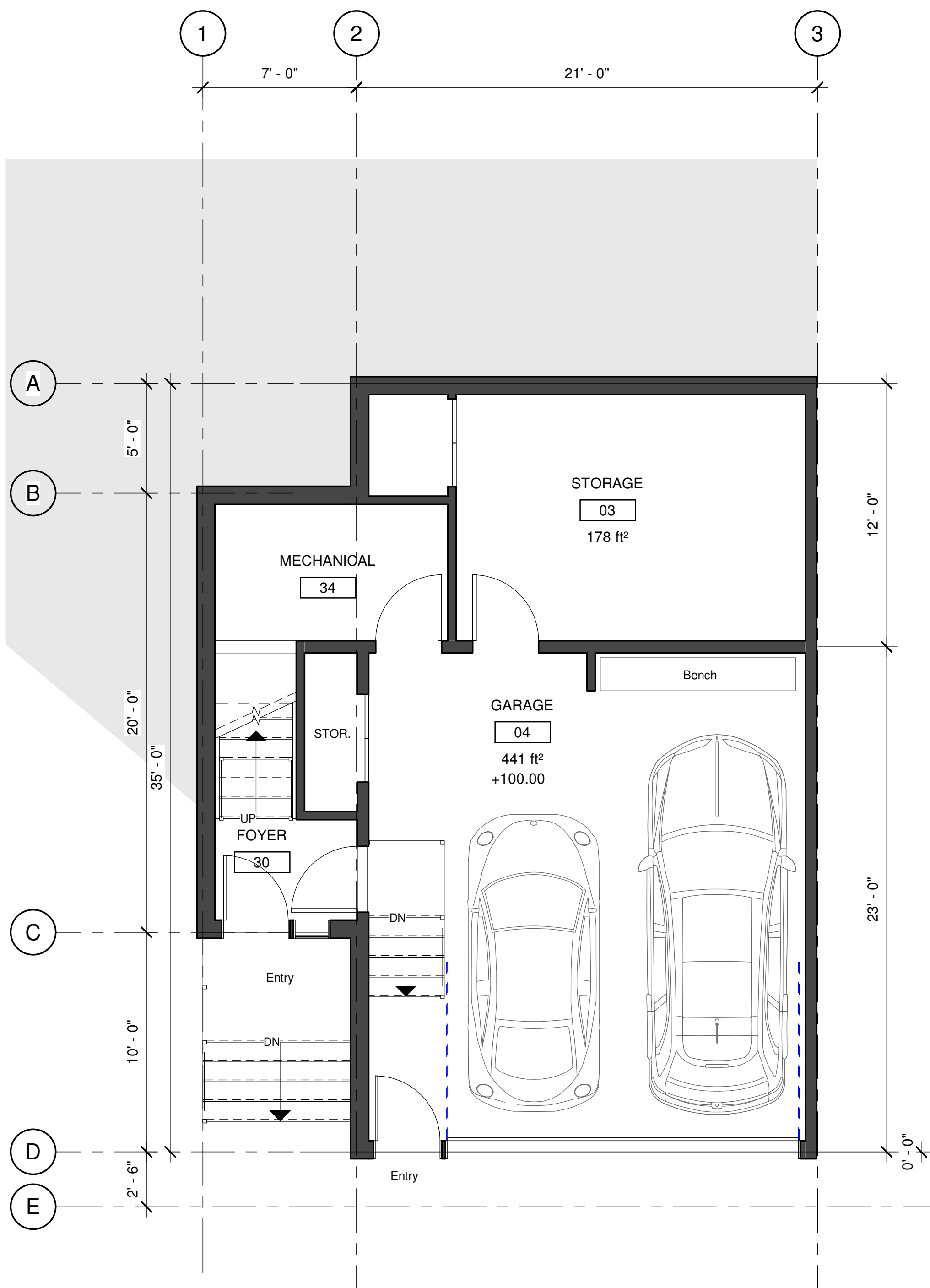
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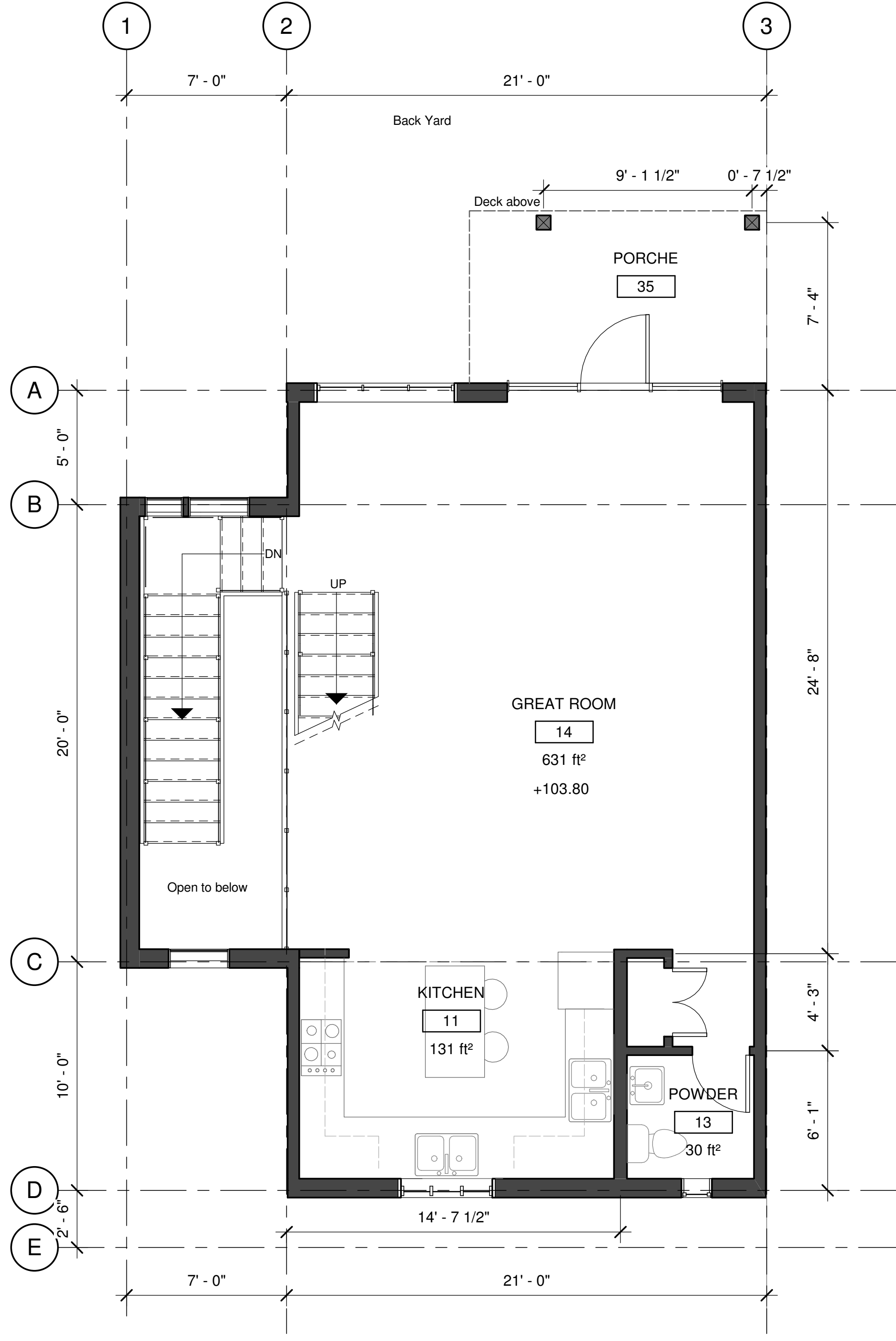
SHEET TITLE

FULL STOREY
BENCHED GRADING
(WALKOUT) MID-UNIT
FLOOR PLAN

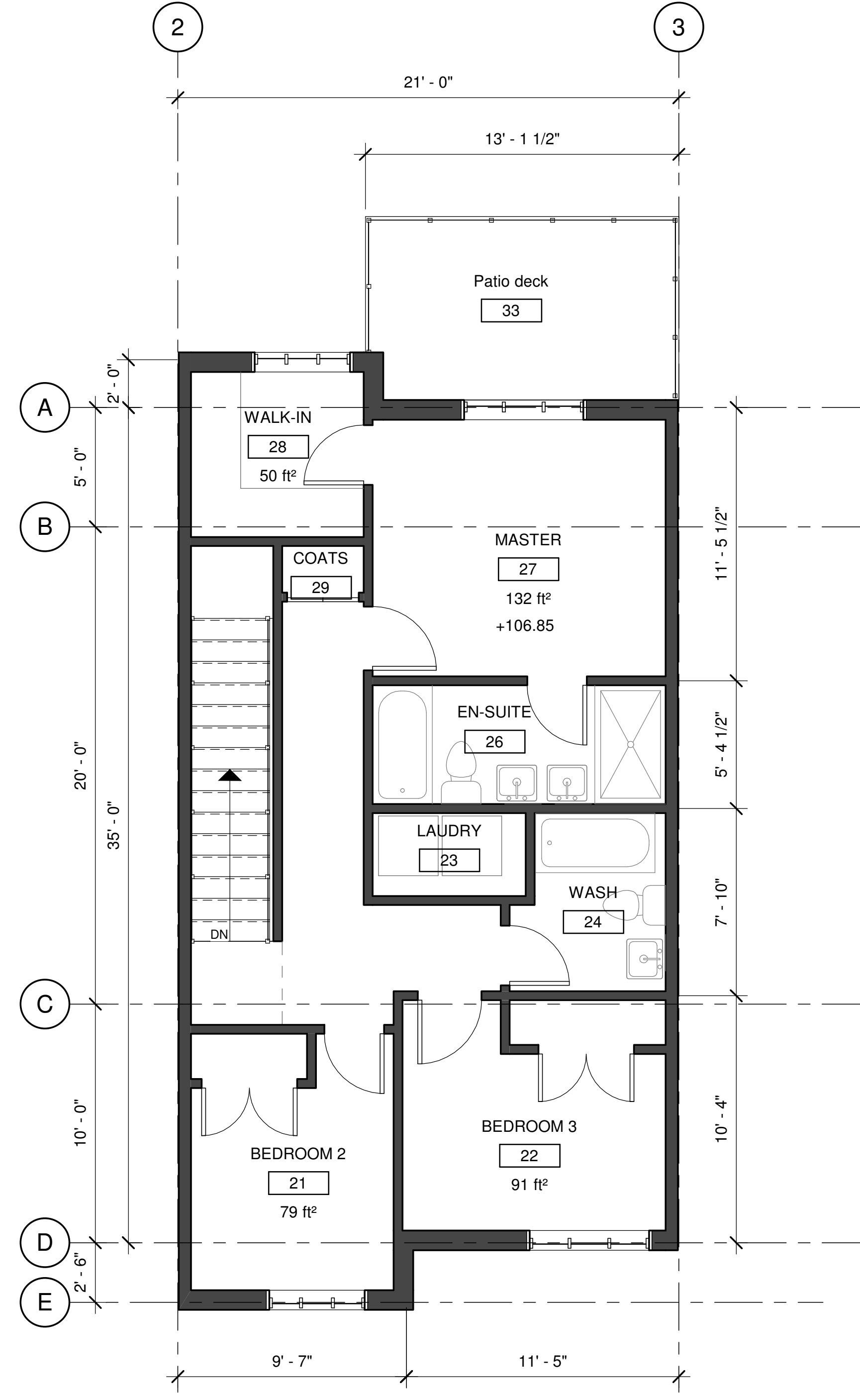
DRAWN BY:	AW	DRAWING NO.
DESIGNED BY:	CP	A3.3
SCALE:	1/4" = 1'-0"	
DATE:	08/11/2019	FILE: A18-08



1 01. GROUND FLOOR
A3.4 1/4" = 1'-0"



2 SECOND FLOOR
A3.4 1/4" = 1'-0"



3 03. THIRD FLOOR
A3.4 1/4" = 1'-0"

GROSS BUILDING AREA	
Level	Area
FINISHED	
GROUND FLOOR	361 ft²
SECOND FLOOR	776 ft²
THIRD FLOOR	720 ft²
	1,857 ft²
UNFINISHED	
GROUND FLOOR	488 ft²
SECOND FLOOR	52 ft²
THIRD FLOOR	540 ft²

Notes:

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NO.	DATE	BY	DESCRIPTION
DESIGN CONSULTANT			

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V1Y 5V6
TELEPHONE: (250) 879-1668
www.gtarch.ca

DEVELOPED BY:

KIRSCHNER MOUNTAIN

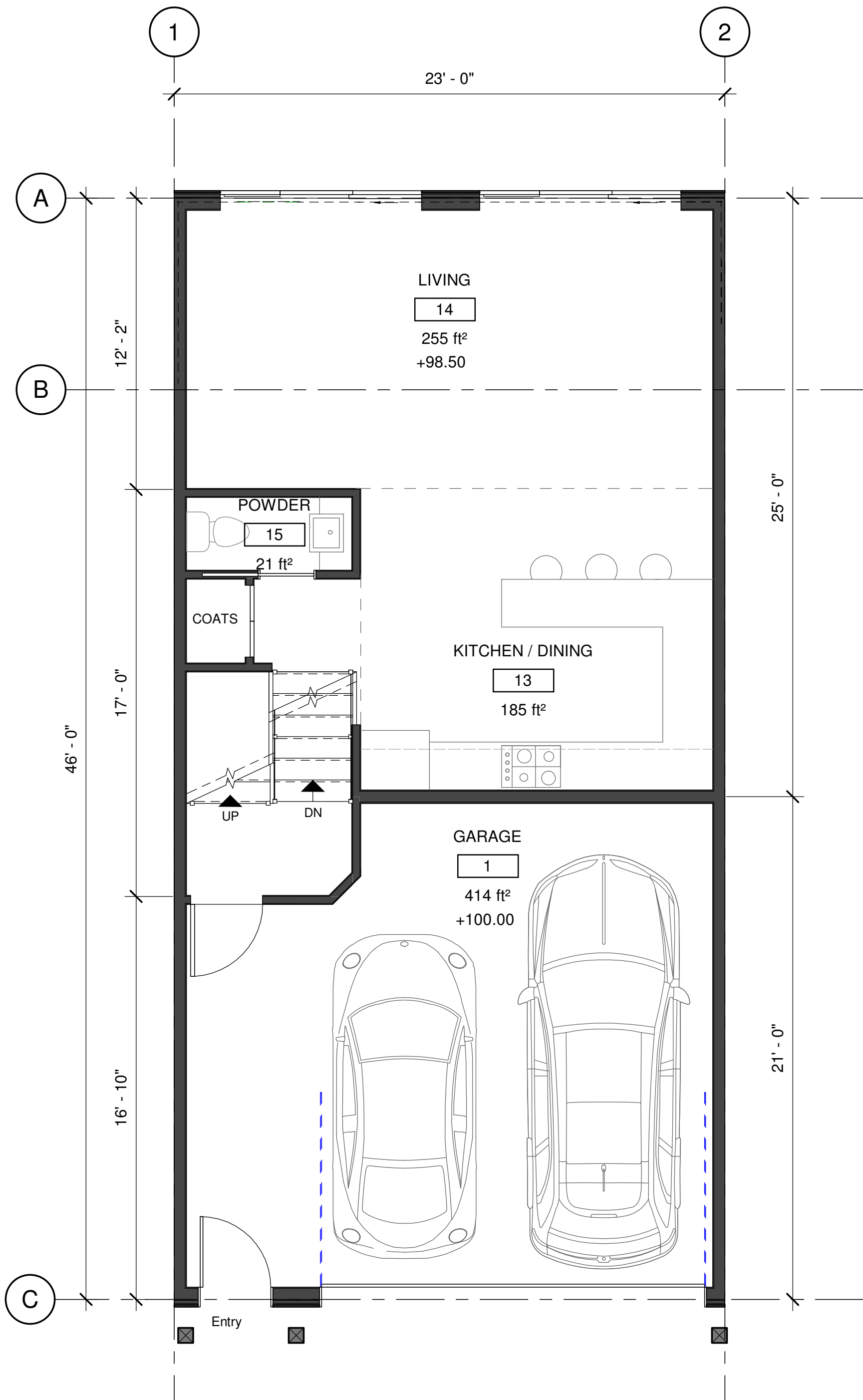
PROJECT

KIRSCHNER
MOUNTAIN PH. 6
2980 GALLAGHER RD.

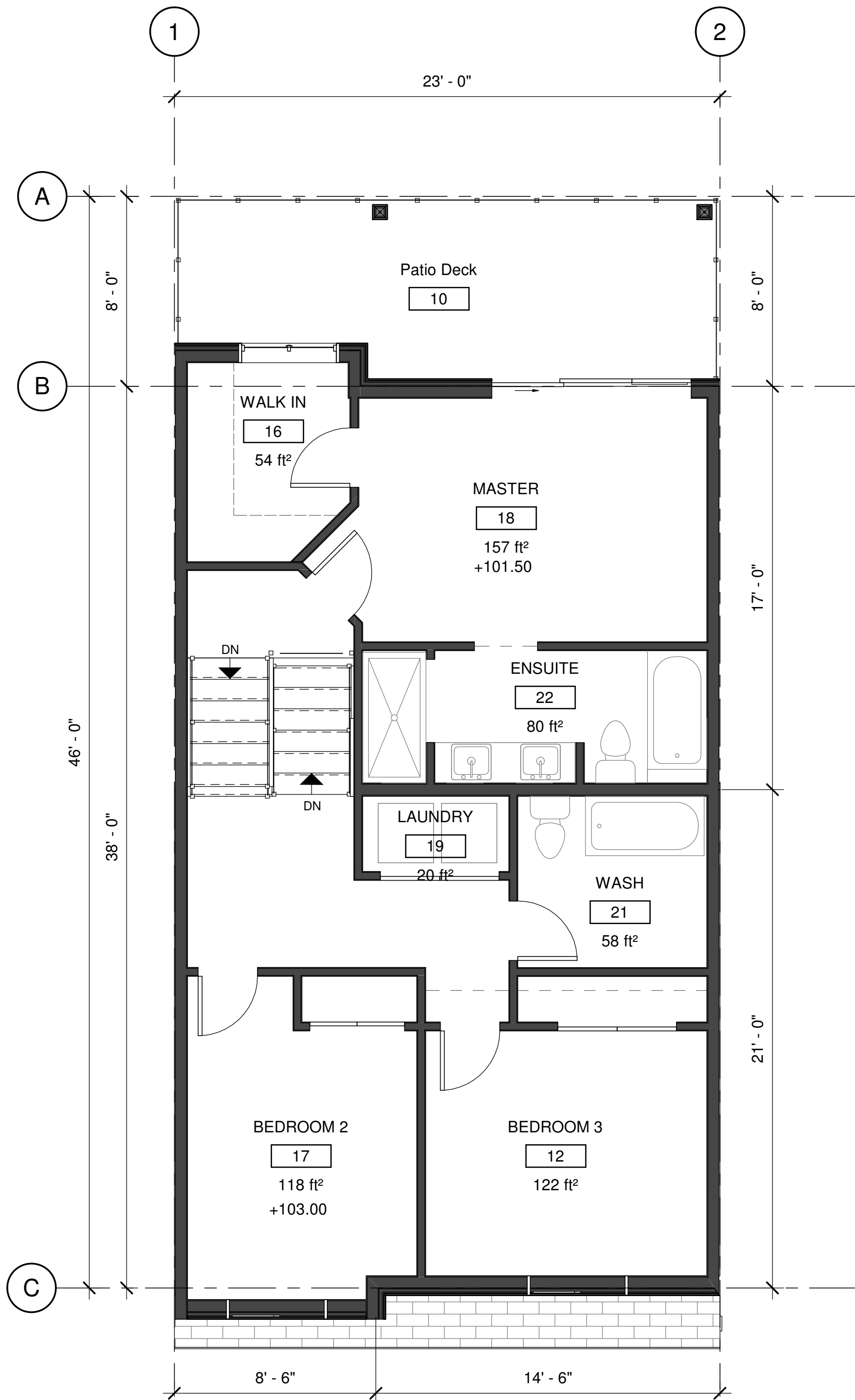
SHEET TITLE

FULL STOREY
BENCHED GRADING
(WALKOUT) END UNIT
FLOOR PLAN

DRAWN BY:	CP	DRAWING NO.
DESIGNED BY:	CP	A3.4
SCALE:	1/4" = 1'-0"	
DATE:	08/11/2019	FILE: A18-08



1 01 GROUND + GROUND SPLIT
A3.5 1/4" = 1'-0"



2 02. SECOND + SECOND SPLIT
A3.5 1/4" = 1'-0"

GROSS BUILDING AREA	
Level	Area
FINISHED	
GROUND FLOOR	608 ft²
SECOND FLOOR	906 ft²
	1,514 ft²
UNFINISHED	
GROUND FLOOR	453 ft²
	453 ft²

- Notes:
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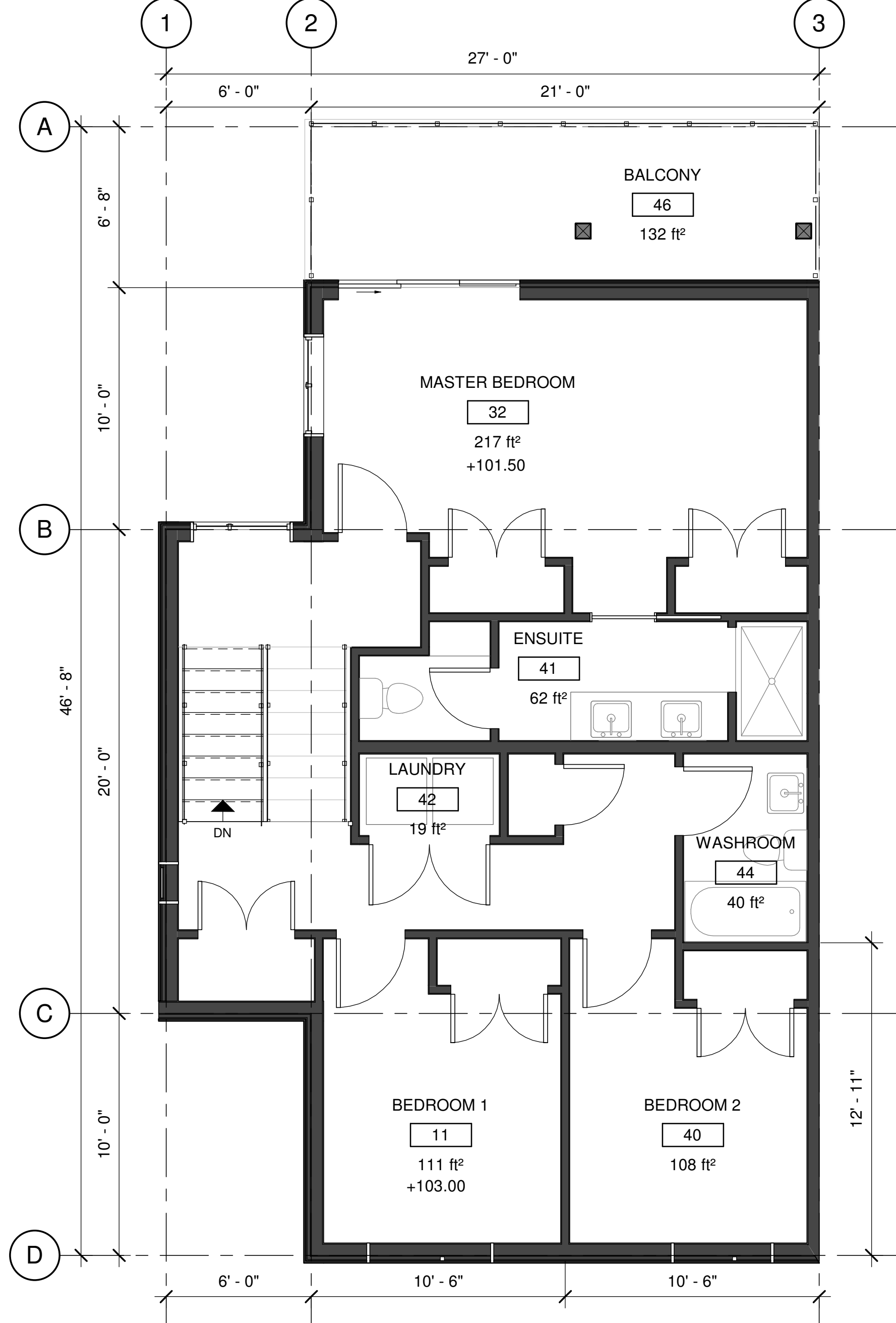
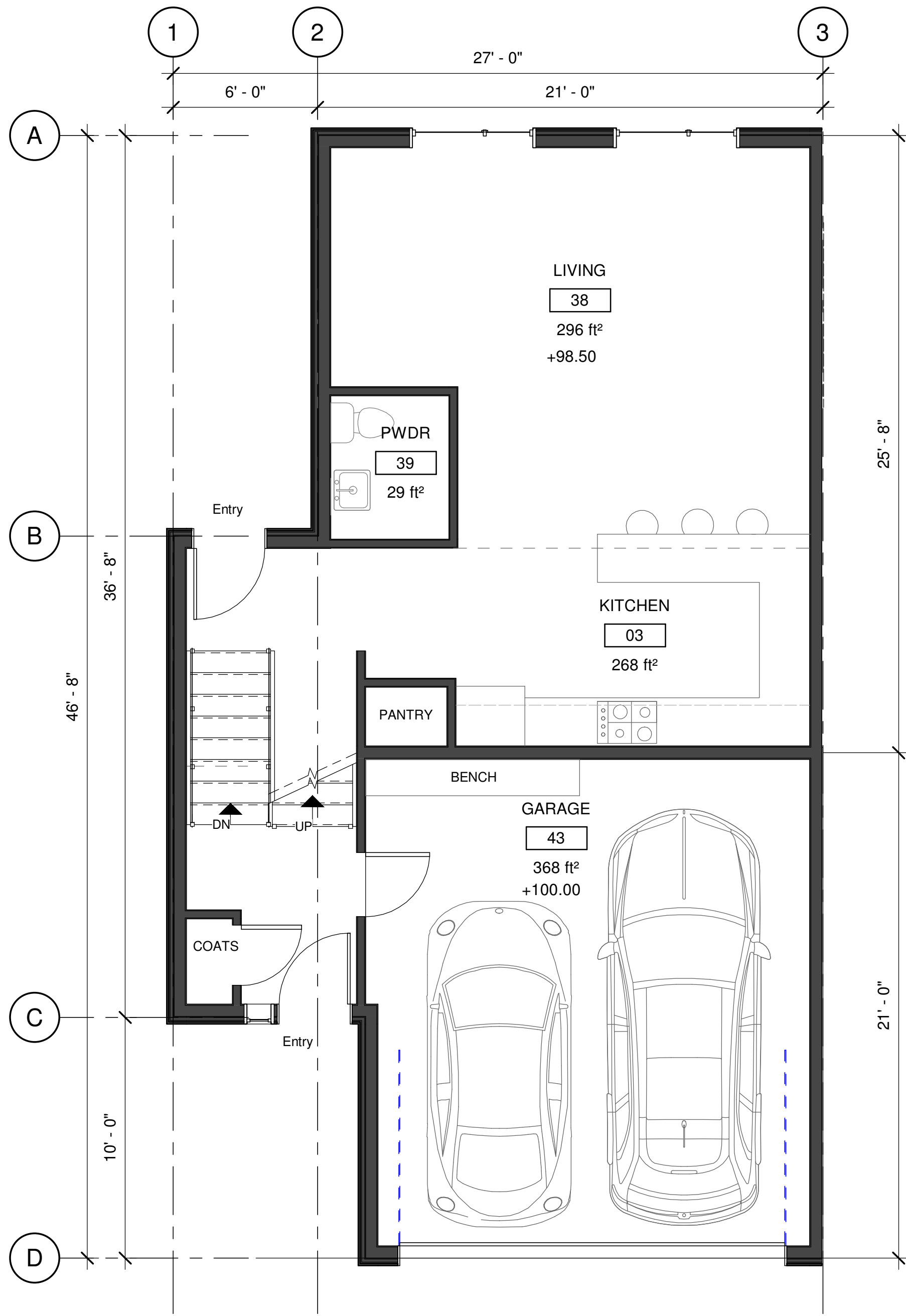
PROJECT

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MOUNTAIN PH. 6
2980 GALLAGHER RD.

SHEET TITLE

HALF STOREY
BENCHED GRADING
(SPLIT) MID UNIT FLOOR
PLAN

DRAWN BY:	AW	DRAWING NO.
DESIGNED BY:	CP	A3.5
SCALE:	1/4" = 1'-0"	
DATE:	08/11/2019	FILE: A18-08



GROSS BUILDING AREA	
Level	Area
FINISHED	
GROUND FLOOR	690 ft²
SECOND FLOOR	897 ft²
	1,588 ft²
UNFINISHED	
GROUND FLOOR	411 ft²
	411 ft²

Notes:

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			DESIGN CONSULTANT

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PROJECT

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MOUNTAIN PH. 6
2980 GALLAGHER RD.

SHEET TITLE

HALF STOREY
BENCHED GRADING
(SPLIT) END UNIT
FLOOR PLAN

DRAWN BY:	CP	DRAWING NO.	A3.6
DESIGNED BY:	CP		
SCALE:	1/4" = 1'-0"		
DATE:	08/11/2019	FILE:	A18-08



B-02

LEVELED GRADING / FIVEPLEX - REAR FACADE



B-02


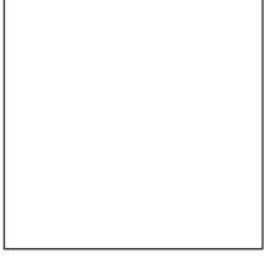
LEVELED GRADING / FIVEPLEX - FRONT FACADE



B-02

LEVELED GRADING / FIVEPLEX - SIDE FACADE

MATERIALS & COLOUR BOARD

	CLADDING - FIBERCEMENT PLANK DARK GREY		CLADDING - FIBERCEMENT PLANK ACCENT COLOUR
	STUCCO - SMOOTH FINISH DARK GREY		DOOR & WINDOW FRAMES ANODIZE ALUMINUM BLACK OR CHARCOAL VYNIL
	STUCCO - SMOOTH FINISH LIGHT GREY		GLASS - TRANSPARENT > 75% GTV



B-03, B-04, B-10, B-11, B12, B13, B14

NOTE: CLADDING ACCENT COLOUR VARIES FROM BUILDING TO BUILDING

LEVELED GRADING / FOURPLEX - SIDE FACADE



B-03, B-04, B-10, B-11, B12, B13, B14

NOTE: CLADDING ACCENT COLOUR VARIES FROM BUILDING TO BUILDING

LEVELED GRADING / FOURPLEX - FRONT FACADE



B-03, B-04, B-10, B-11, B12, B13, B14

NOTE: CLADDING ACCENT COLOUR VARIES FROM BUILDING TO BUILDING

LEVELED GRADING / FOURPLEX - REAR FACADE

Notes:

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2	08.11.2018	CP	FOR CLIENT REVIEW
1	29.03.2018	CP	CONCEPT DESIGN

NO.	DATE	BY	DESCRIPTION
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DESIGN CONSULTANT

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DEVELOPED BY:


KIRSCHNER MOUNTAIN

PROJECT

KIRSCHNER
MOUNTAIN PH. 6
Enter address here

SHEET TITLE
ELEVATIONS.
BUILDINGS ON LEVELED
GRADING

DRAWN BY:	CP/AW	DRAWING NO.	A4.1
DESIGNED BY:	CP		
SCALE:	12" = 1'-0"		
DATE:	09/11/19	FILE:	



B-08

FULL STOREY BENCHED GRADING (WALK-OUT) / TRIPLEX - REAR FACADE



B-08



FULL STOREY BENCHED GRADING (WALK-OUT) / TRIPLEX - FRONT FACADE

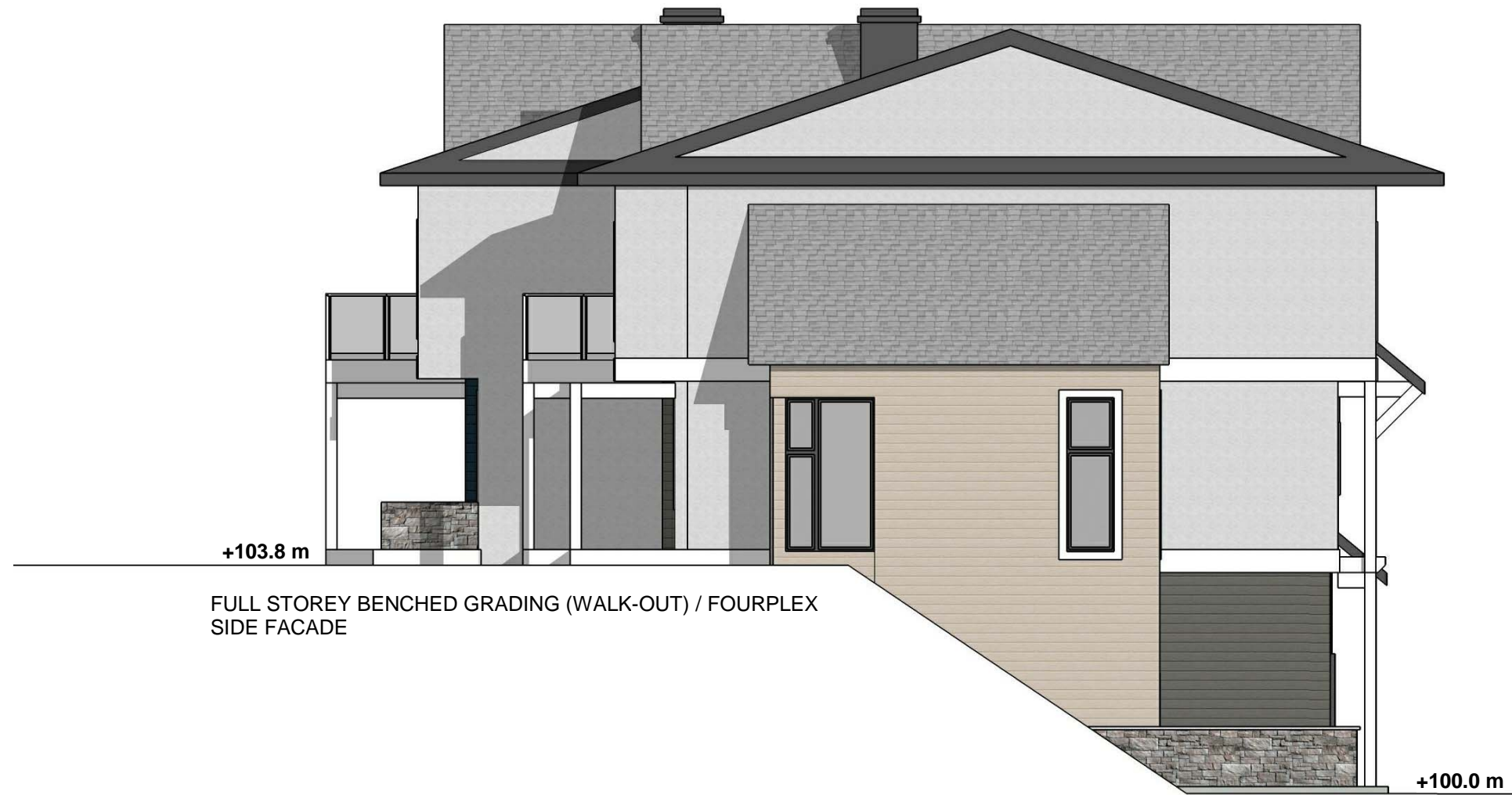


B-08

FULL STOREY BENCHED GRADING (WALK-OUT) / TRIPLEX SIDE FACADE

MATERIALS & COLOUR BOARD

	CLADDING - FIBERCEMENT PLANK DARK GREY		CLADDING - FIBERCEMENT PLANK ACCENT COLOUR
	STUCCO - SMOOTH FINISH DARK GREY		DOOR & WINDOW FRAMES ANODIZE ALUMINUM BLACK OR CHARCOAL VYNIL
	STUCCO - SMOOTH FINISH LIGHT GREY		GLASS - TRANSPARENT > 75% GTV



B-06, B-07, B-15, B-16, B-17, B-18, B-19

NOTE: CLADDING ACCENT COLOUR VARIES FROM BUILDING TO BUILDING



B-06, B-07, B-15, B-16, B-17, B-18, B-19

NOTE: CLADDING ACCENT COLOUR VARIES FROM BUILDING TO BUILDING

FULL STOREY BENCHED GRADING (WALK-OUT) / FOURPLEX - REAR FACADE



B-06, B-07, B-15, B-16, B-17, B-18, B-19

NOTE: CLADDING ACCENT COLOUR VARIES FROM BUILDING TO BUILDING

FULL STOREY BENCHED GRADING (WALK-OUT) / FOURPLEX - FRONT FACADE

Notes:

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2	08.11.2018	CP	FOR CLIENT REVIEW
1	29.03.2018	CP	CONCEPT DESIGN

NO.	DATE	BY	DESCRIPTION
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DEVELOPED BY:

KIRSCHNER MOUNTAIN

PROJECT

KIRSCHNER
MOUNTAIN PH. 6
Enter address here

SHEET TITLE
ELEVATIONS.
BUILDINGS ON FULL
STOREY BENCHED
GRADING (WALK-OUT)

DRAWN BY:	Author	DRAWING NO.	
DESIGNED BY:	Designer		A4.2
SCALE:	12" = 1'-0"		
DATE:	10/11/18	FILE:	0001



B-01

HALF STOREY BENCHED GRADING (SPLIT) / FIVEPLEX- REAR FACADE



B-01

HALF STOREY BENCHED GRADING (SPLIT) / FIVEPLEX - FRONT FACADE



B-05, B-09

NOTE: CLADDING ACCENT COLOUR VARIES FROM BUILDING TO BUILDING

HALF STOREY BENCHED GRADING (SPLIT) / FOURPLEX SIDE FACADE

MATERIALS & COLOUR BOARD

	CLADDING - FIBERCEMENT PLANK DARK GREY		CLADDING - FIBERCEMENT PLANK ACCENT COLOUR
	STUCCO - SMOOTH FINISH DARK GREY		DOOR & WINDOW FRAMES ANODIZE ALUMINUM BLACK OR CHARCOAL VYNIL
	STUCCO - SMOOTH FINISH LIGHT GREY		GLASS - TRANSPARENT > 75% GTV



B-01

HALF STOREY BENCHED GRADING (SPLIT) / FIVEPLEX SIDE FACADE



B-05, B-09

NOTE: CLADDING ACCENT COLOUR VARIES FROM BUILDING TO BUILDING

HALF STOREY BENCHED GRADING (SPLIT) / FOURPLEX - REAR FACADE



B-05, B-09

NOTE: CLADDING ACCENT COLOUR VARIES FROM BUILDING TO BUILDING

HALF STOREY BENCHED GRADING (SPLIT) / FOURPLEX - FRONT FACADE

Notes:

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2	08.11.2018	CP	FOR CLIENT REVIEW
1	29.03.2018	CP	CONCEPT DESIGN

NO.	DATE	BY	DESCRIPTION
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DEVELOPED BY:

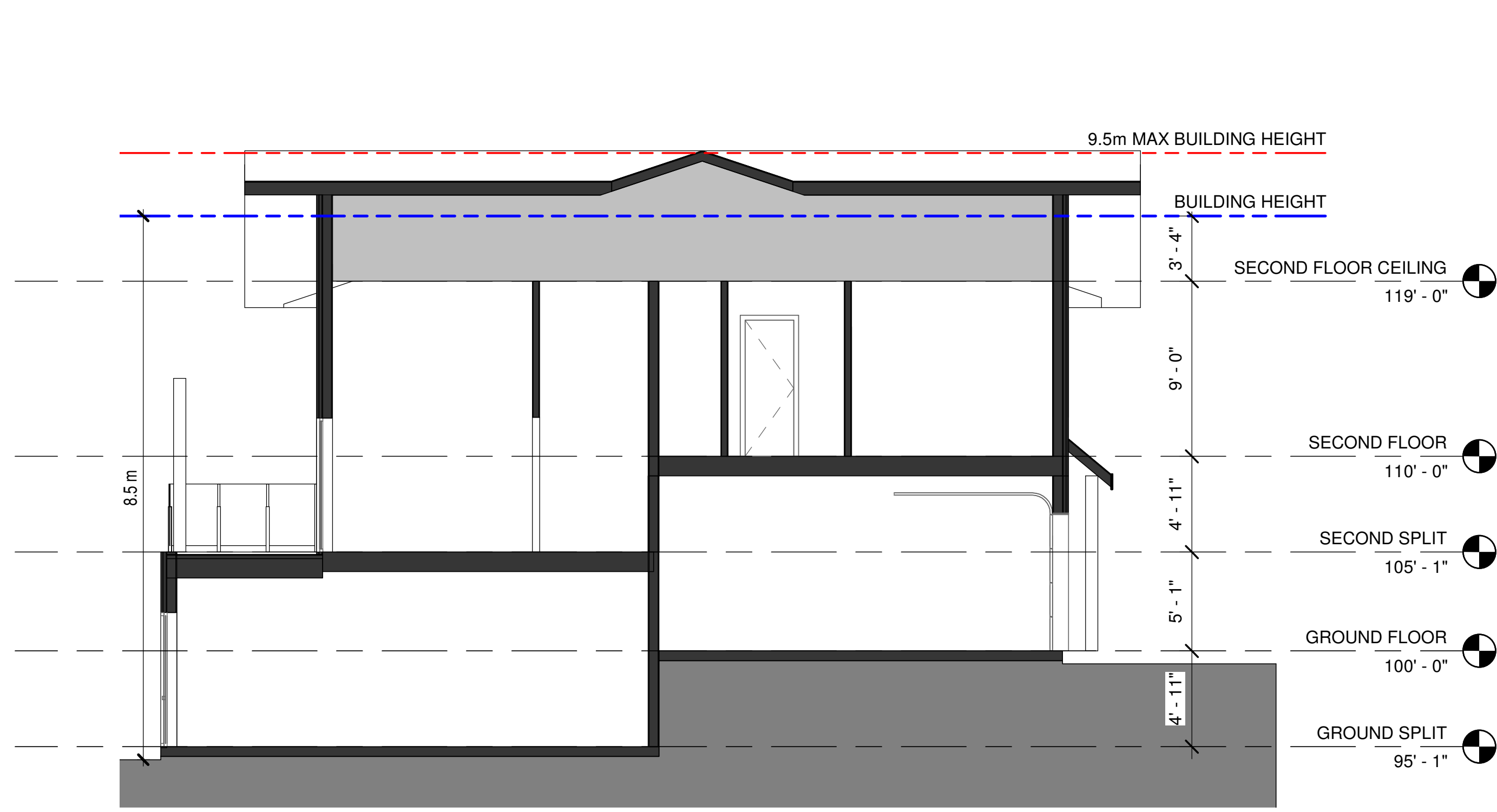
KIRSCHNER MOUNTAIN

PROJECT

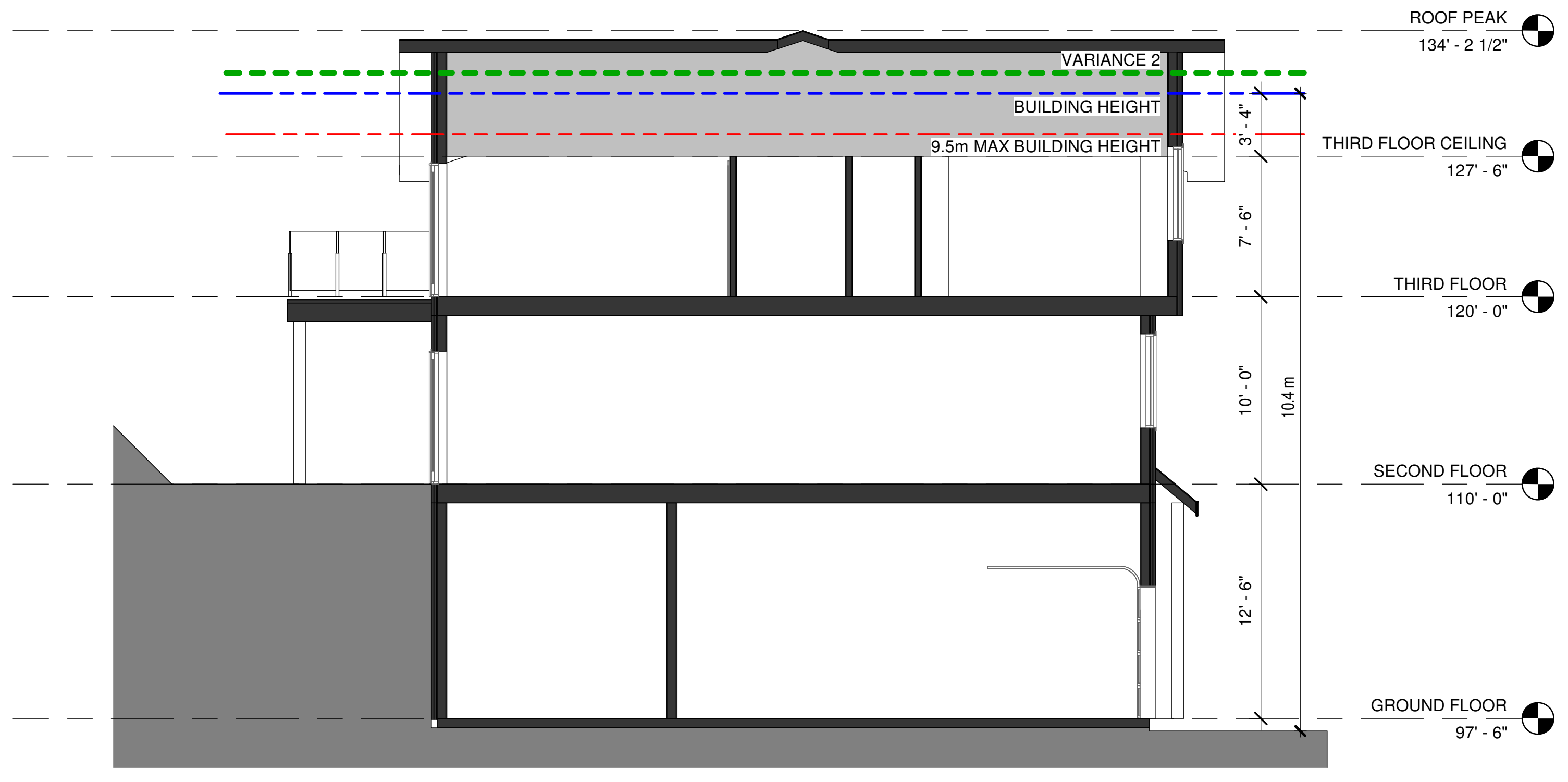
KIRSCHNER
MOUNTAIN PH. 6
Enter address here

SHEET TITLE
ELEVATIONS.
BUILDINGS ON HALF
STOREY BENCHED
GRADING (SPLIT)

DRAWN BY:	Author	DRAWING NO.	A4.3
DESIGNED BY:	Designer		
SCALE:	12" = 1'-0"		
DATE:	10/10/18	FILE:	0001



1
A5.1
TYPICAL SPLIT SECTION
3/16" = 1'-0"



2
A5.1
TYPICAL WALKOUT SECTION
3/16" = 1'-0"



3
A5.1
TYPICAL UNIT SECTION
3/16" = 1'-0"

Notes:

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DEVELOPED BY:



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PROJECT

KIRSCHNER
MOUNTAIN PH. 6
2980 GALLAGHER RD.

SHEET TITLE

SECTIONS -TYPICAL

DRAWN BY:	AW	DRAWING NO.	A5.1
DESIGNED BY:	CP		
SCALE:	3/16" = 1'-0"		
DATE:	08/11/2019	FILE:	A18-08