

Development Variance Permit

DVP20-0100



This permit relates to land in the City of Kelowna municipally known as

2318 Abbott Street

and legally known as

Lot 5 District Lot 14 ODYD Plan 9305

and permits the land to be used for the following development:

RU1 – Large Lot Housing

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council Decision June 2nd, 2020

Decision By: COUNCIL

Existing Zone: RU1 – Large Lot Housing

Future Land Use Designation: Single/Two Unit Residential (S2RES)

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Lothar & Colleen Sondermann

Applicant: Jordan Hettinga (Kent-Macpherson)

Terry Barton
Community Planning Department Manager
Planning & Development Services

Date

ATTACHMENT		A
This forms part of application # DVP20-0100		
Planner Initials	TC	 City of Kelowna DEVELOPMENT PLANNING

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

That variance to the following section of the Zoning Bylaw No. 8000 be granted in accordance with Schedule "A":

Section 13.1.6(e): RU1 – Large Lot Housing- Development Regulations

To vary the rear yard setback from 7.5m permitted to 4.4m proposed.

This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

Not Required

5. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**

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② Back

NEW BACK PATIO (REQUESTING VARIANCE)

Assemblies

- 10 Concrete Foundation
8x20
Min. 3'-0" Below Grade
c/w 4" Perimeter Drain
- 108 8" Reinforced Concrete Wall
- 10 Column on 12x30x30
Concrete Footing on
Compacted Fill
- 104 4" Concrete Slab on Grade
12" Min. Gravel on
Compacted Fill
- 110 4" Wide Perimeter Rigid Insulation
3" SM Rigid Insulation RSI 2.64
Where slab is at Grade
- 10 Hardie Plank Siding on RSI 0.02
Building Paper on
1/2" Exterior Plywood Sheathing on
2x6" 24" o/c
Fill w/ Batt Insulation RSI 4.2 eff 2.8 (R-24)
6MIL Poly Vapour Barrier
1/2" Gypsum Board RSI 0.08
TOTAL eff RSI: 3.01
- 104 Hardie Shake Siding on RSI 0.02
Building Paper on
1/2" Exterior Plywood Sheathing on
2x6" 24" o/c
Fill w/ Batt Insulation RSI 4.2 eff 2.8 (R-24)
6MIL Poly Vapour Barrier
1/2" Gypsum Board RSI 0.08
TOTAL eff RSI: 3.01
- 10 Asphalt Shingles on
(To Match Existing)
Building Paper
7/16" Roof Sheathing
Pre-Engineered Trusses
- 108 RSI 8.8 Insulation R50
6 MILS Poly Vapour Barrier
1/2" Gypsum Board RSI 0.08
TOTAL (eff) RSI: 8.88
- 108 Perforated Aluminum Soffit
- 104 Double Facia 1x10 + 1x4
- 108 10" Horizontal Accent Band
(To Match Trim)
- 100 Pre-Engineered Beam

GENERAL NOTES:
1. These documents outline the general character and quality of the work and some of its details. Parts not detailed shall be constructed in accordance with best practices of work of this class, and shall provide the required strength and quality to complete all requirements of the work.
2. The construction shall be in accordance with the British Columbia Building Code, 2012 Edition. Every effort will be made to ensure that any changes to the code are complied with and all amendments are incorporated in the work.
3. Materials and workmanship shall be per BCBC, Part 10 "Energy and Water Efficiency."
4. All work shall conform to local building codes and by-laws wherever they may take precedence.
5. Prior to proceeding with construction, the Contractor must verify all information. Start of construction signifies the Contractor's acceptance of the contract documents.
6. Any variances from the drawings and specifications, and adverse conditions encountered at the job site, shall be resolved by the Owner Representative in consultation with the Designer.
7. The Consultants do not assume liability for any errors or omissions in the contract documents, unless advised in writing of such errors or omissions prior to commencement of construction. The Contractor shall advise the Consultants if any discrepancies are observed or explanations are required.

CONSTRUCTION NOTES:
1. Exterior walls to breathe area: 2x6 studs at 24" o.c.
2. Range hood and dryer to be exhausted to outside.
3. All ceilings: 1/2" gypsum board.
4. 5/8" fire guard gypsum board at all garage walls/ceilings common to livable area.
5. All handrails to be of approved design.
6. Provide 6 mil. poly vapour barrier at warm side of insulation (heating mode) under wall finish and under all concrete slabs on grade.
7. Exterior wall insulation: RSI 4.23 glass fibre batt at 6" walls; attic insulation to be RSI 8.8 glass fibre.
8. 25% of required attic vents to be at top 1/3 of roof.
9. Verify all rough opening requirements for doors, windows, equipment, and fixtures before ordering.
10. Verify/coordinate these plans with truss system final design.
11. All bedroom windows to have a minimum vent size of 24" x 36" for egress.

General Foundation Notes:
1. All work to be in accordance with Structural Drawings and Specifications.
2. Footings and foundation walls indicated on the drawings are generic. The Contractor is responsible for testing the soil and assure adequacy of the structure.
3. All concrete to:
- be minimum 3,000 psi (28 day)
- conform to C.S.A. A23.1
- have 1" max. aggregate size
- foundation walls, footings, and interior slabs - h minimum 3% -
- 4% air entrainment +/- 1%
- exterior slabs - h min. 5% - 7% air entrainment +/- 1%
- have maximum 4" slump.
4. Consolidate concrete in forms with high frequency internal vibrators - do not over vibrate so as to cause separation of the mix or use vibrators to move concrete.
5. All concrete reinforcing to:
- be of new deformed stock
- be of minimum grade 400 steel
- be placed in accordance with the latest edition of the A.C.I. detailing manual no. 315.
6. Verify all site conditions in conjunction with the drawings notify the architect and owner of any discrepancies in writing.
7. Footings to bear on undisturbed native material or engineered fill at a depth below the frost line. Where an engineer's soils report is available verify requirements and comply with recommendations contained therein.
8. Notify the architect and owner in writing where soil conditions are found to be inferior or potentially unstable.
9. Welded wire fabric to conform to C.S.A. G30.6 and to be lapped min. 6" or one full grid whichever greater.
10. Un-detailed lap splices to be 40 bar diameters staggered.
11. Provide damp proofing below grade & approved perimeter footing drainage system.
12. Where required, step footings and foundation walls at min. 24" vertical & horizontal increments.
13. Maintain minimum 8" clear from top of foundation walls to finished grade.
14. Exterior concrete slabs/slabs abutting concrete foundation to be dowelled using 10m bar @ 2'-0" typical.
15. All bearing columns of girder trusses and support beams are to be posted to foundation.

General Framing Notes:
1. Framing lumber to be S.P.F. # 2 or better.
2. All beams/headers to be minimum 3 1/2" "timberstrand" L.S.L.
3. Roof/floor truss system design by registered structural engineer.
4. Verify/coordinate design with these plans prior to ordering of material.
5. Truss system supplier to provide all required blocking/bracing for roof system.
6. All trusses to be secured to wall plate with "hurricane anchors" or equal.
7. All truss ends to be braced with continuous 2x4 stringer.
8. All "LJT" equivalent engineered wood joists rim/edge of wall to suit manufacturer's requirements.
9. All inlets in exterior and bearing walls to be 2 - 2x10's unless otherwise specified.
10. All exterior walls provide sealed membrane flashings around all openings. Provide box-outs / sleeves for service penetrations. Seal around service penetrations with caulking on rigid foam filler, or fill with water resistant expanding foam insulation.

LEGAL DESCRIPTION:
CIVIC ADDRESS: 2318 Abbott Street, Kelowna BC

925R
Design Inc.

250.307.6818 - 925RDesign.com

No.	Description	Date
BP	Building Permit	Oct 26 2017
1	Updated	Mar 1 2018
2	Updated	Apr 5 2018
3	Back Patio	Mar 23 2020

SCHEDULE A

This forms part of application
DVP20-0100

Planner
Initials

TC

City of
Kelowna
DEVELOPMENT PLANNING



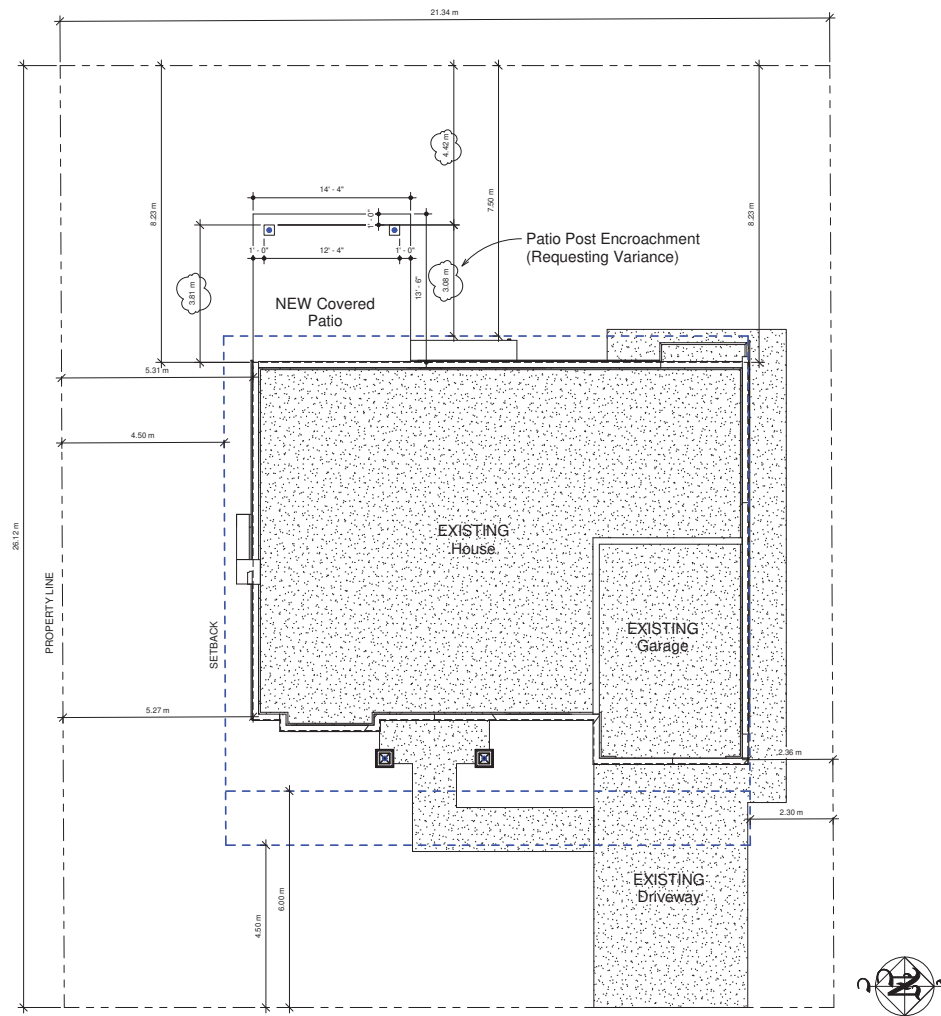
2318
Abbott Street

Cover Sheet

Date Mar 23 2020
Drawn by ML
Project No. 925R_17066
Scale 1/4" = 1'-0"

A0

No.	Description	Date
BP	Building Permit	Oct 26 2017
1	Updated	Mar 1 2018
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SCHEDULE A

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City of Kelowna
DEVELOPMENT PLANNING

Boulevard

Abbott St

2318
Abbott Street

Site

Date Mar 23 2020
Drawn by ML
Project No. 925R_17066
Scale 3/16" = 1'-0"

A1

No.	Description	Date
BP	Building Permit	Oct 26 2017
1	Updated	Mar 1 2018
2	Updated	Apr 5 2018
3	Back Patio	Mar 23 2020

SCHEDULE

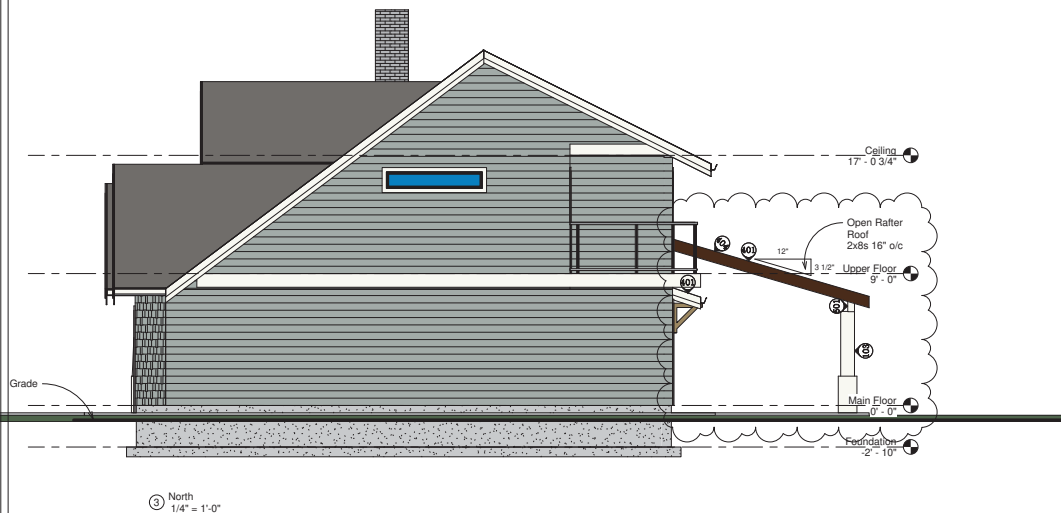
A

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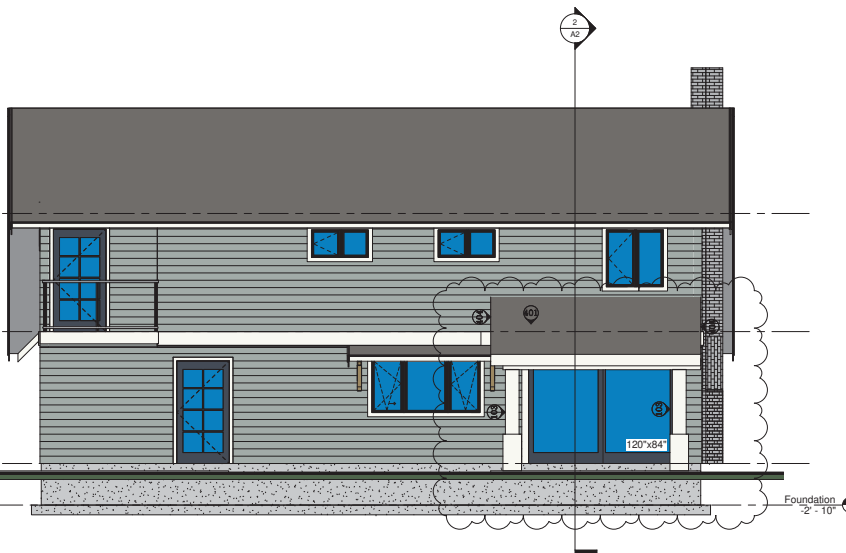
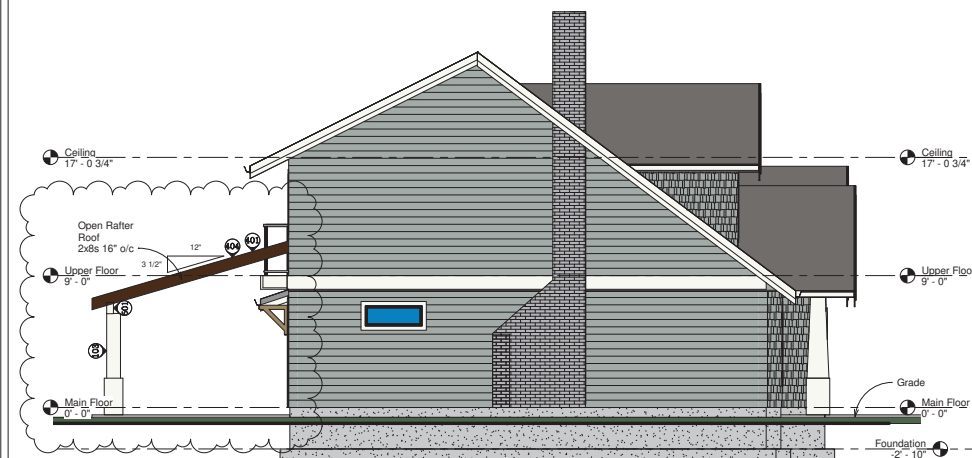
DVP20-0100

Planner
Initials

TC



④ South
1/4" = 1'-0"



② West
1/4" = 1'-0"

2318
Abbott Street

Elevations

Date Mar 23 2020
Drawn by ML
Project No. 925R_17066
Scale 1/4" = 1'-0"

A3