



DVP20-0100

2318 Abbott Street

Development Variance Application



Proposal

- ▶ To consider a Development Variance Permit to vary the rear yard setback from 7.5m required to 4.4m proposed for the construction of a new covered patio.

Development Process

Mar. 30th, 2020

Development Application Submitted



Staff Review & Circulation



Apr. 2nd, 2020

Public Notification Received



Jun. 2nd, 2020

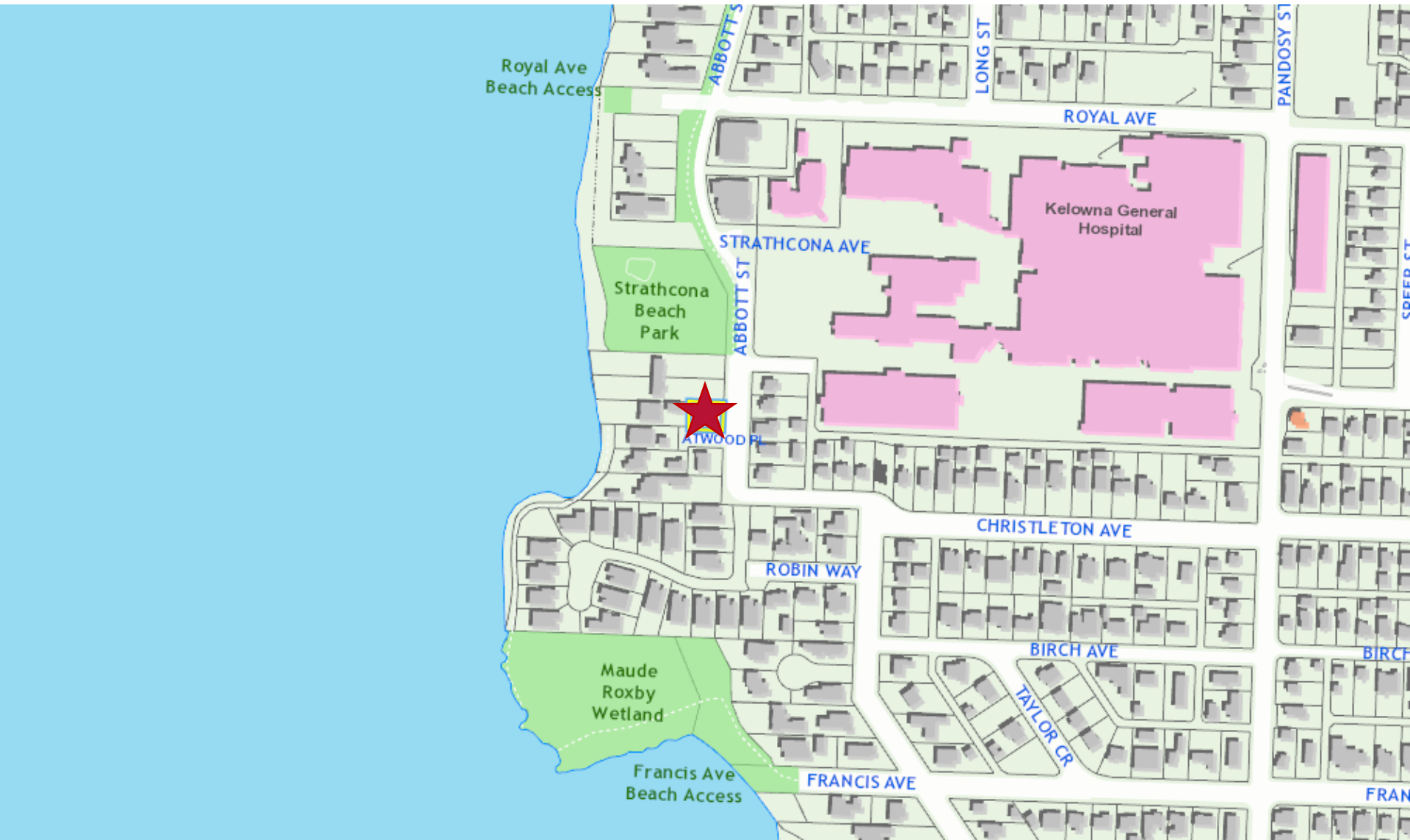
Development Variance Permit



Building Permit

} Council
Approval

Context Map

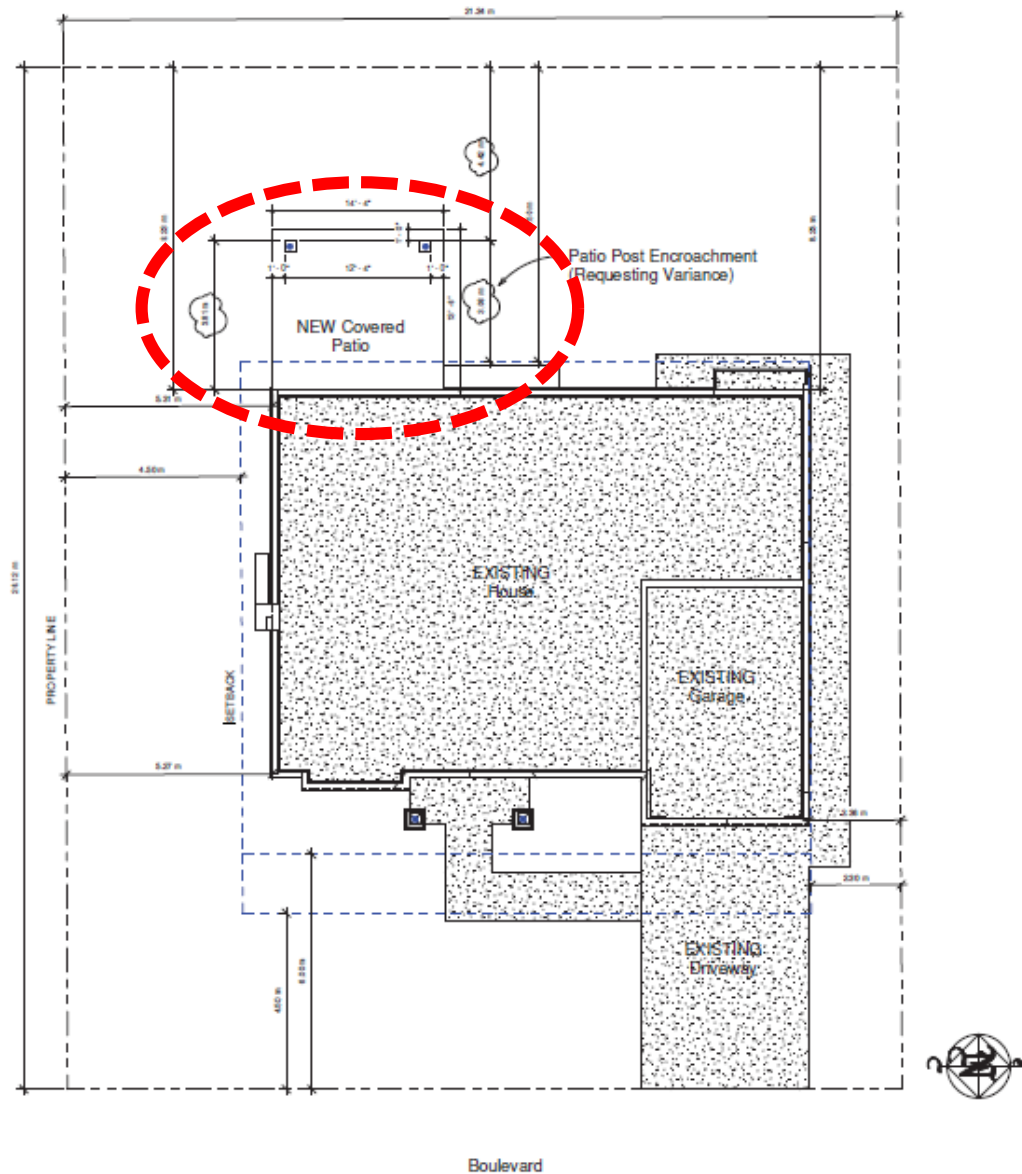


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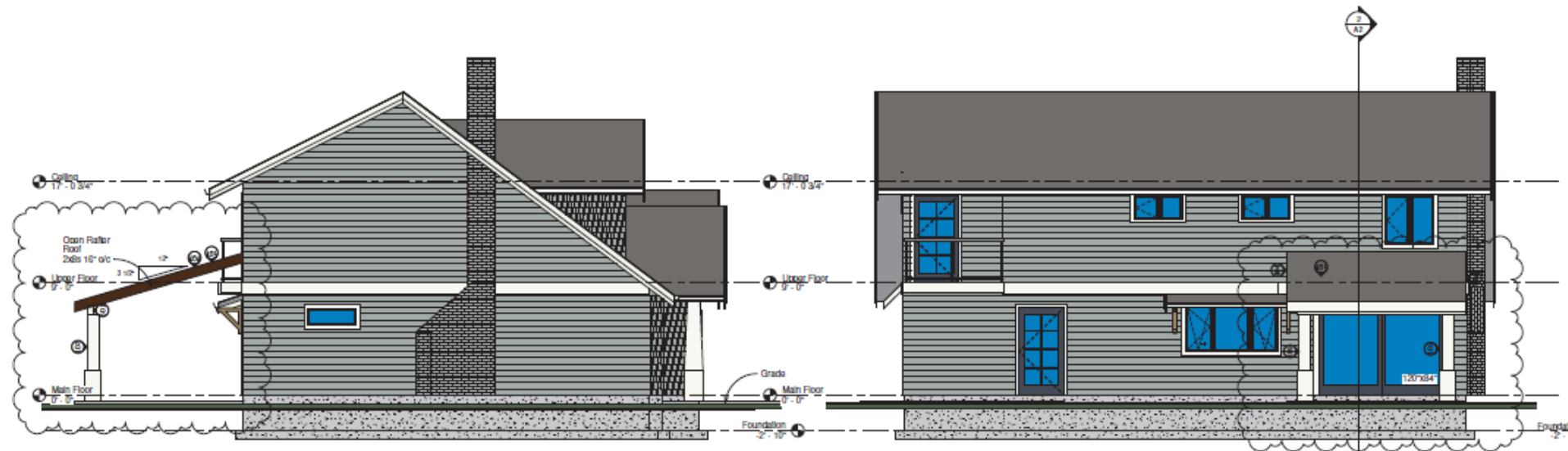
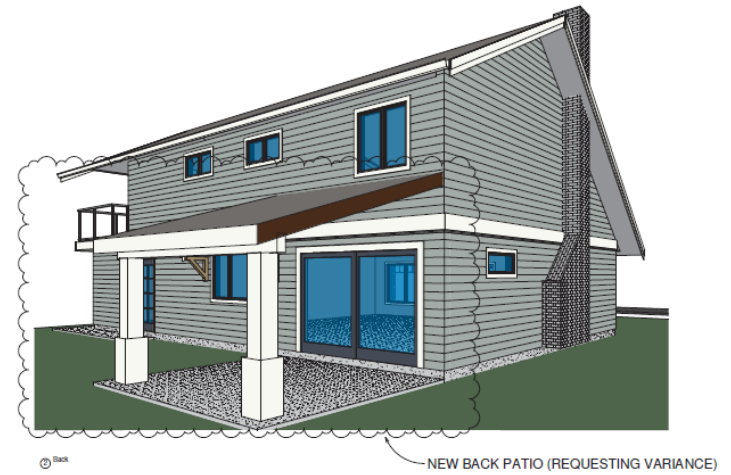
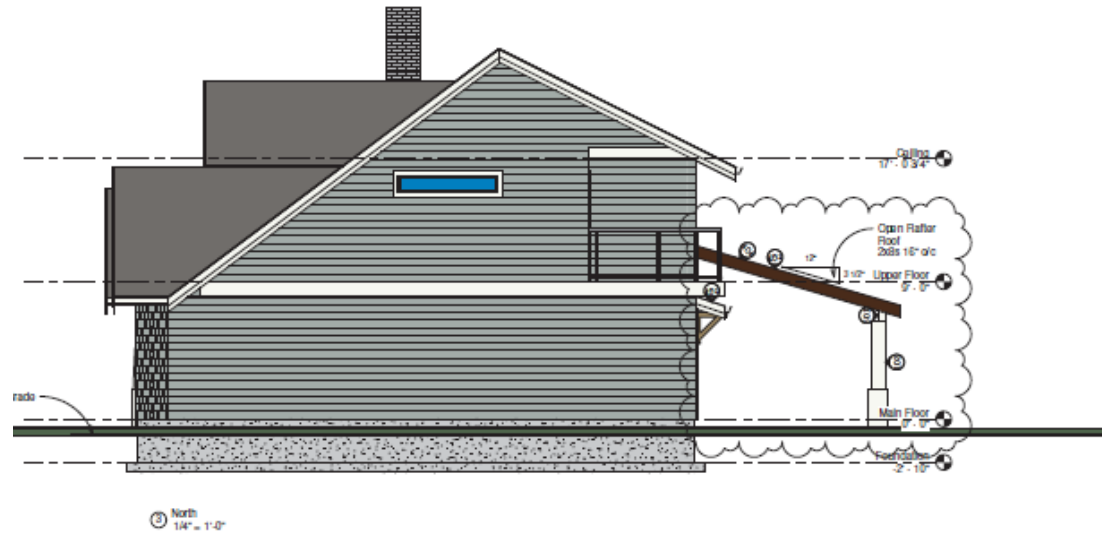
Site Map



Conceptual Site Plan



Conceptual Design



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Project/technical details

- ▶ The proposal is to vary the rear yard setback to accommodate a covered patio.
- ▶ The covered patio will not have walls and will be accessed through a sliding door at the rear of the principal dwelling.

Staff Recommendation

- ▶ Staff recommend **support** of the proposed Development Variance Permit application to vary the rear yard setback.
 - ▶ Small lot size and limited development opportunity.
 - ▶ Will not be walled and insulated livable space.
 - ▶ No/Minimal neighbourhood impacts are anticipated.



Conclusion of Staff Remarks